

A Planning Application For:

MECAH VENTURES

1 E. 4th Avenue
San Mateo, CA 94401

PROJECT DESCRIPTION

THE PROJECT PROPOSES THE CONSTRUCTION OF AN APPROXIMATELY 379,186 SF ON A 39,928 SF/ 0.91 ACRE. PROJECT INCLUDES 236 DWELLING UNITS, 9-STORY RESIDENTIAL USE BUILDING OVER ONE FLOOR OFFICE/ RETAIL AND TWO FLOOR BELOW GRADE PARKING AND 5-STORY OFFICE STRUCTURE ABOVE RESIDENTIAL FLOORS. THE GROUND FLOOR WOULD CONSISTS OF RETAIL, OFFICE, RESTAURANT, AMENITIES, LEASING OFFICE, MAIL ROOM, UTILITY ROOMS. THE PROJECT PROPOSES 15% BELOW MARKET RATE UNITS (18 VLI AND 18 MOD INCOME OR 36 UNITS). THE PROJECT MEETS THE HAA REQUIREMENTS. ALL UNITS ARE FOR RENTAL.

SCOPE OF WORK INCLUDES THE CONSTRUCTION OF THE BUILDING CORE AND SHELL, COMPLETE BUILD OUT OF RESIDENTIAL DWELLING UNITS AS WELL AS SITE IMPROVEMENTS SUCH AS SIDEWALKS, CURB/GUTTER, BICYCLE RACKS, STREET TREES, ETC.
THE EXISTING STRUCTURE TO BE DEMOLISHED CONSISTS OF 28,504 SQUARE-FOOT RETAIL SPACE ON THE GROUND FLOOR AND 28,504 SQUARE FEET OF OFFICE SPACE ON THE SECOND FLOOR. THERE ARE NO EXISTING RESIDENTIAL UNITS ON THE PROJECT SITE.

PROJECT TEAM

OWNER:	MECAH VENTURES 1259 El Camino Real, Unit #1181 Menlo Park, CA 94025	ARCHITECT:	ARC TEC INC. 1731 Technology Drive, Suite 750 San Jose, CA 95110 PHONE: 408.496.0676 CONTACT: Evan Sockalosky EMAIL: evans@arctecinc.com
LANDSCAPE ARCHITECT:	sTe 18450 Technology Drive, Suite E1 Morgan Hill, CA 95037 PHONE: 408.778.1350 CONTACT: Matt Hawks EMAIL: mhawks@sitelandarch.com	CIVIL ENGINEER:	KIER & WRIGHT 3350 Scott Blvd., Building 22 Santa Clara, CA 95054 PHONE: 408.727.6665 CONTACT: Mark Knudsen EMAIL: mknudsen@kierwright.com

PROJECT DATA

OWNER NAME:	MECAH VENTURES	BUILDING AREA, OFFICE:	379,186 S.F.
PROJECT ADDRESS:	1 E. 4TH AVENUE SAN MATEO, CA 94401	TOTAL RESIDENTIAL UNITS:	236 UNITS
		NUMBER OF STORIES:	14 stories
		CONSTRUCTION TYPE:	SEE BELOW
		FIRE SPRINKLERS:	YES
		OCCUPANCY TYPE:	B, R-2, S-2
		BUILDING TOP OF PLATE:	184'-0"

BMR UNIT BREAKDOWN								
UNIT TYPE	TAG	AREA (S.F.)	LOCATION	# VLI (VERY LOW INCOME) UNITS	# LI (LOW INCOME) UNITS	# MOD (MODERATE INCOME) UNITS	TOTAL BMR UNITS	% BMR UNITS
STUDIO	A1.4	388	LEVEL 02	1	0	0	1	3%
1BED/1BA	B1.0	659	LEVEL 02	1	0	1	2	6%
2BED/2BA	C1.1	1,127	LEVEL 02	0	0	1	1	3%
STUDIO	A1.4	388	LEVEL 03	1	0	0	1	3%
1BED/1BA	B1.0	659	LEVEL 03	1	0	1	2	6%
2BED/2BA	C1.1	1,127	LEVEL 03	0	0	1	1	3%
STUDIO	A1.4	388	LEVEL 04	1	0	0	1	3%
1BED/1BA	B1.0	659	LEVEL 04	1	0	2	3	8%
STUDIO	A1.4	388	LEVEL 05	1	0	0	1	3%
1BED/1BA	B1.0	659	LEVEL 05	1	0	2	3	8%
STUDIO	A1.4	388	LEVEL 06	1	0	0	1	3%
1BED/1BA	B1.0	659	LEVEL 06	1	0	2	3	8%
STUDIO	A1.4	388	LEVEL 07	1	0	0	1	3%
1BED/1BA	B1.0	659	LEVEL 07	1	0	2	3	8%
STUDIO	A1.4	388	LEVEL 08	1	0	0	1	3%
1BED/1BA	B1.0	659	LEVEL 08	1	0	2	3	8%
STUDIO	A1.4	388	LEVEL 09	1	0	0	1	3%
1BED/1BA	B1.12	630	LEVEL 09	1	0	1	2	6%
2BED/2BA	C1.1	1,127	LEVEL 09	0	0	1	1	3%
STUDIO	A1.4	388	LEVEL 10	1	0	0	1	3%
1BED/1BA	B1.12	630	LEVEL 10	1	0	1	2	6%
2BED/2BA	C1.1	1,127	LEVEL 10	0	0	1	1	3%
TOTAL BMR UNITS				18	0	18	36	

PROJECT DATA:																	
	Unit Type	Unit Area (S.F.)	Balcony Area (S.F.)	Unit Area w/Balcony (S.F.)	# Unit Level 2	# Unit Level 3	# Unit Level 4 to level 7	# Unit Level 8	# Unit Level 9	# Unit Level 10	Total # Units	Density Bonus Parking Req'd	Short-Term Bike Pkg Req'd	Long-Term Bike Pkg Req'd	Total Unit Area	Total Balcony Area	Unit Mix
Residential Units	A1.0 (Studio)	628	0	628	1	1	4	1	1	1	9	0.50	0.05	1.00	5,652	0	34%
	A1.1 (Studio)	744	44	788	1	1	4	1	1	1	9	0.50	0.05	1.00	6,696	396	
	A1.2 (Studio)	556	0	556	1	0	0	0	0	0	1	0.50	0.05	1.00	556	0	
	A1.3 (Studio)	431	0	431	1	1	0	1	0	1	8	0.50	0.05	1.00	3,448	0	
	A1.4 (Studio)	473	0	473	1	1	4	0	1	1	8	0.50	0.05	1.00	3,784	0	
	A1.5 (Studio)	538	0	538	1	0	0	0	0	0	1	0.50	0.05	1.00	538	0	
	A1.6 (Studio)	517	54	571	1	1	4	1	1	1	9	0.50	0.05	1.00	4,653	486	
	A1.7 (Studio)	517	54	571	1	1	4	1	1	1	9	0.50	0.05	1.00	4,653	486	
	A1.8 (Studio)	398	0	398	0	2	8	2	2	2	16	0.50	0.05	1.00	6368	0	
	A1.9 (Studio)	396	0	396	0	0	8	2	0	0	10	0.50	0.05	1.00	3960	0	
	B1.0 (1BR/1BA Unit)	659	0	659	1	1	4	1	0	0	7	0.50	0.05	1.00	4,613	0	57%
	B1.1 (1BR/1BA Unit)	604	0	604	1	1	4	1	0	0	7	0.50	0.05	1.00	4,228	0	
	B1.2 (1BR/1BA Unit)	998	146	1,144	1	0	0	0	0	0	1	0.50	0.05	1.00	998	146	
	B1.3 (1BR/1BA Unit)	821	121	942	1	1	4	1	1	1	9	0.50	0.05	1.00	7,389	1,089	
	B1.4 (1BR/1BA Unit)	962	0	962	1	1	4	1	1	1	9	0.50	0.05	1.00	8,658	0	
	B1.5 (1BR/1BA Unit)	934	75	1,009	1	1	4	0	0	0	6	0.50	0.05	1.00	5,604	450	
	B1.8 (1BR/1BA Unit)	594	0	594	1	1	4	1	1	1	9	0.50	0.05	1.00	5,346	0	
	B1.9 (1BR/1BA Unit)	626	0	626	1	1	4	1	1	1	9	0.50	0.05	1.00	5,634	0	
	B1.10 (1BR/1BA Unit)	576	0	576	1	1	4	1	0	1	8	0.50	0.05	1.00	4,608	0	
	B1.11 (1BR/1BA Unit)	744	0	744	1	0	0	0	0	0	1	0.50	0.05	1.00	744	0	
	B1.12 (1BR/1BA Unit)	630	0	630	1	1	4	1	1	1	9	0.50	0.05	1.00	5,670	0	
	B1.13 (1BR/1BA Unit)	661	0	661	1	0	0	0	0	0	1	0.50	0.05	1.00	661	0	
	B1.14 (1BR/1BA Unit)	829	0	829	1	1	4	1	1	1	9	0.50	0.05	1.00	7,461	0	
	B1.15 (1BR/1BA Unit)	653	0	653	1	1	4	1	1	1	9	0.50	0.05	1.00	5,877	0	
	B1.16 (1BR/1BA Unit)	896	0	896	1	1	4	1	1	1	9	0.50	0.05	1.00	8,064	0	
	B1.18 (1BR/1BA Unit)	916	0	916	0	1	4	1	1	1	8	0.50	0.05	1.00	7,328	0	
	B1.19 (1BR/1BA Unit)	704	0	704	0	1	4	1	1	1	8	0.50	0.05	1.00	5,632	0	
	B1.20 (1BR/1BA Unit)	859	150	979	0	0	0	1	1	1	3	0.50	0.05	1.00	2,577	450	
	B1.21 (1BR/1BA Unit)	717	0	717	0	0	4	1	0	0	5	0.50	0.05	1.00	3,585	0	
	B1.22 (1BR/1BA Unit)	680	0	680	0	1	4	1	1	1	8	0.50	0.05	1.00	5440	0	
	B1.23 (1BR/1BA Unit)	1007	0	1007	0	0	0	0	1	0	1	0.50	0.05	1.00	1007	0	
	C1.0 (2BR/2BA Unit)	1,238	144	1,382	1	1	4	0	0	0	6	0.50	0.10	1.25	7,428	864	9%
	C1.1 (2BR/2BA Unit)	1,042	0	1,042	1	1	0	0	1	1	4	0.50	0.10	1.25	4,168	0	
	C1.2 (2BR/2BA Unit)	1,583	146	1,729	0	1	4	0	0	0	5	0.50	0.10	1.25	7,915	730	
	C1.3 (2BR/2BA Unit)	1,738	0	1,738	0	0	0	1	1	1	3	0.50	0.10	1.25	5,214	0	
	C1.4 (2BR/2BA Unit)	1,352	0	1,352	0	0	0	1	1	1	3	0.50	0.10	1.25	4,056	0	
	C1.5 (2BR/2BA Unit)	1,263	0	1,263	0	0	0	0	1	1	2	0.50	0.10	1.25	2,526	0	
	Total # dwelling units					25	26	109	27	24	25	236				174,699	5693

Floor Area	Use	Level 1	Level 11	Level 12	Level 13	Level 14	Level 15	Total Area	Project FAR
	Retail Area	8,458						8,458	
	Restaurant Area	3,436						3,436	
	Office Area	9,423	27,177	26,648	23,135	19,278	2,206	107,867	
Total FAR Floor Area								119,761	3.0

DEVELOPMENT PROJECT DATA INFORMATION	
Site Address:	1 E. 4th Avenue San Mateo, CA 94401
APN:	034143260, 034143300, 034143310
General Plan	MIXED-USE HIGH
Zoning Classification:	CBD - DISTRICT GENERAL BUSINESS
Lot Size (Sq. Ft.)	39,928 S.F. / 0.91 ACRES
Permitted Floor Area Ratio (UNDER GENERAL PLAN)	4.5
Permitted Floor Area (4.5 x 39,928 S.F. Non Residential Only)	179,676 S.F.
Proposed Floor Area:	119,761 S.F.
Proposed Floor Area Ratio (119,761 S.F. / 39,928 S.F.):	3.00
Dwelling Unit Density (UNDER GENERAL PLAN)	100-130 DU/AC
	Existing: Proposed:
Floor Area (Sq. Ft.):	N/A 119,761 S.F.
Main Structure(s):	N/A 119,761 S.F.
Detached Accessory Structures:	N/A
Exemptions:	N/A
Total Floor Area (Non Residential Only)	119,761 S.F.
Total Area (Non Commercial Area)	289,425 S.F.
Existing Floor Area to be Remodeled:	0 S.F.
Total Unit Count for Residential Parking Requirements:	236 Dwelling Units
Total Covered Parking Stalls:	171
List of All Heritage Trees on Site including Species and Size:	REFER TO ARBORIST REPORT
Cubic Yards of Soil Disturbance: (required in order to determine if a Stormwater Pollution Prevention Construction Permit is required)	44,200 CY (TOTAL OFF-HAUL)

1. See Zoning Code Section 27.04.200 (b) (1) for full Floor Area definition.
2. See Zoning Code Section 27.04.200 (b) (2) for full list of Floor Area Exclusions.

APPLICABLE CODES

2022 CALIFORNIA BUILDING CODE (CCR TITLE 24, PART 2)
2022 CALIFORNIA ELECTRIC CODE (CCR TITLE 24, PART 3)
2022 CALIFORNIA MECHANICAL CODE (CCR TITLE 24, PART 4)
2022 CALIFORNIA PLUMBING CODE (CCR TITLE 24, PART 5)
2022 CALIFORNIA ENERGY CODE (CCR TITLE 24, PART 6)
2022 CALIFORNIA FIRE CODE (CCR TITLE 24, PART 9)
2022 CALIFORNIA GREEN BUILDING STANDARDS CODE (CCR TITLE 24, PART 11)

ALL CODES ARE SUBJECT TO LOCAL GOVERNMENT AMENDMENTS PER CALIFORNIA BUILDING STANDARDS COMMISSION BULLETIN 10-03.

CONSTRUCTION TYPES

OFFICE (B) LEVEL 11-> LEVEL 15: II-B
RESIDENTIAL (R-2) LEVEL 2 -> LEVEL 10: II-B
OFFICE (B) RETAIL (M) - LEVEL 1: II-B
PARKING GARAGE (S2) - BELOW GRADE P2: TYPE I-A
PARKING GARAGE (S2) - BELOW GRADE P1: TYPE I-A

DRAWING INDEX AND ISSUE DATES

- PRELIMINARY OR PRICING PLANS
- FIRST FORMAL SUBMITTAL OR NO CHANGES SINCE PREVIOUS ISSUE
- MODIFICATIONS SINCE PREVIOUS ISSUE

ISSUE DATES AND DESCRIPTIONS

03.27.2025
58303 APPLICATION
05.30.2025
1ST PLANNING SUBMITTAL

COVER SHEET

ARCHITECTURAL

- A0.01 BUILDING RENDERING
- A0.02 BUILDING RENDERING
- A0.03 BUILDING RENDERING
- A0.04 BUILDING RENDERING
- A0.05 BUILDING RENDERING
- A0.16 NEIGHBORHOOD CONTEXT
- A0.17 NEIGHBORHOOD CONTEXT
- A0.18 NEIGHBORHOOD CONTEXT/ RENDERINGS
- A0.21 AREA CALCULATIONS
- A0.22 AREA CALCULATIONS
- A0.24 USABLE OPEN SPACE DIAGRAMS
- A0.25 USABLE OPEN SPACE DIAGRAMS
- A0.26 USABLE OPEN SPACE DIAGRAMS
- A0.31 BUILDING CODE PROJECT DATA
- A0.32 EGRESS DIAGRAMS
- A0.33 EGRESS DIAGRAMS
- A0.34 EGRESS DIAGRAMS
- A1.00 DEMOLITION SITE PLAN
- A1.01 ARCHITECTURAL SITE PLAN
- A1.02 SITE DETAILS
- A1.03 SITE DETAILS
- A1.11 SOLAR SHADOW STUDY
- A1.11 FLOOR PLAN - LEVEL 01
- A1.12 FLOOR PLAN - LEVEL 02
- A1.13 FLOOR PLAN - LEVEL 03
- A1.14 FLOOR PLAN - LEVEL 04 -> LEVEL 07
- A1.16 FLOOR PLAN - LEVEL 08
- A1.16 FLOOR PLAN - LEVEL 09
- A1.17 FLOOR PLAN - LEVEL 10
- A1.18 FLOOR PLAN - LEVEL 11
- A1.19 FLOOR PLAN - LEVEL 12
- A1.20 FLOOR PLAN - LEVEL 13
- A1.21 FLOOR PLAN - LEVEL 14
- A1.22 FLOOR PLAN - LEVEL 15
- AP2.11 FLOOR PLAN - LEVEL P1
- AP2.12 FLOOR PLAN - LEVEL P2
- A3.11 PARTIAL FLOOR PLANS - EXTERIOR ELEVATION
- A3.12 PARTIAL FLOOR PLANS - EXTERIOR ELEVATION
- A3.13 PARTIAL FLOOR PLANS - EXTERIOR ELEVATION
- A3.14 PARTIAL FLOOR PLANS - EXTERIOR ELEVATION
- A3.15 EXTERIOR ELEVATION
- A3.16 EXTERIOR ELEVATION
- A3.17 EXTERIOR ELEVATION
- A3.18 EXTERIOR ELEVATION
- A4.11 BUILDING SECTION
- A4.12 BUILDING SECTION
- A5.11 ENLARGED UNIT PLANS
- A5.12 ENLARGED UNIT PLANS
- A5.13 ENLARGED UNIT PLANS
- A5.14 ENLARGED UNIT PLANS
- A5.15 ENLARGED UNIT PLANS
- A5.16 ENLARGED UNIT PLANS
- A5.17 ENLARGED UNIT PLANS
- A5.18 ENLARGED UNIT PLANS

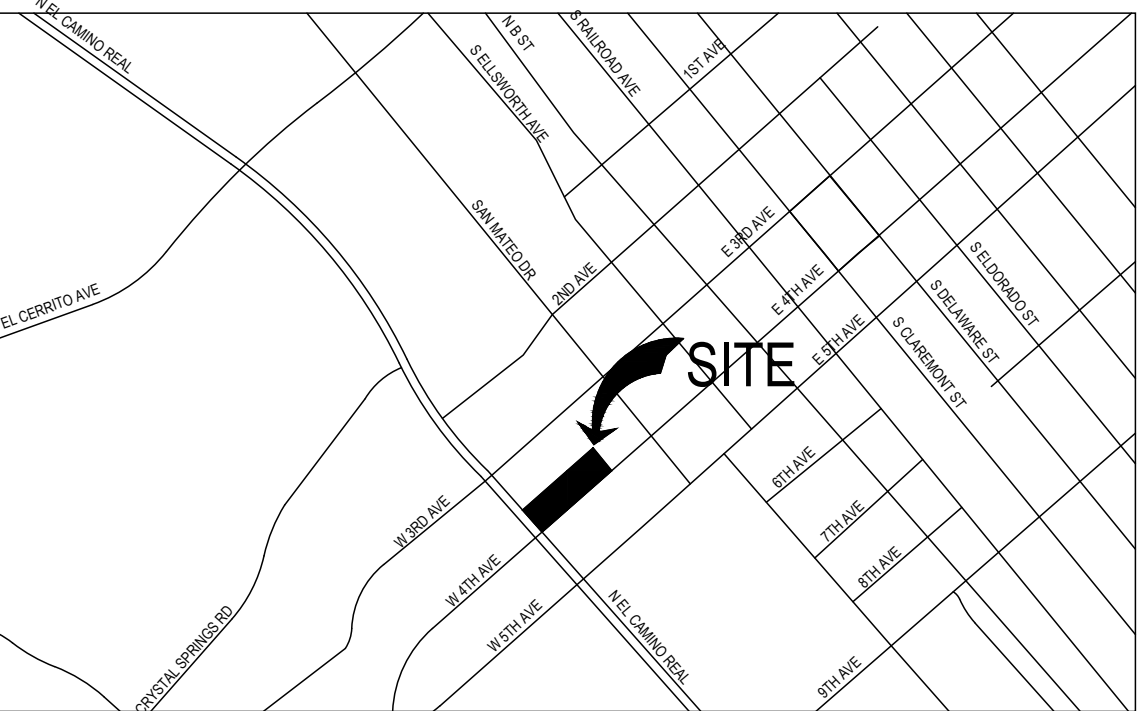
CIVIL

- C1.1 EXISTING CONDITIONS PLAN
- C2.1 PRELIMINARY CIVIL SITE PLAN
- C3.1 PRELIMINARY GRADING & DRAINAGE PLAN
- C4.1 PRELIMINARY UTILITY PLAN
- C5.1 PRELIMINARY STORMWATER QUALITY CONTROL PLAN
- C5.2 PRELIMINARY STORMWATER QUALITY CONTROL NOTES
- C5.3 PRELIMINARY LOW IMPACT DEVELOPMENT REDUCTION CALCULATIONS

LANDSCAPE

- L0.1 PRELIMINARY LANDSCAPE PLAN
- L0.2 PRELIMINARY LANDSCAPE PLAN - ENLARGEMENTS
- L0.3 PRELIMINARY LANDSCAPE PLAN - 2ND FLOOR
- L0.4 PRELIMINARY PLANTING PLAN
- L0.5 PRELIMINARY PLANTING PLAN - 2ND FLOOR
- L0.6 PRELIMINARY LEGEND AND NOTES
- L0.7 PRELIMINARY IRRIGATION PLAN
- L0.8 PRELIMINARY IRRIGATION PLAN - 2ND FLOOR
- L0.9 PRELIMINARY TREE DISPOSITION PLAN

VICINITY MAP



A Preliminary Application for Housing Development For:

MECAH VENTURES

San Mateo, CA 94401

1 E. 4th Avenue



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RENDERING - VIEW FROM INTERSECTION OF N. EL CAMINO REAL & E. 4TH AVENUE

SCALE: N.T.S.

1



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In Association with:

A Planning Application For:
MECAH VENTURES
1 E. 4TH AVENUE
SAN MATEO, CA 94401

DATE	DESCRIPTION
03.27.2025	S8330 APPLICATION
05.30.2025	1ST PLANNING SUBMITTAL

RENDERING

A0.01

PROJECT NO: 246148



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Association with:

A Planning Application For:
MECAH VENTURES
1 E. 4TH AVENUE
SAN MATEO, CA 94401

DATE	DESCRIPTION
27.2025	SB330 APPLICATION
30.2025	1ST PLANNING SUBMITTAL

RENDERING

A0.02

PROJECT NO: 246148

RENDERING - VIEW FROM E.4TH AVENUE LOOKING TOWARDS N. EL CAMINO REAL

SCALE: N.T.S.

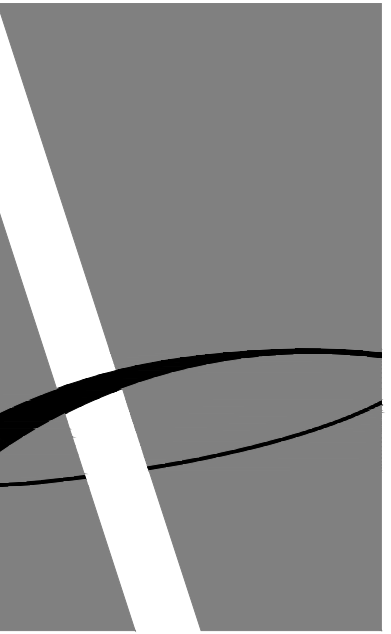
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RENDERING - VIEW FROM N. EL CAMINO REAL LOOKING TOWARDS E.4TH AVENUE

SCALE: N.T.S.

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1 E. 4TH AVENUE
SAN MATEO, CA 94401

DATE	DESCRIPTION
03.27.2025	S8330 APPLICATION
05.30.2025	1ST PLANNING SUBMITTAL

RENDERING

A0.03

PROJECT NO: 246148



RENDERING - VIEW FROM INTERSECTION OF N. EL CAMINO REAL & E. 4TH AVENUE

SCALE: N.T.S.

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SAN MATEO, CA 94401

DATE	DESCRIPTION
03.27.2025	SB330 APPLICATION
05.30.2025	1ST PLANNING SUBMITTAL

RENDERING

A0.04

PROJECT NO: 246148



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RENDERING - VIEW FROM FROM E. 4TH AVENUE

SCALE: N.T.S.

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In Association with:

A Planning Application For:
MECAH VENTURES
1 E. 4TH AVENUE
SAN MATEO, CA 94401

DATE	DESCRIPTION
03.27.2025	SB830 APPLICATION
05.30.2025	1ST PLANNING SUBMITTAL

RENDERING

A0.05

PROJECT NO: 246148



9 55 5th Ave W.
HT. ±152 ft. (16 Stories)



7 20 W. 3rd Ave.
HT. ±137 ft. (12 Stories)



5 120 W. 3rd Ave.
HT. ±100 ft. (10 Stories)



1 10 DeSabra Rd.
HT. ±108 ft. (11 Stories)



10 520 S. El Camino Real
HT. ±106 ft. (9 Stories)



11 700 Laurel Ave.
HT. ±109 ft. (11 Stories)

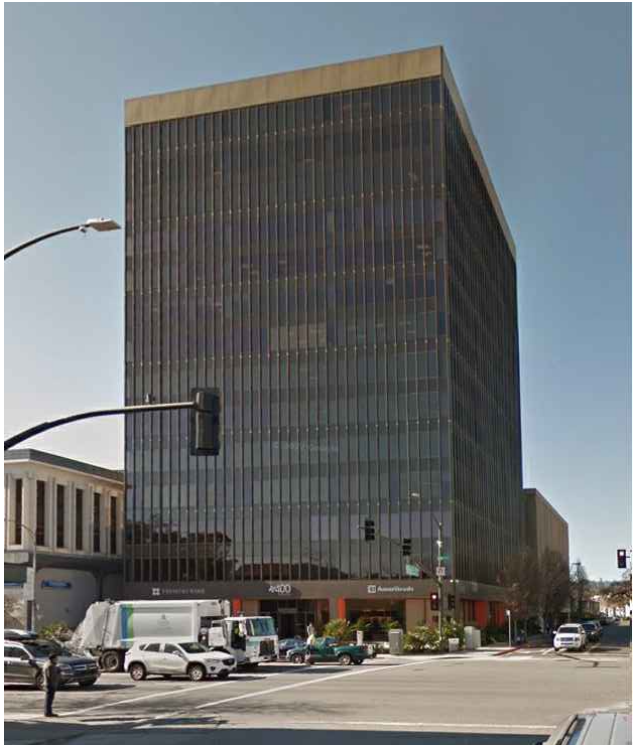


REFERENCE SITE PLAN

SCALE: NTS



12 601 Laurel Ave.
HT. ±121 ft. (10 Stories)



8 400 S. El Camino Real
HT. ±165 ft. (14 Stories)



6 365 E. 3rd Ave.
HT. ±102 ft. (8 Stories)



4 100 S. Ellsworth Ave.
HT. ±122 ft. (9 Stories)



2 1 Baldwin Ave.
HT. ±116 ft. (10 Stories)



3 250 Baldwin Ave.
HT. ±84 ft. (9 Stories)



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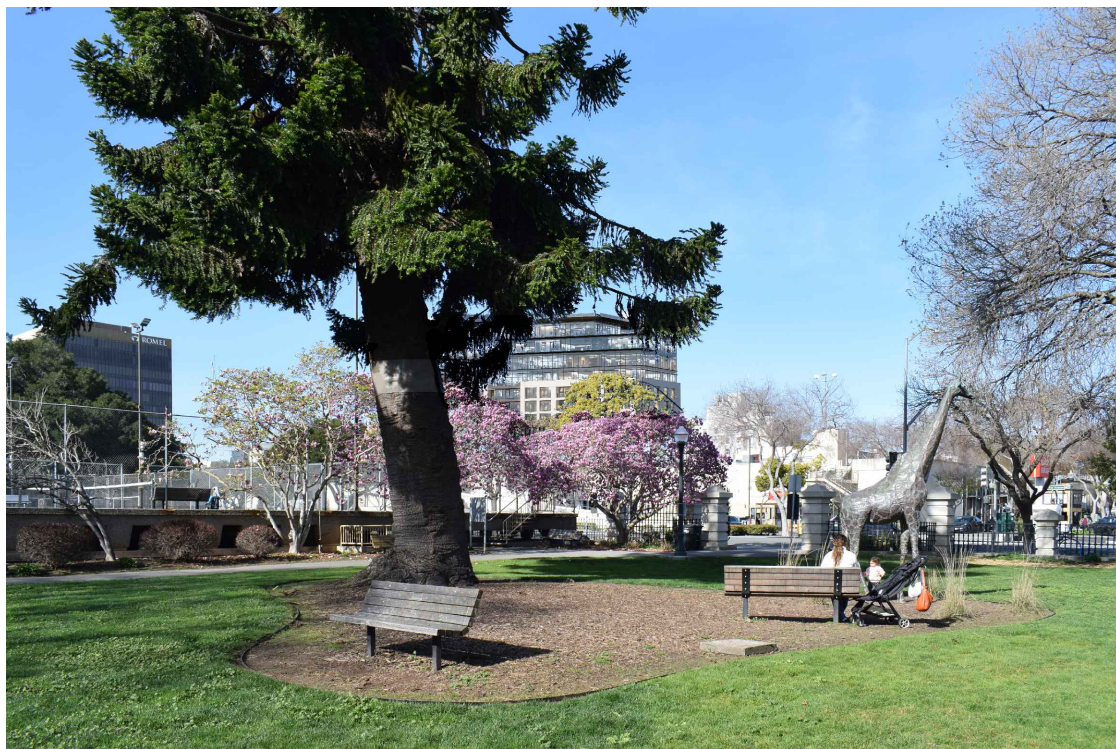
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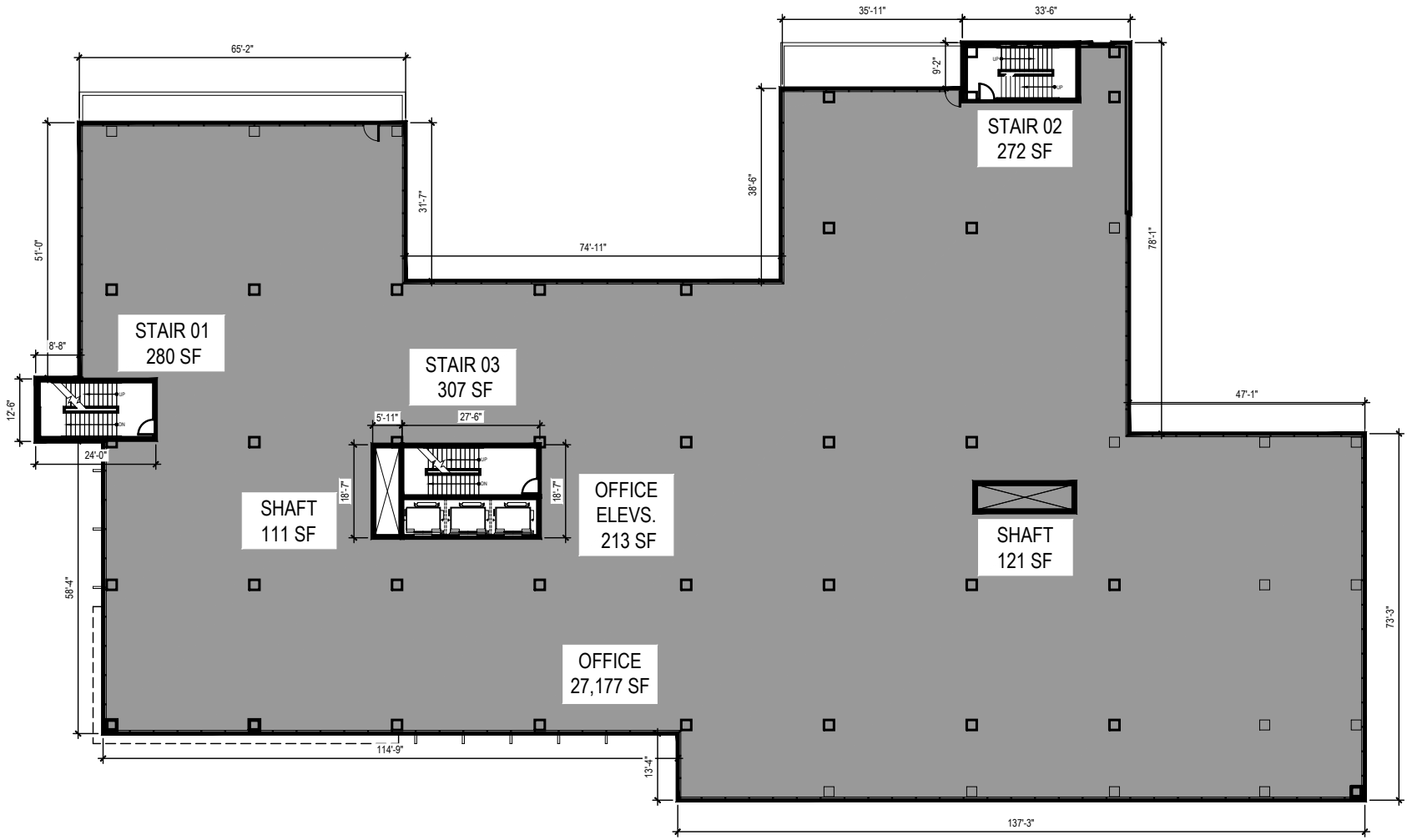
DATE	DESCRIPTION
03.27.2025	SB330 APPLICATION
05.30.2025	1ST PLANNING SUBMITTAL

NEIGHBORHOOD CONTEXT

A 0.17

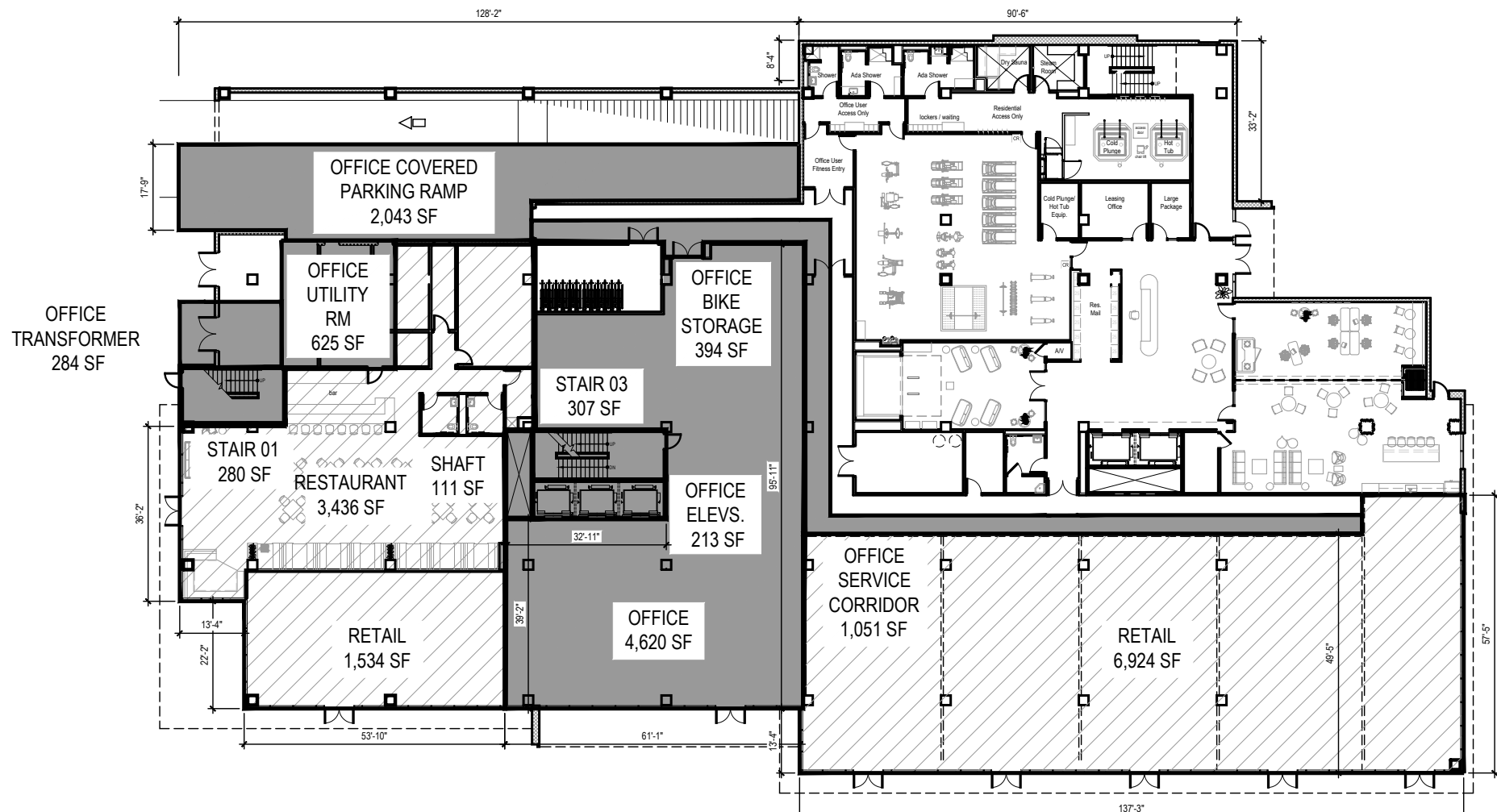
PROJECT NO: 246148





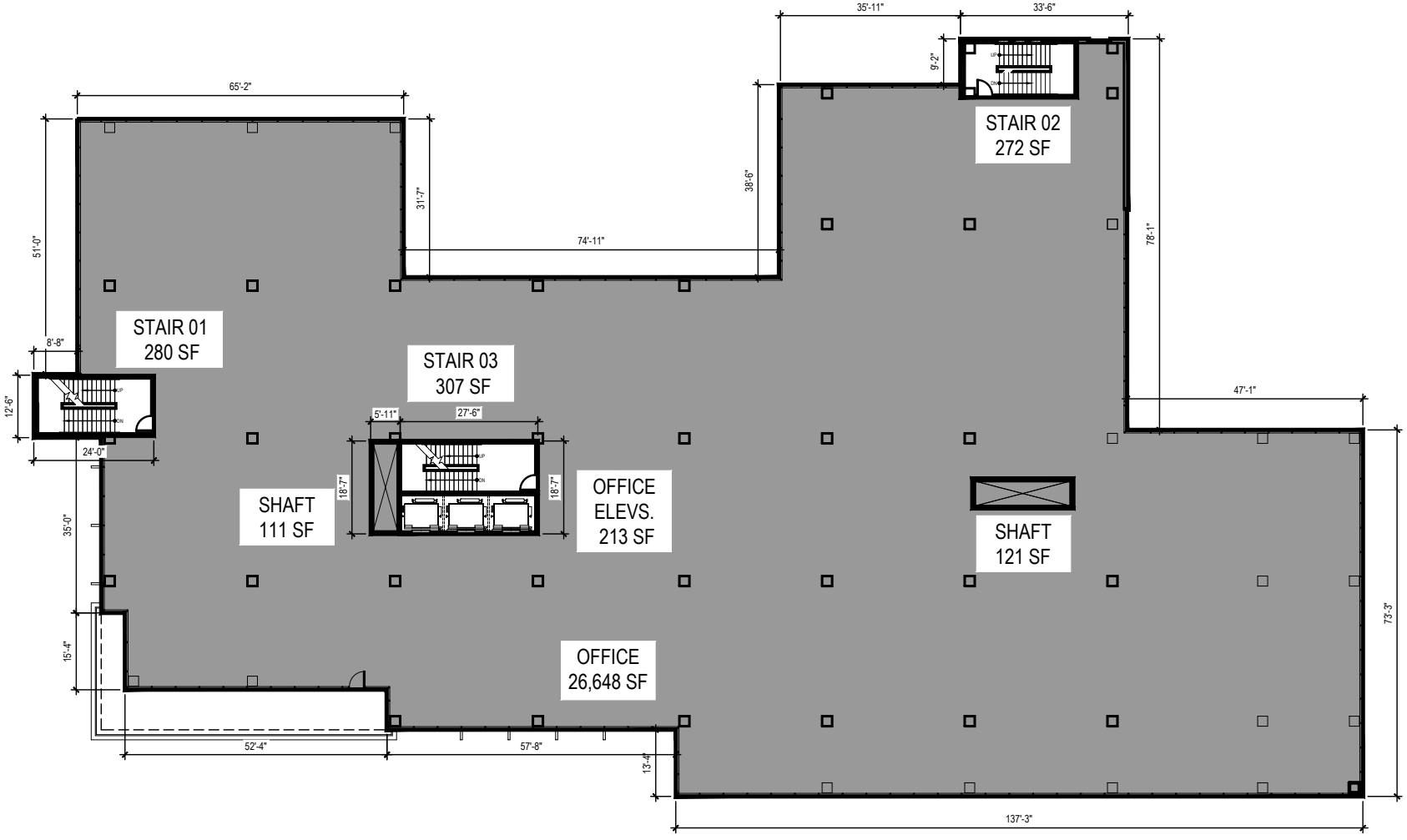
AREA PLAN - LEVEL 11

SCALE: 1/32" = 1'-0"



AREA PLAN - LEVEL 01

SCALE: 1/32" = 1'-0"



AREA PLAN - LEVEL 12

SCALE: 1/32" = 1'-0"



PARKING ORDINANCE AREA CALCULATIONS

LEVEL 01	
OPEN OFFICE AREA	4,620 SQ.FT.
OFFICE STAIR 03	307 SQ.FT.
OFFICE ELEVATORS	213 SQ.FT.
OFFICE STAIR 01	280 SQ.FT.
OFFICE TRANSFORMER ROOM	284 SQ.FT.
OFFICE COVERED PARKING RAMP	2,043 SQ.FT.
OFFICE SERVICE CORRIDOR	1,051 SQ.FT.
OFFICE UTILITY ROOM	625 SQ.FT.
RESTAURANT	3,436 SQ.FT.
RETAIL	8,458 SQ.FT.
FLOOR AREA OFFICE	9,423 SQ.FT.
FLOOR AREA RETAIL	8,458 SQ.FT.
FLOOR AREA RESTAURANT	3,436 SQ.FT.

LEVEL 11	
OFFICE AREA:	27,177 SQ.FT.
FLOOR AREA OFFICE:	27,177 SQ.FT.

LEVEL 12	
OFFICE AREA:	26,648 SQ.FT.
FLOOR AREA OFFICE:	26,648 SQ.FT.

LEVEL 13	
OFFICE AREA:	23,135 SQ.FT.
FLOOR AREA OFFICE:	23,135 SQ.FT.

LEVEL 14	
OFFICE AREA:	19,278 SQ.FT.
FLOOR AREA OFFICE:	19,278 SQ.FT.

LEVEL 15	
OFFICE AMENITY:	2,206 SQ.FT.
FLOOR AREA OFFICE:	2,206 SQ.FT.

FAR AREA DESIGNATION

OFFICE AREA	
AREAS EXCLUDED FROM FAR CALCULATIONS	
RETAIL AREA	

MINIMUM BICYCLE PARKING STALLS REQUIRED

(PER CITY OF SAN MATEO MUNICIPAL CODE SECTION 27.64.262)

REQUIRED SHORT-TERM - RESIDENTIAL
STUDIO AND ONE-BEDROOM UNIT @ 0.05 SPACES PER UNIT
216 UNITS x 0.05 = 10.80 SPACES
TWO-BEDROOM UNIT @ 0.10 SPACES PER UNIT
20 UNITS x 0.10 = 2 SPACES
TOTAL REQUIRED SHORT-TERM - RESIDENTIAL: 12.80 SPACES OR 13 SPACES

REQUIRED SHORT-TERM - OFFICE (GENERAL)
1 SPACE PER 20,000 S.F. OF OFFICE AREA
107,867 S.F. / 20,000 S.F. = 5.39 SPACES OR 6 SPACES

REQUIRED SHORT-TERM - RETAIL
1 SPACE PER 2,000 S.F. OF RETAIL AREA
11,894 S.F. / 2,000 S.F. = 5.94 SPACES OR 6 SPACES

REQUIRED LONG-TERM - RESIDENTIAL
STUDIO AND ONE-BEDROOM UNIT @ 1.0 SPACE PER UNIT
216 UNITS x 1.0 = 216 SPACES
TWO-BEDROOM UNIT @ 1.25 SPACES PER UNIT
20 UNITS x 1.25 = 25 SPACES
TOTAL REQUIRED LONG-TERM - RESIDENTIAL: 241 SPACES

REQUIRED LONG-TERM - OFFICE (GENERAL)
1 SPACE PER 10,000 S.F. OF OFFICE AREA
107,867 S.F. / 10,000 S.F. = 10.78 SPACES OR 11 SPACES

REQUIRED LONG-TERM - RETAIL
1 SPACE PER 12,000 S.F. OF RETAIL AREA
11,894 S.F. / 12,000 S.F. = 0.99 SPACES OR 1 SPACE

PROVIDED SHORT-TERM SPACES:	
RESIDENTIAL:	14 SPACES
RETAIL:	6 SPACES
OFFICE:	6 SPACES
TOTAL:	26 SPACES

PROVIDED LONG-TERM SPACES:	
RESIDENTIAL:	243 SPACES
RETAIL:	2 SPACES
OFFICE:	12 SPACES
TOTAL:	257 SPACES

FAR AREA CALCULATIONS

LEVEL 01	
OPEN OFFICE AREA	4,620 SQ.FT.
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LEVEL 15	
OFFICE AMENITY:	2,206 SQ.FT.
FLOOR AREA OFFICE:	2,206 SQ.FT.

TOTAL FAR FLOOR AREA OFFICE : 107,867 SQ.FT.
TOTAL FAR FLOOR AREA RETAIL : 8,458 SQ.FT.
TOTAL FAR FLOOR AREA RESTAURANT : 3,436 SQ.FT.

Floor Area	Use	Level 1	Level 11	Level 12	Level 13	Level 14	Level 15	Total Area	Project FAR
	Retail Area	8,458						8,458	
	Restaurant Area	3,436						3,436	
	Office Area	9,423	27,177	26,648	23,135	19,278	2,206	107,867	
	Total FAR Floor Area							119,761	3.0



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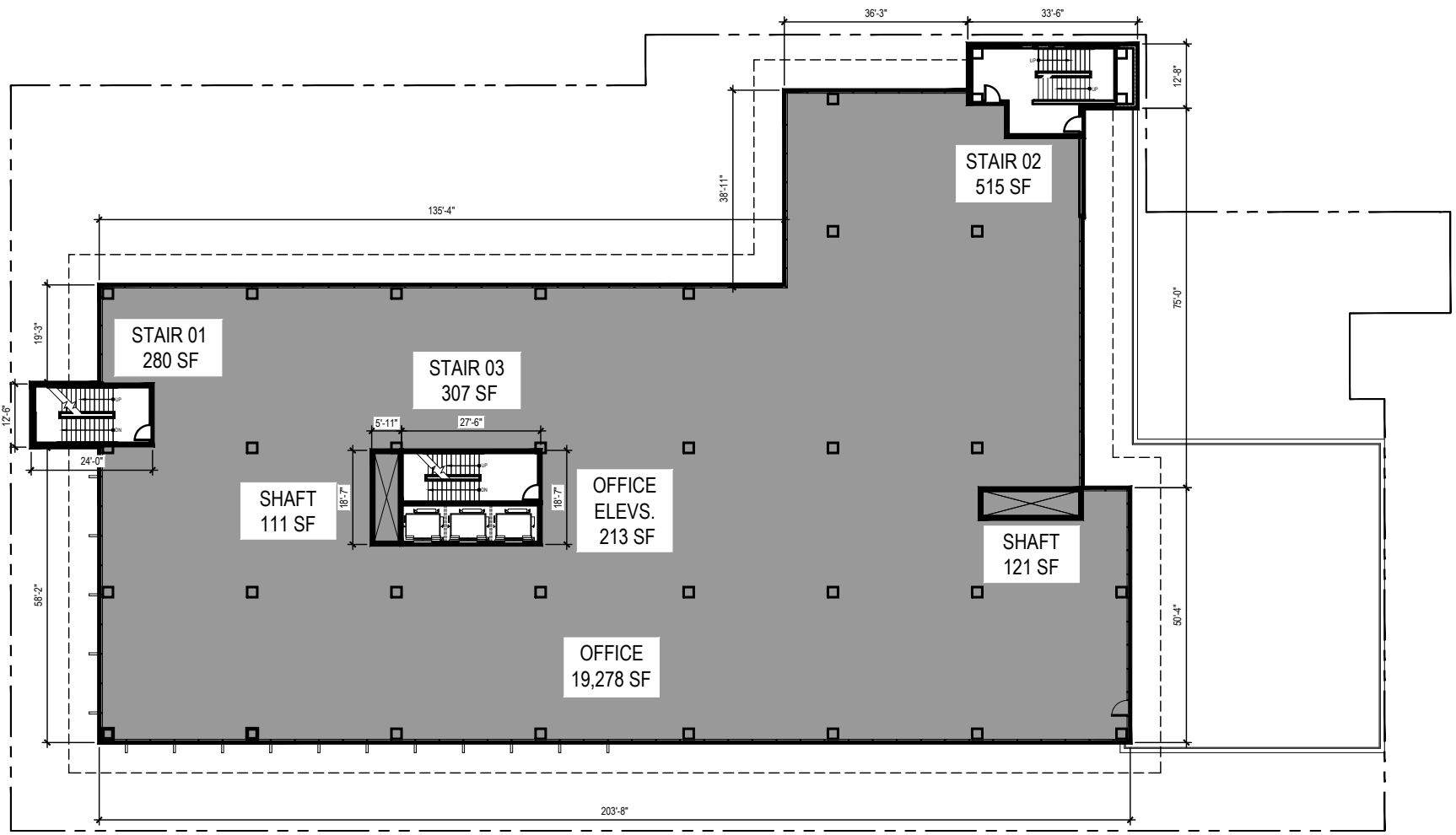
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AREA CALCULATIONS

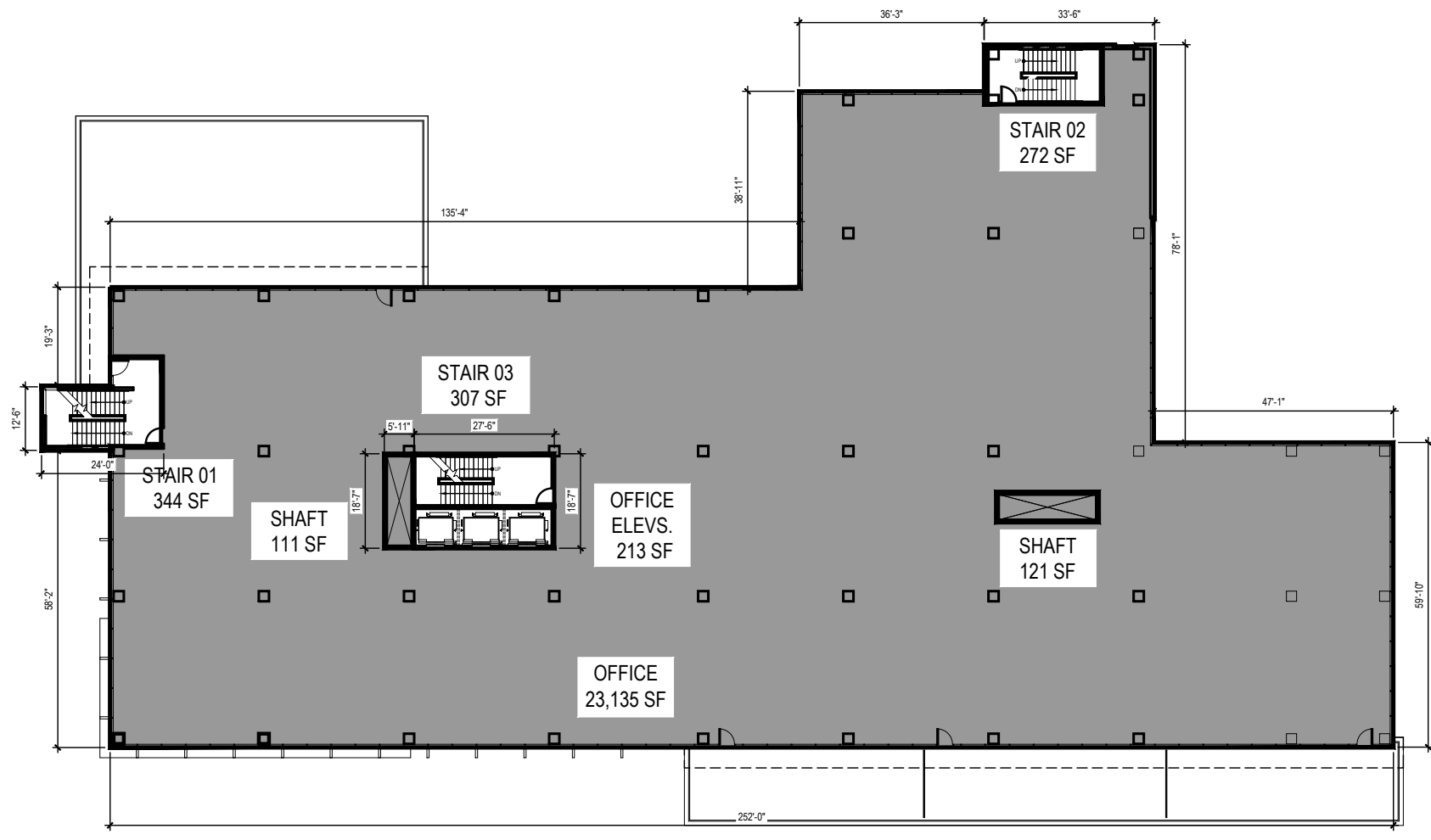
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PROJECT NO: 246148



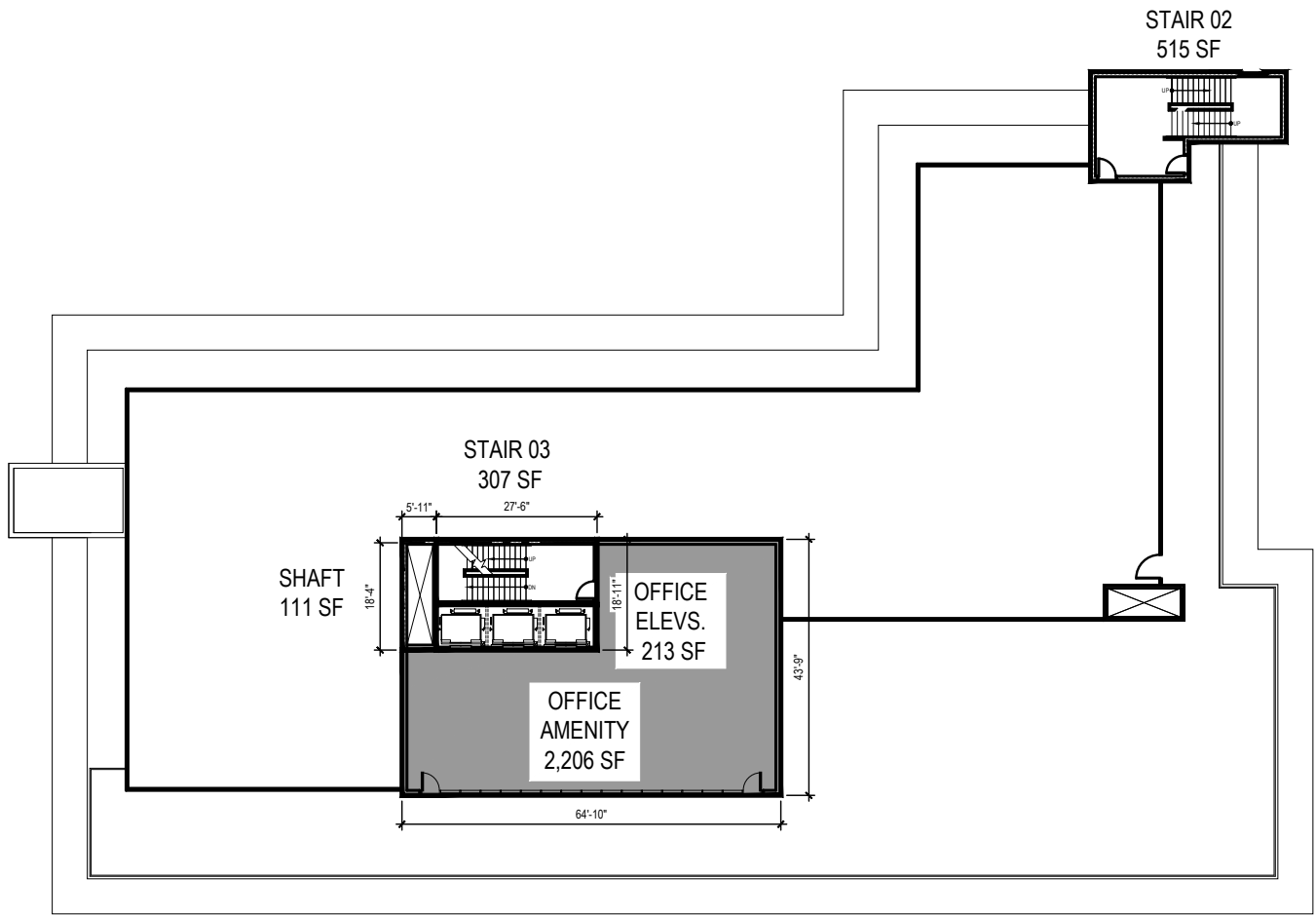
AREA PLAN - LEVEL 14

SCALE: 1/32" = 1'-0"



AREA PLAN - LEVEL 13

SCALE: 1/32" = 1'-0"



AREA PLAN - LEVEL 15

SCALE: 1/32" = 1'-0"



PARKING ORDINANCE AREA CALCULATIONS

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LEVEL 15	
OFFICE AMENITY:	2,206 SQ.FT.
FLOOR AREA OFFICE:	2,206 SQ.FT.

FAR AREA DESIGNATION

OFFICE AREA	
AREAS EXCLUDED FROM FAR CALCULATIONS	
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(PER CITY OF SAN MATEO MUNICIPAL CODE SECTION 27.64.262)

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REQUIRED LONG-TERM - RETAIL
1 SPACE PER 12,000 S.F. OF RETAIL AREA
11,894 S.F. / 12,000 S.F. = 0.99 SPACES OR 1 SPACE

PROVIDED SHORT-TERM SPACES:
RESIDENTIAL: 14 SPACES
RETAIL: 6 SPACES
OFFICE: 6 SPACES
TOTAL: 26 SPACES

PROVIDED LONG-TERM SPACES:
RESIDENTIAL: 243 SPACES
RETAIL: 2 SPACES
OFFICE: 12 SPACES
TOTAL: 257 SPACES

FAR AREA CALCULATIONS

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LEVEL 15	
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FLOOR AREA OFFICE:	2,206 SQ.FT.

TOTAL FAR FLOOR AREA OFFICE : 107,867 SQ.FT.
TOTAL FAR FLOOR AREA RETAIL : 8,458 SQ.FT.
TOTAL FAR FLOOR AREA RESTAURANT : 3,436 SQ.FT.

Floor Area	Use	Level 1	Level 11	Level 12	Level 13	Level 14	Level 15	Total Area	Project FAR
	Retail Area	8,458						8,458	
	Restaurant Area	3,436						3,436	
	Office Area	9,423	27,177	26,648	23,135	19,278	2,206	107,867	
	Total FAR Floor Area							119,761	3.0



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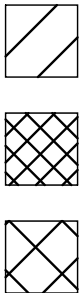
AREA CALCULATIONS

A 0.22

PROJECT NO: 246148



OPEN SPACE LEGEND



OFFICE OPEN SPACE

PRIVATE RESIDENTIAL OPEN SPACE

COMMON RESIDENTIAL OPEN SPACE

USABLE RESIDENTIAL OPEN SPACE CALCULATIONS

PER SMMC 27.38.130 RESIDENTIAL DEVELOPMENT STANDARDS.

(c) OPEN SPACE. RESIDENTIAL DEVELOPMENT SHALL INCLUDE PRIVATE USABLE OPEN SPACE EQUAL TO AT LEAST 80 SQUARE FEET (STATE DENSITY BONUS REQUEST TO REDUCE TO 43 S.F.) PER DWELLING UNIT OR COMMON USABLE OPEN SPACE EQUAL TO AT LEAST 150% OF THE PRIVATE USABLE OPEN SPACE REQUIREMENTS, OR A COMBINATION OF BOTH.

PRIVATE USABLE OPEN SPACE USED TO FULFILL THIS REQUIREMENT SHALL HAVE A USABLE AREA OF NOT LESS THAN 75 SQUARE FEET (STATE DENSITY BONUS REQUEST TO REDUCE TO 43 S.F. PER DWELLING UNIT AND SHALL NOT BE LESS THAN FOUR (6) FEET IN ANY DIRECTION)

REQUIRED PRIVATE OPEN SPACE (66 UNITS x 43 S.F.):	2,838 S.F.
REQUIRED COMMON OPEN SPACE (66 UNITS x (43 S.F. x 150%)):	4,257 S.F.
TOTAL REQUIRED OPEN SPACE:	7,095 S.F.

PROVIDED PRIVATE OPEN SPACE - LEVEL 02:	681 S.F.
PROVIDED PRIVATE OPEN SPACE - LEVEL 03:	681 S.F.
PROVIDED PRIVATE OPEN SPACE - LEVELS 04 TO LEVEL 07:	2,724 S.F.
PROVIDED PRIVATE OPEN SPACE - LEVEL 08:	466 S.F.
PROVIDED PRIVATE OPEN SPACE - LEVEL 09:	466 S.F.
PROVIDED PRIVATE OPEN SPACE - LEVEL 10:	466 S.F.
TOTAL PROVIDED PRIVATE OPEN SPACE:	5,484 S.F.

TOTAL PROVIDED COMMON OPEN SPACE: 3,990 S.F.

TOTAL PROVIDED OPEN SPACE PRIVATE + COMMON: 9,474 S.F.

USABLE OFFICE OPEN SPACE CALCULATIONS

PER SMMC 27.38.090 NONRESIDENTIAL/OFFICE DEVELOPMENT STANDARDS

(a) Open space shall be provided in an amount equal to one percent (1%) of the nonresidential floor area of the project, not including parking, provided that there shall be no requirement for open space where the resulting open space would be less than 200 square feet.

TOTAL OFFICE SPACE INCLUDING ALL FLOORS =	107,867 S.F.
1% OF TOTAL OFFICE SPACE INCLUDING ALL LEVELS = 0.01 X 107,867 S.F.=	1,078 S.F.
REQUIRED TOTAL OFFICE OPEN SPACE =	1,078 S.F.
PROVIDED TOTAL OFFICE OPEN SPACE =	15,479 S.F.

USABLE OPEN SPACE PER FLOOR - RESIDENTIAL

Level 02 Open Space	Private Open Space (Balconies) (S.F.) - Provided	681 S.F.
Level 02 Open Space	Common Open Space (S.F.) - Provided	3,990 S.F.
Level 03 Open Space	Private Open Space (Balconies) (S.F.) - Provided	681 S.F.
Levels 04 to 07 Open Space	Private Open Space (Balconies) (S.F.) - Provided	2,724 S.F.
Level 08 Open Space	Private Open Space (Balconies) (S.F.) - Provided	466 S.F.
Level 09 Open Space	Private Open Space (Balconies) (S.F.) - Provided	466 S.F.
Level 10 Open Space	Private Open Space (Balconies) (S.F.) - Provided	466 S.F.
TOTAL OPEN SPACE		9,474 S.F.

USABLE OPEN SPACE PER FLOOR - OFFICE

Level 11 Open Space	Office Open Space (S.F.) - Provided	758 S.F.
Level 12 Open Space	Office Open Space (S.F.) - Provided	609 S.F.
Level 13 Open Space	Office Open Space (S.F.) - Provided	4,282 S.F.
Level 14 Open Space	Office Open Space (S.F.) - Provided	3,673 S.F.
Level 15 Open Space	Office Open Space (S.F.) - Provided	6,157 S.F.
TOTAL OPEN SPACE		15,479 S.F.



California
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Abstract

PROJECT NO: 246148



SCALE: 1/32" = 1'-0"



SCALE: 1/32" = 1'-0"



SCALE: 1/32" = 1'-0"



SCALE: 1/32" = 1'-0"

Open Space	Private Residential Open Space at level 2 (S.F.) - Provided	681
	Common Residential Open Space at Level 4 (S.F.) - Provided	3,990
	Private Residential Open Space at level 3 (S.F.) - Provided	681
	Private Residential Open Space at level 4 (S.F.) - Provided	681
	Private Residential Open Space at level 5 (S.F.) - Provided	681
	Private Residential Open Space at level 6 (S.F.) - Provided	681
	Private Residential Open Space at level 7 (S.F.) - Provided	681
	Private Residential Open Space at level 8 (S.F.) - Provided	466
	Private Residential Open Space at level 9 (S.F.) - Provided	466
	Private Residential Open Space at level 10 (S.F.) - Provided	466
	Total open space private + common (residential) - Provided	9474
	Office Open Space at Level 11 (S.F.) - Provided	758
	Office Open Space at Level 12 (S.F.) - Provided	609
	Office Open Space at Level 13 (S.F.) - Provided	4282
	Office Open Space at Level 14 (S.F.) - Provided	3673
	Office Open Space at Level 15 (S.F.) - Provided	6157
Total Office Open Space (S.F.) - Required (1% of total office area or 0.01 x 112,131 S.F.)	1,121	
Total Common Office Open Space (S.F.) - Provided	15479	

COMMON RESIDENTIAL OPEN SPACE

PER SMMC 27.38.130 RESIDENTIAL DEVELOPMENT STANDARDS

PRIVATE USABLE OPEN SPACE USED TO FULFILL THIS REQUIREMENT SHALL HAVE A USABLE AREA OF NOT LESS THAN 75 SQUARE FEET (STATE DENSITY BONUS REQUEST TO REDUCE TO 43 S.F. PER DWELLING UNIT AND SHALL NOT BE LESS THAN FOUR (6) FEET IN ANY DIRECTION).

REQUIRED PRIVATE OPEN SPACE (66 UNITS x 43 S.F.):	2,838 S.F.
REQUIRED COMMON OPEN SPACE (66 UNITS x (43 S.F. x 150%)):	4,257 S.F.
TOTAL REQUIRED OPEN SPACE:	7,095 S.F.

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PROVIDED PRIVATE OPEN SPACE - LEVEL 09:	466 S.F.
PROVIDED PRIVATE OPEN SPACE - LEVEL 10:	466 S.F.
TOTAL PROVIDED PRIVATE OPEN SPACE:	5,484 S.F.

3,990 S.F.

5,414 G.I.'s

PER SMMC 27.38.090 NONRESIDENTIAL/OFFICE DEVELOPMENT STANDARDS

TOTAL OFFICE SPACE INCLUDING ALL FLOORS =	107,867 S.F.
1% OF TOTAL OFFICE SPACE INCLUDING ALL LEVELS = 0.01 X 107,867 S.F.=	1,078 S.F.

REQUIRED TOTAL OFFICE OPEN SPACE =	1,078 S.F.
PROVIDED TOTAL OFFICE OPEN SPACE =	15,479 S.F.

Level 02 Open Space	Private Open Space (Balconies) (S.F.) - Provided	681 S.F.
Level 02 Open Space	Common Open Space (S.F.) - Provided	3,990 S.F.
Level 03 Open Space	Private Open Space (Balconies) (S.F.) - Provided	681 S.F.
Levels 04 to 07 Open Space	Private Open Space (Balconies) (S.F.) - Provided	2,724 S.F.
Level 08 Open Space	Private Open Space (Balconies) (S.F.) - Provided	466 S.F.
Level 09 Open Space	Private Open Space (Balconies) (S.F.) - Provided	466 S.F.
Level 10 Open Space	Private Open Space (Balconies) (S.F.) - Provided	466 S.F.
TOTAL OPEN SPACE		9,474 S.F.

BOARD OF DIRECTORS

Level 11 Open Space	Office Open Space (S.F.) - Provided	758 S.F.
Level 12 Open Space	Office Open Space (S.F.) - Provided	609 S.F.
Level 13 Open Space	Office Open Space (S.F.) - Provided	4,282 S.F.
Level 14 Open Space	Office Open Space (S.F.) - Provided	3,673 S.F.
Level 15 Open Space	Office Open Space (S.F.) - Provided	6,157 S.F.
TOTAL OPEN SPACE		15,479 S.F.



SCALE: 1/32" = 1'-0"



SCALE: 1/32" = 1'-0"



SCALE: 1/32" = 1'-0"

Open Space

 OFFICE OPEN SPACE

 PRIVATE RESIDENTIAL OPEN SPACE

 COMMON RESIDENTIAL OPEN SPACE

PER SMMC 27.38.130 RESIDENTIAL DEVELOPMENT STANDARDS.

(c) OPEN SPACE. RESIDENTIAL DEVELOPMENT SHALL INCLUDE PRIVATE USABLE OPEN SPACE EQUAL TO AT LEAST 80 SQUARE FEET (~~STATE DENSITY BONUS REQUEST TO REDUCE TO 43 S.F.~~) PER DWELLING UNIT OR COMMON USABLE OPEN SPACE EQUAL TO AT LEAST 150% OF THE PRIVATE USABLE OPEN SPACE REQUIREMENTS, OR A COMBINATION OF BOTH.

PRIVATE USABLE OPEN SPACE USED TO FULFILL THIS REQUIREMENT SHALL HAVE A USABLE AREA OF NOT LESS THAN 75 SQUARE FEET (STATE DENSITY BONUS REQUEST TO REDUCE TO 43 S.F. PER DWELLING UNIT AND SHALL NOT BE LESS THAN FOUR (6) FEET IN ANY DIRECTION)

2,838 S.F.681 S.F.3.990 S.F.

9,474 S.F.

PER SMMC 27.38.090 NONRESIDENTIAL/OFFICE DEVELOPMENT STANDARDS

(a) Open space shall be provided in an amount equal to one percent (1%) of the nonresidential floor area of the project, not including parking, provided that there shall be no requirement for open space where the resulting open space would be less than 200 square feet.

107,867 S.F.

1 078 S F681 S E758 S F

FIRE RESISTANCE CODE SUMMARY

FIRE-RESISTANCE RATING REQUIREMENTS FOR BUILDING ELEMENTS (HOURS) (TABLE 601)													
BUILDING ELEMENT	TYPE I A	TYPE I B	TYPE I A ^a	TYPE I B ^a	TYPE I I A ^a	TYPE I I B ^a	TYPE I I I A ^a	TYPE I I I B ^a	TYPE IV A	TYPE IV B	TYPE IV C	TYPE IV D	TYPE IV E
Primary Structural Frame (See Section 202)	3 ^{a, b}	2 ^{a, b, c}	1 ^{a, b, c}	0 ^c	2	2	0	0	3 ^a	2 ^a	2 ^a	HT	1 ^{a, c}
Bearing Walls Exterior ^{a, f} Interior	3 3 ^a	2 2 ^a	1 1	0 0	2 1	2 0			2 1/HT ^g	1 1	0 0		
Nonbearing Walls And Partitions - Exterior	See Table 705.5												
Nonbearing Walls And Partitions - Interior ^d	0	0	0	0	0	0			See Section 2304.11.2	0	0		
Floor Construction and Associated Secondary Members (see Section 202)	2	2	1	0	1	0			HT	1	0		
Roof Construction and Associated Secondary Members (see Section 202)	1 1/2 ^b	1 ^{b, c}	1 ^{b, c}	0 ^c	1 ^{b, c}	0			HT	1 ^{b, c}	0		

For SI: 1 foot = 304.8 mm.

- a. Roof supports: Fire-resistance ratings of primary structural frame and bearing walls are permitted to be reduced by 1 hour where supporting a roof only.
- b. 1. Except in Group A, E, F-1, H, I, L, M, R-1, R-2, R-2.1 and S-1 occupancies, high-rise buildings, and other applications listed in Section 1.11 regulated by the Office of the State Fire Marshal, fire protection of structural members in roof construction shall not be required, including protection of primary structural frame members, roof framing and decking where every part of the roof construction is 20 feet or more above any floor immediately below. Fire-retardant-treated wood members shall be allowed to be used for such unprotected members.
2. For Group A, E, I, L, R-1, R-2, and R-2.1 occupancies, high-rise buildings, and other applications listed in Section 1.11 regulated by the Office of the State Fire Marshal, fire protection of members other than the primary structural frame shall not be required, including protection of roof framing and decking where every part of the roof construction is 20 feet or more above any floor immediately below. Fire-retardant-treated wood members shall be allowed to be used for such unprotected members.
3. One-story portions of Group A and E assembly occupancies the roof-framing system of Type II A or Type III A construction may be of unprotected construction when such roof-framing system is open to the assembly area and does not contain concealed spaces.
- c. In all occupancies, heavy timber complying with Section 2304.11 shall be allowed for roof construction including primary structural frame members where a 1-hour or less fire-resistance rating is required.
- d. Not less than the fire-resistance rating required by other sections of this code.
- e. Not less than the fire-resistance rating based on fire separation distance (see Table 705.5).
- f. Not less than the fire-resistance rating as referenced in Section 704.10.
- g. Heavy timber bearing walls supporting more than two floors or more than a floor and a roof shall have a fire-resistance rating of not less than 1 hour.

FIRE-RESISTANCE RATING FOR EXTERIOR WALLS BASED ON FIRE SEPARATION DISTANCE (TABLE 705.5) ^{a, d, g}				
FIRE SEPARATION DISTANCE = X (FEET)	TYPE OF CONSTRUCTION	OCCUPANCY GROUP H ^c , L	OCCUPANCY GROUP F-1, M, S-1 ^f	OCCUPANCY GROUP A, B, E, F-2, I, R ^e , S-2, U ^h
x < 5 ^b	All	3	2	1
5 ≤ X < 10	IA, IVA Others	3 2	2 1	1 1
10 ≤ X < 30	IA, IB, IVA, IVB I I B, VB Others	2 1 1	1 0 1	1 ^c 0 1 ^e
X ≥ 30	All	0	1	0

For SI: 1 foot = 304.8 mm.

- a. Load-bearing exterior walls shall also comply with the fire-resistance rating requirements of Table 601.
- b. See Section 706.1.1 for party walls.
- c. Open parking garages complying with Section 406 shall not be required to have a fire-resistance rating.
- d. The fire-resistance rating of an exterior wall is determined based upon the fire separation distance of the exterior wall and the story in which the wall is located.
- e. For special requirements for Group H occupancies, see Section 415.6.
- f. For special requirements for Group S aircraft hangars, see Section 412.3.1.
- g. Where Table 705.8 permits nonbearing exterior walls with unlimited area of unprotected openings, the required fire-resistance rating for the exterior walls is 0 hours.
- h. For a building containing only a Group U occupancy private garage or carport, the exterior wall shall not be required to have a fire-resistance rating where the fire separation distance is 5 feet (1523 mm) or greater or where equipped throughout with an automatic sprinkler system in accordance with Section 903.3 the fire-resistance rating shall not be required where the fire separation distance is 3 feet or greater.
- i. For a Group R-3 building of Type II-B or Type V-B construction, the exterior wall shall not be required to have a fire-resistance rating where the fire separation distance is 5 feet (1523 mm) or greater or where equipped throughout with an automatic sprinkler system in accordance with Section 903.3 the fire-resistance rating shall not be required where the fire separation distance is 3 feet or greater.

CORRIDOR FIRE-RESISTANCE RATING (Table 1020.2)			
Occupancy	Occupant Load Served by Corridor	Required Fire-Resistance Rating (hours)	
		Without Sprinkler System	With Sprinkler System
H-1, H-2, H-3	All	Not Permitted	1 ^c
H-4, H-5, L	Greater Than 30	Not Permitted	1 ^c
A, B, E, F, M, S, U	Greater Than 30	1	0
R-1, R-2, R-3, R-3.1, R-4	Greater Than 10	1 ^d	1
I-2 ^f , I-2.1	Greater Than 6	Not Permitted	1
I-3, R-2.1	Greater Than 6	Not Permitted	1 ^{b, c}
I-4	All	1	0
E	Greater Than 10	1	0

- a. For requirements for occupancies in Group I-2 and I-2.1, see Sections 407.2 and 407.3.
- b. For a reduction in the fire-resistance rating for occupancies in Group I-3, see Section 408.8.
- c. Buildings equipped throughout with an automatic sprinkler system in accordance with Section 903.3.1.1 or 903.3.1.2 where allowed.
- d. Group R-3 and R-4 buildings equipped throughout with an automatic sprinkler system in accordance with section 903.3.1.3. See Section 903.2.8 for occupancies where automatic sprinkler systems are permitted in accordance with section 903.3.1.3.

PLUMBING FIXTURE TABULATIONS

LEVEL 01 FLOOR (OFFICE)

B OCCUPANCY NET AREA: 4,620 S.F.
4,620 S.F. / 150 S.F. PER PERSON = 30.80 PERSONS; ROUND UP TO 31 PERSONS
OR 15 MEN & 16 WOMEN

MEN'S FIXTURES	REQUIRED:	WOMEN'S FIXTURES	REQUIRED:
WATER CLOSETS:	15 OCCUPANTS or 1	WATER CLOSETS:	16 OCCUPANTS or 2
URINALS:	15 OCCUPANTS or 1		
LAVATORIES:	15 OCCUPANTS or 1	LAVATORIES:	16 OCCUPANTS or 1

RESTROOM FIXTURE REQUIREMENTS AND PROVIDED TOTALS FOR LEVEL 01 FLOOR OFFICE

PER CBC SECTION 422.1: WHERE APPLYING THE FIXTURE RATIOS IN TABLE 422.1 RESULTS IN FRACTIONAL NUMBERS, SUCH NUMBERS SHALL BE ROUNDED TO THE NEXT WHOLE NUMBER. FOR MULTIPLE OCCUPANCIES, FRACTIONAL NUMBERS SHALL BE FIRST SUMMED AND THEN ROUNDED TO THE NEXT WHOLE NUMBER.

MEN'S FIXTURES	REQUIRED:	WOMEN'S FIXTURES	REQUIRED:
WATER CLOSETS:	1	WATER CLOSETS:	2
URINALS:	1		
LAVATORIES:	1	LAVATORIES:	1

HI-LOW DRINKING FOUNTAIN	1
SERVICE SINK	1

MEN'S FIXTURES	PROVIDED:	WOMEN'S FIXTURES	PROVIDED:
WATER CLOSETS:	1	WATER CLOSETS:	2
URINALS:	1		
LAVATORIES:	1	LAVATORIES:	2

HI-LOW DRINKING FOUNTAIN	1
SERVICE SINK	1

LEVEL 11 FLOOR (OFFICE)

B OCCUPANCY NET AREA:27,177 S.F.

27,177 S.F. / 150 S.F. PER OCCUPANT = 181.18 OCCUPANTS; ROUND UP TO 181 OCCUPANTS
OR 90 MEN & 91 WOMEN

MEN'S FIXTURES	REQUIRED:	WOMEN'S FIXTURES	REQUIRED:
WATER CLOSETS:	90 OCCUPANTS or 2	WATER CLOSETS:	91 OCCUPANTS or 4
URINALS:	90 OCCUPANTS or 1		
LAVATORIES:	90 OCCUPANTS or 2	LAVATORIES:	91 OCCUPANTS or 2

RESTROOM FIXTURE REQUIREMENTS AND PROVIDED TOTALS FOR LEVEL 11 FLOOR

MEN'S FIXTURES	REQUIRED:	WOMEN'S FIXTURES	REQUIRED:
WATER CLOSETS:	2	WATER CLOSETS:	4
URINALS:	1		
LAVATORIES:	2	LAVATORIES:	2
HI-LOW DRINKING FOUNTAIN	1		
SERVICE SINK	1		

MEN'S FIXTURES	PROVIDED:	WOMEN'S FIXTURES	PROVIDED:
WATER CLOSETS:	2	WATER CLOSETS:	4
URINALS:	1		
LAVATORIES:	2	LAVATORIES:	2
HI-LOW DRINKING FOUNTAIN	1		
SERVICE SINK	1		

LEVEL 12 FLOOR (OFFICE)

B OCCUPANCY NET AREA: 26,648 S.F.

26,648 S.F. / 150 S.F. PER OCCUPANT = 177.65 OCCUPANTS; ROUND UP TO 178 OCCUPANTS
OR 88 MEN & 89 WOMEN

MEN'S FIXTURES	REQUIRED:	WOMEN'S FIXTURES	REQUIRED:
WATER CLOSETS:	88 OCCUPANTS or 2	WATER CLOSETS:	89 OCCUPANTS or 4
URINALS:	88 OCCUPANTS or 1		
LAVATORIES:	88 OCCUPANTS or 2	LAVATORIES:	89 OCCUPANTS or 2

RESTROOM FIXTURE REQUIREMENTS AND PROVIDED TOTALS FOR LEVEL 12 FLOOR

MEN'S FIXTURES	REQUIRED:	WOMEN'S FIXTURES	REQUIRED:
WATER CLOSETS:	2	WATER CLOSETS:	4
URINALS:	1		
LAVATORIES:	2	LAVATORIES:	2
HI-LOW DRINKING FOUNTAIN	1		
SERVICE SINK	1		

MEN'S FIXTURES	PROVIDED:	WOMEN'S FIXTURES	PROVIDED:
WATER CLOSETS:	2	WATER CLOSETS:	4
URINALS:	1		
LAVATORIES:	2	LAVATORIES:	2
HI-LOW DRINKING FOUNTAIN	1		
SERVICE SINK	1		

LEVEL 13 FLOOR (OFFICE)

B OCCUPANCY NET AREA: 23,135 S.F.
23,135 S.F. / 150 S.F. PER PERSON = 154.23 PERSONS; ROUND UP TO 154 PERSONS
OR 77 MEN & 77 WOMEN

MEN'S FIXTURES	REQUIRED:	WOMEN'S FIXTURES	REQUIRED:
WATER CLOSETS:	77 OCCUPANTS or 1	WATER CLOSETS:	77 OCCUPANTS or 4
URINALS:	77 OCCUPANTS or 1		
LAVATORIES:	77 OCCUPANTS or 2	LAVATORIES:	77 OCCUPANTS or 2

RESTROOM FIXTURE REQUIREMENTS AND PROVIDED TOTALS FOR LEVEL 13 FLOOR OFFICE

PER CBC SECTION 422.1: WHERE APPLYING THE FIXTURE RATIOS IN TABLE 422.1 RESULTS IN FRACTIONAL NUMBERS, SUCH NUMBERS SHALL BE ROUNDED TO THE NEXT WHOLE NUMBER. FOR MULTIPLE OCCUPANCIES, FRACTIONAL NUMBERS SHALL BE FIRST SUMMED AND THEN ROUNDED TO THE NEXT WHOLE NUMBER.

MEN'S FIXTURES	REQUIRED:	WOMEN'S FIXTURES	REQUIRED:
WATER CLOSETS:	2	WATER CLOSETS:	4
URINALS:	1		
LAVATORIES:	2	LAVATORIES:	2

HI-LOW DRINKING FOUNTAIN	1
SERVICE SINK	1

MEN'S FIXTURES	PROVIDED:	WOMEN'S FIXTURES	PROVIDED:
WATER CLOSETS:	2	WATER CLOSETS:	4
URINALS:	1		
LAVATORIES:	2	LAVATORIES:	2

HI-LOW DRINKING FOUNTAIN	1
SERVICE SINK	1

LEVEL 14 FLOOR (OFFICE)

B OCCUPANCY NET AREA:19,278 S.F.

19,278 S.F. / 150 S.F. PER OCCUPANT = 128.52 OCCUPANTS; ROUND UP TO 129 OCCUPANTS
OR 64 MEN & 65 WOMEN

MEN'S FIXTURES	REQUIRED:	WOMEN'S FIXTURES	REQUIRED:
WATER CLOSETS:	64 OCCUPANTS or 2	WATER CLOSETS:	65 OCCUPANTS or 4
URINALS:	64 OCCUPANTS or 1		
LAVATORIES:	64 OCCUPANTS or 2	LAVATORIES:	65 OCCUPANTS or 2

RESTROOM FIXTURE REQUIREMENTS AND PROVIDED TOTALS FOR LEVEL 14 FLOOR

MEN'S FIXTURES	REQUIRED:	WOMEN'S FIXTURES	REQUIRED:
WATER CLOSETS:	2	WATER CLOSETS:	4
URINALS:	1		
LAVATORIES:	2	LAVATORIES:	2
HI-LOW DRINKING FOUNTAIN	1		
SERVICE SINK	1		

MEN'S FIXTURES	PROVIDED:	WOMEN'S FIXTURES	PROVIDED:
WATER CLOSETS:	2	WATER CLOSETS:	4
URINALS:	1		
LAVATORIES:	2	LAVATORIES:	2
HI-LOW DRINKING FOUNTAIN	1		
SERVICE SINK	1		

LEVEL 15 FLOOR (OFFICE)

B OCCUPANCY NET AREA: 2,206 S.F.

2,206 S.F. / 150 S.F. PER OCCUPANT = 13.50 OCCUPANTS; ROUND UP TO 14 OCCUPANTS
OR 7 MEN & 7 WOMEN

MEN'S FIXTURES	REQUIRED:	WOMEN'S FIXTURES	REQUIRED:
WATER CLOSETS:	7 OCCUPANTS or 1	WATER CLOSETS:	7 OCCUPANTS or 1
URINALS:	7 OCCUPANTS or 1		
LAVATORIES:	7 OCCUPANTS or 1	LAVATORIES:	7 OCCUPANTS or 1

RESTROOM FIXTURE REQUIREMENTS AND PROVIDED TOTALS FOR LEVEL 15 FLOOR

MEN'S FIXTURES	REQUIRED:	WOMEN'S FIXTURES	REQUIRED:
WATER CLOSETS:	1	WATER CLOSETS:	1
URINALS:	1		
LAVATORIES:	1	LAVATORIES:	1
HI-LOW DRINKING FOUNTAIN	1		
SERVICE SINK	1		

MEN'S FIXTURES	PROVIDED:	WOMEN'S FIXTURES	PROVIDED:
WATER CLOSETS:	1	WATER CLOSETS:	1
URINALS:	1		
LAVATORIES:	1	LAVATORIES:	1
HI-LOW DRINKING FOUNTAIN	1		
SERVICE SINK	1		

ALLOWABLE BUILDING AREA

ABOVE-GRADE BUILDING (OFFICE AND RESIDENTIAL)		
AUTOMATIC SPRINKLER CONFIGURATION:	SM (BUILDING TWO OR MORE STORIES ABOVE GRADE PLANE, EQUIPPED THROUGHOUT WITH AN AUTOMATIC SPRINKLER SYSTEM IN ACCORDANCE WITH SECTION 903.3.1.1).	
BELOW GRADE	CONSTRUCTION TYPE: I-A	
ABOVE GRADE	CONSTRUCTION TYPE: II-B	
	OCCUPANCY CLASSIFICATION	
	B	R-2
MAXIMUM HEIGHT (TABLE 504.2)	85'-0"	85'-0"
MAXIMUM NUMBER OF STORIES (TABLE 504.4)	6	5
SM ALLOWABLE AREA FACTOR (TABLE 506.2)	69,000 S.F.	48,000 S.F.
NS AREA FACTOR (TABLE 506.2)	23,000 S.F.	16,000 S.F.
HEIGHT OF PROPOSED BUILDING	172'-0" (TOP OF PLATE PER ELEV.)	
NUMBER OF STORIES ABOVE GRADE (STARTS AT TOP OF I-A PODIUM PER 510.2)	5	10
PROPOSED AREA PER FLOOR (ABOVE GRADE)	B	R-2
LEVEL 01	9,423 S.F.	12,918 S.F.
LEVEL 02	-	27,238 S.F.
LEVEL 03	-	27,238 S.F.
LEVEL 04	-	27,238 S.F.
LEVEL 05	-	27,238 S.F.
LEVEL 06	-	27,238 S.F.
LEVEL 07	-	27,238 S.F.
LEVEL 08	-	27,693 S.F.
LEVEL 09	-	27,693 S.F.
LEVEL 10	-	27,693 S.F.
LEVEL 11	27,177 S.F.	-
LEVEL 12	26,648 S.F.	-
LEVEL 13	23,135 S.F.	-
LEVEL 14	19,278 S.F.	-
LEVEL 15	2,206 S.F.	-
TOTAL BUILDING AREA ABOVE GRADE	107,867 S.F.	259,425 S.F.

BELOW GRADE BUILDING (PARKING GARAGE)		
CONSTRUCTION TYPE: I - A		
OCCUPANCY CLASSIFICATION: S-2		
AUTOMATIC SPRINKLER CONFIGURATION:	S1 (BUILDING A MAXIMUM OF ONE STORY ABOVE GRADE PLANE, EQUIPPED THROUGHOUT WITH AN AUTOMATIC SPRINKLER SYSTEM IN ACCORDANCE WITH SECTION 903.3.1.1).	
	OCCUPANCY CLASSIFICATION	
	S-2	
MAXIMUM HEIGHT (TABLE 504.2)	UNLIMITED	
MAXIMUM NUMBER OF STORIES (TABLE 504.4)	UNLIMITED	
S1 ALLOWABLE AREA FACTOR (TABLE 506.2)	UNLIMITED	
NS AREA FACTOR (TABLE 506.2)	UNLIMITED	
PROPOSED AREA PER FLOOR (BELOW GRADE)		
BUILDING LEVEL	BUILDING AREA	
PARKING LEVEL P1	36,973 S.F.	
PARKING LEVEL P2	36,973 S.F.	
TOTAL BUILDING AREA BELOW GRADE	73,946 S.F.	

SUMMARY:

ABOVE GRADE OFFICE AND RESIDENTIAL:
TYPE II-B CONSTRUCTION (MERCANTILE M OCCUPANCY LEVEL 01)
TYPE II-B CONSTRUCTION (BUSINESS B OCCUPANCY LEVEL 01)
TYPE II-B CONSTRUCTION (RESIDENTIAL R-2 OCCUPANCY LEVEL 02 TO LEVEL 10)
TYPE II-B CONSTRUCTION (BUSINESS B OCCUPANCY LEVEL 11 TO LEVEL 15)

BELOW GRADE PARKING STRUCTURE:

TYPE I-A CONSTRUCTION

- Below grade Parking Structure: Type I-A construction.
- Three-hour rated construction is required for exterior walls and concrete slab separating garage from the office building. Minimum concrete thickness to be 6.2".
- Two-hour rating is required for other floors with minimum concrete thickness of 5".
- All shafts and stairs/ elevators shafts to be constructed with two-hour fire rated partitions.



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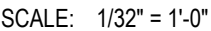
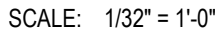
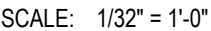
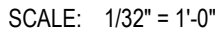
A Planning Application For:
MECAH VENTURES
1 E. 4TH AVENUE
SAN MATEO, CA 94401

DATE	DESCRIPTION
03.27.2025	SB330 APPLICATION
05.30.2025	1ST PLANNING SUBMITTAL

BUILDING CODE PROJECT DATA

A0.31

PROJECT NO: 246148



 1-HOUR RATED FIRE SEPARATION
 2-HOUR RATED FIRE SEPARATION

THIS BUILDING IS EQUIPPED WITH AUTOMATIC SPRINKLER SYSTEM. EXIT WIDTH REQUIRED IS 0.3" PER PERSON FOR STAIRS AND 0.2" PER DOORS AND OTHER EXIT ELEMENTS, PER CBC SECTION 1005.3.

DATE	DESCRIPTION
03.27.2025	SB330 APPLICATION
05.30.2025	1ST PLANNING SUBMITTAL

EGRESS DIAGRAMS

A 0.32

PROJECT NO: 246148



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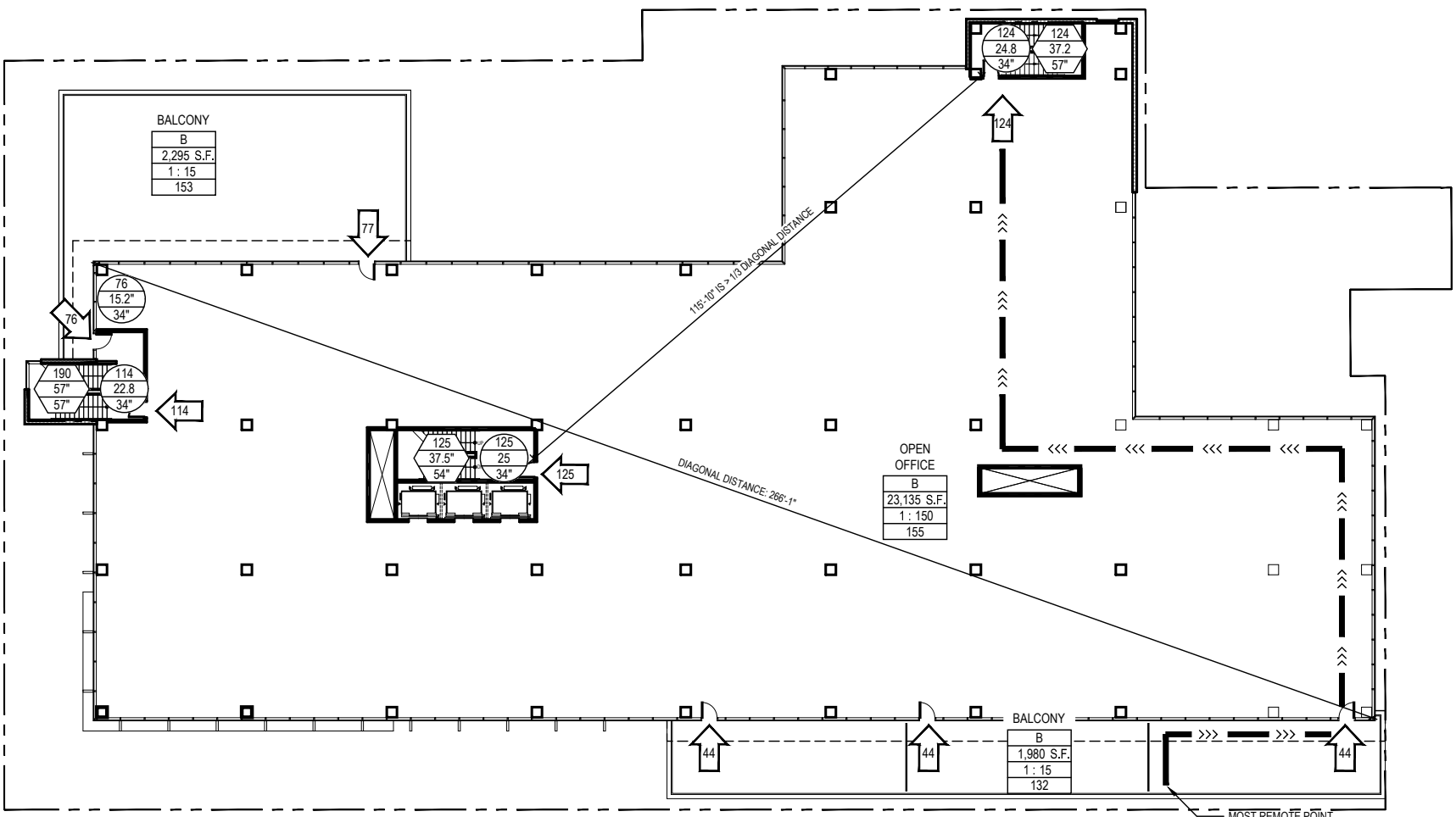
A Planning Application For:
MECAH VENTURES
1 E. 4TH AVENUE
SAN MATEO, CA 94401

DATE DESCRIPTION
03.27.2025 SB330 APPLICATION
05.30.2025 1ST PLANNING SUBMITTAL

EGRESS DIAGRAMS

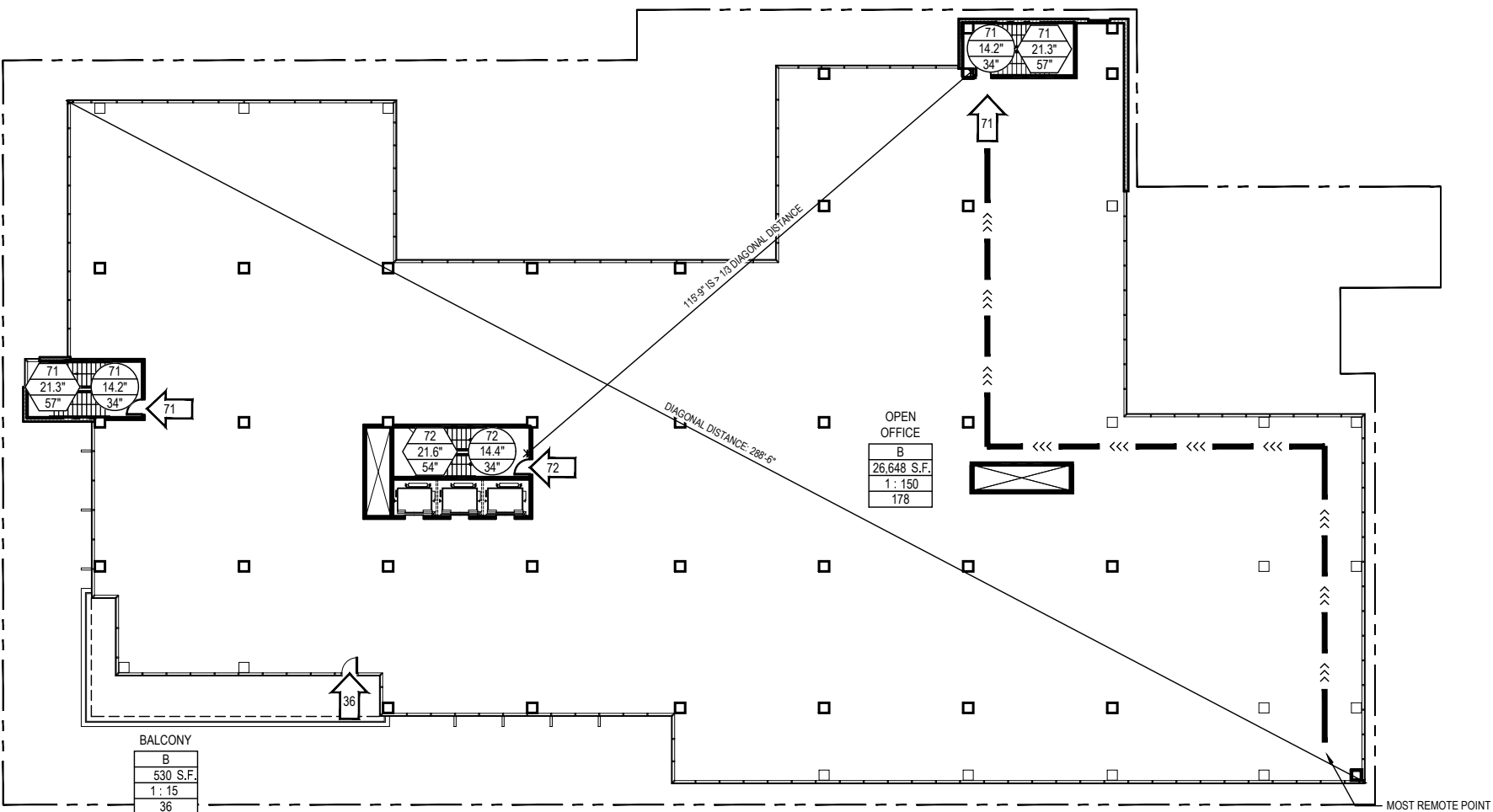
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PROJECT NO: 246148



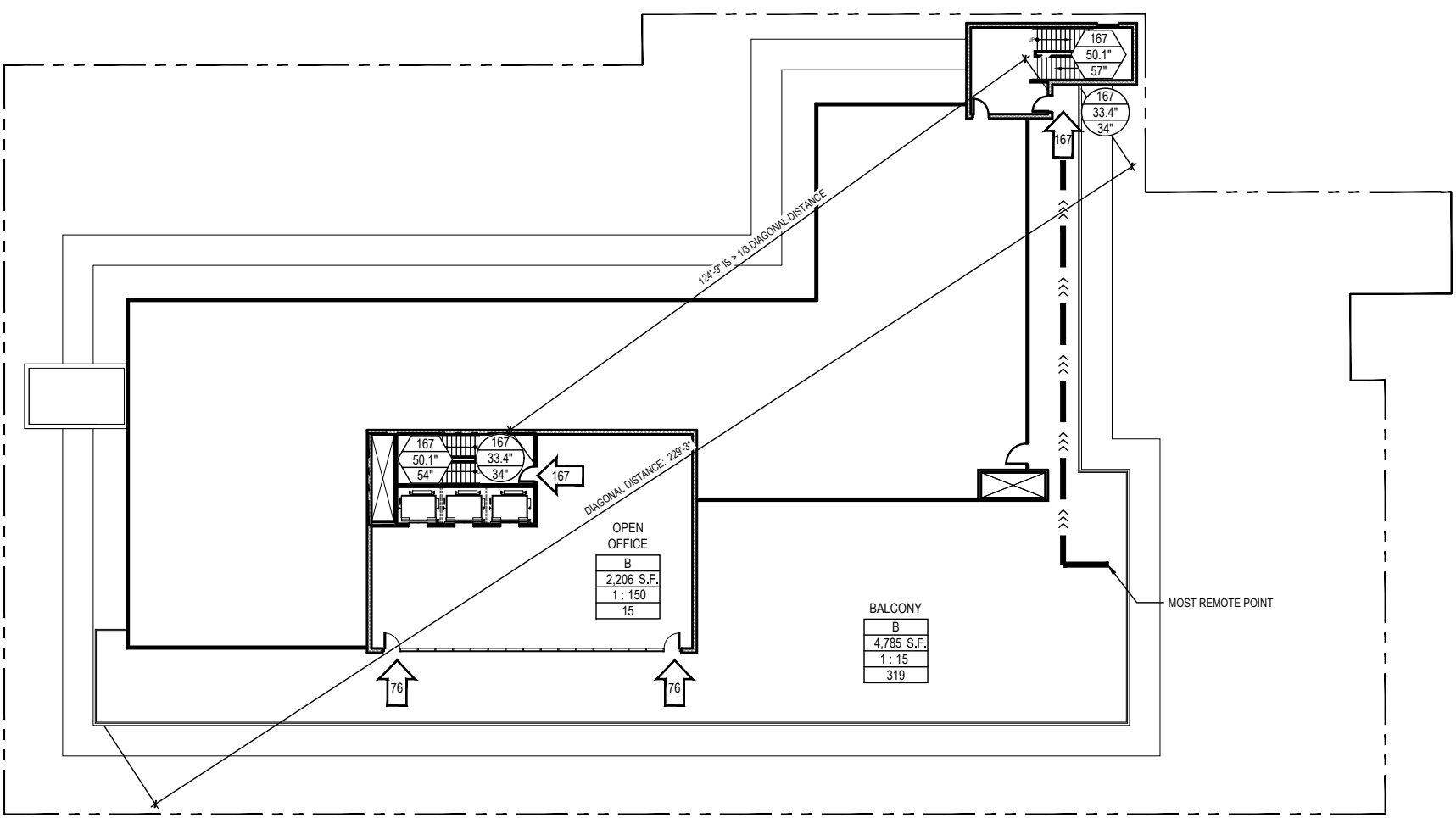
EGRESS PLAN - LEVEL 13

SCALE: 1/32" = 1'-0"



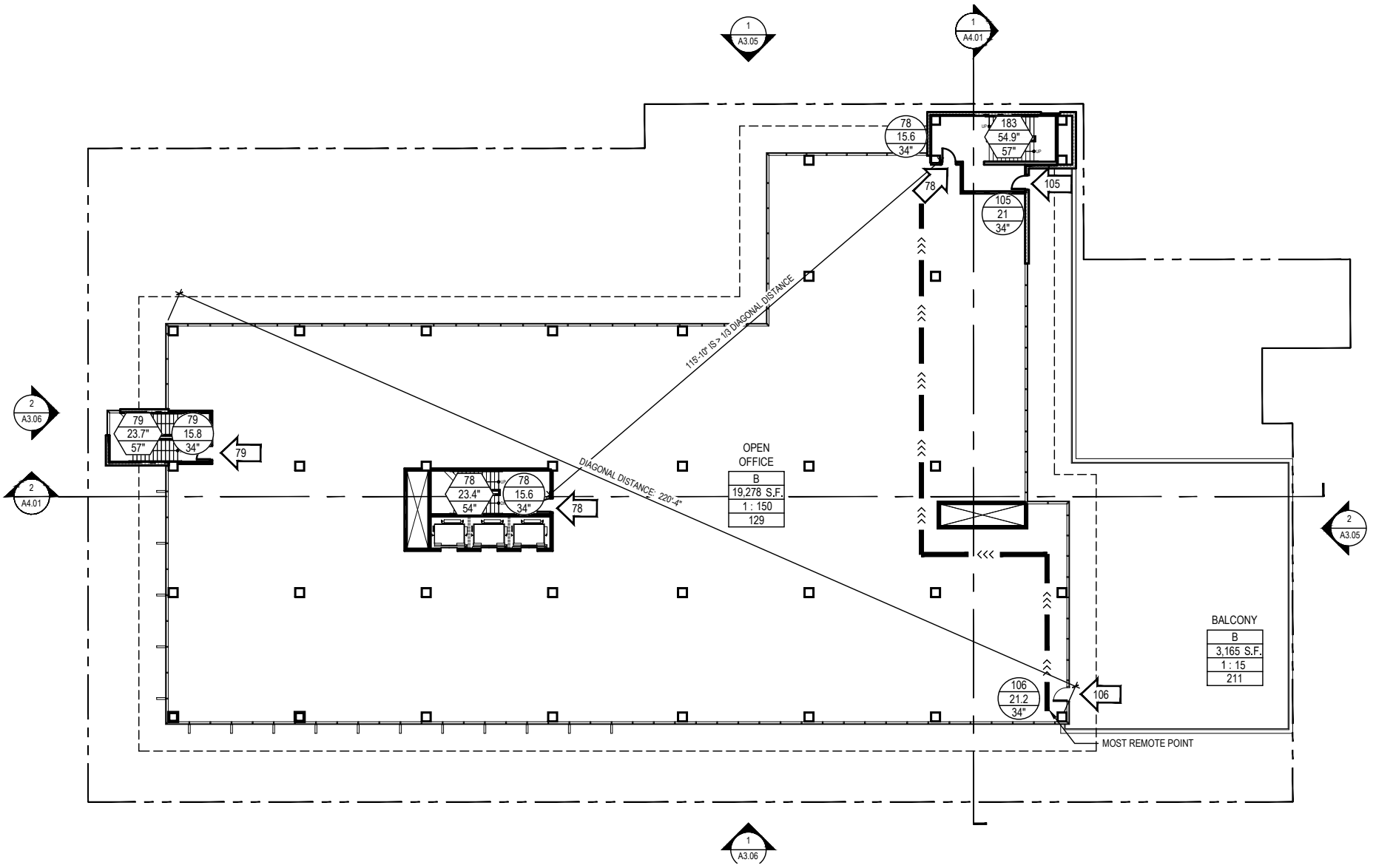
EGRESS PLAN - LEVEL 12

SCALE: 1/32" = 1'-0"



EGRESS PLAN - LEVEL 15

SCALE: 1/32" = 1'-0"



EGRESS PLAN - LEVEL 14

SCALE: 1/32" = 1'-0"

SYMBOL KEY

AREA OCCUPANT LOAD DESIGNATION

ROOM NAME	OCCUPANCY CLASSIFICATION OF THE SPACE
B	OCCUPANCY CLASSIFICATION OF THE SPACE
12,444 S.F.	SQUARE FOOTAGE
1: 150	OCCUPANT LOAD FACTOR
-	NUMBER OF OCCUPANTS

DOORWAY OCCUPANT LOAD DESIGNATION

100	NUMBER OF OCCUPANTS
20.0	EXIT WIDTH REQUIRED
34	EXIT WIDTH PROVIDED

STAIRWAY OCCUPANT LOAD DESIGNATION

100	NUMBER OF OCCUPANTS
30.0	STAIR WIDTH REQUIRED (INCHES)
60	STAIR WIDTH PROVIDED (INCHES)

PATH OF TRAVEL DESIGNATION

<<< <<<	EXIT IN ONE DIRECTION
<< >>	EXIT IN BOTH DIRECTIONS

DIRECTION OF EGRESS/OCCUPANT LOAD DESIGNATION

25	DIRECTION OF EGRESS
	OCCUPANT LOAD

FIRE EXTINGUISHERS AND FIRE HOSES

F.E.	FIRE EXTINGUISHER
F.E.C.	BRACKET-MOUNTED

EXIT SIGNAGE DESIGNATION

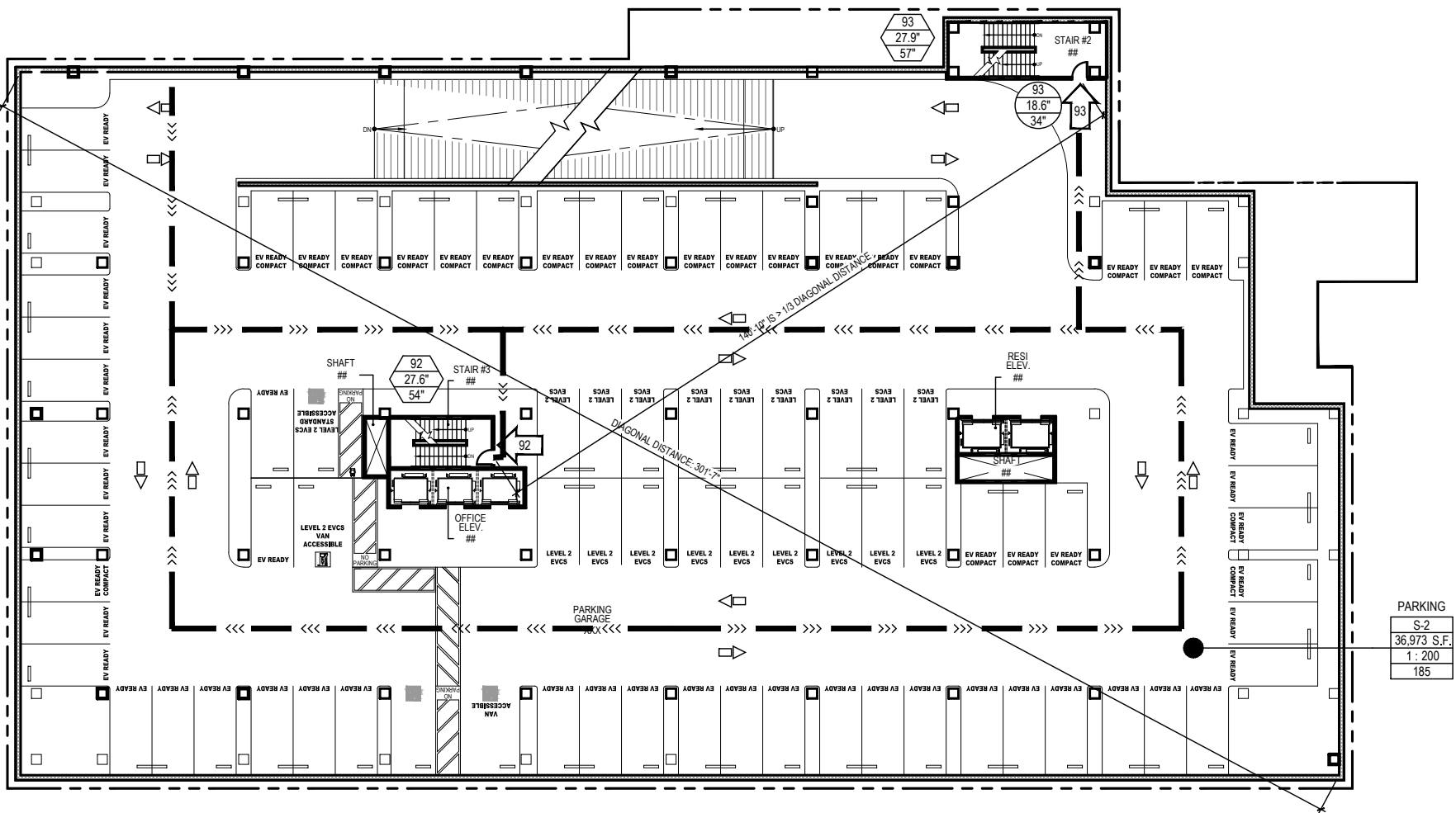
90	SIGN FACE DIRECTION
	DIRECTION OF TRAVEL

RATED SEPARATION DESIGNATION

1-HOUR RATED FIRE SEPARATION	1-HOUR RATED FIRE SEPARATION
2-HOUR RATED FIRE SEPARATION	2-HOUR RATED FIRE SEPARATION

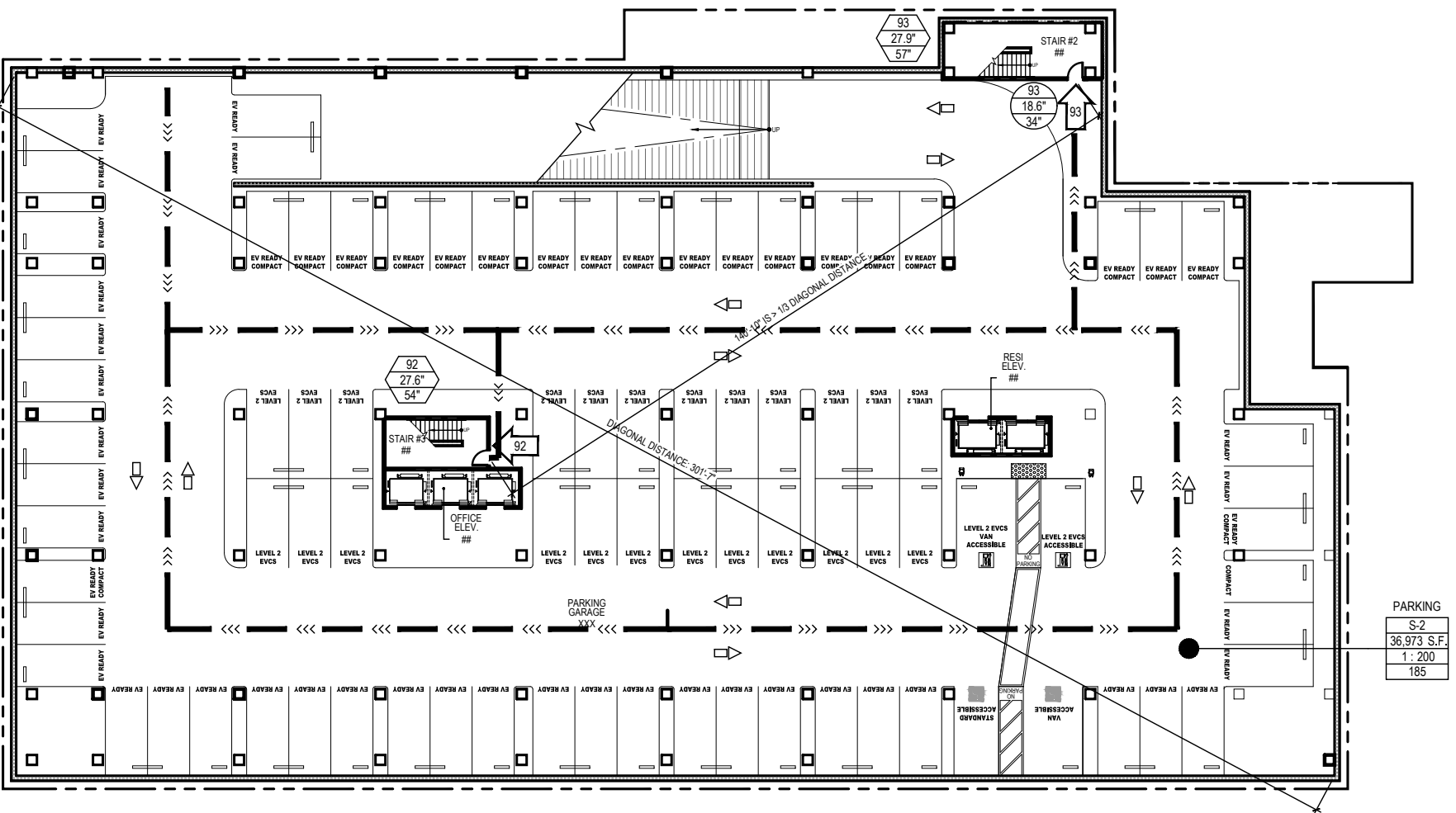
EXITING WIDTH TABULATIONS

THIS BUILDING IS EQUIPPED WITH AUTOMATIC SPRINKLER SYSTEM. EXIT WIDTH REQUIRED IS 0.3" PER PERSON FOR STAIRS AND 0.2" PER DOORS AND OTHER EXIT ELEMENTS, PER CBC SECTION 1005.3.



EGRESS PLAN - LEVEL P1

SCALE: 1/32" = 1'-0"



EGRESS PLAN - LEVEL P2

SCALE: 1/32" = 1'-0"



SYMBOL KEY

AREA OCCUPANT LOAD DESIGNATION

ROOM NAME	OCCUPANCY CLASSIFICATION OF THE SPACE
B	SQUARE FOOTAGE
12,444 S.F.	OCCUPANT LOAD FACTOR
1 : 150	NUMBER OF OCCUPANTS
-	

DOORWAY OCCUPANT LOAD DESIGNATION

NUMBER OF OCCUPANTS
100
20.0
34

STAIRWAY OCCUPANT LOAD DESIGNATION

NUMBER OF OCCUPANTS
100
30.0
60

PATH OF TRAVEL DESIGNATION

EXIT IN ONE DIRECTION
EXIT IN BOTH DIRECTIONS

DIRECTION OF EGRESS/OCCUPANT LOAD DESIGNATION

DIRECTION OF EGRESS
OCCUPANT LOAD

FIRE EXTINGUISHERS AND FIRE HOSES

FIRE EXTINGUISHER
BRACKET-MOUNTED

EXIT SIGNAGE DESIGNATION

SIGN FACE DIRECTION
DIRECTION OF TRAVEL

RATED SEPARATION DESIGNATION

1-HOUR RATED FIRE SEPARATION
2-HOUR RATED FIRE SEPARATION

EXITING WIDTH TABULATIONS

THIS BUILDING IS EQUIPPED WITH AUTOMATIC SPRINKLER SYSTEM. EXIT WIDTH REQUIRED IS 0.3" PER PERSON FOR STAIRS AND 0.2" PER DOORS AND OTHER EXIT ELEMENTS, PER CBC SECTION 1005.3.



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In Association with:

A Planning Application For:
MECAH VENTURES
1 E. 4TH AVENUE
SAN MATEO, CA 94401

DATE	DESCRIPTION
03.27.2025	SB330 APPLICATION
05.30.2025	1ST PLANNING SUBMITTAL

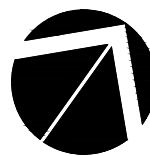
EGRESS DIAGRAMS

A 0.34

PROJECT NO: 246148



SCALE: 1"=20'-0"



NOTE: NOT ALL KEYNOTES LISTED MAY APPLY TO THIS DRAWING.

- 1 EXISTING PROPERTY LINE
- 2 EXISTING 2-STORY CONCRETE BUILDING STRUCTURE TO BE DEMOLISHED
- 3 ADJACENT BUILDING STRUCTURE TO REMAIN
- 4 EXISTING BUILDING OVERHANG TO BE DEMOLISHED
- 5 EXISTING PARKING STRIPPING TO BE REMOVED
- 6 EXISTING CONCRETE SIDEWALK TO BE DEMOLISHED
- 7 EXISTING 10 FT PG&E EASEMENT
- 8 EXISTING 5 FT PG&E EASEMENT
- 9 EXISTING 10 FT INGRESS/ EGRESS EASEMENT
- 10 EXISTING 20 FT LIGHT & AIR EASEMENT
- 11 EXISTING 3.2 FT ENCROACHMENT EASEMENT
- 12 EXISTING CONCRETE CURB TO BE DEMOLISHED
- 13 EXISTING TRAFFIC LIGHT/ LIGHT POLE TO REMAIN
- 14 EXISTING PEDESTRIAN SIGNAL TO BE REMOVED
- 15 EXISTING FIRE HYDRANT TO BE REMOVED
- 16 EXISTING CONCRETE RAMP TO BE DEMOLISHED
- 17 EXISTING PARKING SIGN TO BE REMOVED
- 18 EXISTING LIGHT POLE TO REMAIN
- 19 EXISTING CONCRETE CURB TO REMAIN
- 20 EXISTING ACCESSIBLE CONCRETE RAMP AND TRUNCATED DOME PLATE TO REMAIN
- 21 EXISTING LANDSCAPE AREA TO REMAIN



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A Planning Application For:
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SAN MATEO, CA 94401

DATE	DESCRIPTION
03.27.2025	SB330 APPLICATION
05.30.2025	1ST PLANNING SUBMITTAL

DEMOLITION
SITE PLAN

A1.00

PROJECT NO: 246148

GENERAL PLAN REQUIREMENTS

GENERAL PLAN:	MIXED-USE HIGH DENSITY
SITE AREA:	±39,928 S.F. / 0.91 ACRES
ALLOWABLE MAX FAR (NON-RESIDENTIAL ONLY)	4.5 (259,425 S.F.)
PROPOSED FAR (NON-RESIDENTIAL ONLY)	3.0 (119,761 S.F.)
DWELLING UNIT DENSITY (100-130 DU/AC)	91 DU - 118 DU
W/ 100% INCREASED STATE DENSITY	236 DU
LOT COVERAGE	100%
ALLOWABLE MAX. BUILDING HEIGHT	5 TO 8 STORIES
PROPOSED BUILDING HEIGHT	184 FEET (14-STORY + PENTHOUSE/ TERRACE / MECHANICAL EQUIPMENT)

ZONING:	CBD DISTRICT GENERAL BUSINESS
SITE AREA:	±39,928 S.F. / 0.91 ACRES
ALLOWABLE MAX FAR (COMMERCIAL + RESIDENTIAL)	3.0 (119,784 S.F.)
PROPOSED FAR (COMMERCIAL + RESIDENTIAL)	9.5 (379,186 S.F.)
MAX DWELLING UNIT DENSITY	50 DU/ AC OR 46 UNITS
ALLOWABLE MAX BUILDING HEIGHT	55 FEET
PROPOSED BUILDING HEIGHT	184 FEET (14-STORY + PENTHOUSE/ TERRACE) / MECHANICAL EQUIPMENT

HAA REQUIREMENTS (BASED ON 379,186 S.F. BUILDING AREA)
 COMMERCIAL (1/3 OF 379,186 S.F. OR 126,395 S.F.)
 NON-COMMERCIAL (2/3 OF 379,186 S.F. OR 252,791 S.F.)

TOTAL NON-COMMERCIAL AREA (PROVIDED): 259,425 S.F.

# DWELLING UNITS PER FLOOR	
LEVEL 02	26 DU
LEVEL 03	26 DU
LEVEL 04	27 DU
LEVEL 05	27 DU
LEVEL 06	27 DU
LEVEL 07	27 DU
LEVEL 08	27 DU
LEVEL 09	24 DU
LEVEL 10	25 DU
TOTAL # DWELLING UNITS	236 UNITS (OR 260 DU/ AC)

BMR UNIT REQUIREMENTS - PER SDB ON BASE DENSITY (118 UNITS)	
50% INCREASE: 15% VERY LOW INCOME	18 UNITS
ADDITIONAL 50%: 15% MODERATE INCOME	18 UNITS
TOTAL (PROVIDED)	36 UNITS



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PER CITY OF SAN MATEO MUNICIPAL CODE SECTION 27.64.262

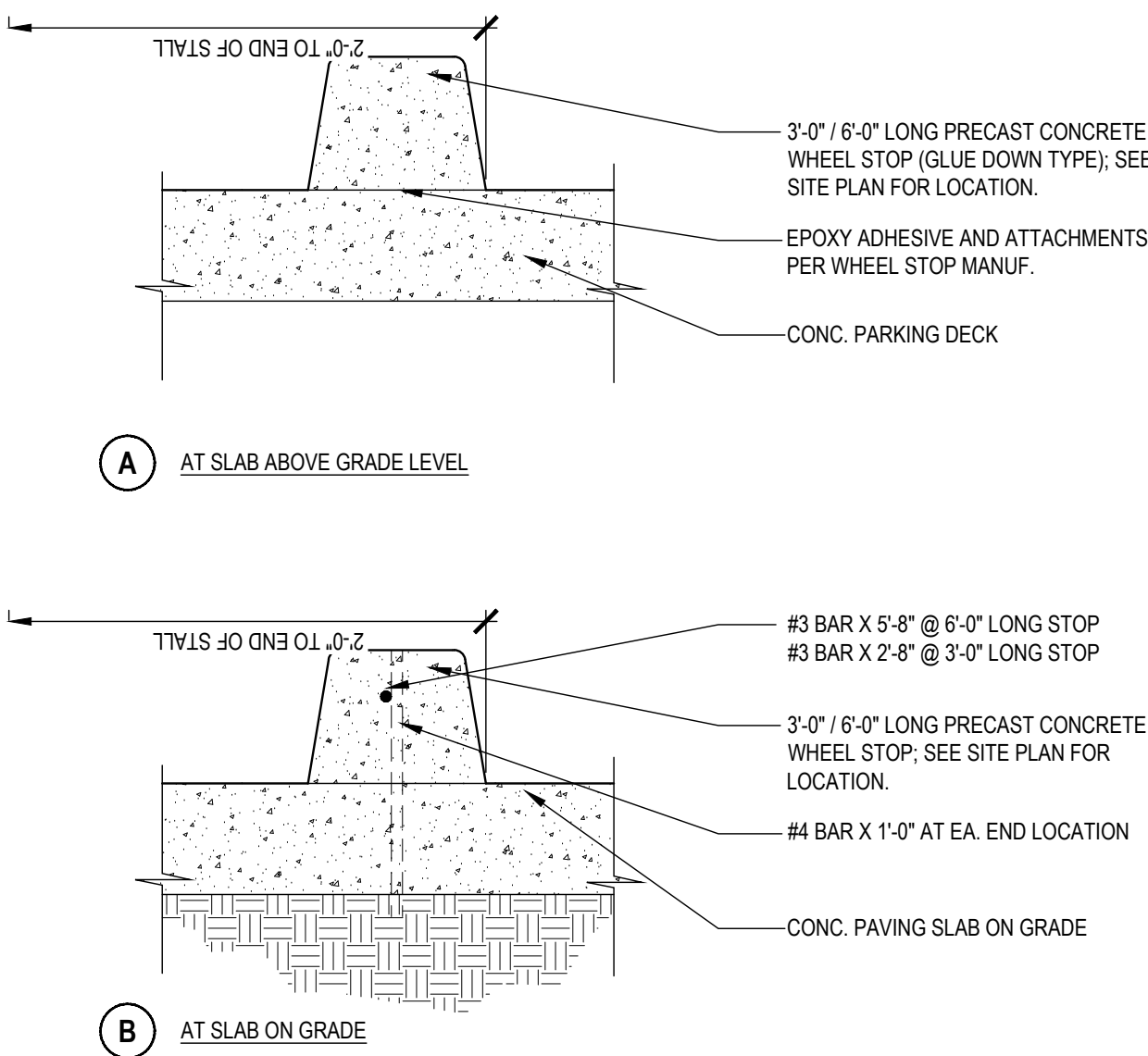
REQUIRED LONG-TERM - RESIDENTIAL
STUDIO AND ONE-BEDROOM UNIT @ 1.0 SPACE PER UNIT
216 UNITS x 1.0 = 216 SPACES
TWO-BEDROOM UNIT @ 1.25 SPACES PER UNIT
20 UNITS x 1.25 = 25 SPACES
TOTAL REQUIRED LONG-TERM - RESIDENTIAL: 241 SPACES

REQUIRED LONG-TERM - RETAIL
1 SPACE PER 12,000 S.F. OF RETAIL AREA
11,894 S.F. / 12,000 S.F. = 0.99 SPACES OR **1 SPACE**

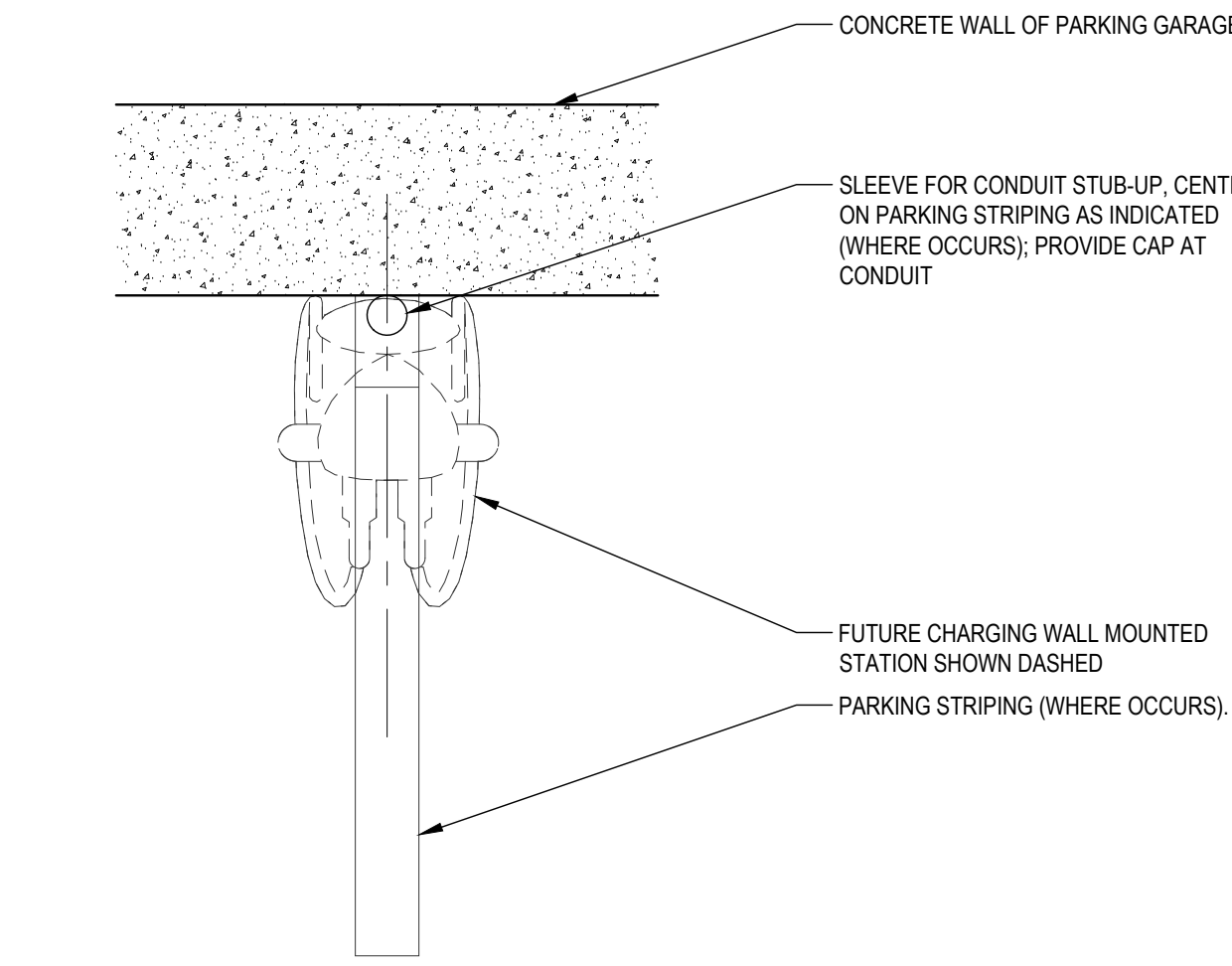
PROVIDED SHORT-TERM SPACES	
RESIDENTIAL	14 SPACES
RETAIL	6 SPACES
OFFICE	6 SPACES
TOTAL	26 SPACES

```
* PROVIDED @ LEVEL 02 TO LEVEL 10
** PROVIDED @ LEVEL 01
*** PROVIDED @ LEVEL 01
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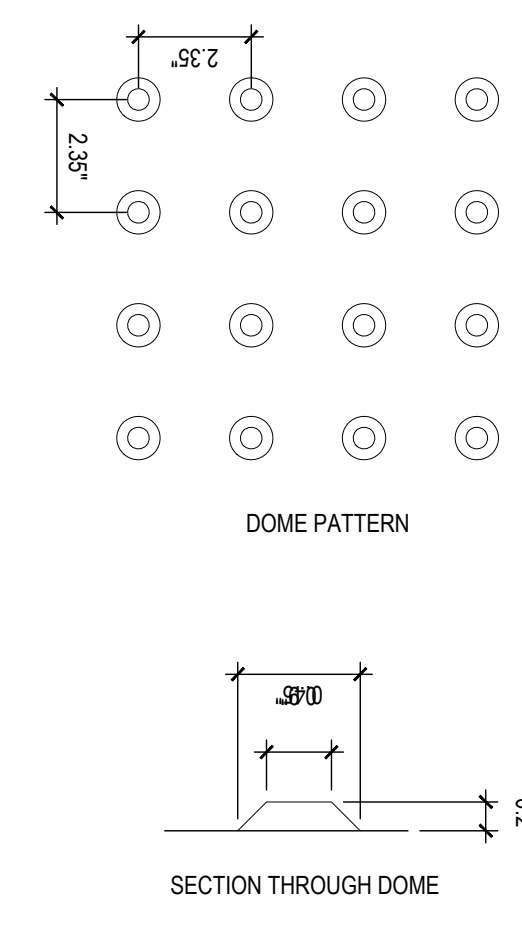
01	EXISTING PROPERTY LINE	15	STREET TREE IN TREE GRATE	29	RAISED PLANTERS WITH BUILT IN SEATING
02	PRIMARY RETAIL ENTRANCE	16	PANTED CONTAINER	30	ACCESSIBLE PATH OF TRAVEL
03	PRIMARY OFFICE LOBBY ENTRANCE	17	BENCH	31	10'-0" x 10'-0" VISION TRIANGLE
04	PRIMARY RESTAURANT ENTRANCE	18	4'-0" WIDE ACCENT BRICK PAVERS	32	SERVICE DOOR
05	OFFICE LONG-TERM BIKE STORAGE	19	TYPICAL FRONTAGE CONCRETE SIDEWALK	33	EGRESS DOOR
06	ELECTRICAL ROOM	20	ADA RAMP AND TRUNCATED DOMES	34	WATER FEATURE
07	FIRE PUMP ROOM	21	25'-0" x 25'-0" VISIBILITY TRIANGLE	35	ACCENT PAVERS AT RESIDENTIAL ENTRANCE
08	ACCESS RAMP TO BELOW GRADE PARKING STRUCTURE W/ TRANSITION SLOPE	22	TRASH RECEPTACLE	36	DECORATIVE LIGHT FIXTURES
09	SERVICE CORRIDOR	23	STREET PARKING	37	UNDERGROUND TRANSFORMERS
10	OFFICE/ RESIDENTIAL TRASH ROOM	24	PROPOSED PUBLIC ART LOCATION	38	SOFTSCAPE (REFER TO LANDSCAPE)
11	RESIDENTIAL ELEVATORS	25	PRECAST SMOOTH 'PEBBLE' SEATING ELEMENTS		
12	OFFICE ELEVATORS	26	SLATTED WOOD SEAT INTEGRATED INTO THE RAISED PLANTER		
13	PRIMARY RESIDENTIAL ENTRANCE	27	ACCENT PAVERS AT RETAIL FRONTAGE		
14	SHORT-TERM BIKE RACK INSTALLED IN BRICK BANDING AT SIDEWALK FURNITURE ZONE	28	LINEAR PAVERS WITH CONTRASTING STRIPING TO INTENSIFY COMMERCIAL ENTRY		



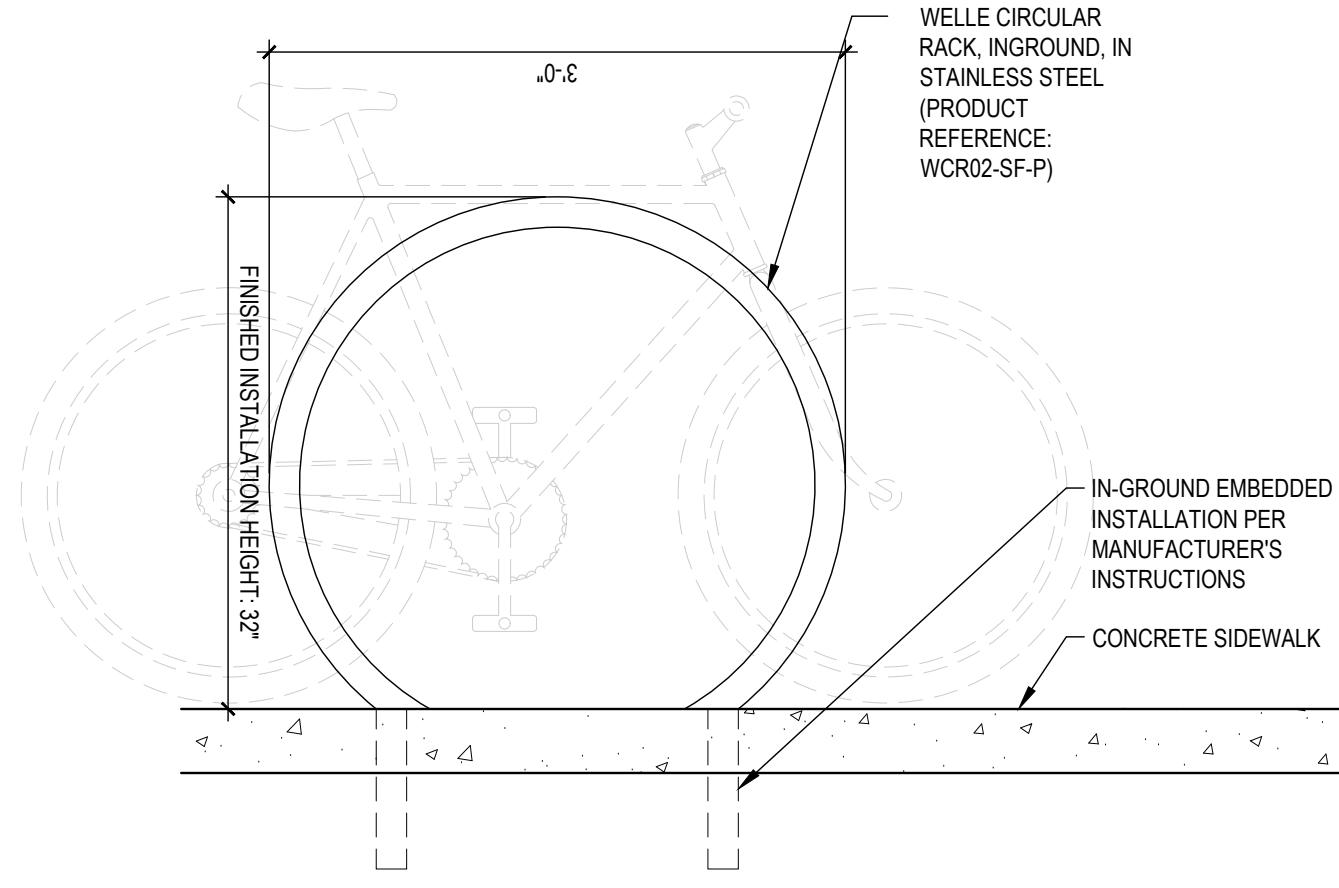
13 CONCRETE CURB
SCALE: 1 1/2"=1'-0"



14 FUTURE EV CHARGING STUB OUT
SCALE: 1"=1'-0"



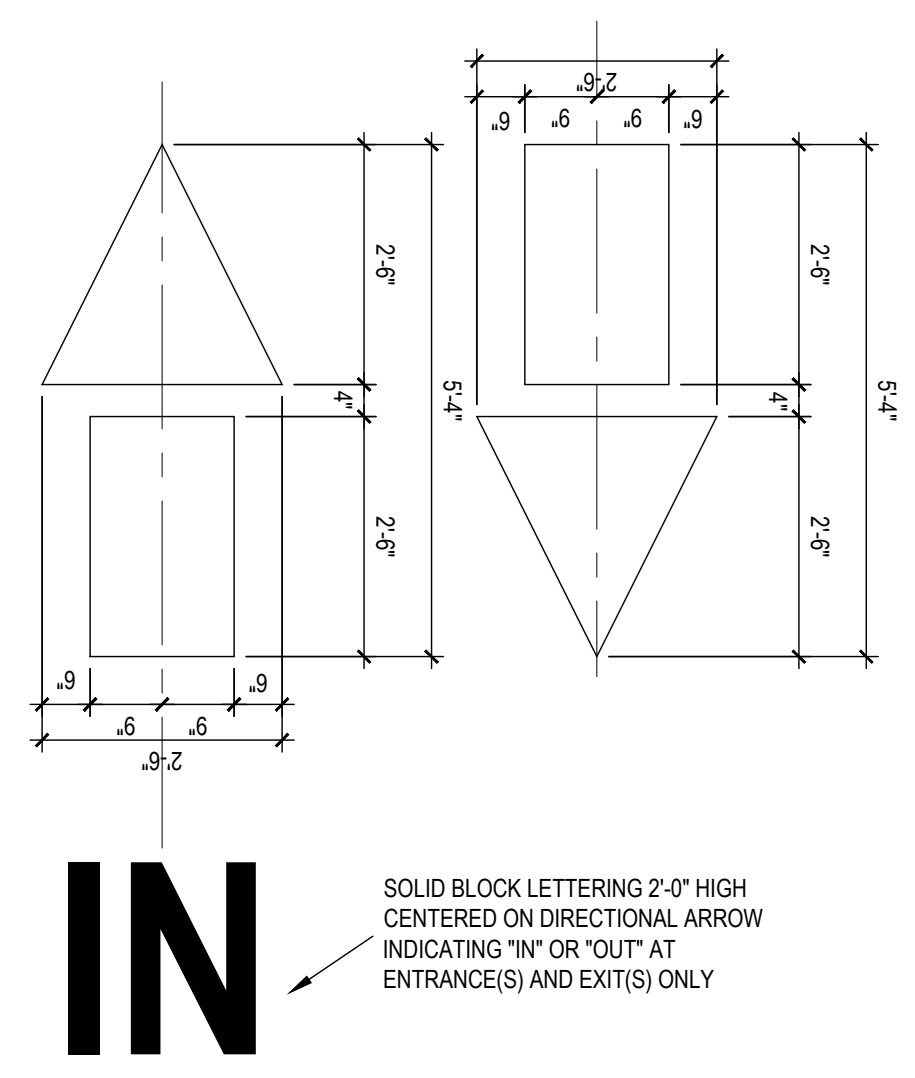
9 TRUNCATED DOMES
SCALE: 3"=1'-0"



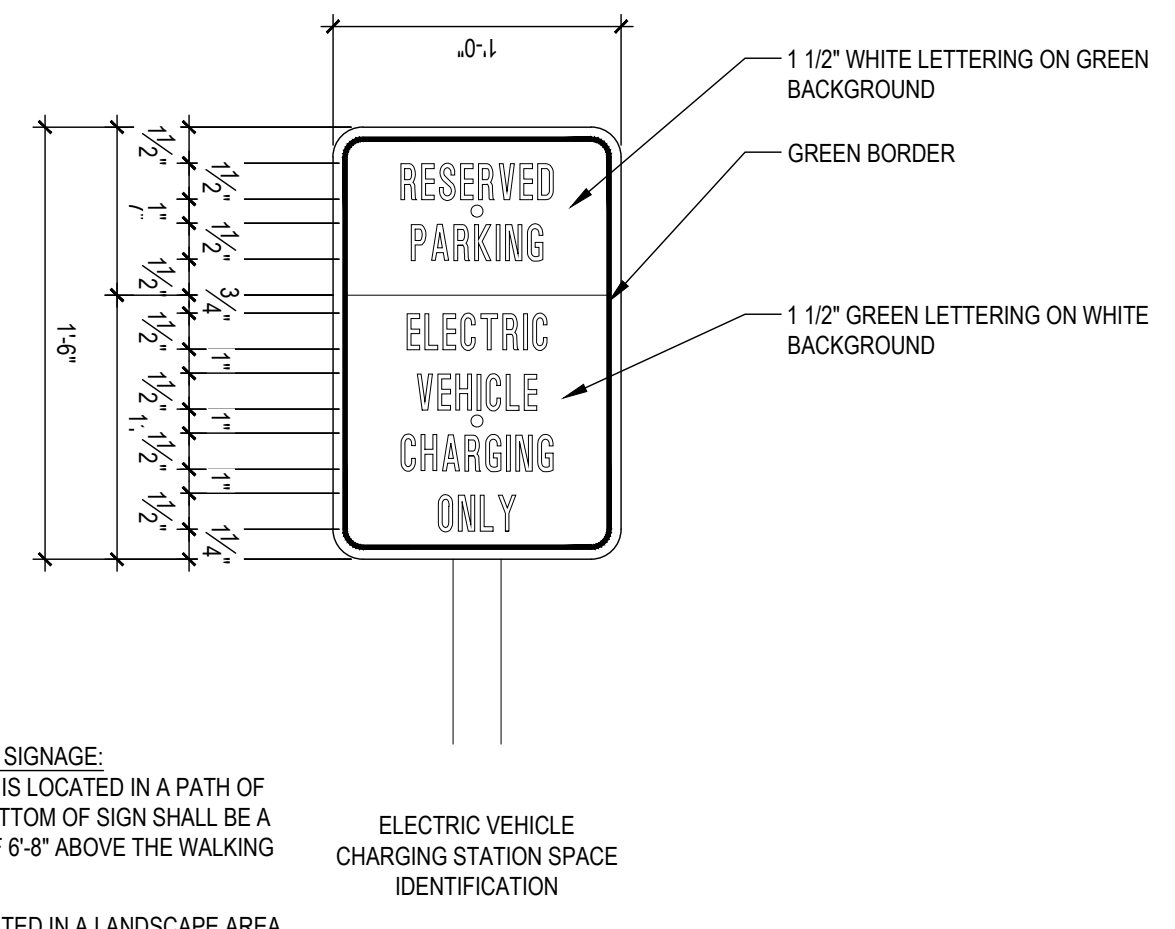
10 SHORT-TERM BIKE RACK
SCALE: 1"=1'-0"

TRUNCATED DOME SURFACES ARE REQUIRED IN THE FOLLOWING LOCATIONS:

- WALKWAYS CROSSING VEHICULAR WAYS WITH SLOPES BETWEEN 5% (1 : 20) AND 6.67% (1 : 15); FULL SURFACE OF THE RAMP SHALL HAVE TRUNCATED DOMES
- WALKWAYS CROSSING VEHICULAR WAYS WITH SLOPES BETWEEN 6.67% (1 : 15) AND (8.5% 1 : 12); 3' WIDE X (WIDTH OF SIDEWALK) AREA OF TRUNCATED DOMES
- THE TRUNCATED DOME SURFACE DOES NOT NEED TO BE YELLOW, IT ONLY NEEDS TO CONTRAST VISUALLY WITH ADJACENT SURFACES, AND IT MUST BE INTEGRALLY COLORED.



5 DIRECTIONAL ARROW
SCALE: 1/2"=1'-0"



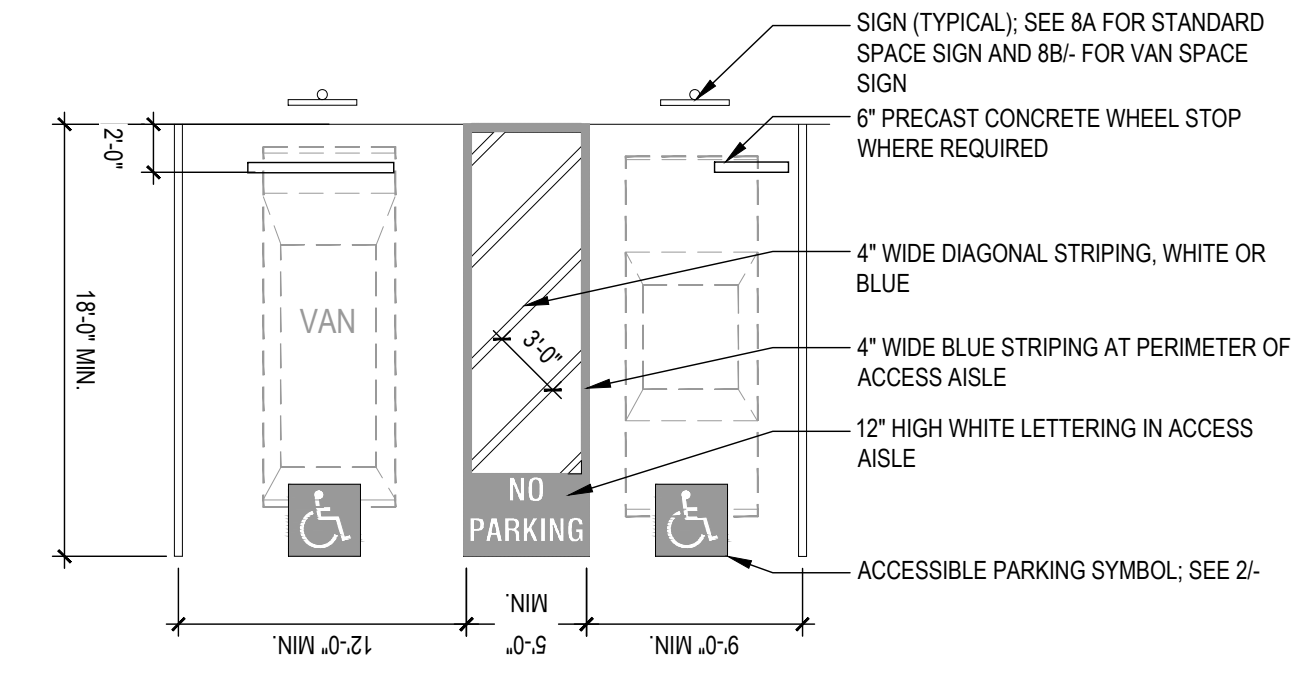
BOTTOM OF SIGNAGE:
WHEN SIGN IS LOCATED IN A PATH OF TRAVEL, BOTTOM OF SIGN SHALL BE A MINIMUM OF 6'-8" ABOVE THE WALKING SURFACE.

WHEN LOCATED IN A LANDSCAPE AREA OR ON A WALL AT THE END OF THE SPACE, THE BOTTOM OF SIGN SHALL BE AT 5'-0" ABOVE ADJACENT GRADE

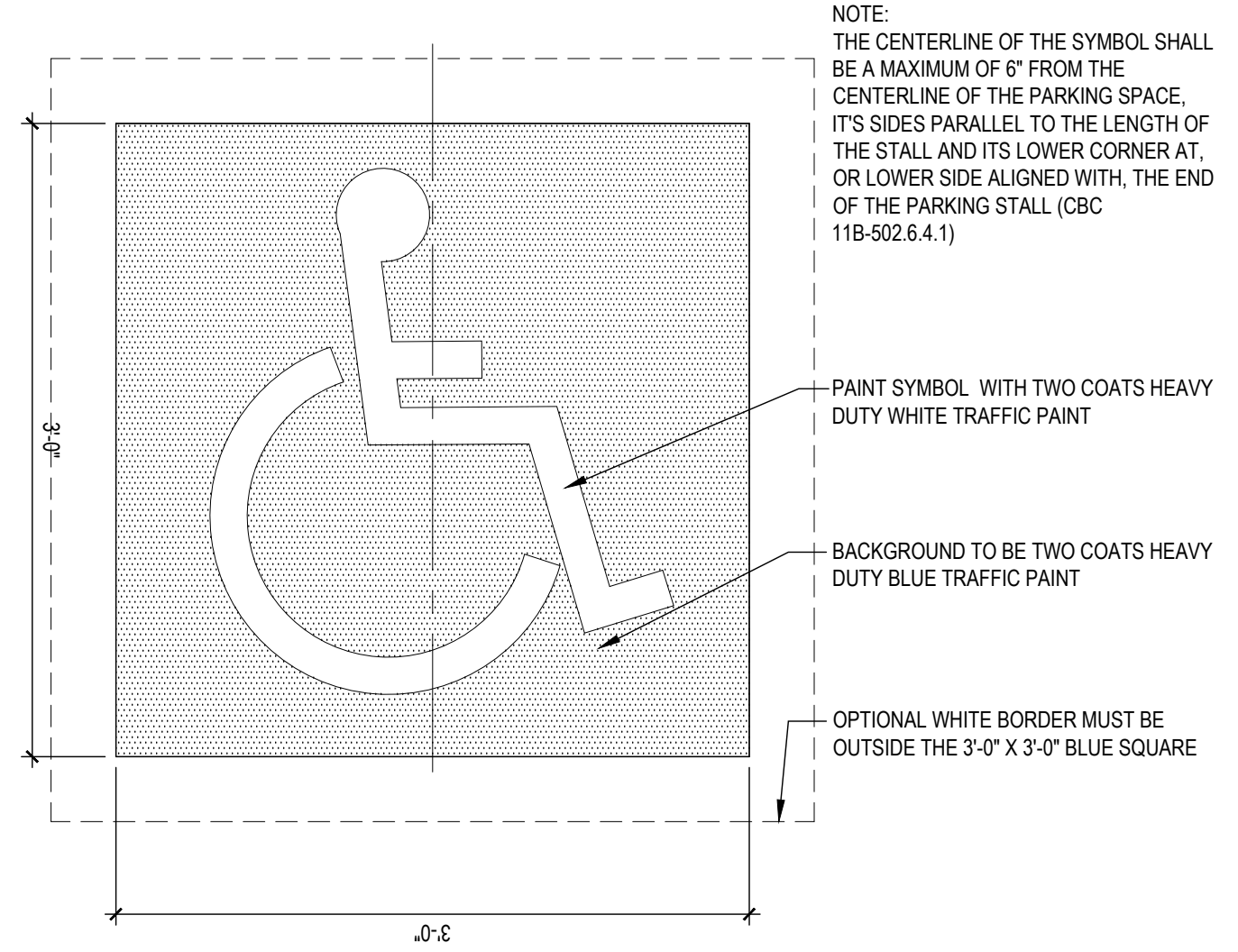
ELECTRIC VEHICLE CHARGING STATION SIGNAGE

6 ELECTRIC VEHICLE CHARGING STATION SIGNAGE
SCALE: 1 1/2"=1'-0"

1. ALL PARKING SPACES AND ACCESS AISLE SHALL HAVE A MAXIMUM SLOPE IN ALL DIRECTIONS OF 1:48.
2. PEDESTRIAN WAYS WHICH ARE ACCESSIBLE TO PERSONS WITH DISABILITIES SHALL BE PROVIDED FROM EACH ACCESSIBLE SPACE TO RELATED FACILITIES. REFER TO SITE PLAN FOR LOCATION OF ACCESSIBLE PATH OF TRAVEL LINKING ACCESS AISLE TO RELATED FACILITIES.
3. ACCESS AISLE MAY BE SHARED BY TANDEM SPACES. IF ONE SPACE IS VAN ACCESSIBLE, THE ACCESS AISLE MUST BE ON THE PASSENGER SIDE OF SPACE.
4. VAN PARKING (CONFIGURATION A) SHALL BE PERMITTED TO BE 108" (9'-0") WIDE MINIMUM WHERE THE ACCESS AISLE IS 96" (8'-0") WIDE MINIMUM. ACCESS AISLE FOR VAN ACCESSIBLE PARKING SHALL BE ON THE PASSENGER SIDE.
5. WHEN NO CURB OR BARRIER IS PROVIDED AT THE FRONT OF STALL AND THERE IS A WALKWAY IN FRONT OF THE STALL, A WHEEL STOP IS REQUIRED WHICH WILL PREVENT ENCRoACHMENT OF CARS OVER WALKWAYS.



1 ACCESSIBLE PARKING SPACES
SCALE: 1/8"=1'-0"



2 ACCESSIBILITY PARKING SYMBOL
SCALE: N.T.S.

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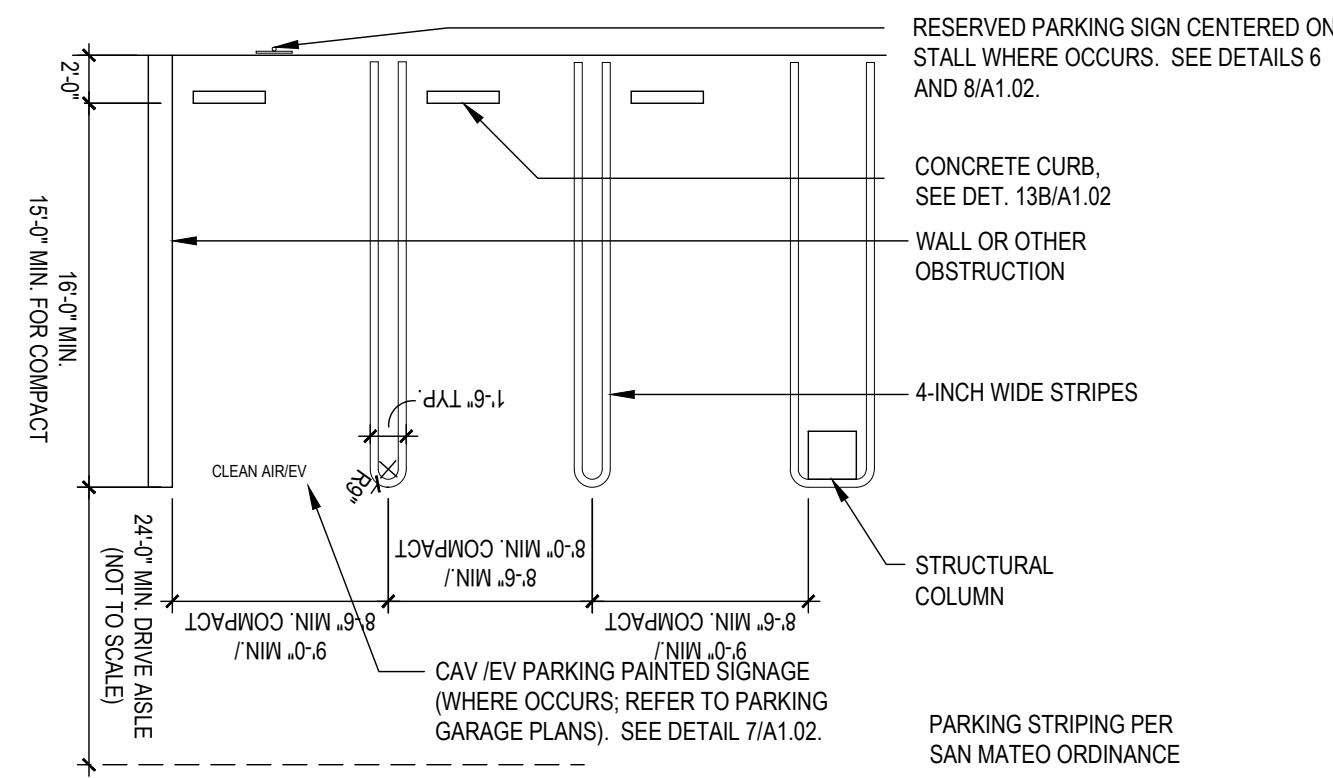
A Planning Application For:
MECAH VENTURES
1 E. 4TH AVENUE
SAN MATEO, CA 94401

DATE	DESCRIPTION
03.27.2025	S8330 APPLICATION
05.30.2025	1ST PLANNING SUBMITTAL

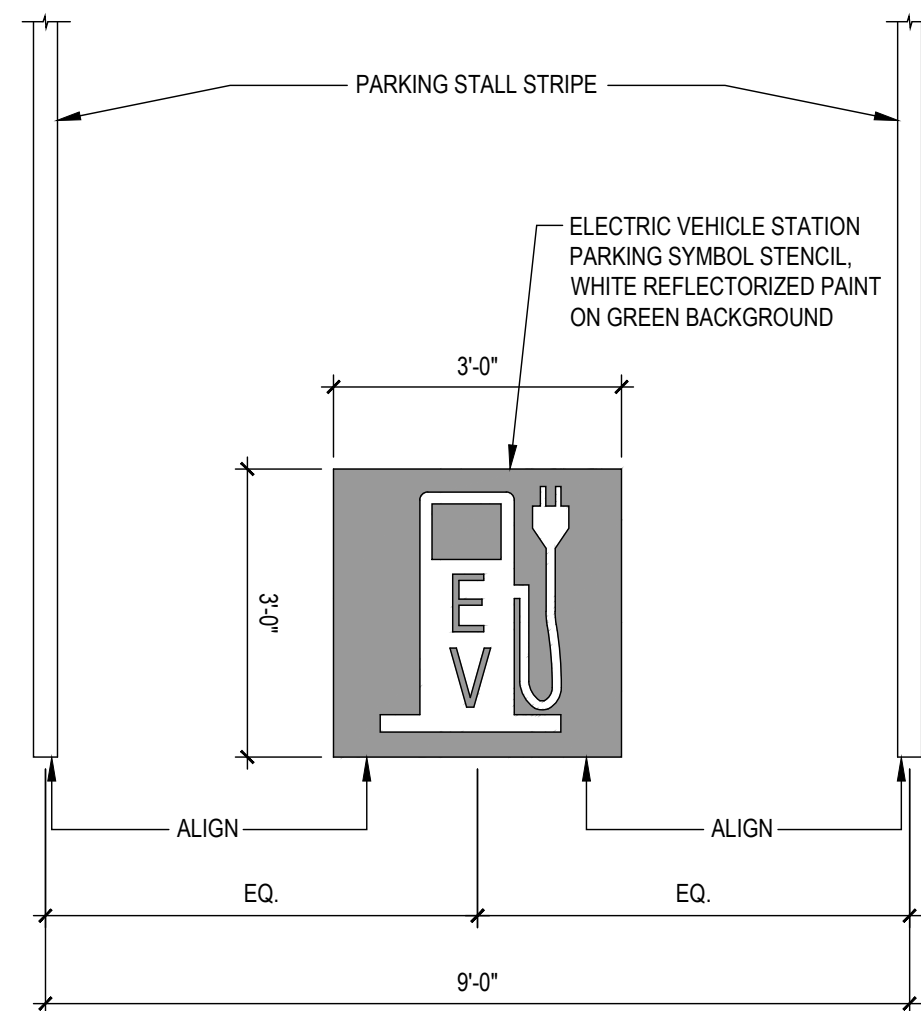
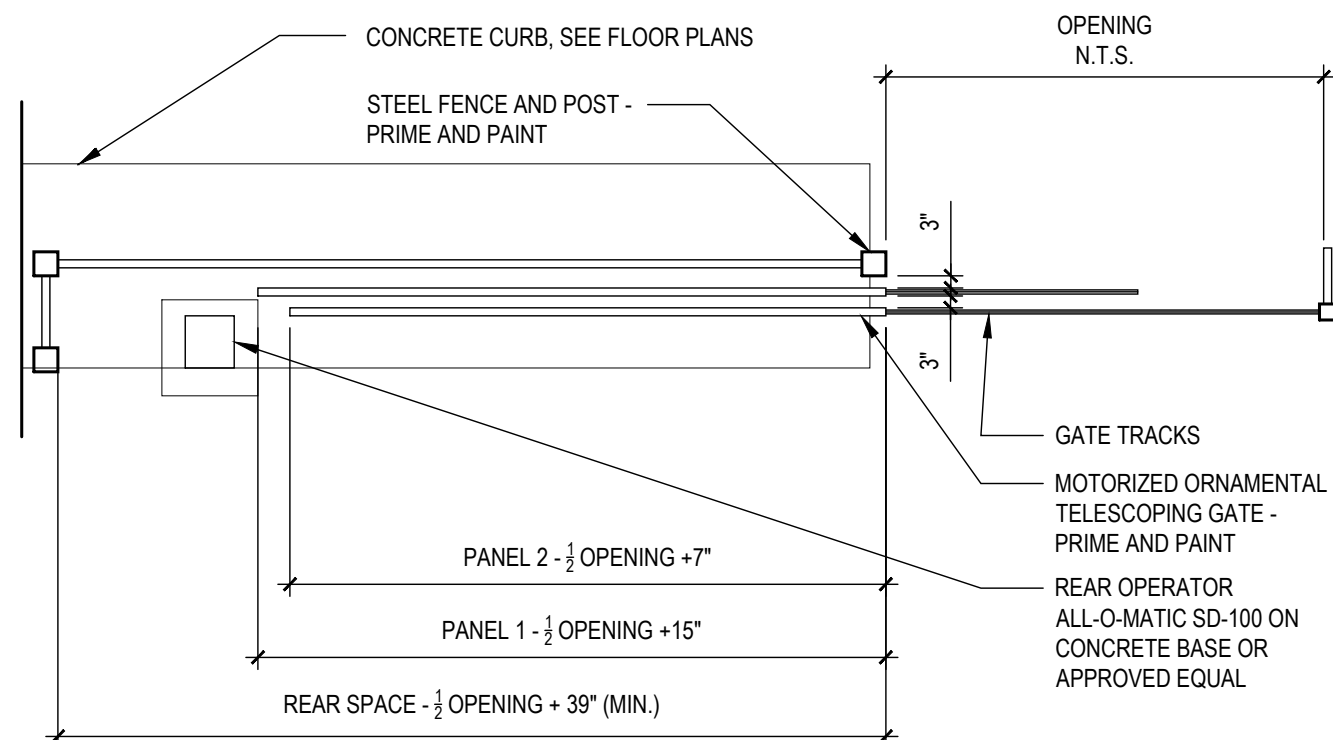
SITE DETAILS

A 1.02

PROJECT NO: 246148

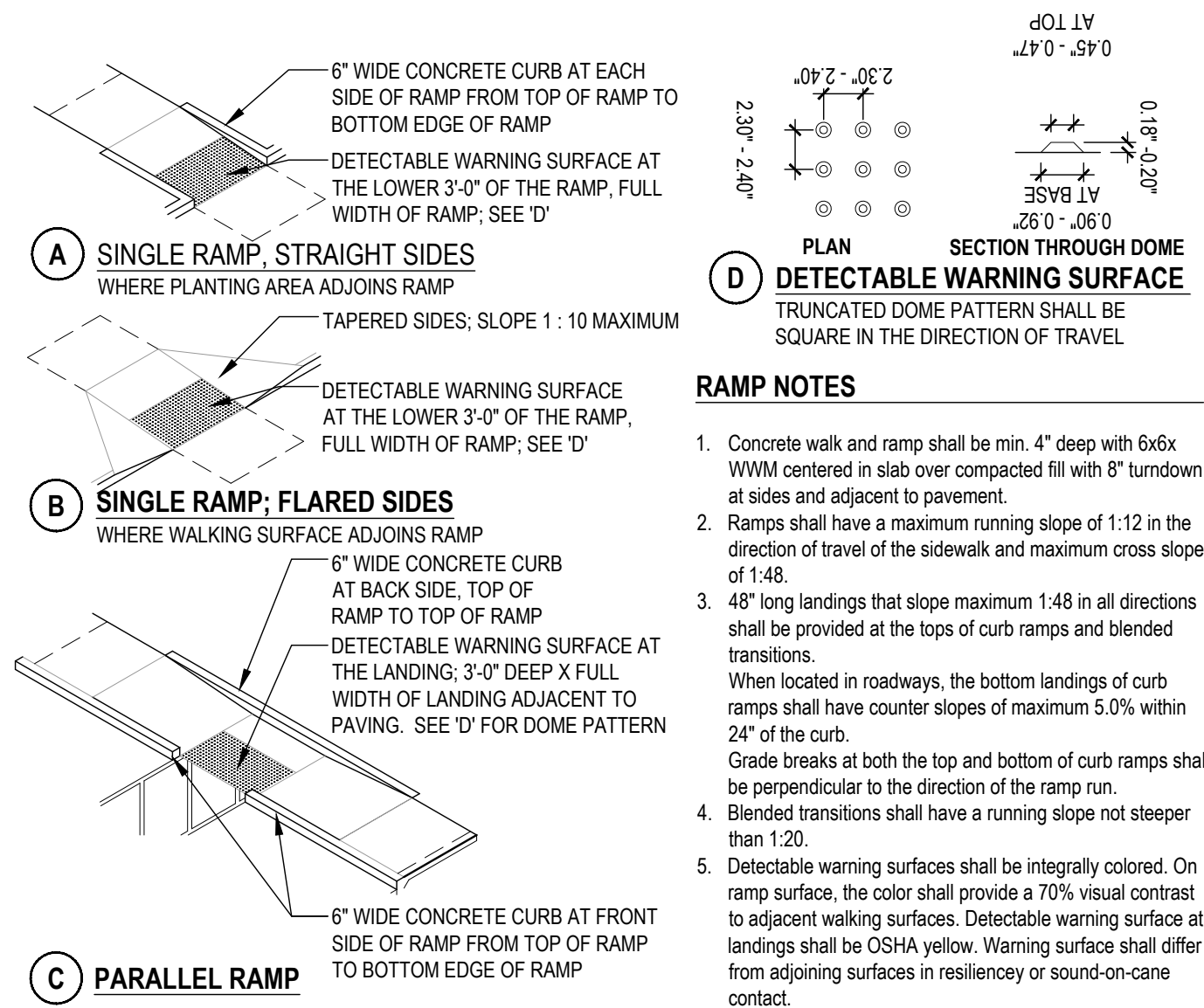


13 PARKING STALL STRIPING



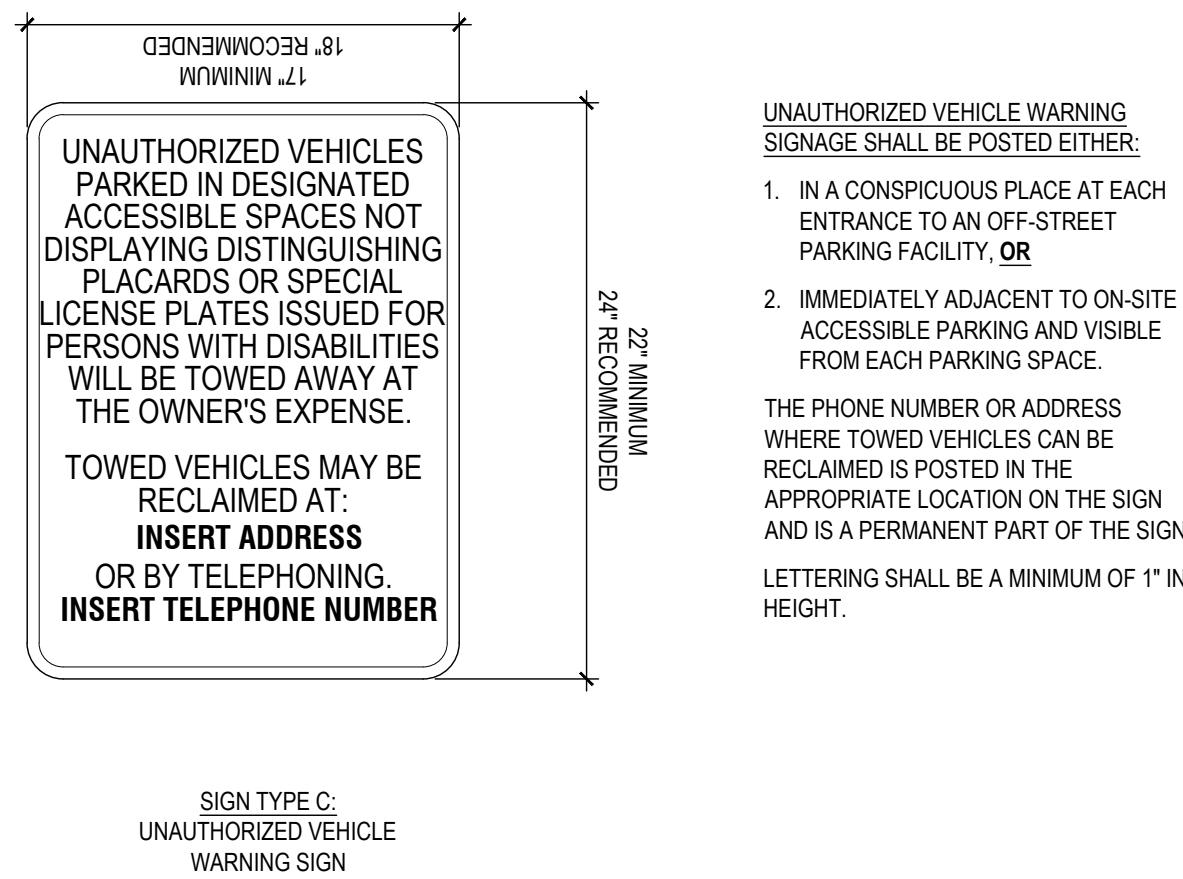
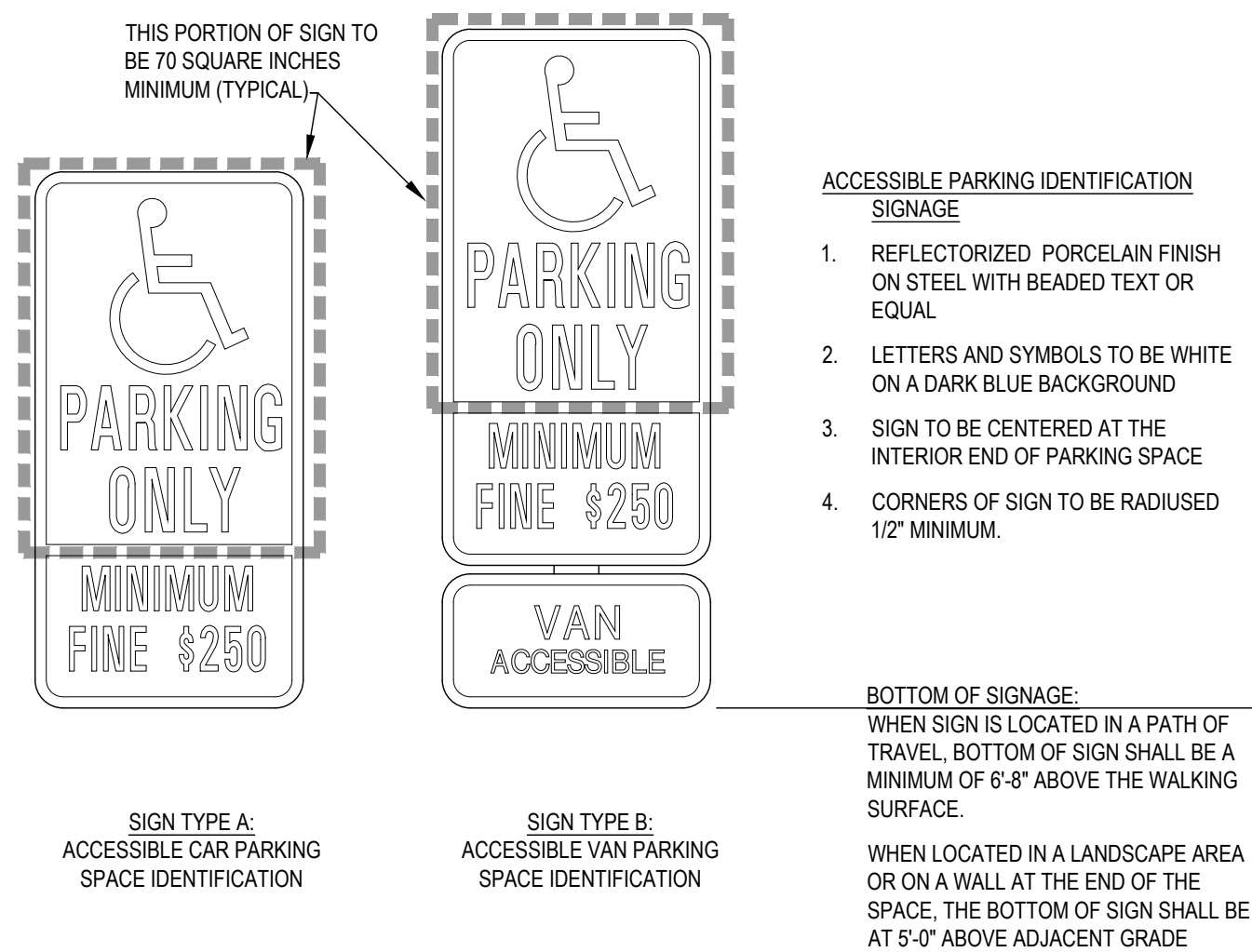
5 EV PARKING STALL SYMBOL

SCALE: 1/2" = 1'-0"

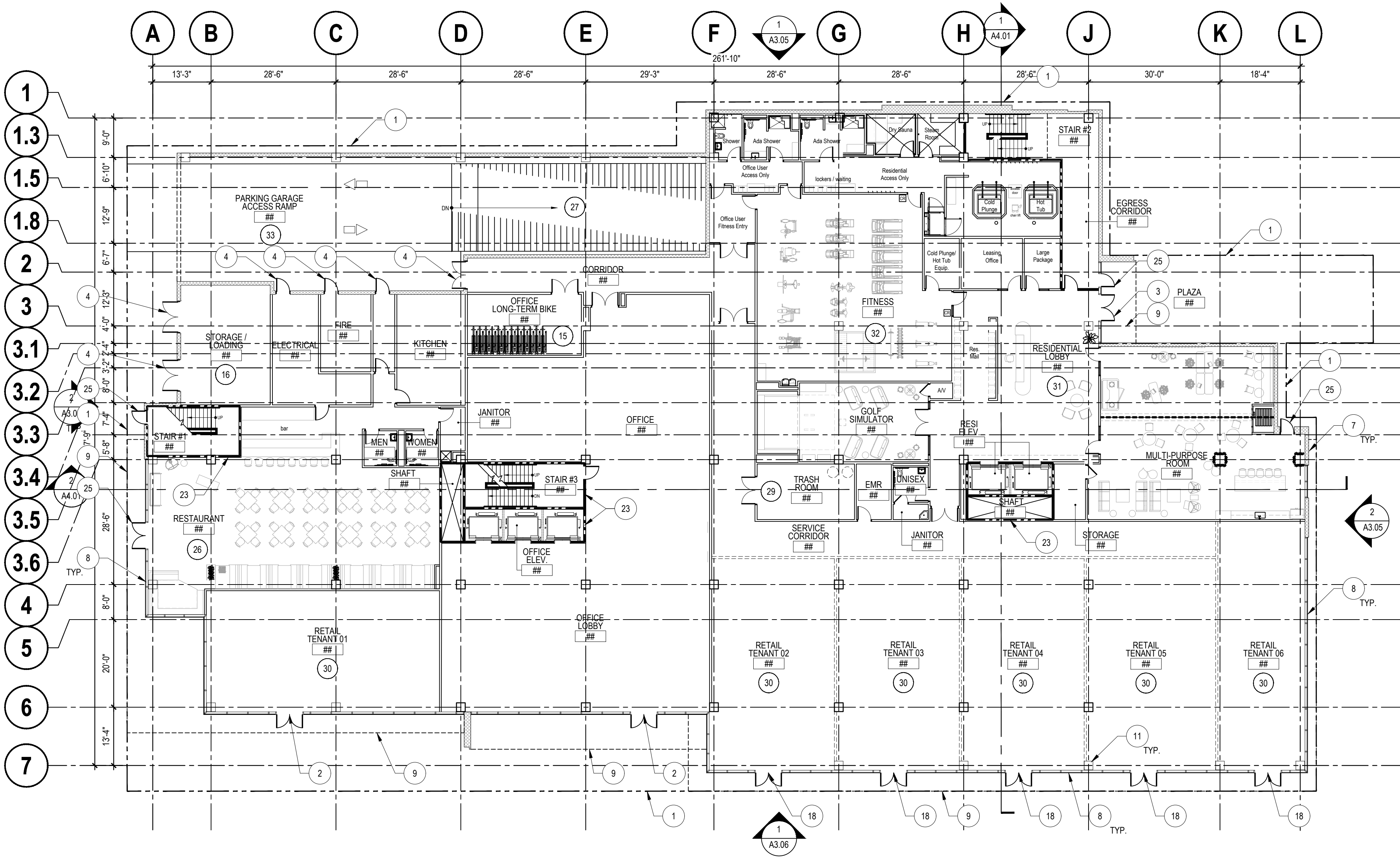


1 CURB RAMP CONFIGURATION

SCALE: N.T.S

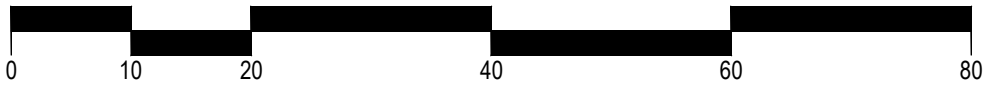


6 ACCESSIBLE PARKING SIGNAGE & UNAUTHORIZED VEHICLE SIGNAGE
SCALE: 1 1/2"=1'-0"



FLOOR PLAN - LEVEL 01

SCALE: 1/16" = 1'-0"



Open Space	Private Residential Open Space at level 2 (S.F.) - Provided	681
	Common Residential Open Space at Level 4 (S.F.) - Provided	3,390
	Private Residential Open Space at level 3 (S.F.) - Provided	681
	Private Residential Open Space at level 4 (S.F.) - Provided	681
	Private Residential Open Space at level 5 (S.F.) - Provided	681
	Private Residential Open Space at level 6 (S.F.) - Provided	681
	Private Residential Open Space at level 7 (S.F.) - Provided	681
	Private Residential Open Space at level 8 (S.F.) - Provided	466
	Private Residential Open Space at level 9 (S.F.) - Provided	466
	Private Residential Open Space at level 10 (S.F.) - Provided	466
	Total open space private + common (residential) - Provided	9474
	Office Open Space at Level 11 (S.F.) - Provided	758
	Office Open Space at Level 12 (S.F.) - Provided	609
	Office Open Space at Level 13 (S.F.) - Provided	4282
	Office Open Space at Level 14 (S.F.) - Provided	3673
	Office Open Space at Level 15 (S.F.) - Provided	6157
	Total Office Open Space (S.F.) - Required (1% of total office area or 0.01 x 112,131 S.F.)	1,121
	Total Common Office Open Space (S.F.) - Provided	15479

	Use	Level 1	Level 11	Level 12	Level 13	Level 14	Level 15	Total Area	Project FAR
Floor Area	Retail Area	8,458						8,458	
	Restaurant Area	3,436						3,436	
	Office Area	9,423	27,177	26,648	23,135	19,278	2,206	107,867	
	Total FAR Floor Area							119,761	3.0

KEYNOTES - FLOOR PLAN

NOTE: NOT ALL KEYNOTES LISTED MAY APPLY TO THIS DRAWING.

- 1

EXISTING PROPERTY LINE
- 2

PRIMARY OFFICE ENTRANCE
- 3

PRIMARY RESIDENTIAL ENTRANCE
- 4

SERVICE DOOR
- 5

ACCESS RAMP TO BELOW GRADE PARKING STRUCTURE W/ TRANSITION SLOPE TOP BOTTOM SIDEWALK
- 6

2-HR FIRE RATED WALLS AT TRASH CHUTTE
- 7

EXTERIOR WALLS - REFER TO EXTERIOR ELEVATIONS
- 8

EXTERIOR ALUM / GLASS WINDOW SYSTEM
- 9

CANOPY ABOVE (SHOWN DASHED)
- 10

CANOPY BELOW
- 11

STRUCTURAL COLUMN
- 12

2HR. MECHANICAL SHAFT
- 13

SECONDARY OFFICE ENTRANCE
- 14

LOADING/ STORAGE
- 15

OFFICE LONG-TERM BIKE LOCKERS
- 16

RESIDENTIAL TRANSFORMER
- 17

42"H. AFF PARAPET WALL
- 18

RETAIL ENTRANCE
- 19

PRIVATE RESIDENTIAL BALCONY WITH 42"H. GUARDRAIL
- 20

EXTERIOR SLIDING GLASS DOOR
- 21

1HR FIRE RATED DEMISING WALL AT DWELLING UNIT
- 22

1HR FIRE RATED WALL AT HALLWAY
- 23

2HR FIRE RATED WALL AT STAIRS, ELEVATORS AND SHAFT
- 24

ARCHITECTURAL FIN
- 25

EGRESS DOOR
- 26

RESTAURANT
- 27

PARKING GARAGE ACCESS RAMP
- 28

OPEN OFFICE AREA
- 29

TRASH ROOM
- 30

RETAIL
- 31

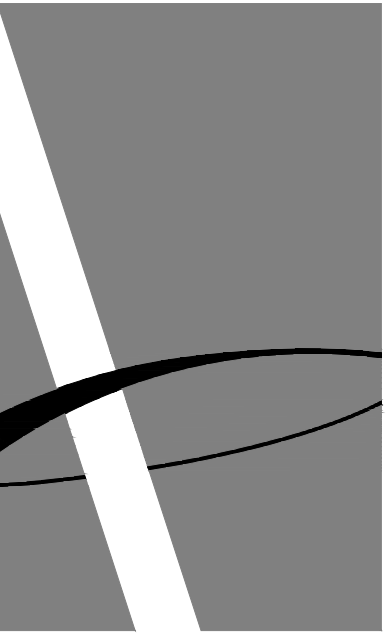
RESIDENTIAL LOBBY
- 32

FITNESS
- 33

COVERED PARKING ENTRANCE
- 34

42" H. GUARDRAIL AT BALCONY
- 35

MECHANICAL EQUIPMENT SCREEN



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In Association with:

A Planning Application For:
MECAH VENTURES
1 E. 4TH AVENUE
SAN MATEO, CA 94401

DATE	DESCRIPTION
03.27.2025	S8330 APPLICATION
05.30.2025	1ST PLANNING SUBMITTAL

FLOOR PLAN
LEVEL 01

A 2.11

PROJECT NO: 246148

NOTE: NOT ALL KEYNOTES LISTED MAY APPLY TO THIS DRAWING

NOTE: NOT ALL KEYNOTES LISTED MAY APPLY TO THIS DRAWING

- | | |
|----|--|
| 19 | PRIVATE RESIDENTIAL BALCONY WITH 42" H. GUARDRAIL |
| 20 | EXTERIOR SLIDING GLASS DOOR |
| 21 | 1HR FIRE RATED DEMISING WALL AT DWELLING UNIT |
| 22 | 1HR FIRE RATED WALL AT HALLWAY |
| 23 | 2HR FIRE RATED WALL AT STAIRS, ELEVATORS AND SHAFT |
| 24 | ARCHITECTURAL FIN |
| 25 | EGRESS DOOR |
| 26 | RESTAURANT |
| 27 | PARKING GARAGE ACCESS RAMP |
| 28 | OPEN OFFICE AREA |
| 29 | TRASH ROOM |
| 30 | RETAIL |
| 31 | RESIDENTIAL LOBBY |
| 32 | FITNESS |
| 33 | COVERED PARKING ENTRANCE |
| 34 | 42" H. GUARDRAIL AT BALCONY |
| 35 | MECHANICAL EQUIPMENT SCREEN |



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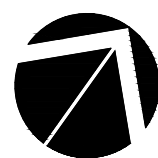
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In Association with:

SCALE: 1/16" = 1'-0"



Floor Area	Use	Level 1	Level 11	Level 12	Level 13	Level 14	Level 15	Total Area	Project FAR
	Retail Area	8,458						8,458	
	Restaurant Area	3,436						3,436	
	Office Area	9,423	27,177	26,648	23,135	19,278	2,206	107,867	
	Total FAR Floor Area							119,761	3.0

1BED/1BA	B1.12	630	LEVEL 09	1	0	1	2	6%
2BED/2BA	C1.1	1,127	LEVEL 09	0	0	1	1	3%
STUDIO	A1.4	388	LEVEL 10	1	0	0	1	3%
1BED/1BA	B1.12	630	LEVEL 10	1	0	1	2	6%
2BED/2BA	C1.1	1,127	LEVEL 10	0	0	1	1	3%
TOTAL BMR UNITS				18		18	36	

DATE	DESCRIPTION
03.27.2025	SB330 APPLICATION
05.30.2025	1ST PLANNING SUBMITTAL

DATE	DESCRIPTION
03.27.2025	SB330 APPLICATION
05.30.2025	1ST PLANNING SUBMITTAL

FLOOR PLAN

LEVEL 02

1997, 1998, 1999, 2000, 2001, 2002, 2003, 2004, 2005, 2006, 2007, 2008, 2009, 2010, 2011, 2012, 2013, 2014, 2015, 2016, 2017, 2018, 2019, 2020, 2021, 2022, 2023, 2024, 2025, 2026, 2027, 2028, 2029, 2030, 2031, 2032, 2033, 2034, 2035, 2036, 2037, 2038, 2039, 2040, 2041, 2042, 2043, 2044, 2045, 2046, 2047, 2048, 2049, 2050, 2051, 2052, 2053, 2054, 2055, 2056, 2057, 2058, 2059, 2060, 2061, 2062, 2063, 2064, 2065, 2066, 2067, 2068, 2069, 2070, 2071, 2072, 2073, 2074, 2075, 2076, 2077, 2078, 2079, 2080, 2081, 2082, 2083, 2084, 2085, 2086, 2087, 2088, 2089, 2090, 2091, 2092, 2093, 2094, 2095, 2096, 2097, 2098, 2099, 2100, 2101, 2102, 2103, 2104, 2105, 2106, 2107, 2108, 2109, 2110, 2111, 2112, 2113, 2114, 2115, 2116, 2117, 2118, 2119, 2120, 2121, 2122, 2123, 2124, 2125, 2126, 2127, 2128, 2129, 2130, 2131, 2132, 2133, 2134, 2135, 2136, 2137, 2138, 2139, 2140, 2141, 2142, 2143, 2144, 2145, 2146, 2147, 2148, 2149, 2150, 2151, 2152, 2153, 2154, 2155, 2156, 2157, 2158, 2159, 2160, 2161, 2162, 2163, 2164, 2165, 2166, 2167, 2168, 2169, 2170, 2171, 2172, 2173, 2174, 2175, 2176, 2177, 2178, 2179, 2180, 2181, 2182, 2183, 2184, 2185, 2186, 2187, 2188, 2189, 2190, 2191, 2192, 2193, 2194, 2195, 2196, 2197, 2198, 2199, 2200, 2201, 2202, 2203, 2204, 2205, 2206, 2207, 2208, 2209, 2210, 2211, 2212, 2213, 2214, 2215, 2216, 2217, 2218, 2219, 2220, 2221, 2222, 2223, 2224, 2225, 2226, 2227, 2228, 2229, 2230, 2231, 2232, 2233, 2234, 2235, 2236, 2237, 2238, 2239, 2240, 2241, 2242, 2243, 2244, 2245, 2246, 2247, 2248, 2249, 2250, 2251, 2252, 2253, 2254, 2255, 2256, 2257, 2258, 2259, 2260, 2261, 2262, 2263, 2264, 2265, 2266, 2267, 2268, 2269, 2270, 2271, 2272, 2273, 2274, 2275, 2276, 2277, 2278, 2279, 2280, 2281, 2282, 2283, 2284, 2285, 2286, 2287, 2288, 2289, 2290, 2291, 2292, 2293, 2294, 2295, 2296, 2297, 2298, 2299, 2300, 2301, 2302, 2303, 2304, 2305, 2306, 2307, 2308, 2309, 2310, 2311, 2312, 2313, 2314, 2315, 2316, 2317, 2318, 2319, 2320, 2321, 2322, 2323, 2324, 2325, 2326, 2327, 2328, 2329, 2330, 2331, 2332, 2333, 2334, 2335, 2336, 2337, 2338, 2339, 2340, 2341, 2342, 2343, 2344, 2345, 2346, 2347, 2348, 2349, 2350, 2351, 2352, 2353, 2354, 2355, 2356, 2357, 2358, 2359, 2360, 2361, 2362, 2363, 2364, 2365, 2366, 2367, 2368, 2369, 2370, 2371, 2372, 2373, 2374, 2375, 2376, 2377, 2378, 2379, 2380, 2381, 2382, 2383, 2384, 2385, 2386, 2387, 2388, 2389, 2390, 2391, 2392, 2393, 2394, 2395, 2396, 2397, 2398, 2399, 2400, 2401, 2402, 2403, 2404, 2405, 2406, 2407, 2408, 2409, 2410, 2411, 2412, 2413, 2414, 2415, 2416, 2417, 2418, 2419, 2420, 2421, 2422, 2423, 2424, 2425, 2426, 2427, 2428, 2429, 2430, 2431, 2432, 2433, 2434, 2435, 2436, 2437, 2438, 2439, 2440, 2441, 2442, 2443, 2444, 2445, 2446, 2447, 2448, 2449, 2450, 2451, 2452, 2453, 2454, 2455, 2456, 2457, 2458, 2459, 2460, 2461, 2462, 2463, 2464, 2465, 2466, 2467, 2468, 2469, 2470, 2471, 2472, 2473, 2474, 2475, 2476, 2477, 2478, 2479, 2480, 2481, 2482, 2483, 2484, 2485, 2486, 2487, 2488, 2489, 2490, 2491, 2492, 2493, 2494, 2495, 2496, 2497, 2498, 2499, 2500, 2501, 2502, 2503, 2504, 2505, 2506, 2507, 2508, 2509, 2510, 2511, 2512, 2513, 2514, 2515, 2516, 2517, 2518, 2519, 2520, 2521, 2522, 2523, 2524, 2525, 2526, 2527, 2528, 2529, 2530, 2531, 2532, 2533, 2534, 2535, 2536, 2537, 2538, 2539, 2540, 2541, 2542, 2543, 2544, 2545, 2546, 2547, 2548, 2549, 2550, 2551, 2552, 2553, 2554, 2555, 2556, 2557, 2558, 2559, 2560, 2561, 2562, 2563, 2564, 2565, 2566, 2567, 2568, 2569, 2570, 2571, 2572, 2573, 2574, 2575, 2576, 2577, 2578, 2579, 2580, 2581, 2582, 2583, 2584, 2585, 2586, 2587, 2588, 2589, 2590, 2591, 2592, 2593, 2594, 2595, 2596, 2597, 2598, 2599, 2600, 2601, 2602, 2603, 2604, 2605, 2606, 2607, 2608, 2609, 2610, 2611, 2612, 2613, 2614, 2615, 2616, 2617, 2618, 2619, 2620, 2621, 2622, 2623, 2624, 2625, 2626, 2627, 2628, 2629, 2630, 2631, 2632, 2633, 2634, 2635, 2636, 2637, 2638, 2639, 2640, 2641, 2642, 2643, 2644, 2645, 2646, 2647, 2648, 2649, 2650, 2651, 2652, 2653, 2654, 2655, 2656, 2657, 2658, 2659, 2660, 2661, 2662, 2663, 2664, 2665, 2666, 2667, 2668, 2669, 2670, 2671, 2672, 2673, 2674, 2675, 2676, 2677, 2678, 26

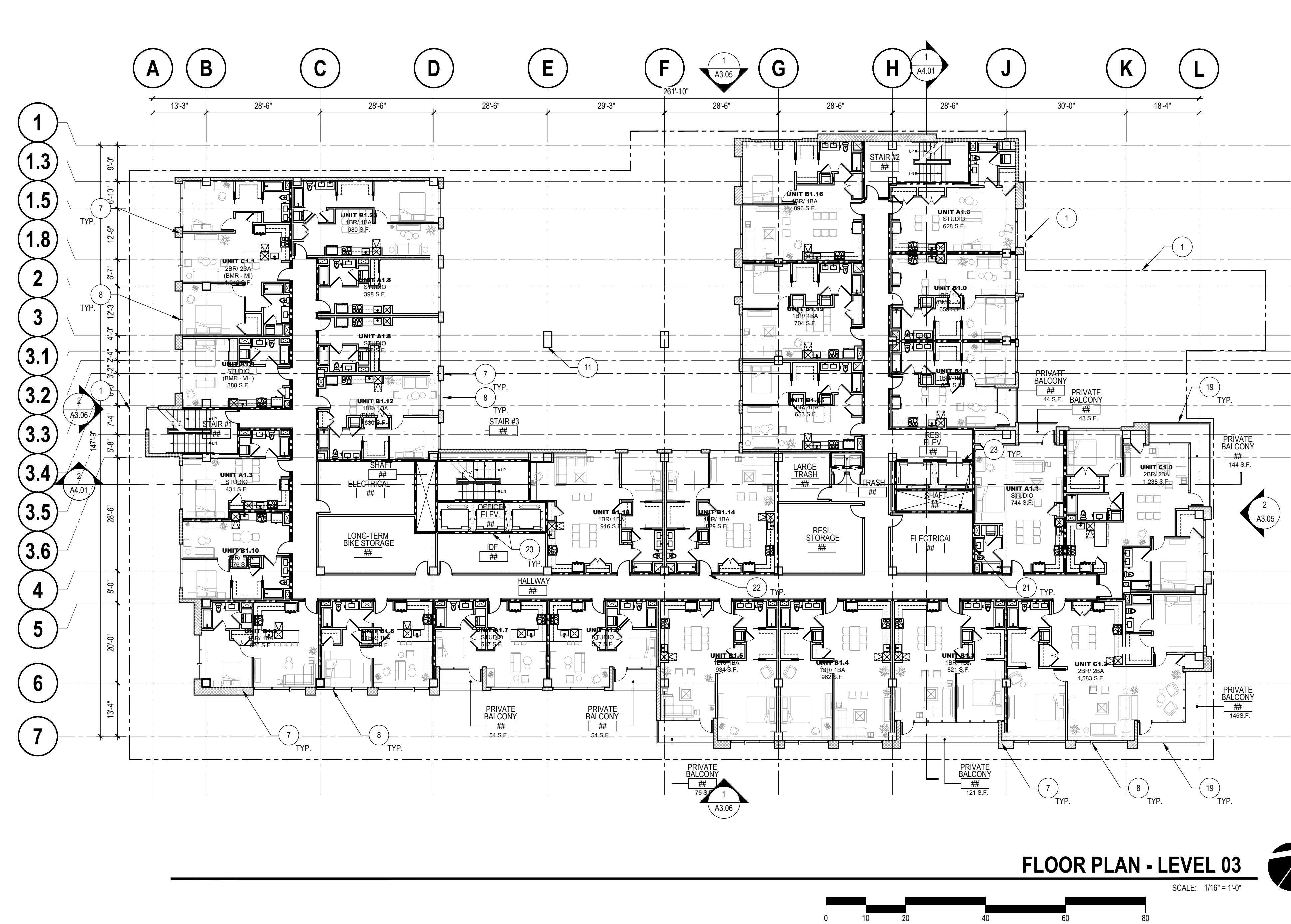
Discussion

A 2 12

A 2.12

PROJECT NO: 246148

PROJECT NO. Z40140



FLOOR PLAN - LEVEL 03

KEYNOTES - FLOOR PLAN

NOTE: NOT ALL KEYNOTES LISTED MAY APPLY TO THIS DRAWING.

- 1

EXISTING PROPERTY LINE
- 2

PRIMARY OFFICE ENTRANCE
- 3

PRIMARY RESIDENTIAL ENTRANCE
- 4

SERVICE DOOR
- 5

ACCESS RAMP TO BELOW GRADE PARKING STRUCTURE W/ TRANSITION SLOPE TOP BOTTOM SIDEWALK
- 6

2-HR FIRE RATED WALLS AT TRASH CHUTTE
- 7

EXTERIOR WALLS - REFER TO EXTERIOR ELEVATIONS
- 8

EXTERIOR ALUM./ GLASS WINDOW SYSTEM
- 9

CANOPY ABOVE (SHOWN DASHED)
- 10

CANOPY BELOW
- 11

STRUCTURAL COLUMN
- 12

2HR. MECHANICAL SHAFT
- 13

SECONDARY OFFICE ENTRANCE
- 14

LOADING/ STORAGE
- 15

OFFICE LONG-TERM BIKE LOCKERS
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RESIDENTIAL TRANSFORMER
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42"H. AFF PARAPET WALL
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RETAIL ENTRANCE
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PRIVATE RESIDENTIAL BALCONY WITH 42"H. GUARDRAIL
- 20

EXTERIOR SLIDING GLASS DOOR
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1HR FIRE RATED DEMISING WALL AT DWELLING UNIT
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1HR FIRE RATED WALL AT HALLWAY
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2HR FIRE RATED WALL AT STAIRS, ELEVATORS AND SHAFT
- 24

ARCHITECTURAL FIN
- 25

EGRESS DOOR
- 26

RESTAURANT
- 27

PARKING GARAGE ACCESS RAMP
- 28

OPEN OFFICE AREA
- 29

TRASH ROOM
- 30

RETAIL
- 31

RESIDENTIAL LOBBY
- 32

FITNESS
- 33

COVERED PARKING ENTRANCE
- 34

42" H. GUARDRAIL AT BALCONY
- 35

MECHANICAL EQUIPMENT SCREEN

Open Space	Private Residential Open Space at level 2 (S.F.) - Provided	681
	Common Residential Open Space at Level 4 (S.F.) - Provided	3,990
	Private Residential Open Space at level 3 (S.F.) - Provided	681
	Private Residential Open Space at level 4 (S.F.) - Provided	681
	Private Residential Open Space at level 5 (S.F.) - Provided	681
	Private Residential Open Space at level 6 (S.F.) - Provided	681
	Private Residential Open Space at level 7 (S.F.) - Provided	681
	Private Residential Open Space at level 8 (S.F.) - Provided	466
	Private Residential Open Space at level 9 (S.F.) - Provided	466
	Private Residential Open Space at level 10 (S.F.) - Provided	466
	Total open space private + common (residential) - Provided	9474
	Office Open Space at Level 11 (S.F.) - Provided	758
	Office Open Space at Level 12 (S.F.) - Provided	609
	Office Open Space at Level 13 (S.F.) - Provided	4282
	Office Open Space at Level 14 (S.F.) - Provided	3673

Floor Area	Use	Level 1	Level 11	Level 12	Level 13	Level 14	Level 15	Total Area	Project FAR
	Retail Area	8,458						8,458	
	Restaurant Area	3,436						3,436	
	Office Area	9,423	27,177	26,648	23,135	19,278	2,206	107,867	
	Total FAR Floor Area							119,761	3.0

BMR UNIT BREAKDOWN							
UNIT TYPE	TAG	AREA (S.F.)	LOCATION	# VLI (VERY LOW INCOME) UNITS	# LI (LOW INCOME) UNITS	# MOD (MODERATE INCOME) UNITS	TOTAL BMR UNITS
STUDIO	A1.4	388	LEVEL 02	1	0	0	1
1BED/1BA	B1.0	659	LEVEL 02	1	0	1	2
2BED/2BA	C1.1	1,127	LEVEL 02	0	0	1	1
STUDIO	A1.4	388	LEVEL 03	1	0	0	1
1BED/1BA	B1.0	659	LEVEL 03	1	0	1	2
2BED/2BA	C1.1	1,127	LEVEL 03	0	0	1	1
STUDIO	A1.4	388	LEVEL 04	1	0	0	1
1BED/1BA	B1.0	659	LEVEL 04	1	0	2	3
STUDIO	A1.4	388	LEVEL 05	1	0	0	1
1BED/1BA	B1.0	659	LEVEL 05	1	0	2	3
STUDIO	A1.4	388	LEVEL 06	1	0	0	1
1BED/1BA	B1.0	659	LEVEL 06	1	0	2	3
STUDIO	A1.4	388	LEVEL 07	1	0	0	1
1BED/1BA	B1.0	659	LEVEL 07	1	0	2	3
STUDIO	A1.4	388	LEVEL 08	1	0	0	1
1BED/1BA	B1.0	659	LEVEL 08	1	0	2	3
STUDIO	A1.4	388	LEVEL 09	1	0	0	1
1BED/1BA	B1.12	630	LEVEL 09	1	0	1	2
2BED/2BA	C1.1	1,127	LEVEL 09	0	0	1	1
STUDIO	A1.4	388	LEVEL 10	1	0	0	1
1BED/1BA	B1.12	630	LEVEL 10	1	0	1	2
2BED/2BA	C1.1	1,127	LEVEL 10	0	0	1	1
TOTAL BMR UNITS				18	0	18	36



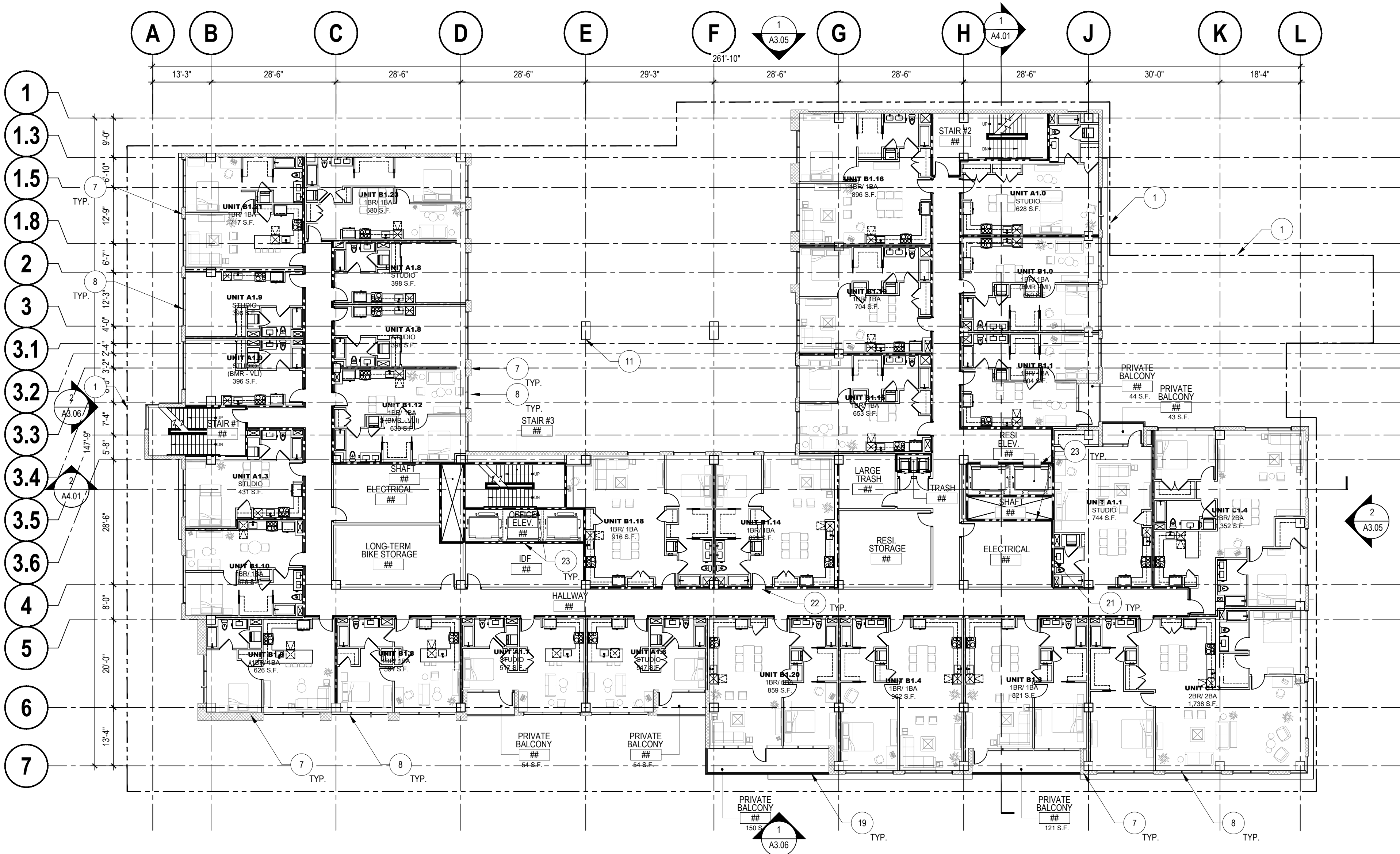
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DATE	DESCRIPTION
03.27.2025	SB330 APPLICATION
05.30.2025	1ST PLANNING SUBMITTA

FLOOR PLAN
LEVEL 03

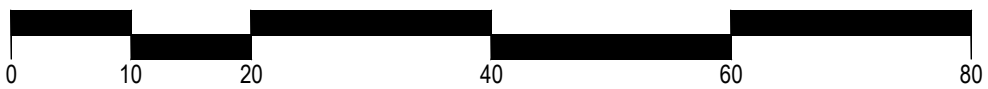
A 2.13

PROJECT NO: 246148



FLOOR PLAN - LEVEL 08

SCALE: 1/16" = 1'-0"



Open Space	Private Residential Open Space at level 2 (S.F.) - Provided							681
	Common Residential Open Space at Level 4 (S.F.) - Provided							3,390
	Private Residential Open Space at level 3 (S.F.) - Provided							681
	Private Residential Open Space at level 4 (S.F.) - Provided							681
	Private Residential Open Space at level 5 (S.F.) - Provided							681
	Private Residential Open Space at level 6 (S.F.) - Provided							681
	Private Residential Open Space at level 7 (S.F.) - Provided							681
	Private Residential Open Space at level 8 (S.F.) - Provided							466
	Private Residential Open Space at level 9 (S.F.) - Provided							466
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	Total open space private + common (residential) - Provided							9474
	Office Open Space at Level 11 (S.F.) - Provided							758
	Office Open Space at Level 12 (S.F.) - Provided							609
	Office Open Space at Level 13 (S.F.) - Provided							4282
	Office Open Space at Level 14 (S.F.) - Provided							3673
	Office Open Space at Level 15 (S.F.) - Provided							6157
	Total Office Open Space (S.F.) - Required (1% of total office area or 0.01 x 112,131 S.F.)							1,121
	Total Common Office Open Space (S.F.) - Provided							15479

Floor Area	Use	Level 1	Level 11	Level 12	Level 13	Level 14	Level 15	Total Area	Project FAR
	Retail Area	8,458						8,458	
	Restaurant Area	3,436						3,436	
	Office Area	9,423	27,177	26,648	23,135	19,278	2,206	107,867	
	Total FAR Floor Area							119,761	3.0

BMR UNIT BREAKDOWN							
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1BED/1BA	B1.0	659	LEVEL 02	1	0	1	2
2BED/2BA	C1.1	1,127	LEVEL 02	0	0	1	1
STUDIO	A1.4	388	LEVEL 03	1	0	0	1
1BED/1BA	B1.0	659	LEVEL 03	1	0	1	2
2BED/2BA	C1.1	1,127	LEVEL 03	0	0	1	1
STUDIO	A1.4	388	LEVEL 04	1	0	0	1
1BED/1BA	B1.0	659	LEVEL 04	1	0	2	3
STUDIO	A1.4	388	LEVEL 05	1	0	0	1
1BED/1BA	B1.0	659	LEVEL 05	1	0	2	3
STUDIO	A1.4	388	LEVEL 06	1	0	0	1
1BED/1BA	B1.0	659	LEVEL 06	1	0	2	3
STUDIO	A1.4	388	LEVEL 07	1	0	0	1
1BED/1BA	B1.0	659	LEVEL 07	1	0	2	3
STUDIO	A1.4	388	LEVEL 08	1	0	0	1
1BED/1BA	B1.0	659	LEVEL 08	1	0	2	3
STUDIO	A1.4	388	LEVEL 09	1	0	0	1
1BED/1BA	B1.12	630	LEVEL 09	1	0	1	2
2BED/2BA	C1.1	1,127	LEVEL 09	0	0	1	1
STUDIO	A1.4	388	LEVEL 10	1	0	0	1
1BED/1BA	B1.12	630	LEVEL 10	1	0	1	2
2BED/2BA	C1.1	1,127	LEVEL 10	0	0	1	1
TOTAL BMR UNITS				18	0	18	36

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42" H. GUARDRAIL AT BALCONY
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MECHANICAL EQUIPMENT SCREEN



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05.30.2025	1ST PLANNING SUBMITTAL

FLOOR PLAN
LEVEL 08

A 2.15

PROJECT NO: 246148

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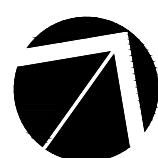
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In Association with:

SCALE: 1/16" = 1'-0"



Floor Area	Use	Level 1	Level 11	Level 12	Level 13	Level 14	Level 15	Total Area	Project FAR
	Retail Area	8,458						8,458	
	Restaurant Area	3,436						3,436	
	Office Area	9,423	27,177	26,648	23,135	19,278	2,206	107,867	
	Total FAR Floor Area							119,761	3.0

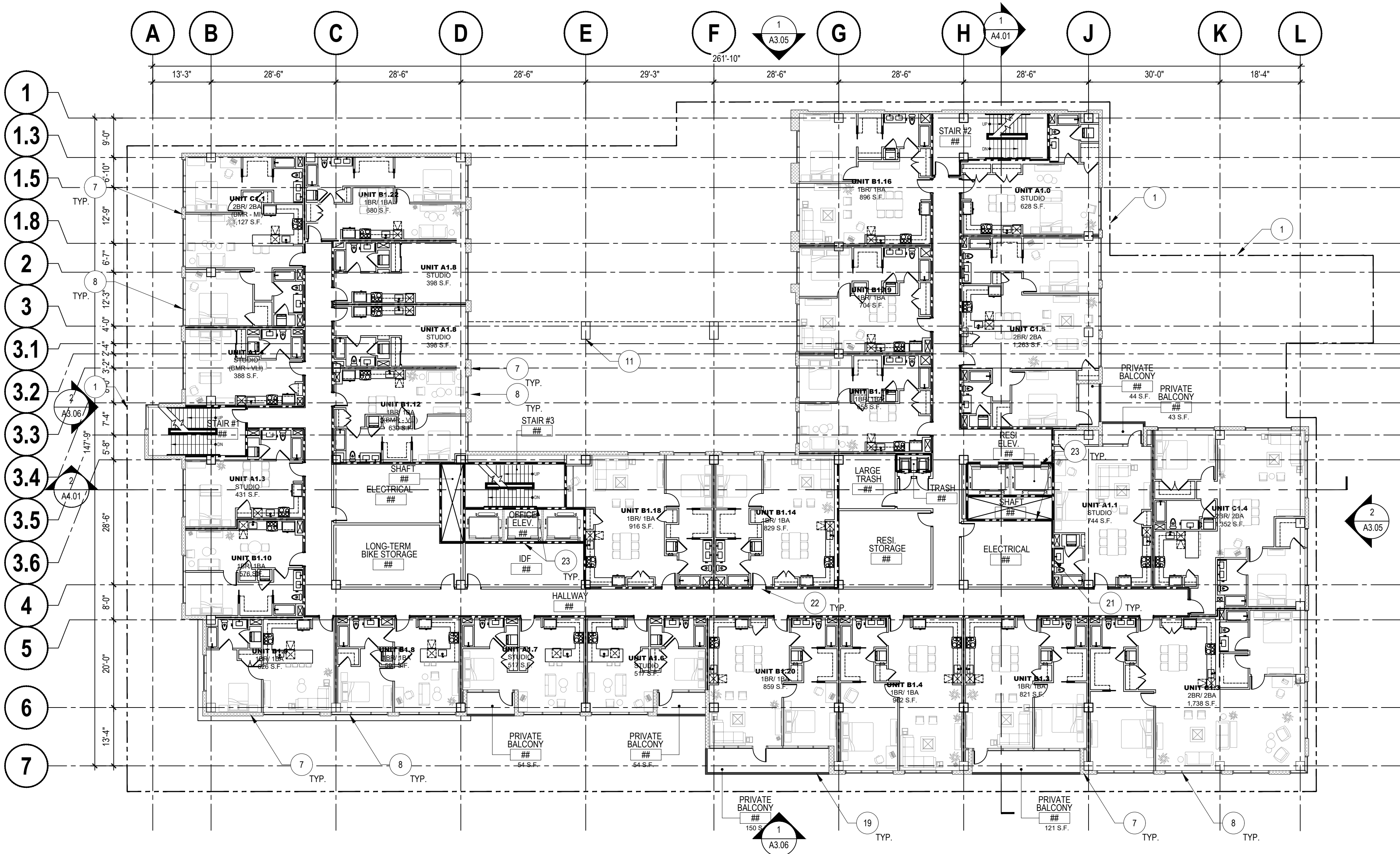
A Planning Application For:
MECAH VENTURES
1 E. 4TH AVENUE
SAN MATEO, CA 94401

DATE	DESCRIPTION
03.27.2025	SB330 APPLICATION
05.30.2025	1ST PLANNING SUBMITTAL

FLOOR PLAN
LEVEL 09

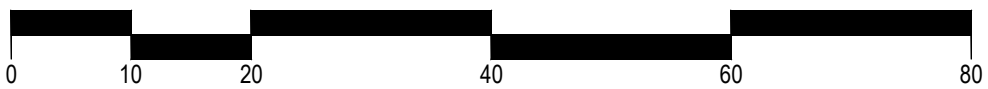
A 2.16

PROJECT NO: 246148



FLOOR PLAN - LEVEL 10

SCALE: 1/16" = 1'-0"



Open Space	Private Residential Open Space at level 2 (S.F.) - Provided							681
	Common Residential Open Space at Level 4 (S.F.) - Provided							3,390
	Private Residential Open Space at level 3 (S.F.) - Provided							681
	Private Residential Open Space at level 4 (S.F.) - Provided							681
	Private Residential Open Space at level 5 (S.F.) - Provided							681
	Private Residential Open Space at level 6 (S.F.) - Provided							681
	Private Residential Open Space at level 7 (S.F.) - Provided							681
	Private Residential Open Space at level 8 (S.F.) - Provided							466
	Private Residential Open Space at level 9 (S.F.) - Provided							466
	Private Residential Open Space at level 10 (S.F.) - Provided							466
	Total open space private + common (residential) - Provided							9474
	Office Open Space at Level 11 (S.F.) - Provided							758
	Office Open Space at Level 12 (S.F.) - Provided							609
	Office Open Space at Level 13 (S.F.) - Provided							4282
	Office Open Space at Level 14 (S.F.) - Provided							3673
	Office Open Space at Level 15 (S.F.) - Provided							6157
	Total Office Open Space (S.F.) - Required (1% of total office area or 0.01 x 112,131 S.F.)							1,121
	Total Common Office Open Space (S.F.) - Provided							15479

Floor Area	Use	Level 1	Level 11	Level 12	Level 13	Level 14	Level 15	Total Area	Project FAR
	Retail Area	8,458						8,458	
	Restaurant Area	3,436						3,436	
	Office Area	9,423	27,177	26,648	23,135	19,278	2,206	107,867	
	Total FAR Floor Area							119,761	3.0

BMR UNIT BREAKDOWN							
UNIT TYPE	TAG	AREA (S.F.)	LOCATION	# VLI (VERY LOW INCOME) UNITS	# LI (LOW INCOME) UNITS	# MOD (MODERATE INCOME) UNITS	TOTAL BMR UNITS
STUDIO	A1.4	388	LEVEL 02	1	0	0	1
1BED/1BA	B1.0	659	LEVEL 02	1	0	1	2
2BED/2BA	C1.1	1,127	LEVEL 02	0	0	1	1
STUDIO	A1.4	388	LEVEL 03	1	0	0	1
1BED/1BA	B1.0	659	LEVEL 03	1	0	1	2
2BED/2BA	C1.1	1,127	LEVEL 03	0	0	1	1
STUDIO	A1.4	388	LEVEL 04	1	0	0	1
1BED/1BA	B1.0	659	LEVEL 04	1	0	2	3
STUDIO	A1.4	388	LEVEL 05	1	0	0	1
1BED/1BA	B1.0	659	LEVEL 05	1	0	2	3
STUDIO	A1.4	388	LEVEL 06	1	0	0	1
1BED/1BA	B1.0	659	LEVEL 06	1	0	2	3
STUDIO	A1.4	388	LEVEL 07	1	0	0	1
1BED/1BA	B1.0	659	LEVEL 07	1	0	2	3
STUDIO	A1.4	388	LEVEL 08	1	0	0	1
1BED/1BA	B1.0	659	LEVEL 08	1	0	2	3
STUDIO	A1.4	388	LEVEL 09	1	0	0	1
1BED/1BA	B1.12	630	LEVEL 09	1	0	1	2
2BED/2BA	C1.1	1,127	LEVEL 09	0	0	1	1
STUDIO	A1.4	388	LEVEL 10	1	0	0	1
1BED/1BA	B1.12	630	LEVEL 10	1	0	1	2
2BED/2BA	C1.1	1,127	LEVEL 10	0	0	1	1
TOTAL BMR UNITS				18	0	18	36

KEYNOTES - FLOOR PLAN

NOTE: NOT ALL KEYNOTES LISTED MAY APPLY TO THIS DRAWING.

- 1

EXISTING PROPERTY LINE
- 2

PRIMARY OFFICE ENTRANCE
- 3

PRIMARY RESIDENTIAL ENTRANCE
- 4

SERVICE DOOR
- 5

ACCESS RAMP TO BELOW GRADE PARKING STRUCTURE W/ TRANSITION SLOPE TOP BOTTOM SIDEWALK
- 6

2-HR FIRE RATED WALLS AT TRASH CHUTE
- 7

EXTERIOR WALLS - REFER TO EXTERIOR ELEVATIONS
- 8

EXTERIOR ALUM./ GLASS WINDOW SYSTEM
- 9

CANOPY ABOVE (SHOWN DASHED)
- 10

CANOPY BELOW
- 11

STRUCTURAL COLUMN
- 12

2HR. MECHANICAL SHAFT
- 13

SECONDARY OFFICE ENTRANCE
- 14

LOADING/ STORAGE
- 15

OFFICE LONG-TERM BIKE LOCKERS
- 16

RESIDENTIAL TRANSFORMER
- 17

42"H. AFF PARAPET WALL
- 18

RETAIL ENTRANCE
- 19

PRIVATE RESIDENTIAL BALCONY WITH 42"H. GUARDRAIL
- 20

EXTERIOR SLIDING GLASS DOOR
- 21

1HR FIRE RATED DEMISING WALL AT DWELLING UNIT
- 22

1HR FIRE RATED WALL AT HALLWAY
- 23

2HR FIRE RATED WALL AT STAIRS, ELEVATORS AND SHAFT
- 24

ARCHITECTURAL FIN
- 25

EGRESS DOOR
- 26

RESTAURANT
- 27

PARKING GARAGE ACCESS RAMP
- 28

OPEN OFFICE AREA
- 29

TRASH ROOM
- 30

RETAIL
- 31

RESIDENTIAL LOBBY
- 32

FITNESS
- 33

COVERED PARKING ENTRANCE
- 34

42" H. GUARDRAIL AT BALCONY
- 35

MECHANICAL EQUIPMENT SCREEN



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In Association with:

A Planning Application For:
MECAH VENTURES
1 E. 4TH AVENUE
SAN MATEO, CA 94401

DATE	DESCRIPTION
03.27.2025	S8330 APPLICATION
05.30.2025	1ST PLANNING SUBMITTAL

FLOOR PLAN
LEVEL 10

A 2.17

PROJECT NO: 246148

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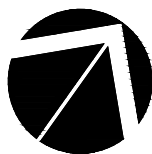
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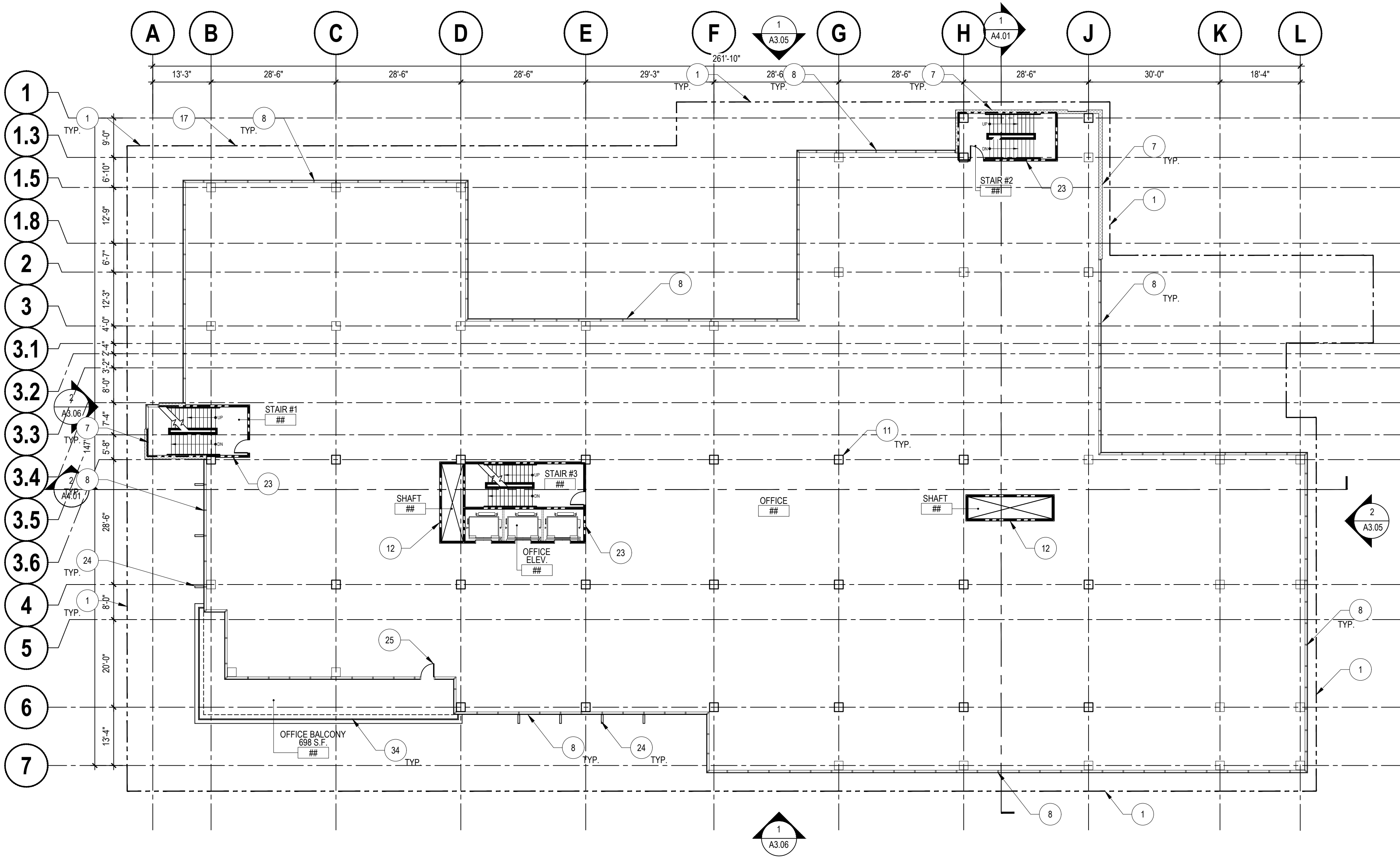
DATE	DESCRIPTION
03.27.2025	SB330 APPLICATION
05.30.2025	1ST PLANNING SUBMITTAL

A 2.18

PROJECT NO: 246148



	Use	Level 1	Level 11	Level 12	Level 13	Level 14	Level 15	Total Area	Project FAR
Floor Area	Retail Area	8,458						8,458	
	Restaurant Area	3,436						3,436	
	Office Area	9,423	27,177	26,648	23,135	19,278	2,206	107,867	
	Total FAR Floor Area							119,761	3.0



FLOOR PLAN - LEVEL 12

SCALE: 1/16" = 1'-0"



Open Space	Private Residential Open Space at level 2 (S.F.) - Provided	681
	Common Residential Open Space at Level 4 (S.F.) - Provided	3,390
	Private Residential Open Space at level 3 (S.F.) - Provided	681
	Private Residential Open Space at level 4 (S.F.) - Provided	681
	Private Residential Open Space at level 5 (S.F.) - Provided	681
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	Private Residential Open Space at level 7 (S.F.) - Provided	681
	Private Residential Open Space at level 8 (S.F.) - Provided	466
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	Total open space private + common (residential) - Provided	9474
	Office Open Space at Level 11 (S.F.) - Provided	758
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	Office Open Space at Level 13 (S.F.) - Provided	4282
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	Total Common Office Open Space (S.F.) - Provided	15479

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	Total FAR Floor Area							119,761	3.0

KEYNOTES - FLOOR PLAN

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- 1

EXISTING PROPERTY LINE
- 2

PRIMARY OFFICE ENTRANCE
- 3

PRIMARY RESIDENTIAL ENTRANCE
- 4

SERVICE DOOR
- 5

ACCESS RAMP TO BELOW GRADE PARKING STRUCTURE W/ TRANSITION SLOPE
- 6

TOP BOTTOM SIDEWALK
- 7

2-HR FIRE RATED WALLS AT TRASH CHUTTE
- 8

EXTERIOR WALLS - REFER TO EXTERIOR ELEVATIONS
- 9

EXTERIOR ALUM./ GLASS WINDOW SYSTEM
- 10

CANOPY ABOVE (SHOWN DASHED)
- 11

CANOPY BELOW
- 12

STRUCTURAL COLUMN
- 13

2HR. MECHANICAL SHAFT
- 14

SECONDARY OFFICE ENTRANCE
- 15

LOADING/ STORAGE
- 16

OFFICE LONG-TERM BIKE LOCKERS
- 17

RESIDENTIAL TRANSFORMER
- 18

42"H. AFF PARAPET WALL
- 19

RETAIL ENTRANCE

20

PRIVATE RESIDENTIAL BALCONY WITH 42"H. GUARDRAIL

21

EXTERIOR SLIDING GLASS DOOR

22

1HR FIRE RATED DEMISING WALL AT DWELLING UNIT

23

1HR FIRE RATED WALL AT HALLWAY

24

2HR FIRE RATED WALL AT STAIRS, ELEVATORS AND SHAFT

25

ARCHITECTURAL FIN

26

EGRESS DOOR

27

RESTAURANT

28

PARKING GARAGE ACCESS RAMP

29

OPEN OFFICE AREA

30

TRASH ROOM

31

RETAIL

32

RESIDENTIAL LOBBY

33

FITNESS

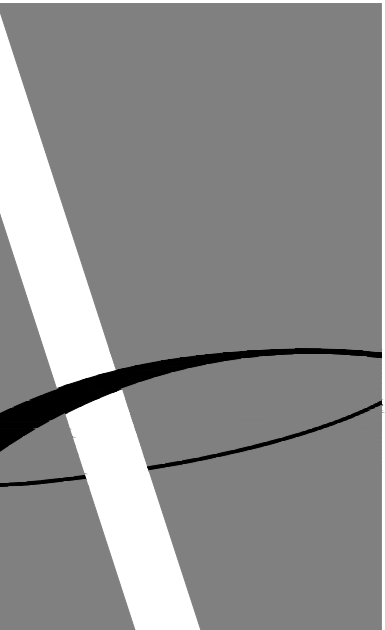
34

COVERED PARKING ENTRANCE

35

42" H. GUARDRAIL AT BALCONY

36

MECHANICAL EQUIPMENT SCREEN

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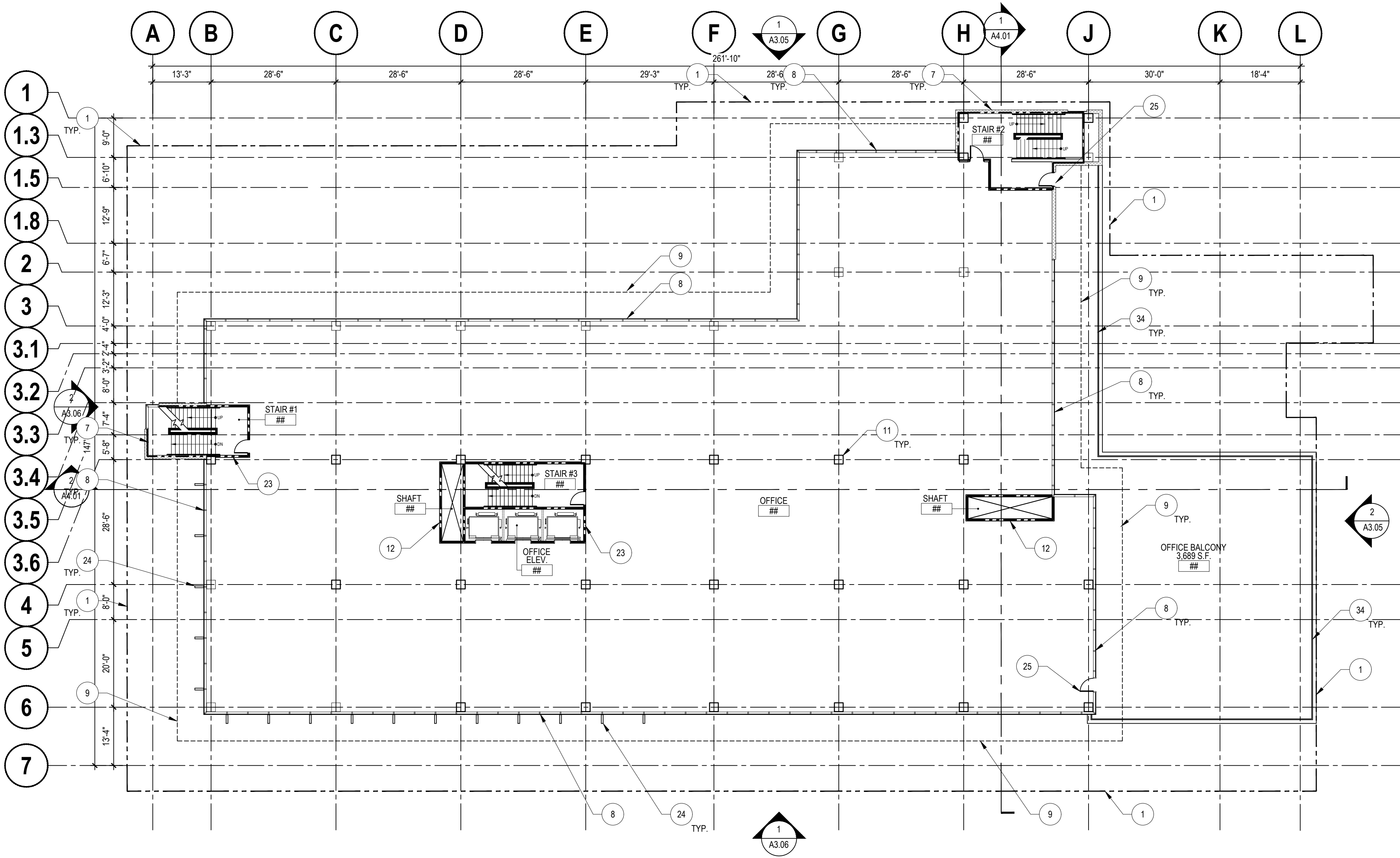
A Planning Application For:
MECAH VENTURES
1 E. 4TH AVENUE
SAN MATEO, CA 94401

DATE	DESCRIPTION
03.27.2025	S8330 APPLICATION
05.30.2025	1ST PLANNING SUBMITTAL

FLOOR PLAN
LEVEL 12

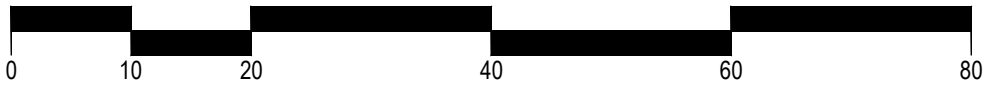
A 2.19

PROJECT NO: 246148



FLOOR PLAN - LEVEL 14

SCALE: 1/16" = 1'-0"



Open Space	Private Residential Open Space at level 2 (S.F.) - Provided	681
	Common Residential Open Space at Level 4 (S.F.) - Provided	3,390
	Private Residential Open Space at level 3 (S.F.) - Provided	681
	Private Residential Open Space at level 4 (S.F.) - Provided	681
	Private Residential Open Space at level 5 (S.F.) - Provided	681
	Private Residential Open Space at level 6 (S.F.) - Provided	681
	Private Residential Open Space at level 7 (S.F.) - Provided	681
	Private Residential Open Space at level 8 (S.F.) - Provided	466
	Private Residential Open Space at level 9 (S.F.) - Provided	466
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	Office Open Space at Level 14 (S.F.) - Provided	3673
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	Total Office Open Space (S.F.) - Required (1% of total office area or 0.01 x 112,131 S.F.)	1,121
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	Use	Level 1	Level 11	Level 12	Level 13	Level 14	Level 15	Total Area	Project FAR
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	Total FAR Floor Area							119,761	3.0

KEYNOTES - FLOOR PLAN

NOTE: NOT ALL KEYNOTES LISTED MAY APPLY TO THIS DRAWING.

- 1

EXISTING PROPERTY LINE
- 2

PRIMARY OFFICE ENTRANCE
- 3

PRIMARY RESIDENTIAL ENTRANCE
- 4

SERVICE DOOR
- 5

ACCESS RAMP TO BELOW GRADE PARKING STRUCTURE W/ TRANSITION SLOPE
TOP BOTTOM SIDEWALK
- 6

2-HR FIRE RATED WALLS AT TRASH CHUTTE
- 7

EXTERIOR WALLS - REFER TO EXTERIOR ELEVATIONS
- 8

EXTERIOR ALUM / GLASS WINDOW SYSTEM
- 9

CANOPY ABOVE (SHOWN DASHED)
- 10

CANOPY BELOW
- 11

STRUCTURAL COLUMN
- 12

2HR. MECHANICAL SHAFT
- 13

SECONDARY OFFICE ENTRANCE
- 14

LOADING/ STORAGE
- 15

OFFICE LONG-TERM BIKE LOCKERS
- 16

RESIDENTIAL TRANSFORMER
- 17

42"H. AFF PARAPET WALL
- 18

RETAIL ENTRANCE
- 19

PRIVATE RESIDENTIAL BALCONY WITH 42"H. GUARDRAIL
- 20

EXTERIOR SLIDING GLASS DOOR
- 21

1HR FIRE RATED DEMISING WALL AT DWELLING UNIT
- 22

1HR FIRE RATED WALL AT HALLWAY
- 23

2HR FIRE RATED WALL AT STAIRS, ELEVATORS AND SHAFT
- 24

ARCHITECTURAL FIN
- 25

EGRESS DOOR
- 26

RESTAURANT
- 27

PARKING GARAGE ACCESS RAMP
- 28

OPEN OFFICE AREA
- 29

TRASH ROOM
- 30

RETAIL
- 31

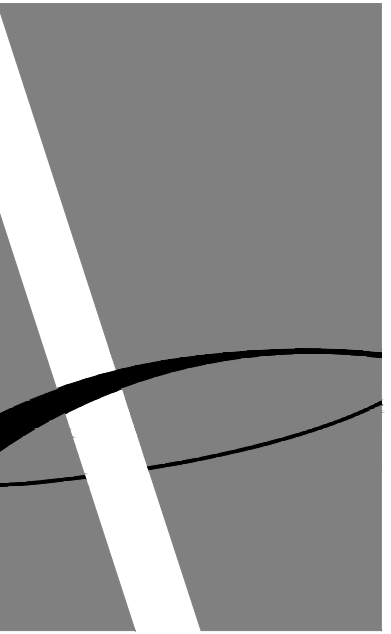
RESIDENTIAL LOBBY
- 32

FITNESS
- 33

COVERED PARKING ENTRANCE
- 34

42" H. GUARDRAIL AT BALCONY
- 35

MECHANICAL EQUIPMENT SCREEN



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In Association with:

A Planning Application For:
MECAH VENTURES
1 E. 4TH AVENUE
SAN MATEO, CA 94401

DATE	DESCRIPTION
03.27.2025	S8330 APPLICATION
05.30.2025	1ST PLANNING SUBMITTAL

FLOOR PLAN
LEVEL 14

A 2.21

PROJECT NO: 246148

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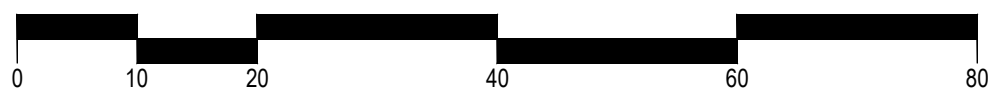
DATE	DESCRIPTION
03.27.2025	SB330 APPLICATION
05.30.2025	1ST PLANNING SUBMITTAL

A 2.22

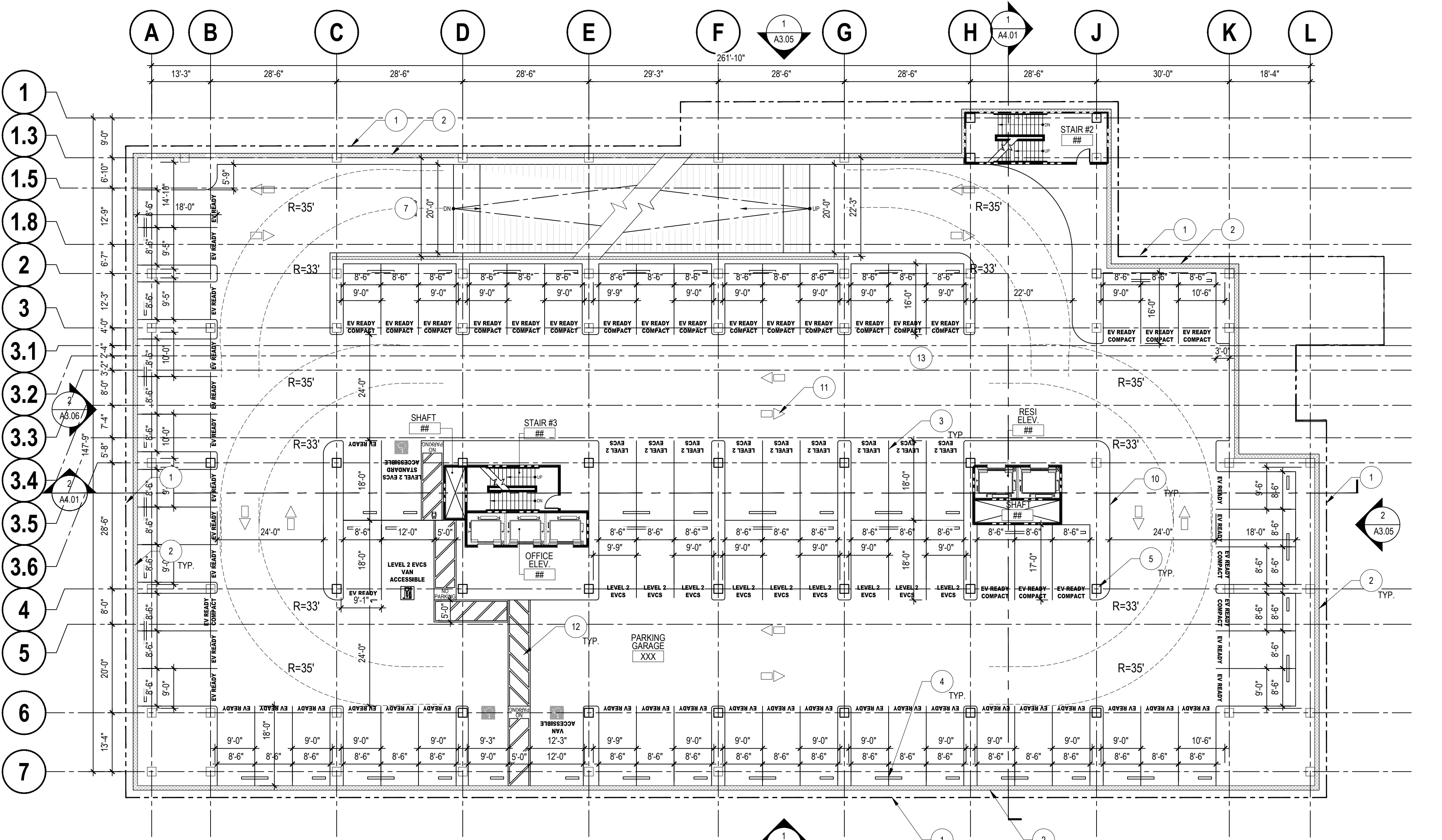
PROJECT NO: 246148



SCALE: 1/16" = 1'-0"



	Use	Level 1	Level 11	Level 12	Level 13	Level 14	Level 15	Total Area	Project FAR
Floor Area	Retail Area	8,458						8,458	
	Restaurant Area	3,436						3,436	
	Office Area	9,423	27,177	26,648	23,135	19,278	2,206	107,867	
	Total FAR Floor Area							119,761	3.0



FLOOR PLAN - LEVEL P1

SCALE: 1/16" = 1'-0"

KEYNOTES - FLOOR PLAN

NOTE: NOT ALL KEYNOTES LISTED MAY APPLY TO THIS DRAWING.

- EXISTING PROPERTY LINE
- CONCRETE PERIMETER WALLS
- PARKING STRIPING
- CONCRETE WHEEL STOP
- CONCRETE COLUMN
- TRUNCATED DOME PLATE
- ACCESS RAMP TO PARKING FLOOR
- WALL OR POST MOUNTED CLEAN AIR SIGN
- ELECTRIC VEHICLE CHARGING STATION
- 6" RAISED CONCRETE CURB
- PAYMENT MARKING - DIRECTIONAL ARROWS
- 5FT WIDE HC ACCESS AISLE

MINIMUM BICYCLE PARKING STALLS REQUIRED

PER CITY OF SAN MATEO MUNICIPAL CODE SECTION 27.64.262

REQUIRED SHORT-TERM - RESIDENTIAL

STUDIO AND ONE-BEDROOM UNIT @ 0.05 SPACES PER UNIT

216 UNITS x 0.05 = 10.80 SPACES

TWO-BEDROOM UNIT @ 0.1 SPACES PER UNIT

20 UNITS x 0.10 = 2 SPACES

TOTAL REQUIRED SHORT-TERM - RESIDENTIAL: 12.80 SPACES OR 13 SPACES

REQUIRED LONG-TERM - RESIDENTIAL

STUDIO AND ONE-BEDROOM UNIT @ 1.0 SPACE PER UNIT

216 UNITS x 1.0 =216 SPACES

TWO-BEDROOM UNIT @ 1.25 SPACES PER UNIT

20 UNITS x 1.25 = 25 SPACES

TOTAL REQUIRED LONG-TERM - RESIDENTIAL: 241 SPACES

REQUIRED SHORT-TERM - RETAIL

1 SPACE PER 2,000 S.F. OF RETAIL AREA

11,894 S.F. / 2,000 S.F. = 5.94 SPACES OR 6 SPACES

REQUIRED LONG-TERM - RETAIL

1 SPACE PER 12,000 S.F. OF RETAIL AREA

11,894 S.F. / 12,000 S.F. = 0.99 SPACES OR 1 SPACE

REQUIRED SHORT-TERM - OFFICE

1 SPACE PER 20,000 S.F. OF RETAIL AREA

107,867 S.F. / 20,000 S.F. =5.39 SPACES OR 6 SPACES

REQUIRED LONG-TERM - OFFICE

1 SPACE PER 10,000 S.F. OF RETAIL AREA

107,867 S.F. / 10,000 S.F. = 10.78 SPACES OR 11 SPACES

PROVIDED SHORT-TERM SPACES

RESIDENTIAL	14 SPACES
RETAIL	6 SPACES
OFFICE	6 SPACES
TOTAL	26 SPACES

PROVIDED LONG-TERM SPACES

RESIDENTIAL	241 SPACES *
RETAIL	2 SPACES **
OFFICE	12 SPACES ***
TOTAL	257 SPACES

* PROVIDED @ LEVEL 02 TO LEVEL 10

** PROVIDED @ LEVEL 01

*** PROVIDED @ LEVEL 01

PROJECT DATA

PROPOSED BUILDING AREA (14- STORY BUILDING)

RESIDENTIAL - LEVEL 01
OFFICE - LEVEL 01
RESTAURANT - LEVEL 01
RETAIL - LEVEL 01
RESIDENTIAL - LEVEL 02
RESIDENTIAL - LEVEL 03
RESIDENTIAL - LEVEL 04
RESIDENTIAL - LEVEL 05
RESIDENTIAL - LEVEL 06
RESIDENTIAL - LEVEL 07
RESIDENTIAL - LEVEL 08
RESIDENTIAL - LEVEL 09
RESIDENTIAL - LEVEL 10
OFFICE - LEVEL 11
OFFICE - LEVEL 12
OFFICE - LEVEL 13
OFFICE - LEVEL 14
PENTHOUSE - LEVEL 15
TOTAL BUILDING AREA

12,918 S.F.
9,423 S.F.
3,436 S.F.
8,458 S.F.
27,238 S.F.
27,238 S.F.
27,238 S.F.
27,238 S.F.
27,238 S.F.
27,238 S.F.
27,693 S.F.
27,693 S.F.
27,693 S.F.
27,177 S.F.
26,648 S.F.
23,135 S.F.
19,278 S.F.
2,206 S.F.
379,186 S.F.

PARKING ANALYSIS

PARKING - PROVIDED *

LEVEL P1	84 SPACES
LEVEL P2	87 SPACES
TOTAL PARKING	171 SPACES

(*)CALIFORNIA ASSEMBLY BILL (AB) 2097 PROHIBITS PUBLIC AGENCIES FROM IMPOSING MINIMUM PARKING REQUIREMENTS ON RESIDENTIAL/ COMMERCIAL PROJECT LOCATED WITHIN ONE-HALF MILE OF A MAJOR TRANSIT STOP

PARKING ANALYSIS

PARKING - PROVIDED

LEVEL P1	24 SPACES
COMPACT - LEVEL 2 EV READY	37 SPACES
STANDARD - LEVEL 2 EV READY	1 SPACE
STANDARD ACCESSIBLE	1 SPACE
VAN ACCESSIBLE	18 SPACES
STANDARD - LEVEL 2 EVCS	1 SPACE
STANDARD ACCESSIBLE - LEVEL 2 EVCS	1 SPACE
VAN ACCESSIBLE - LEVEL 2 EVCS	84 SPACES
TOTAL PARKING LEVEL P1 - PROVIDED	

LEVEL P2	20 SPACES
COMPACT - LEVEL 2 EV READY	39 SPACES
STANDARD - LEVEL 2 EV READY	1 SPACE
STANDARD ACCESSIBLE	1 SPACE
VAN ACCESSIBLE	24 SPACES
STANDARD - LEVEL 2 EVCS	1 SPACE
STANDARD ACCESSIBLE - LEVEL 2 EVCS	1 SPACE
VAN ACCESSIBLE - LEVEL 2 EVCS	87 SPACES
TOTAL PARKING LEVEL P2 - PROVIDED	

	Use	Short-Term Bike	Long-Term Bike	Bike Total	Compact Level 2 EV Ready	Standard Level 2 EV Ready	Standard Accessible	Van Accessible	Standard Level 2 EVCS	Standard Accessible Level 2 EVCS	Van Accessible Level 2 EVCS	Parking Provided
Parking Provided	Level 1 - Residential	14										
	Level 1 - Retail	6	2									
	Level 1 - Office	6	12									
	Level P1				24	37	1	1	18	1	1	84
	Level P2				20	39	1	1	24	1	1	87
	Level 2 to Level 10 - Residential		243									
	Total Parking Provided	26	257									171



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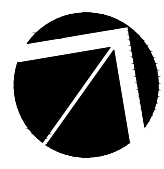
A Planning Application For:
MECAH VENTURES
1 E. 4TH AVENUE
SAN MATEO, CA 94401

DATE	DESCRIPTION
03.27.2025	S8330 APPLICATION
05.30.2025	1ST PLANNING SUBMITTAL

FLOOR PLAN
LEVEL P1

AP2.11

PROJECT NO: 246148



1	EXISTING PROPERTY LINE
2	CONCRETE PERIMETER WALLS
3	PARKING STRIPING
4	CONCRETE WHEEL STOP
5	CONCRETE COLUMN
6	TRUNCATED DOME PLATE
7	ACCESS RAMP TO PARKING FLOOR
8	WALL OR POST MOUNTED CLEAN AIR SIGN
9	ELECTRIC VEHICLE CHARGING STATION
10	6" RAISED CONCRETE CURB
11	PAVEMENT MARKING - DIRECTIONAL ARROWS
12	5FT WIDE HC ACCESS AISLE

REQUIRED LONG-TERM - RETAIL
1 SPACE PER 12,000 S.F. OF RETAIL AREA
11,894 S.F. / 12,000 S.F. = 0.99 SPACES OR **1 SPACE**

REQUIRED SHORT-TERM - OFFICE
1 SPACE PER 20,000 S.F. OF RETAIL AREA
107,867 S.F. / 20,000 S.F. =5.39 SPACES OR **6 SPACES**

REQUIRED LONG-TERM - OFFICE
1 SPACE PER 10,000 S.F. OF RETAIL AREA
107,867 S.F. / 10,000 S.F. = 10.78 SPACES OR **11 SPACES**

PROVIDED SHORT-TERM SPACES	
RESIDENTIAL	14 SPACES
RETAIL	6 SPACES
OFFICE	6 SPACES
TOTAL	26 SPACES

PROVIDED LONG-TERM SPACES	
RESIDENTIAL	241 SPACES *
RETAIL	2 SPACES **
OFFICE	12 SPACES ***
TOTAL	257 SPACES

* PROVIDED @ LEVEL 02 TO LEVEL 10
** PROVIDED @ LEVEL 01
*** PROVIDED @ LEVEL 01

PROJECT DATA

PROPOSED BUILDING AREA (14- STORY BUILDING)

RESIDENTIAL - LEVEL 01	12,918 S.F.
OFFICE - LEVEL 01	9,423 S.F.
RESTAURANT - LEVEL 01	3,436 S.F.
RETAIL - LEVEL 01	8,458 S.F.
RESIDENTIAL - LEVEL 02	27,238 S.F.
RESIDENTIAL - LEVEL 03	27,238 S.F.
RESIDENTIAL - LEVEL 04	27,238 S.F.
RESIDENTIAL - LEVEL 05	27,238 S.F.
RESIDENTIAL - LEVEL 06	27,238 S.F.
RESIDENTIAL - LEVEL 07	27,238 S.F.
RESIDENTIAL - LEVEL 08	27,693 S.F.
RESIDENTIAL - LEVEL 09	27,693 S.F.
RESIDENTIAL - LEVEL 10	27,693 S.F.
OFFICE - LEVEL 11	27,177 S.F.
OFFICE - LEVEL 12	26,648 S.F.
OFFICE - LEVEL 13	23,135 S.F.
OFFICE - LEVEL 14	19,278 S.F.
PENTHOUSE - LEVEL 15	2,206 S.F.
TOTAL BUILDING AREA	379,186 S.F.

PARKING ANALYSIS

PARKING - PROVIDED *

LEVEL P1	84 SPACES
LEVEL P2	87 SPACES
TOTAL PARKING	171 SPACES

(*)CALIFORNIA ASSEMBLY BILL (AB) 2097 PROHIBITS PUBLIC AGENCIES FROM IMPOSING MINIMUM PARKING REQUIREMENTS ON RESIDENTIAL/ COMMERCIAL PROJECT LOCATED WITHIN ONE-HALF MILE OF A MAJOR TRANSIT STOP

PARKING ANALYSIS

PARKING - PROVIDED

LEVEL P1	
COMPACT - LEVEL 2 EV READY	24 SPACES
STANDARD - LEVEL 2 EV READY	37 SPACES
STANDARD ACCESSIBLE	1 SPACE
VAN ACCESSIBLE	1 SPACE
STANDARD - LEVEL 2 EVCS	18 SPACES
STANDARD ACCESSIBLE - LEVEL 2 EVCS	1 SPACE
VAN ACCESSIBLE - LEVEL 2 EVCS	1 SPACE
TOTAL PARKING LEVEL P1 - PROVIDED	84 SPACES

LEVEL P2
COMPACT - LEVEL 2 EV READY
STANDARD - LEVEL 2 EV READY
STANDARD ACCESSIBLE
VAN ACCESSIBLE
STANDARD - LEVEL 2 EVCS
STANDARD ACCESSIBLE - LEVEL 2 EVCS
VAN ACCESSIBLE - LEVEL 2 EVCS
TOTAL PARKING LEVEL P2 - PROVIDED

24 SPACES	
37 SPACES	
1 SPACE	
1 SPACE	
18 SPACES	
1 SPACE	
1 SPACE	
84 SPACES	
<hr/>	
20 SPACES	
39 SPACES	
1 SPACE	
1 SPACE	
24 SPACES	
1 SPACE	
1 SPACE	
87 SPACES	

[illegible]

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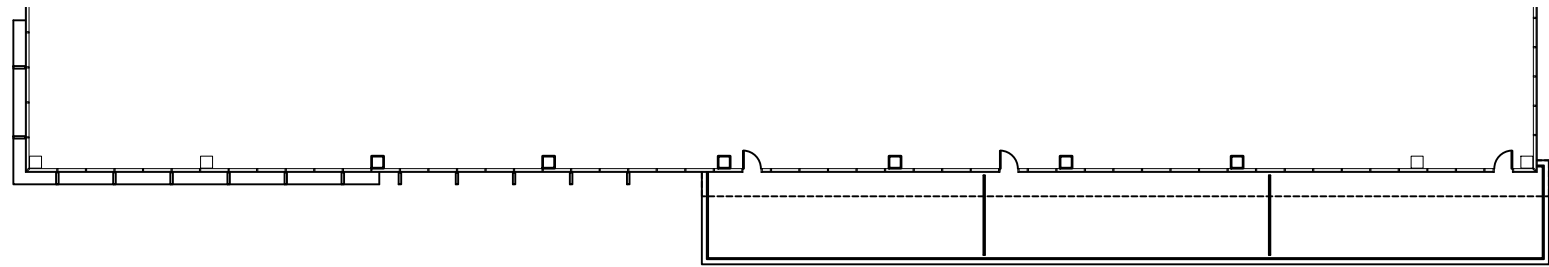
A Planning Application For:
MECAH VENTURES
1 E. 4TH AVENUE
SAN MATEO, CA 94401

DATE	DESCRIPTION
03.27.2025	SB330 APPLICATION
05.30.2025	1ST PLANNING SUBMITTAL

FLOOR PLAN
LEVEL P2

AP2.12

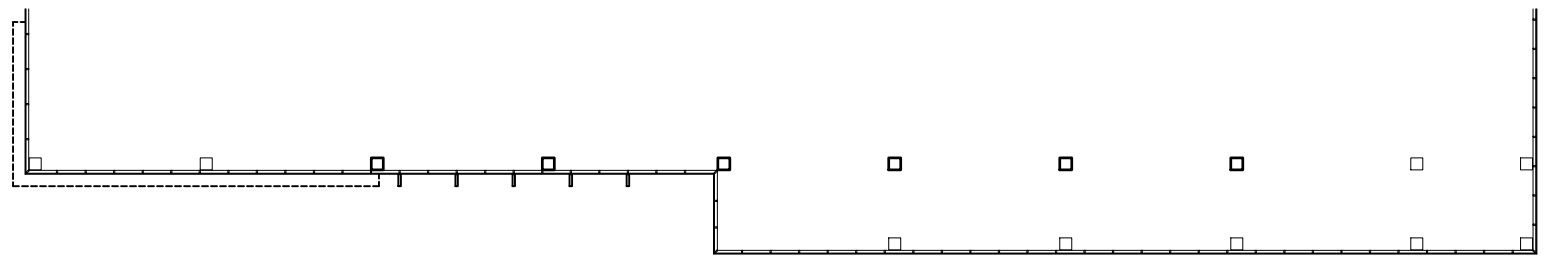
PROJECT NO: 246148



PARTIAL FLOOR PLAN - LEVEL 13

SCALE: 1/32" = 1'-0"

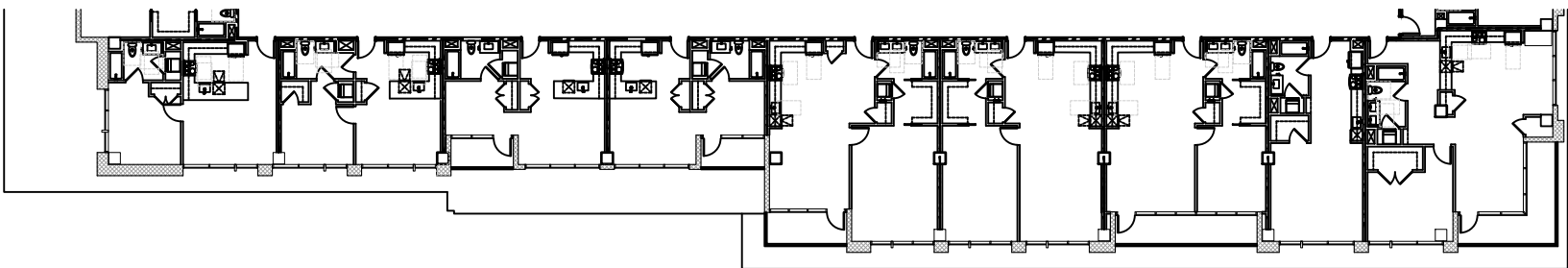
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PARTIAL FLOOR PLAN - LEVEL 11

SCALE: 1/32" = 1'-0"

2



PARTIAL FLOOR PLAN - LEVEL 02

SCALE: 1/32" = 1'-0"

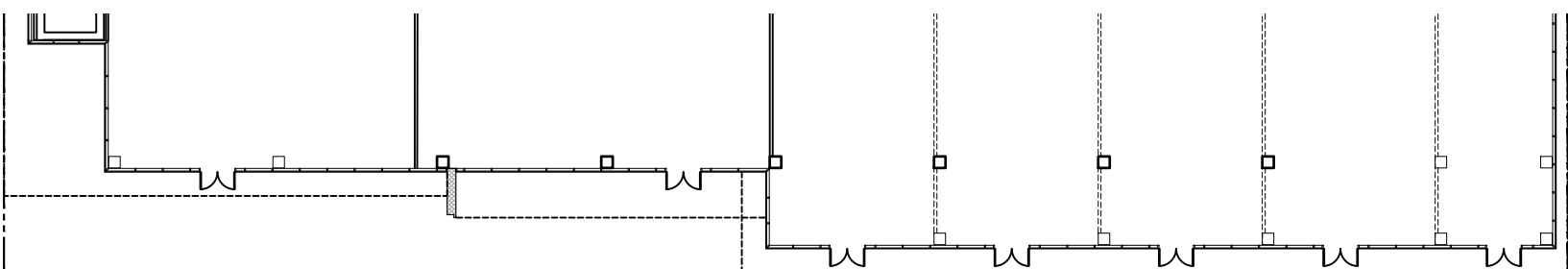
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EAST 4TH AVENUE - EXTERIOR FACADE

SCALE: 1/32" = 1'-0"

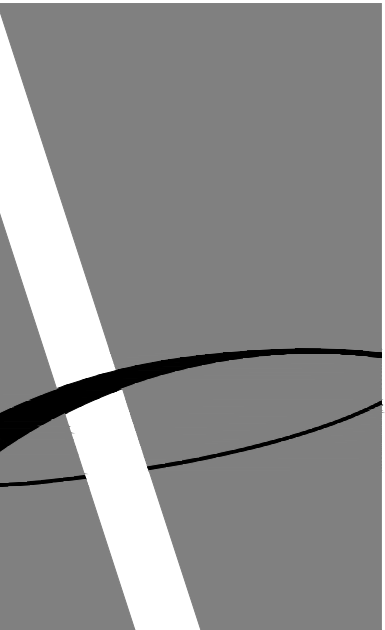
4



PARTIAL FLOOR PLAN - LEVEL 01

SCALE: 1/32" = 1'-0"

5



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1 E. 4TH AVENUE
SAN MATEO, CA 94401

DATE	DESCRIPTION
03.27.2025	S8330 APPLICATION
05.30.2025	1ST PLANNING SUBMITTAL

PARTIAL FLOOR PLANS
/ EXTERIOR ELEVATION

A3.11

PROJECT NO: 246148



SCALE: 1/32" = 1'-0"

1



SCALE: 1/32" = 1'-0"

2



SCALE: 1/32" = 1'-0"

3



SCALE: 1/32" = 1'-0"

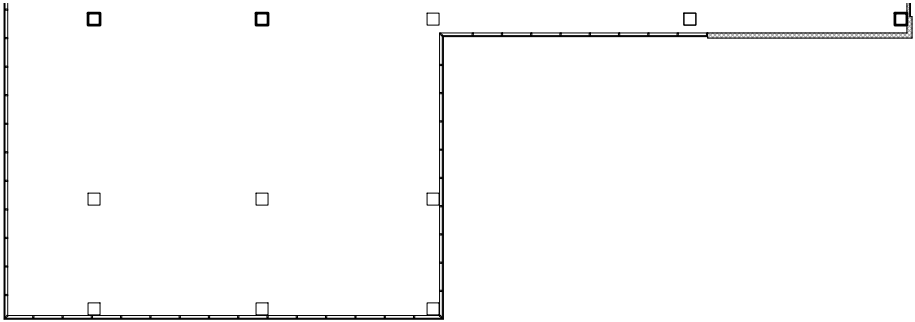
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SCALE: 1/32" = 1'-0"

5

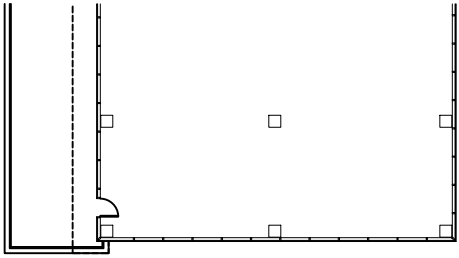
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PARTIAL FLOOR PLAN - LEVEL 13

SCALE: 1/32" = 1'-0"

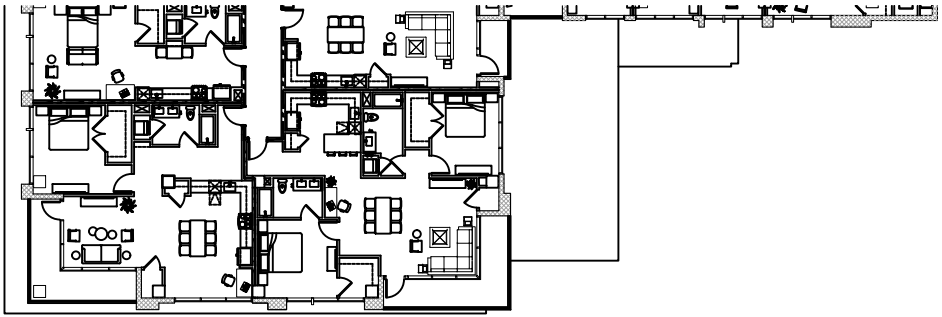
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PARTIAL FLOOR PLAN - LEVEL 11

SCALE: 1/32" = 1'-0"

2



PARTIAL FLOOR PLAN - LEVEL 02

SCALE: 1/32" = 1'-0"

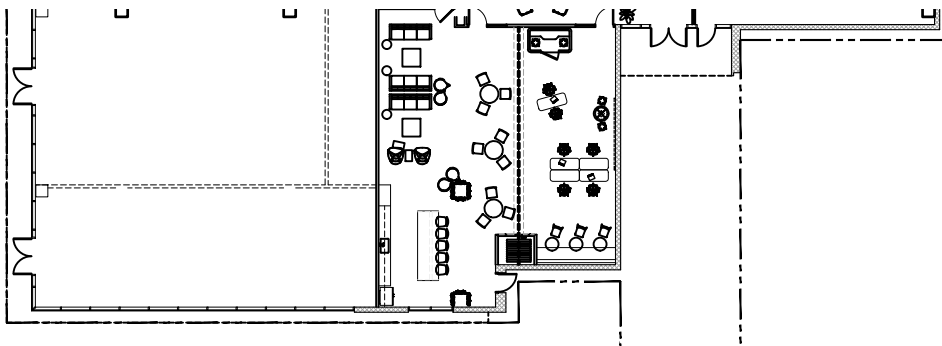
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EAST (ALLEY) - EXTERIOR FACADE

SCALE: 1/32" = 1'-0"

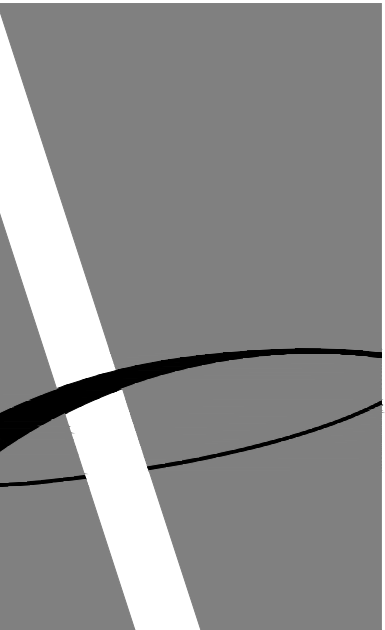
4



PARTIAL FLOOR PLAN - LEVEL 01

SCALE: 1/32" = 1'-0"

5



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DATE	DESCRIPTION
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05.30.2025	1ST PLANNING SUBMITTAL

PARTIAL FLOOR PLANS
/ EXTERIOR ELEVATION

A3.14

PROJECT NO: 246148



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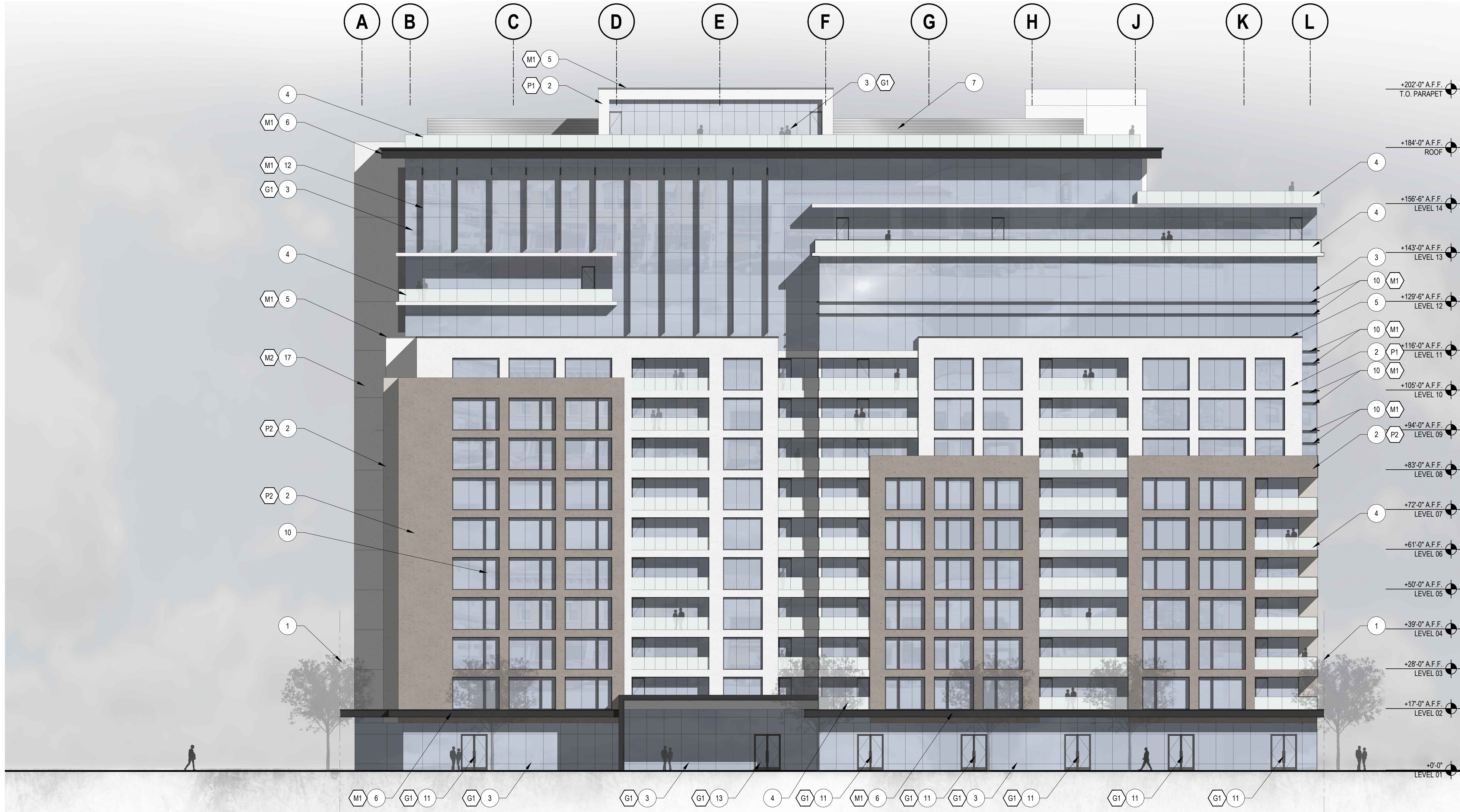
A Planning Application For:
MECAH VENTURES
1 E. 4TH AVENUE
SAN MATEO, CA 94401

DATE DESCRIPTION
03.27.2025 SB8330 APPLICATION
05.30.2025 1ST PLANNING SUBMITTAL

EXTERIOR ELEVATION

A3.15

PROJECT NO: 246148



EAST 4TH AVENUE - EXTERIOR FACADE

1

SCALE: 1/16" = 1'-0"

KEY NOTES - ELEVATIONS

NOT ALL KEYNOTES MAY APPLY

- | | | | |
|----|---|----|--|
| 1 | EXISTING PROPERTY LINE | 11 | ALUMINUM/ GLASS ENTRY/EXIT RETAIL DOOR |
| 2 | PAINTED SMOOTH STUCCO - EXTERIOR WALL | 12 | ARCHITECTURAL FIN |
| 3 | BUTT JOINT CURTAIN WALL SYSTEM / STOREFRONT SYSTEM | 13 | ALUMINUM/ GLASS ENTRY/EXIT OFFICE LOBBY DOOR |
| 4 | 42" H. FRAMELESS GLASS GUARDRAIL | 14 | ALUMINUM/ GLASS ENTRY/EXIT EGRESS DOOR |
| 5 | ALUMINUM COMPOSITE PARAPET WALL CAP | 15 | BELOW GRADE PARKING ACCESS RAMP |
| 6 | ALUMINUM COMPOSITE CANOPY | 16 | PAINTED SMOOTH STUCCO - RECESSED WALL |
| 7 | MECHANICAL SCREEN | 17 | ALUMINUM COMPOSITE PANELS |
| 8 | ALUMINUM/ GLASS ENTRY/EXIT RESIDENTIAL LOBBY DOOR | | |
| 9 | SERVICE DOOR - HM DOOR AND FRAME TO MATCH ADJACENT WALL COLOR | | |
| 10 | EXPRESSED MULLION | | |

MATERIAL PALETTE

* GLAZING SPECIFIED INDICATES GENERAL TONE AND COLOR. FINAL PERCEIVED COLOR AND CLARITY WILL VARY DEPENDING ON 1" INSULATED GLAZING SPECIFICATION TO BE DETERMINED AT TIME OF CONSTRUCTION DOCUMENTATION.

- | | | | | | |
|----|----------------------------------|---|----|----------------------------------|--|
| G1 | TYPE:
COLOR:
PRODUCT REF.: | 1" INSULATED EXTERIOR GLAZING
LIGHT BLUE TINT
LOW TINT: VIRACON 1" INSULATED
VRE1-4725-OITC30 (1/4" CLEAR WITH VRE-4725 #2 - 1/2" AIRSPACE - 1/4" CLEAR HS). | P1 | TYPE:
COLOR:
PRODUCT REF.: | PAINT COLOR
SNOWBOUND
SHERWIN WILLIAMS - SW7004 |
| G2 | TYPE:
COLOR:
PRODUCT REF.: | 1" INSULATED EXTERIOR GLAZING
DARK BLUE TINT
BLUE GLAZING TYPE: VIRACON 1" INSULATED
VE27-2M (1/4" PACIFICA WITH VE-2M#2 - 1/2" AIRSPACE - 1/4" CLEAR). | P2 | TYPE:
COLOR:
PRODUCT REF.: | PAINT COLOR
COCOA WHIP
SHERWIN WILLIAMS - SW9084 |
| M1 | TYPE:
COLOR:
PRODUCT REF.: | ALUMINUM COMPOSITE METAL PANEL
NIGHTFALL METALLIC
REYNOBOND SERIES THREE - PREMIUM 3-COAT METALLIC FINISH | | | |
| M2 | TYPE:
COLOR:
PRODUCT REF.: | ALUMINUM COMPOSITE METAL PANEL
ANODIC CLEAR
REYNOBOND SERIES TWO - PREMIUM 2-COAT MICA FINISH | | | |



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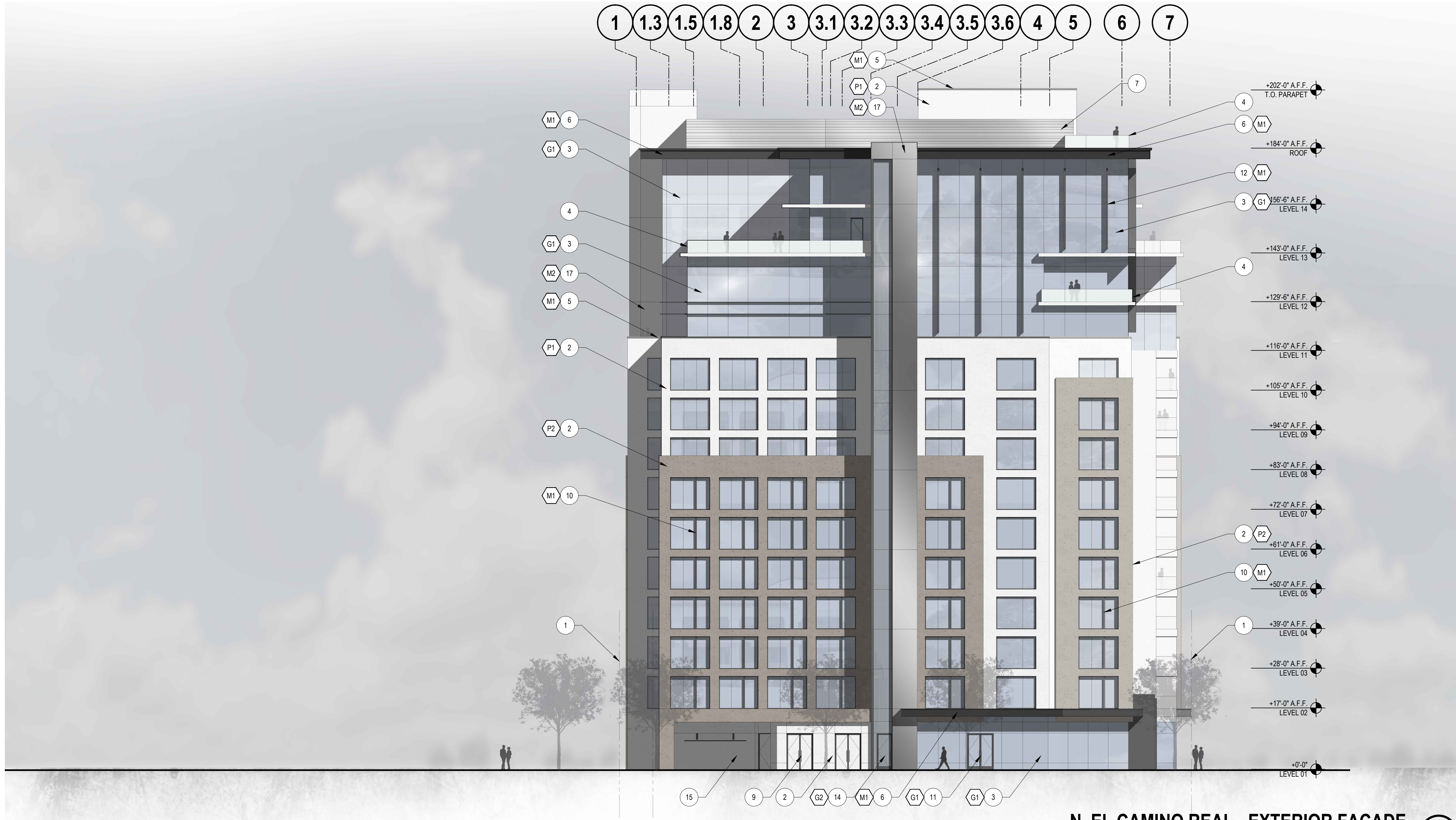
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MECAH VENTURES
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SAN MATEO, CA 94401

DATE	DESCRIPTION
03.27.2025	S8330 APPLICATION
05.30.2025	1ST PLANNING SUBMITTAL

EXTERIOR ELEVATION

A3.16

PROJECT NO: 246148



N. EL CAMINO REAL - EXTERIOR FACADE

1

SCALE: 1/16" = 1'-0"

KEY NOTES - ELEVATIONS

NOT ALL KEYNOTES MAY APPLY

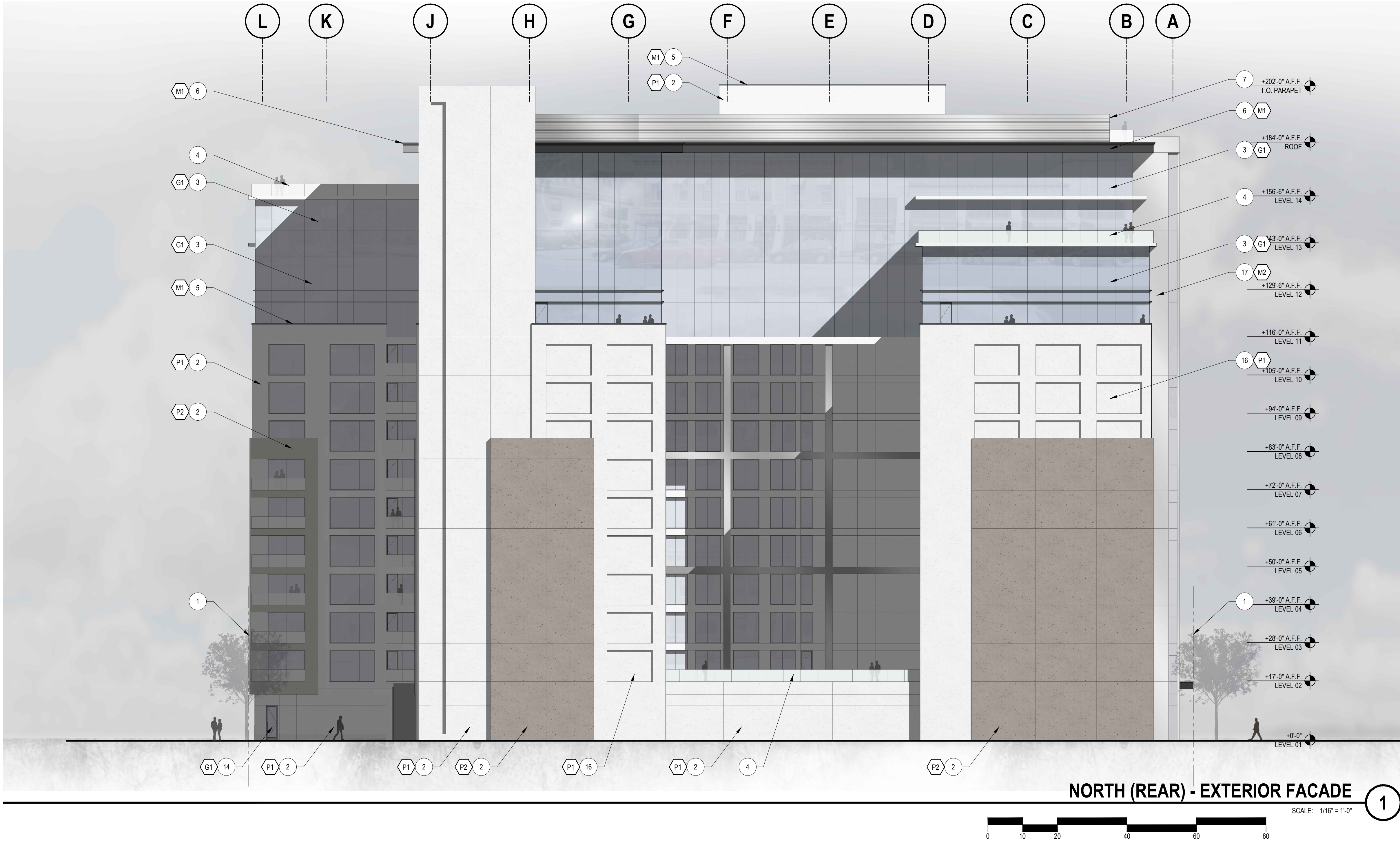
- | | | | |
|----|---|----|--|
| 1 | EXISTING PROPERTY LINE | 11 | ALUMINUM/ GLASS ENTRY/EXIT RETAIL DOOR |
| 2 | PAINTED SMOOTH STUCCO - EXTERIOR WALL | 12 | ARCHITECTURAL FIN |
| 3 | BUTT JOINT CURTAIN WALL SYSTEM / STOREFRONT SYSTEM | 13 | ALUMINUM/ GLASS ENTRY/EXIT OFFICE LOBBY DOOR |
| 4 | 42" H. FRAMELESS GLASS GUARDRAIL | 14 | ALUMINUM/ GLASS ENTRY/EXIT EGRESS DOOR |
| 5 | ALUMINUM COMPOSITE PARAPET WALL CAP | 15 | BELOW GRADE PARKING ACCESS RAMP |
| 6 | ALUMINUM COMPOSITE CANOPY | 16 | PAINTED SMOOTH STUCCO - RECESSED WALL |
| 7 | MECHANICAL SCREEN | 17 | ALUMINUM COMPOSITE PANELS |
| 8 | ALUMINUM/ GLASS ENTRY/EXIT RESIDENTIAL LOBBY DOOR | | |
| 9 | SERVICE DOOR - HM DOOR AND FRAME TO MATCH ADJACENT WALL COLOR | | |
| 10 | EXPRESSED MULLION | | |

MATERIAL PALETTE

* GLAZING SPECIFIED INDICATES GENERAL TONE AND COLOR. FINAL PERCEIVED COLOR AND CLARITY WILL VARY DEPENDING ON 1" INSULATED GLAZING SPECIFICATION TO BE DETERMINED AT TIME OF CONSTRUCTION DOCUMENTATION.

- | | | | | | |
|----|----------------------------------|--|----|----------------------------------|--|
| G1 | TYPE:
COLOR:
PRODUCT REF.: | 1" INSULATED EXTERIOR GLAZING
LIGHT BLUE TINT
LOW TINT: VIRAQON1" INSULATED
VRE1-4725-OITC30 (1/4" CLEAR WITH VRE-4725 #2 - 1/2" AIRSPACE - 1/4" CLEAR HS). | P1 | TYPE:
COLOR:
PRODUCT REF.: | PAINT COLOR
SNOWBOUND
SHERWIN WILLIAMS - SW7004 |
| G2 | TYPE:
COLOR:
PRODUCT REF.: | 1" INSULATED EXTERIOR GLAZING
DARK BLUE TINT
BLUE GLAZING TYPE: VIRAQON 1" INSULATED
VE27-2M (1/4" PACIFICA WITH VE-2M#2 - 1/2" AIRSPACE - 1/4" CLEAR). | P2 | TYPE:
COLOR:
PRODUCT REF.: | PAINT COLOR
COCOA WHIP
SHERWIN WILLIAMS - SW9084 |
| M1 | TYPE:
COLOR:
PRODUCT REF.: | ALUMINUM COMPOSITE METAL PANEL
NIGHTFALL METALLIC
REYNOBOND SERIES THREE - PREMIUM 3-COAT METALLIC FINISH | | | |
| M2 | TYPE:
COLOR:
PRODUCT REF.: | ALUMINUM COMPOSITE METAL PANEL
ANODIC CLEAR
REYNOBOND SERIES TWO - PREMIUM 2-COAT MICA FINISH | | | |

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KEY NOTES - ELEVATIONS

NOT ALL KEYNOTES MAY APPLY

- | | | | |
|----|---|----|--|
| 1 | EXISTING PROPERTY LINE | 11 | ALUMINUM/ GLASS ENTRY/EXIT RETAIL DOOR |
| 2 | PAINTED SMOOTH STUCCO - EXTERIOR WALL | 12 | ARCHITECTURAL FIN |
| 3 | BUTT JOINT CURTAIN WALL SYSTEM / STOREFRONT SYSTEM | 13 | ALUMINUM/ GLASS ENTRY/EXIT OFFICE LOBBY DOOR |
| 4 | 42" H. FRAMELESS GLASS GUARDRAIL | 14 | ALUMINUM/ GLASS ENTRY/EXIT EGRESS DOOR |
| 5 | ALUMINUM COMPOSITE PARAPET WALL CAP | 15 | BELOW GRADE PARKING ACCESS RAMP |
| 6 | ALUMINUM COMPOSITE CANOPY | 16 | PAINTED SMOOTH STUCCO - RECESSED WALL |
| 7 | MECHANICAL SCREEN | 17 | ALUMINUM COMPOSITE PANELS |
| 8 | ALUMINUM/ GLASS ENTRY/EXIT RESIDENTIAL LOBBY DOOR | | |
| 9 | SERVICE DOOR - HM DOOR AND FRAME TO MATCH ADJACENT WALL COLOR | | |
| 10 | EXPRESSED MULLION | | |

MATERIAL PALETTE

* GLAZING SPECIFIED INDICATES GENERAL TONE AND COLOR. FINAL PERCEIVED COLOR AND CLARITY WILL VARY DEPENDING ON 1" INSULATED GLAZING SPECIFICATION TO BE DETERMINED AT TIME OF CONSTRUCTION DOCUMENTATION.

- | | | | | | |
|-----------|---|--|-----------|---|---|
| G1 | TYPE:
COLOR:
PRODUCT REF.: | 1" INSULATED EXTERIOR GLAZING
LIGHT BLUE TINT
LOW TINT: VIRACON 1" INSULATED
VRE1-4725-OITC30 (1/4" CLEAR WITH VRE-4725 #2 - 1/2" AIRSPACE - 1/4" CLEAR HS). | P1 | TYPE:
COLOR:
PRODUCT REF.: | PAINT COLOR
SNOWBOUND
SHERWIN WILLIAMS - SW7004 |
| G2 | TYPE:
COLOR:
PRODUCT REF.: | 1" INSULATED EXTERIOR GLAZING
DARK BLUE TINT
BLUE GLAZING TYPE: VIRACON 1" INSULATED
VE27-2M (1/4" PACIFICA WITH VE-2M#2 - 1/2" AIRSPACE - 1/4" CLEAR). | P2 | TYPE:
COLOR:
PRODUCT REF.: | PAINT COLOR
COCOA WHIP
SHERWIN WILLIAMS - SW9084 |
| M1 | TYPE:
COLOR:
PRODUCT REF.: | ALUMINUM COMPOSITE METAL PANEL
NIGHTFALL METALLIC
REYNOBOND SERIES THREE - PREMIUM 3-COAT METALLIC FINISH | | | |
| M2 | TYPE:
COLOR:
PRODUCT REF.: | ALUMINUM COMPOSITE METAL PANEL
ANODIC CLEAR
REYNOBOND SERIES TWO - PREMIUM 2-COAT MICA FINISH | | | |



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1 E. 4TH AVENUE
SAN MATEO, CA 94401

DATE	DESCRIPTION
03.27.2025	S8330 APPLICATION
05.30.2025	1ST PLANNING SUBMITTAL

EXTERIOR ELEVATION

A3.17

PROJECT NO: 246148



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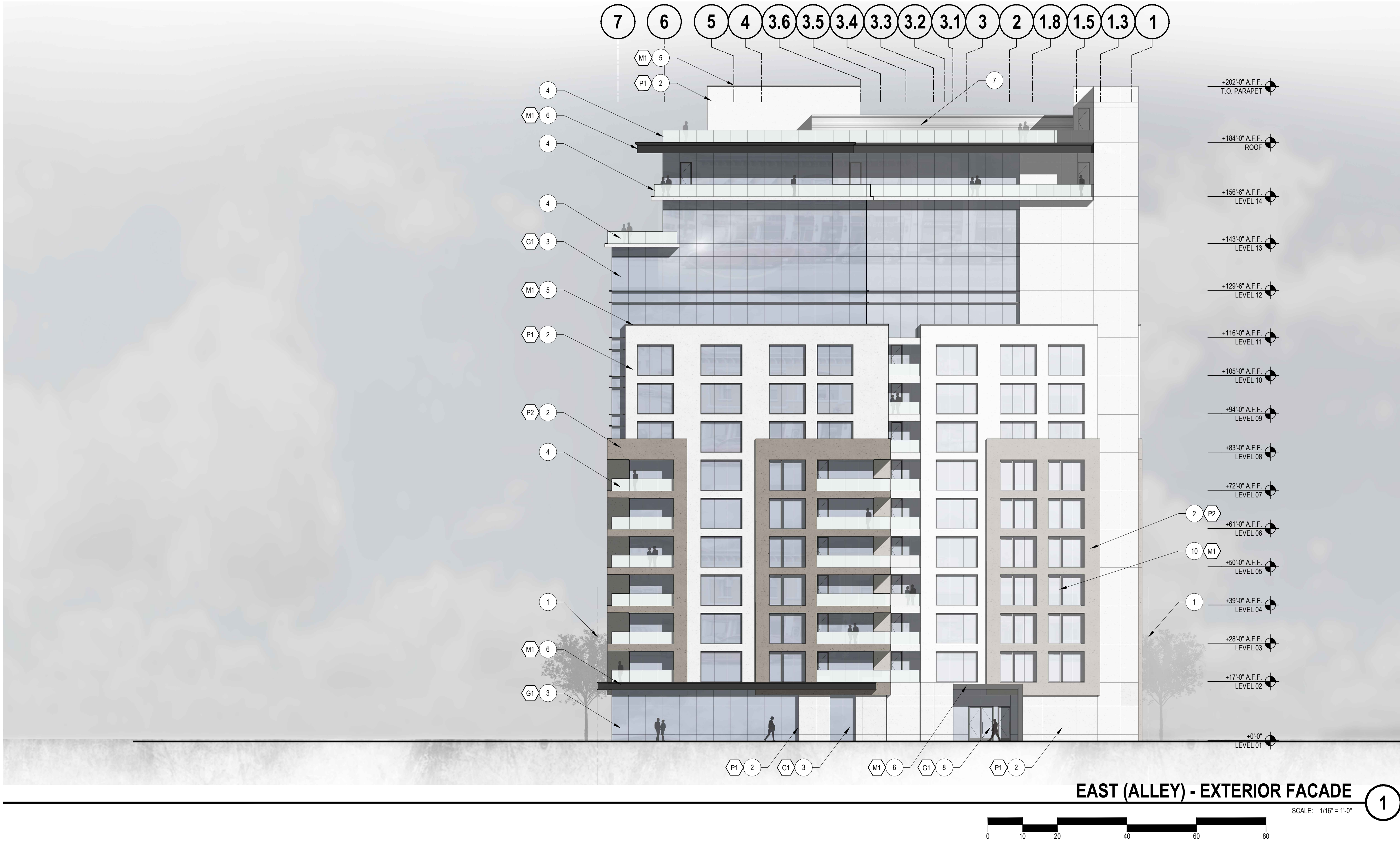
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SAN MATEO, CA 94401

DATE	DESCRIPTION
03.27.2025	S8330 APPLICATION
05.30.2025	1ST PLANNING SUBMITTAL

EXTERIOR ELEVATION

A3.18

PROJECT NO: 246148



KEY NOTES - ELEVATIONS

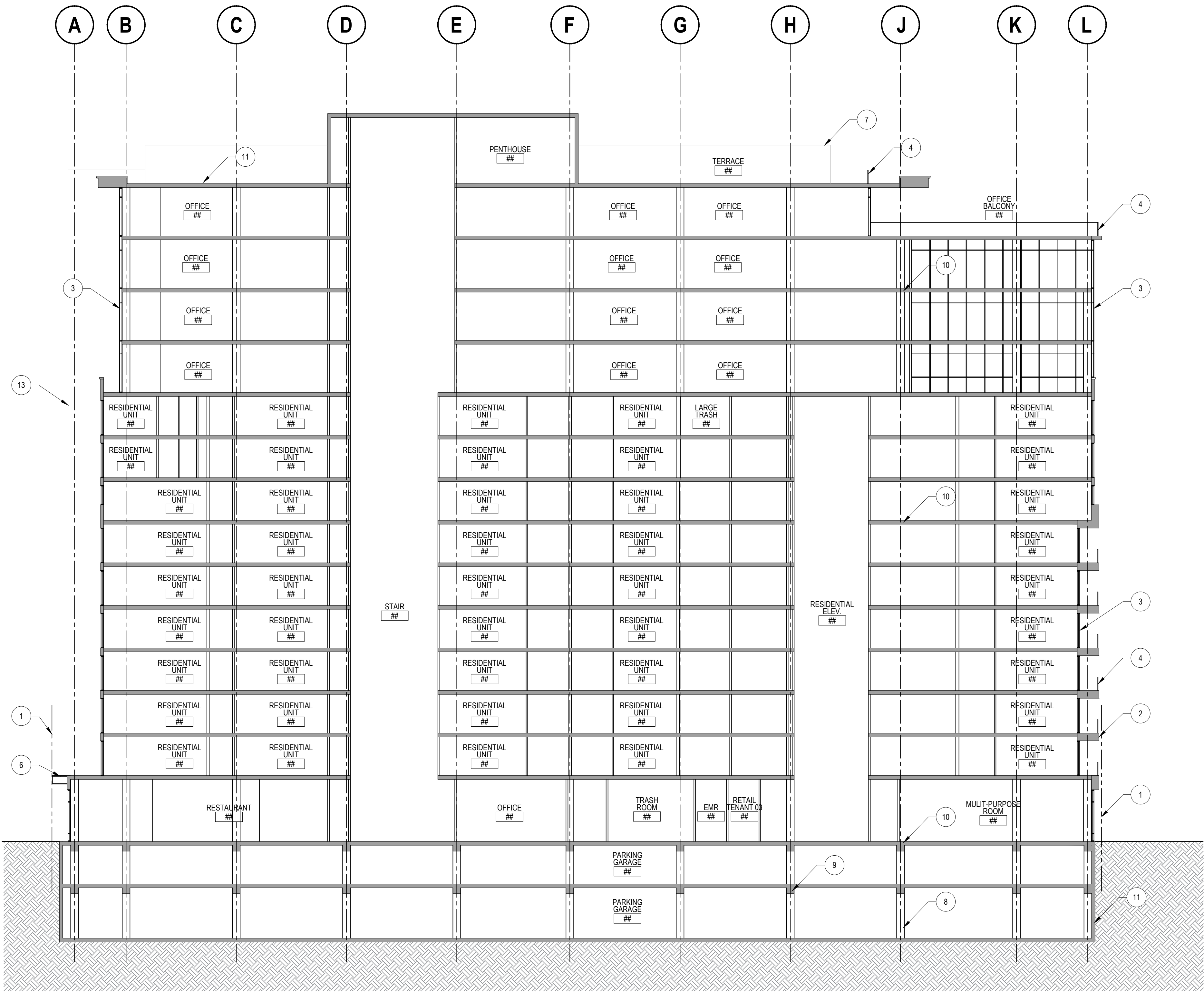
NOT ALL KEYNOTES MAY APPLY

- | | | | |
|----|---|----|--|
| 1 | EXISTING PROPERTY LINE | 11 | ALUMINUM/ GLASS ENTRY/EXIT RETAIL DOOR |
| 2 | PAINTED SMOOTH STUCCO - EXTERIOR WALL | 12 | ARCHITECTURAL FIN |
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| 7 | MECHANICAL SCREEN | 17 | ALUMINUM COMPOSITE PANELS |
| 8 | ALUMINUM/ GLASS ENTRY/EXIT RESIDENTIAL LOBBY DOOR | | |
| 9 | SERVICE DOOR - HM DOOR AND FRAME TO MATCH ADJACENT WALL COLOR | | |
| 10 | EXPRESSED MULLION | | |

MATERIAL PALETTE

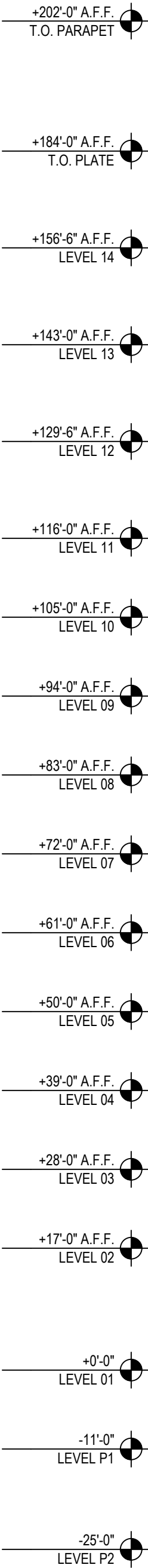
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- | | | | | | |
|----|----------------------------------|--|----|----------------------------------|--|
| G1 | TYPE:
COLOR:
PRODUCT REF.: | 1" INSULATED EXTERIOR GLAZING
LIGHT BLUE TINT
LOW TINT: VIRAICON 1" INSULATED
VRE1-4725-OITC30 (1/4" CLEAR WITH VRE-4725 #2 - 1/2" AIRSPACE - 1/4" CLEAR HS). | P1 | TYPE:
COLOR:
PRODUCT REF.: | PAINT COLOR
SNOWBOUND
SHERWIN WILLIAMS - SW7004 |
| G2 | TYPE:
COLOR:
PRODUCT REF.: | 1" INSULATED EXTERIOR GLAZING
DARK BLUE TINT
BLUE GLAZING TYPE: VIRAICON 1" INSULATED
VE27-2M (1/4" PACIFICA WITH VE-2M#2 - 1/2" AIRSPACE - 1/4" CLEAR). | P2 | TYPE:
COLOR:
PRODUCT REF.: | PAINT COLOR
COCOA WHIP
SHERWIN WILLIAMS - SW9084 |
| M1 | TYPE:
COLOR:
PRODUCT REF.: | ALUMINUM COMPOSITE METAL PANEL
NIGHTFALL METALLIC
REYNOBOND SERIES THREE - PREMIUM 3-COAT METALLIC FINISH | | | |
| M2 | TYPE:
COLOR:
PRODUCT REF.: | ALUMINUM COMPOSITE METAL PANEL
ANODIC CLEAR
REYNOBOND SERIES TWO - PREMIUM 2-COAT MICA FINISH | | | |



KEYNOTES

- 1 EXISTING PROPERTY LINE
- 2 PAINTED SMOOTH STUCCO - EXTERIOR WALL
- 3 BUTT JOINT CURTAIN WALL/ STOREFRONT SYSTEM
- 4 42"H. FRAMELESS GLASS GUARDRAIL
- 5 ALUMINUM COMPOSITE PARAPET WALL CAP
- 6 ALUMINUM COMPOSITE CANOPY SYSTEM
- 7 MECHANICAL EQUIPMENT SCREEN
- 8 REINFORCED CONCRETE COLUMN
- 9 CONCRETE BEAM
- 10 CONCRETE SLAB
- 11 CONCRETE RETAINING WALL WITH WATERPROOFING
- 12 SINGLE-PLY ROOFING SYSTEM OVER RIGID INSULATION
- 13 WALL BEYOND



BUILDING SECTION

SCALE: 1/16" = 1'-0"

1

A Planning Application For:
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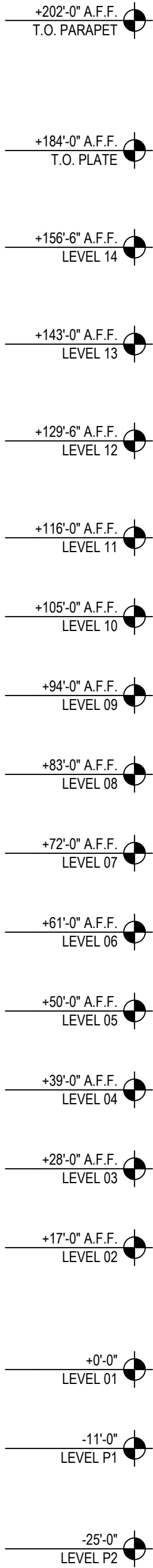
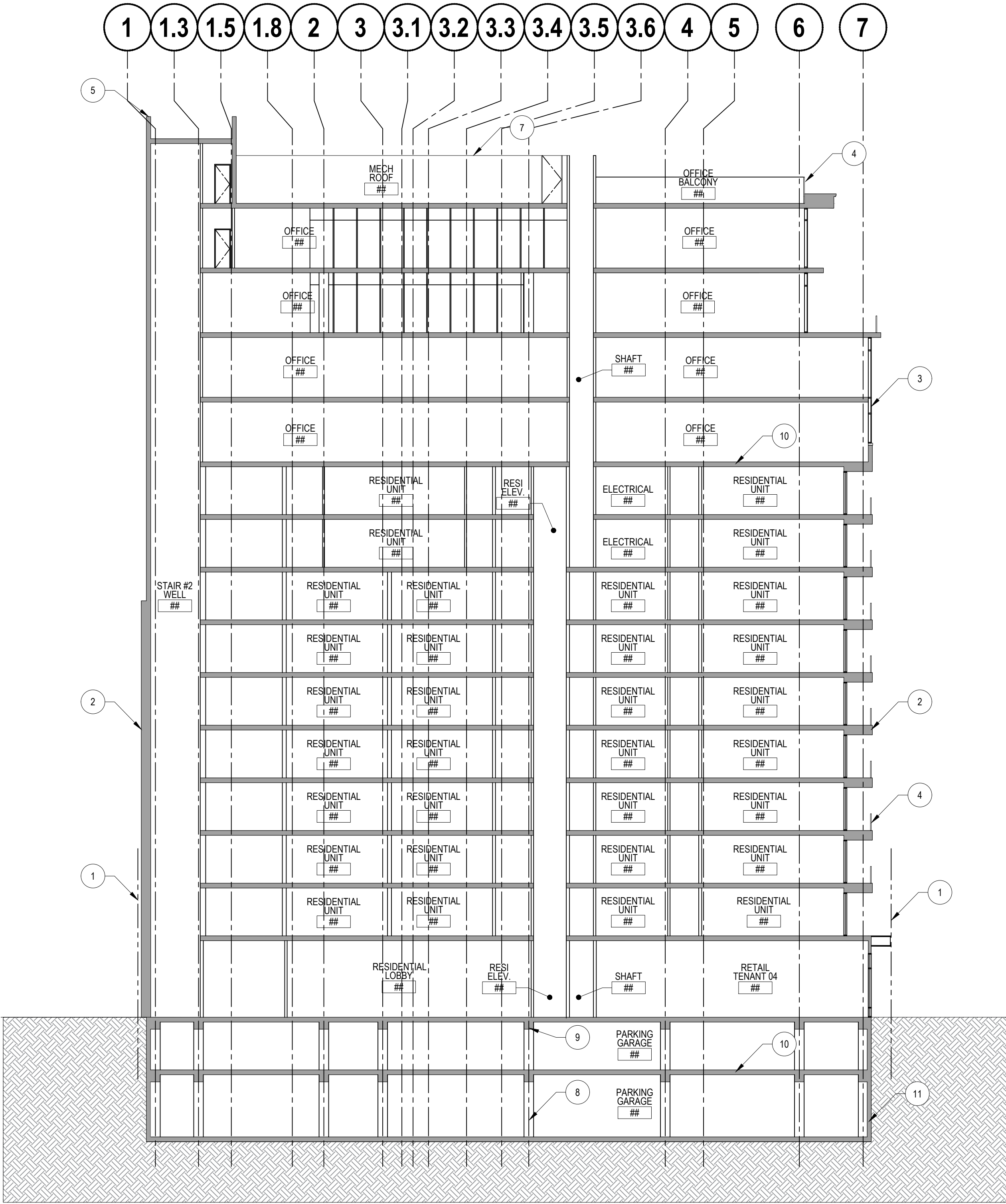
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03.27.2025	S8330 APPLICATION
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BUILDING SECTION

A4.11

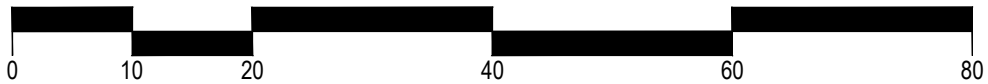
PROJECT NO: 246148

012501_24062024_01_01_Corridor & Elevator Lobby (012501_24062024_01_01) - 11/11/2024 - 11/11/2024 - 11/11/2024



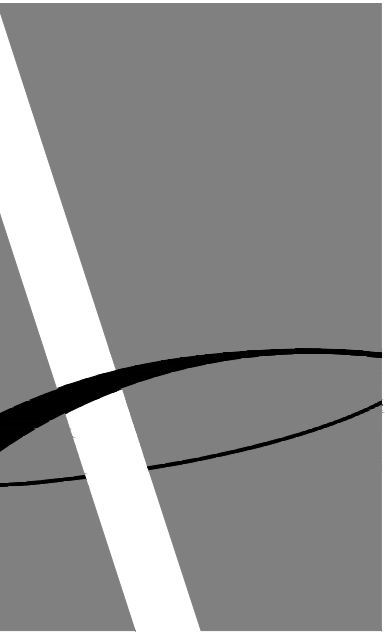
BUILDING SECTION 1

SCALE: 1/16" = 1'-0"



KEYNOTES

- EXISTING PROPERTY LINE
- PAINTED SMOOTH STUCCO - EXTERIOR WALL
- BUTT JOINT CURTAIN WALL/ STOREFRONT SYSTEM
- 42"H. FRAMELESS GLASS GUARDRAIL
- ALUMINUM COMPOSITE PARAPET WALL CAP
- ALUMINUM COMPOSITE CANOPY SYSTEM
- MECHANICAL EQUIPMENT SCREEN
- REINFORCED CONCRETE COLUMN
- CONCRETE BEAM
- CONCRETE SLAB
- CONCRETE RETAINING WALL WITH WATERPROOFING
- SINGLE-PLY ROOFING SYSTEM OVER RIGID INSULATION
- WALL BEYOND



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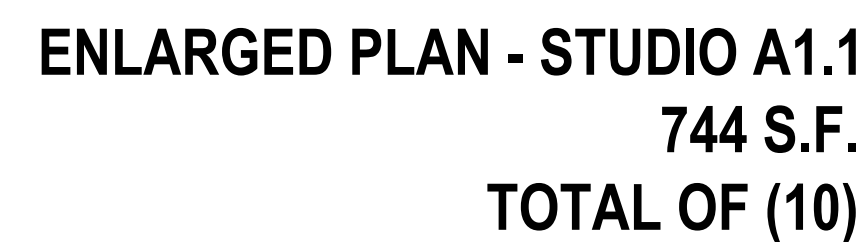
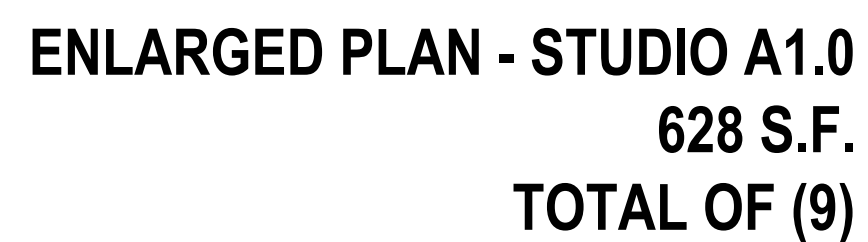
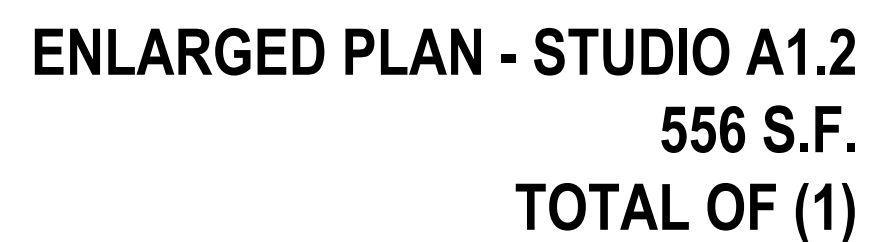
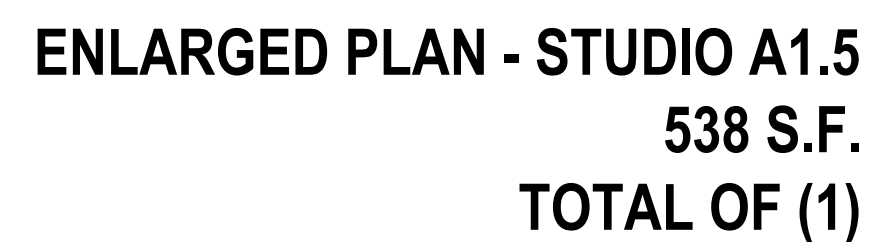
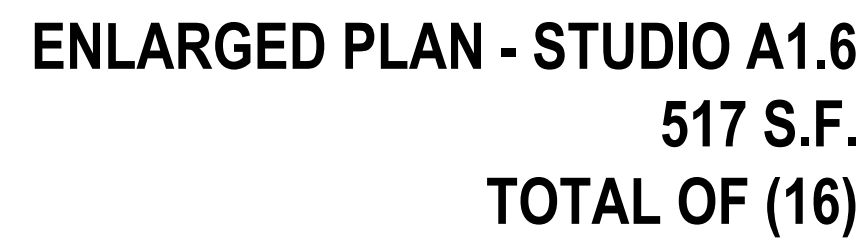
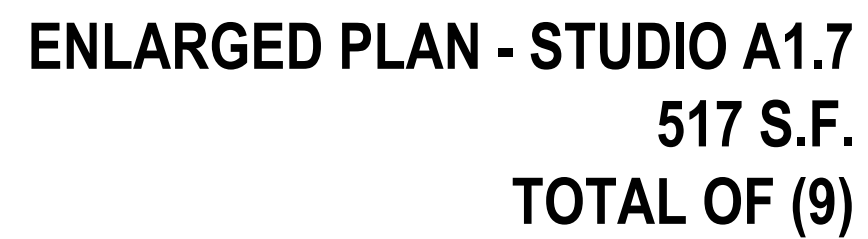
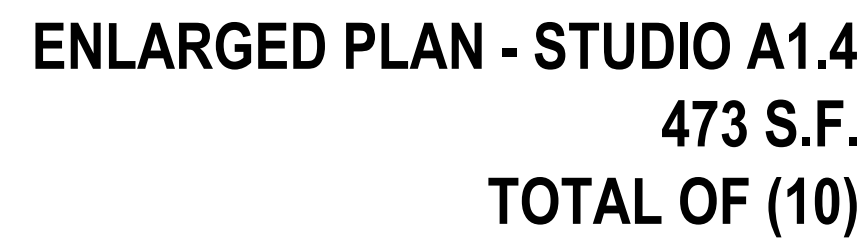
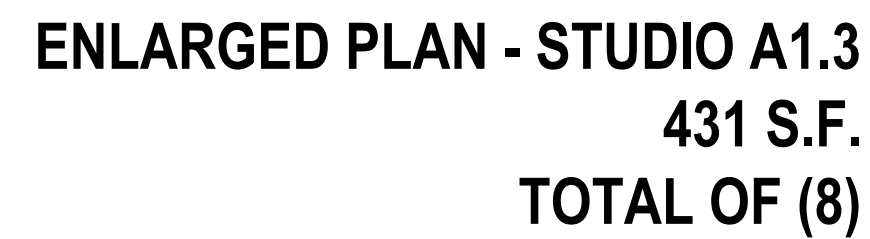
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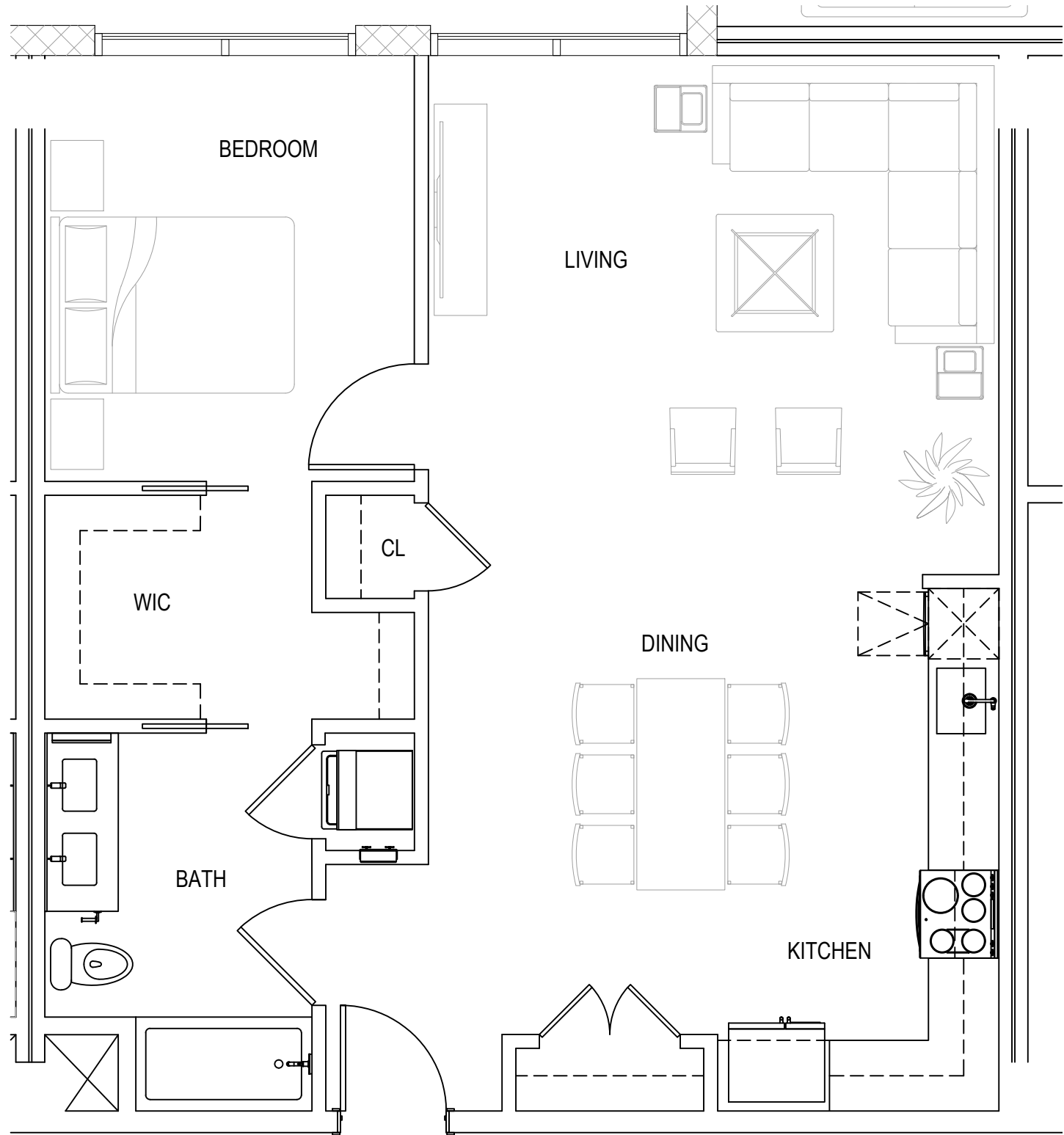
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05.30.2025	1ST PLANNING SUBMITTAL

BUILDING SECTION

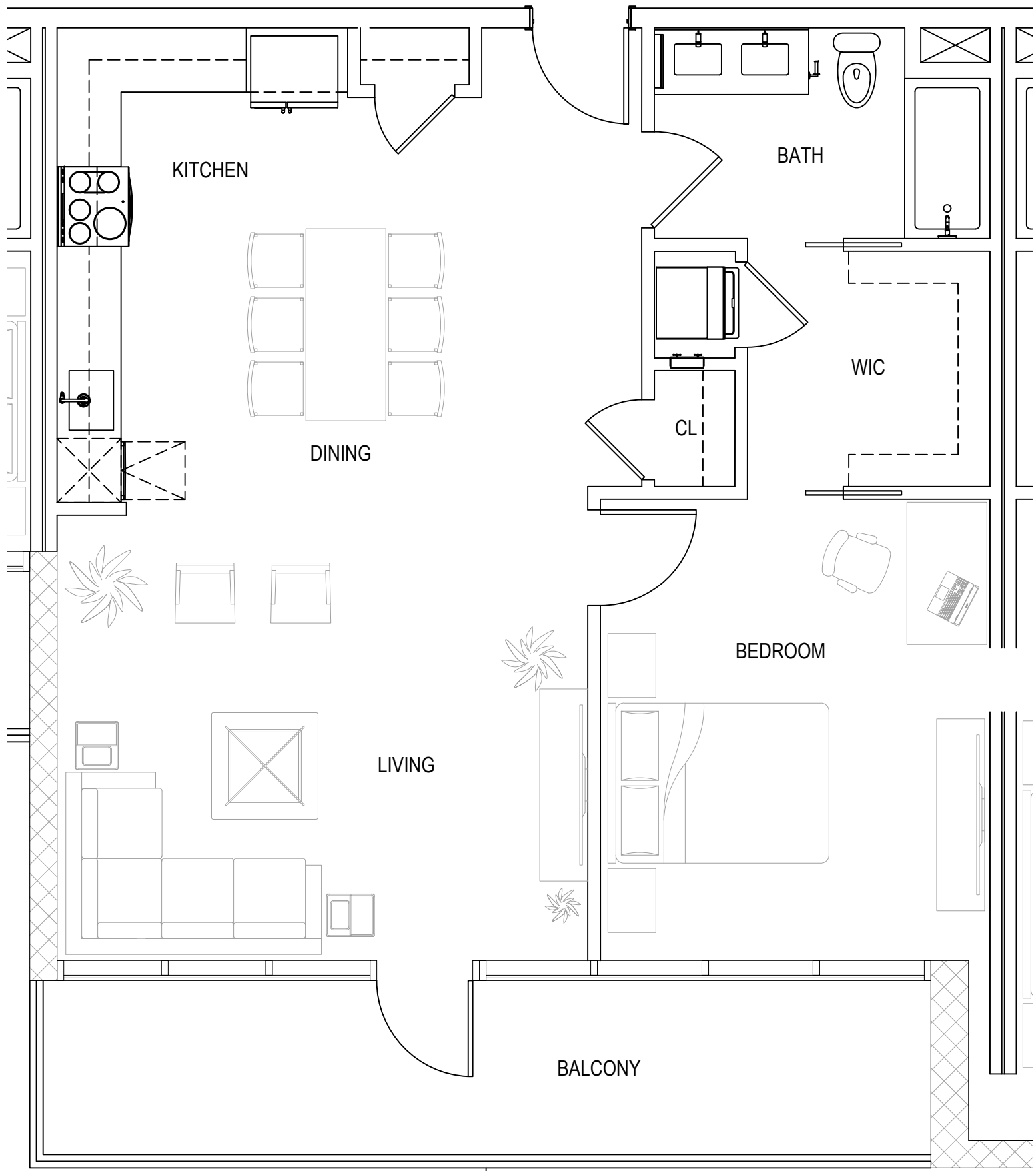
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PROJECT NO: 246148

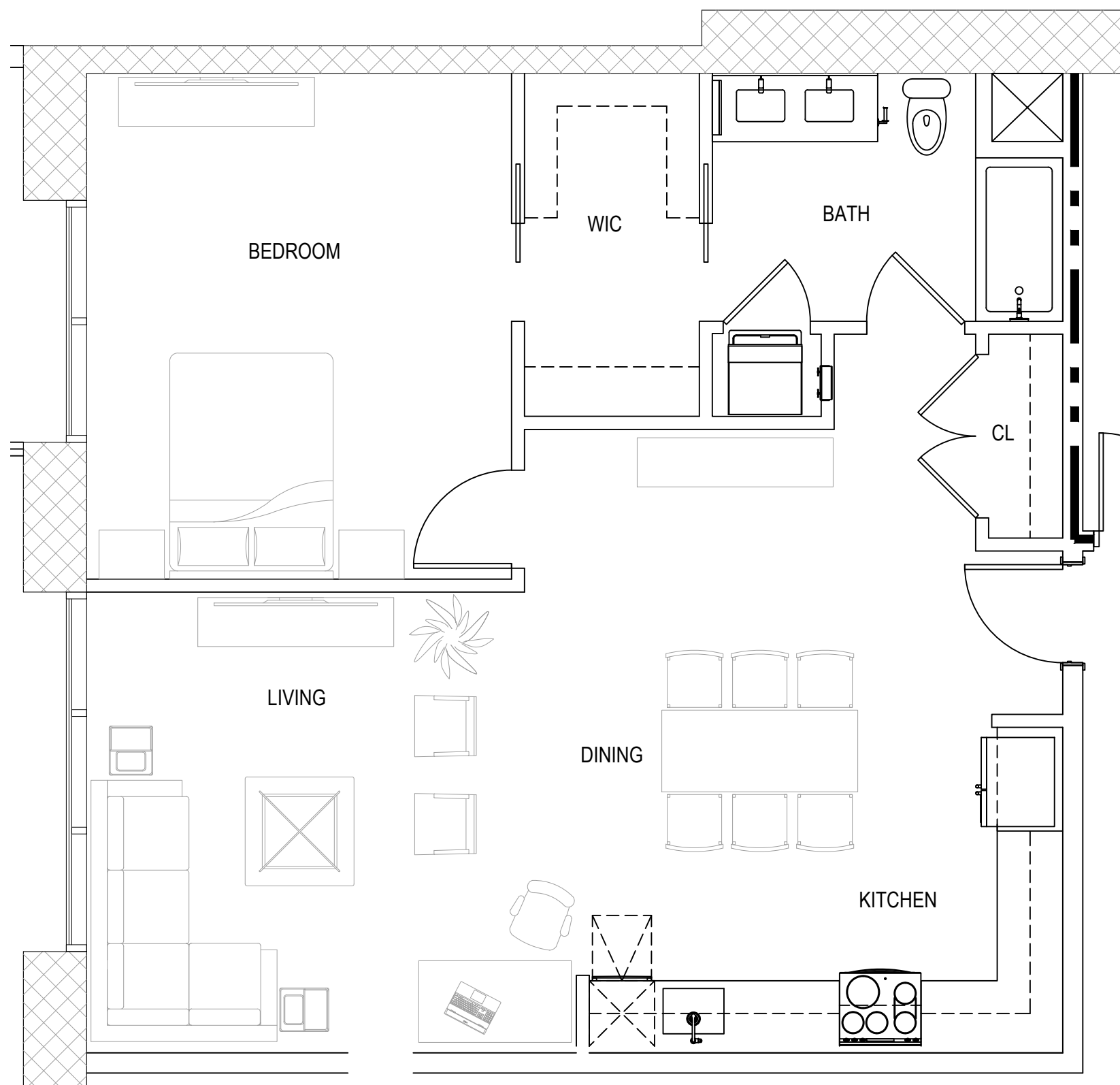




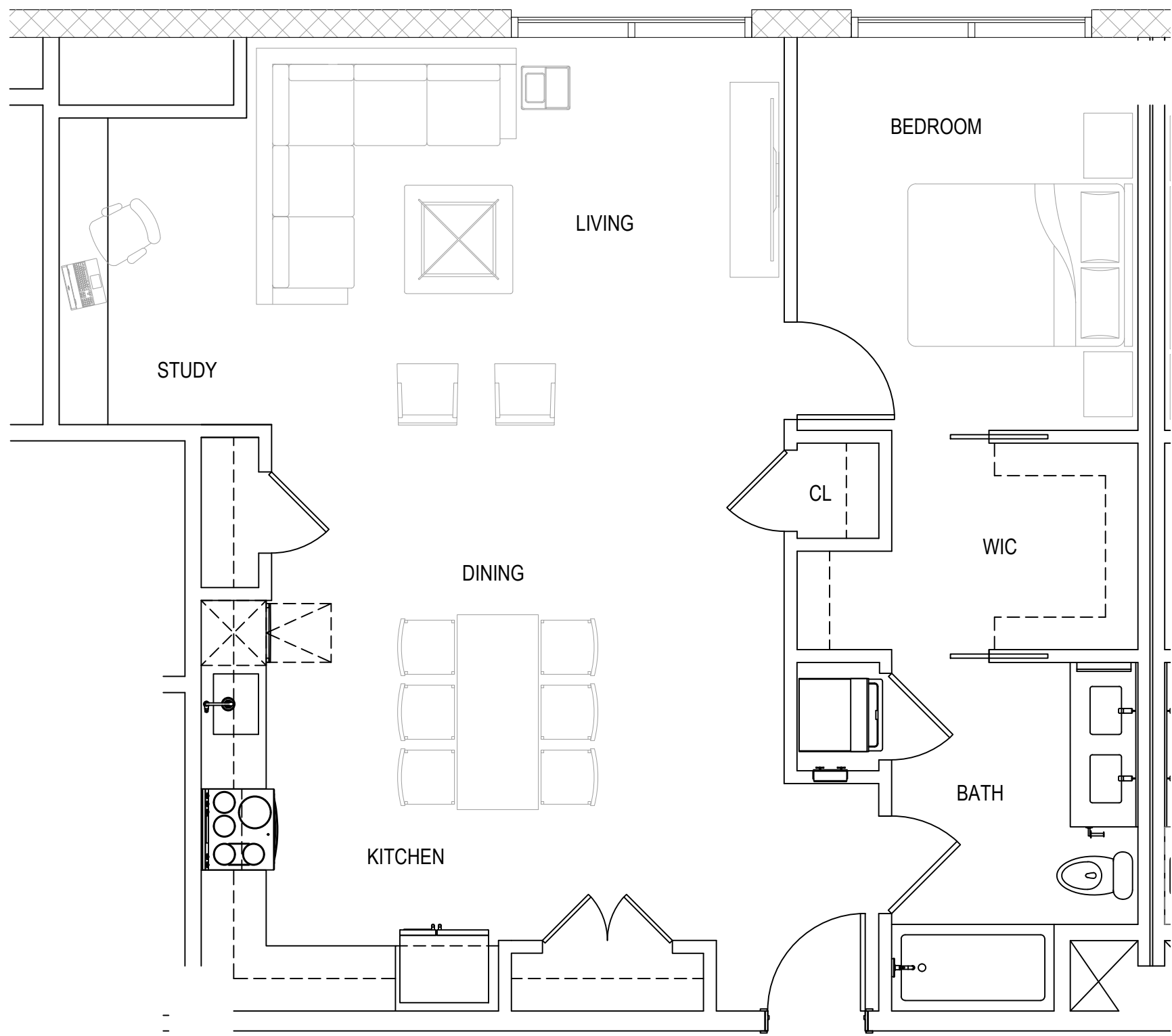
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829 S.F.
TOTAL OF (9)



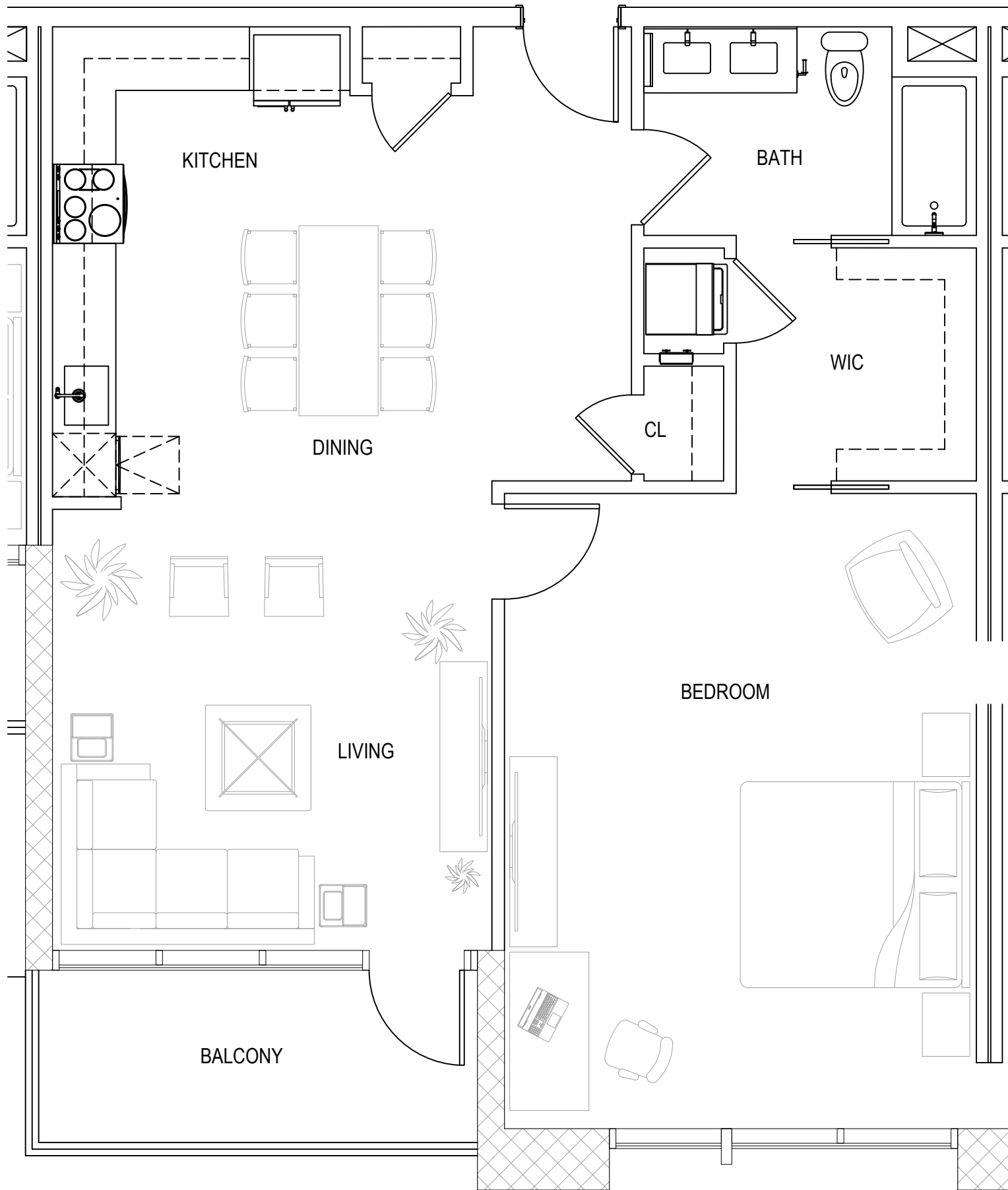
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TOTAL OF (3)



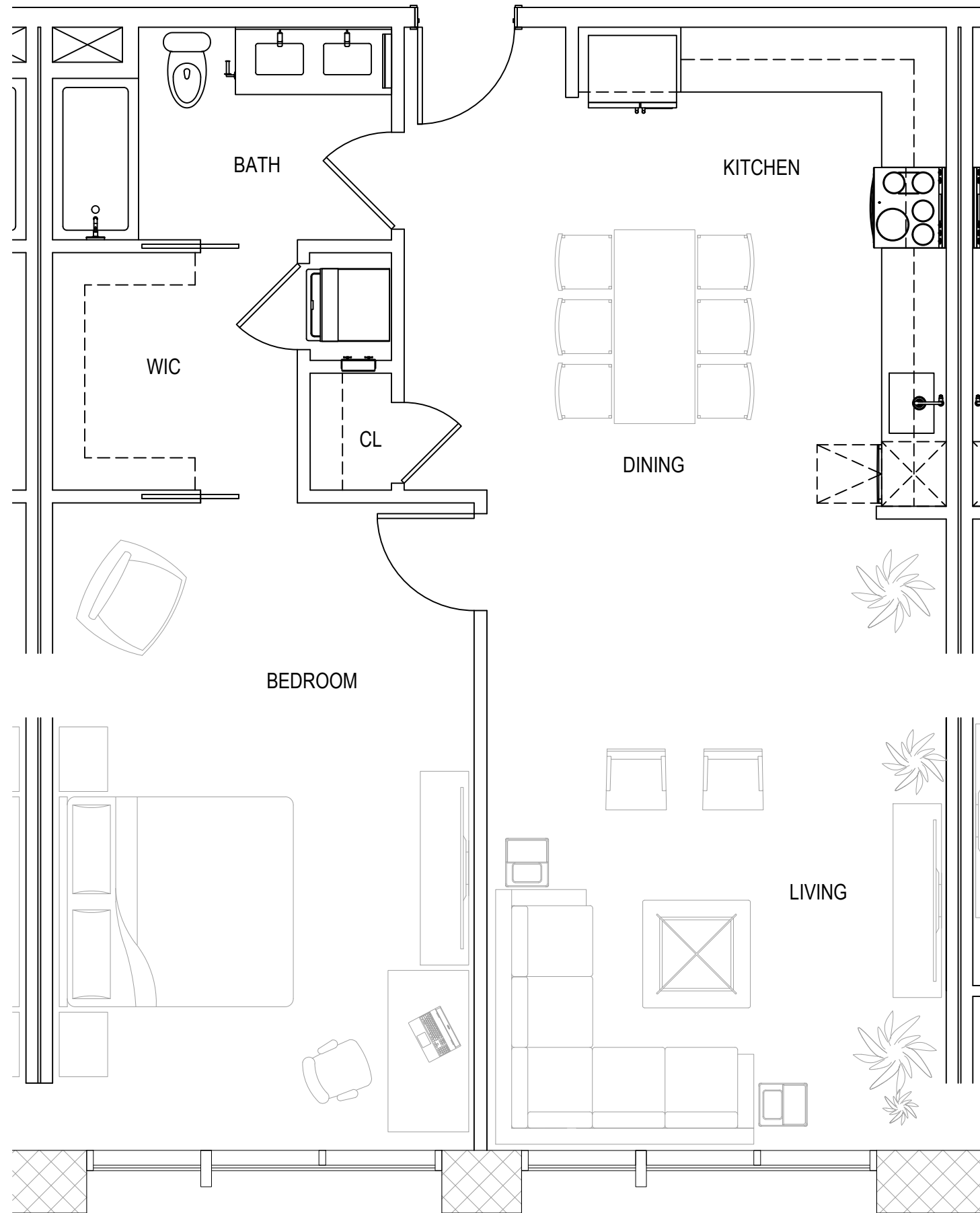
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896 S.F.
TOTAL OF (9)



ENLARGED PLAN - 1 BR/ 1BA UNIT B1.18
916 S.F.
TOTAL OF (8)



ENLARGED PLAN - 1 BR/ 1BA UNIT B1.5
934 S.F.
TOTAL OF (9)



ENLARGED PLAN - 1 BR/ 1BA UNIT B1.4
962 S.F.
TOTAL OF (9)



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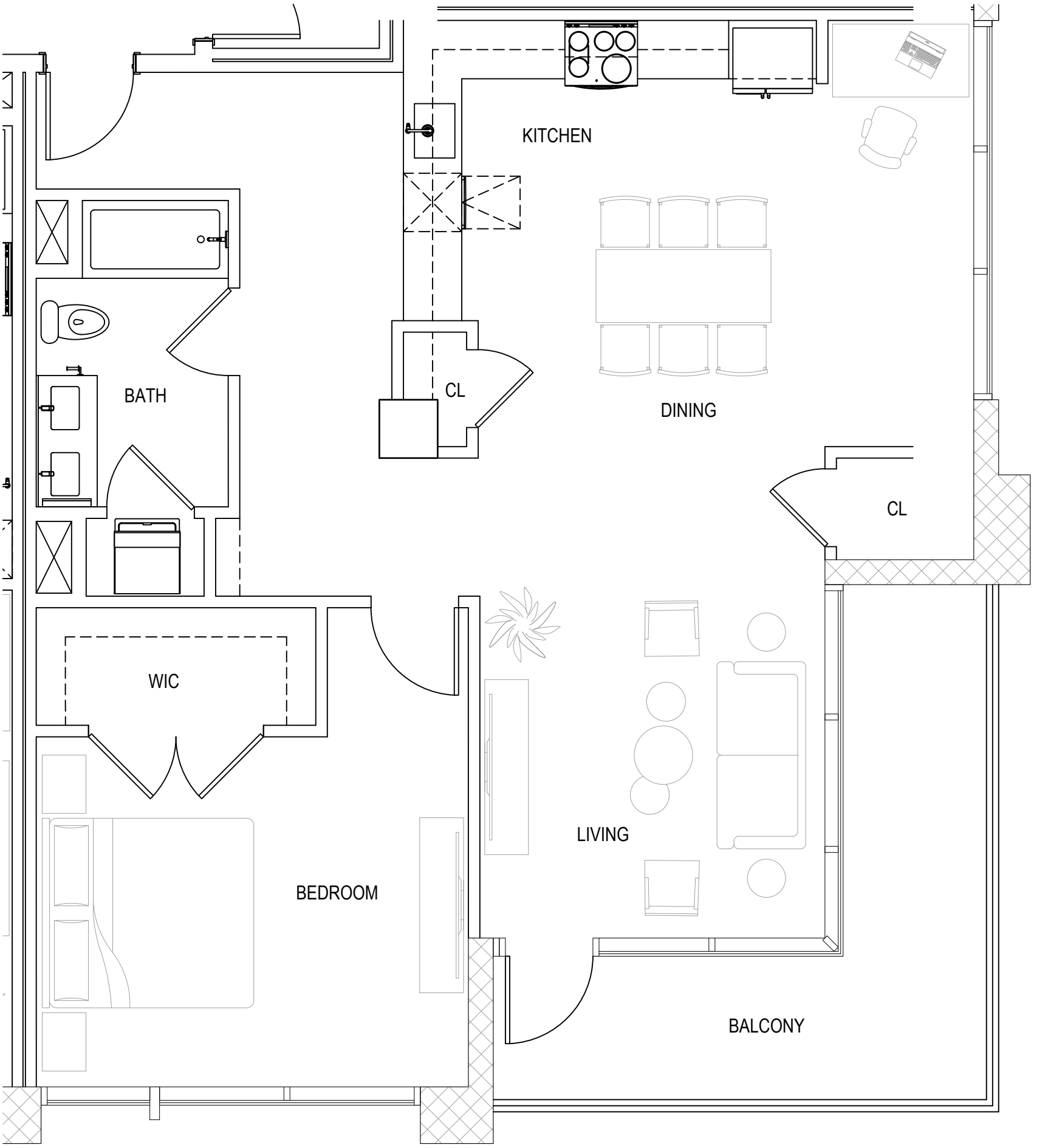
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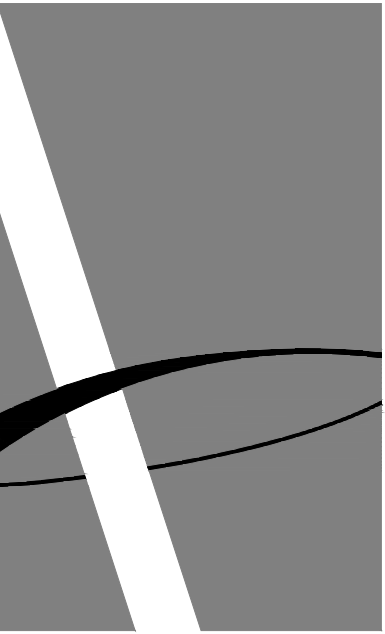
ENLARGED UNIT PLANS

A5.14

PROJECT NO: 246148



ENLARGED PLAN - 1 BR/ 1BA UNIT B1.2
998 S.F.
TOTAL OF (1)



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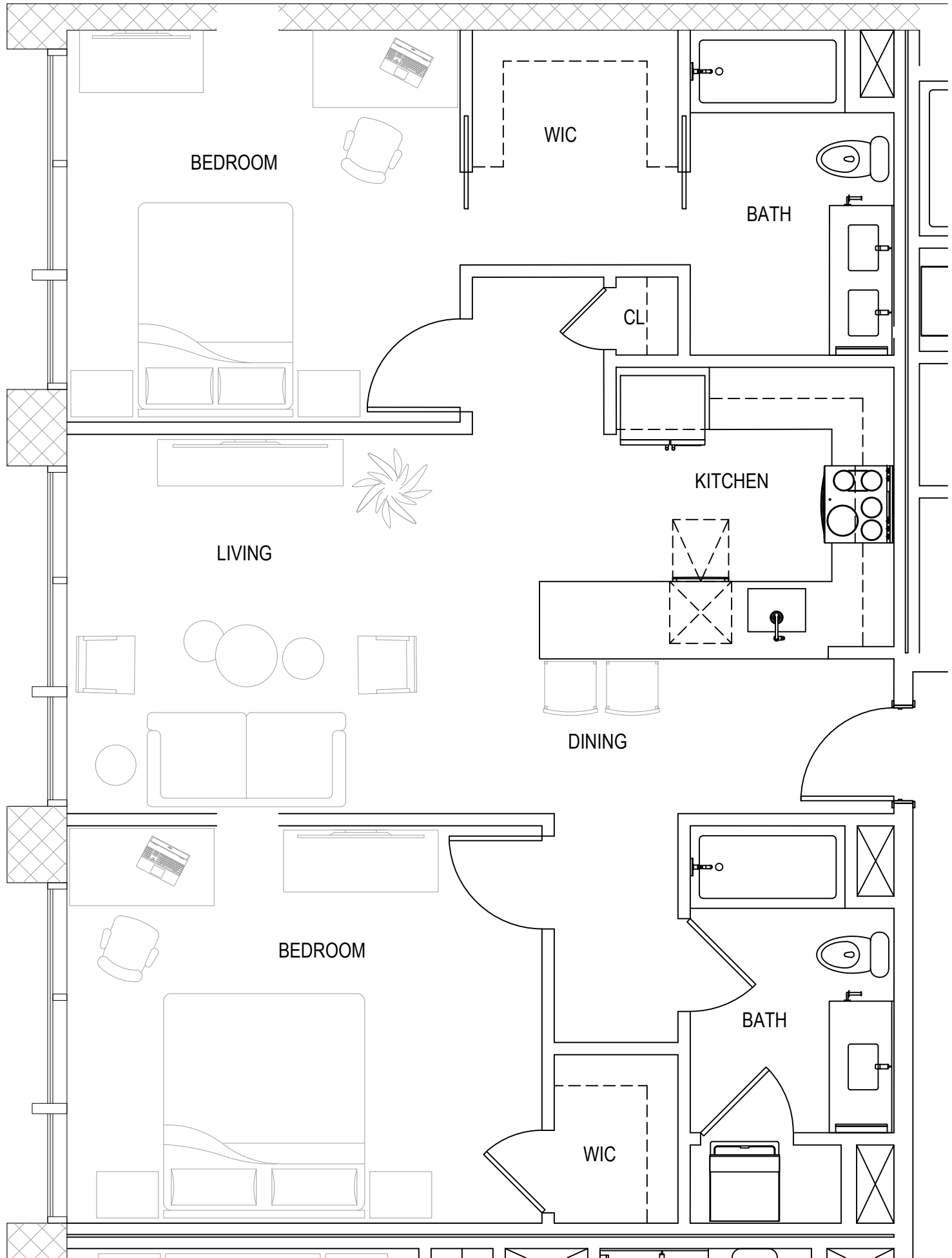
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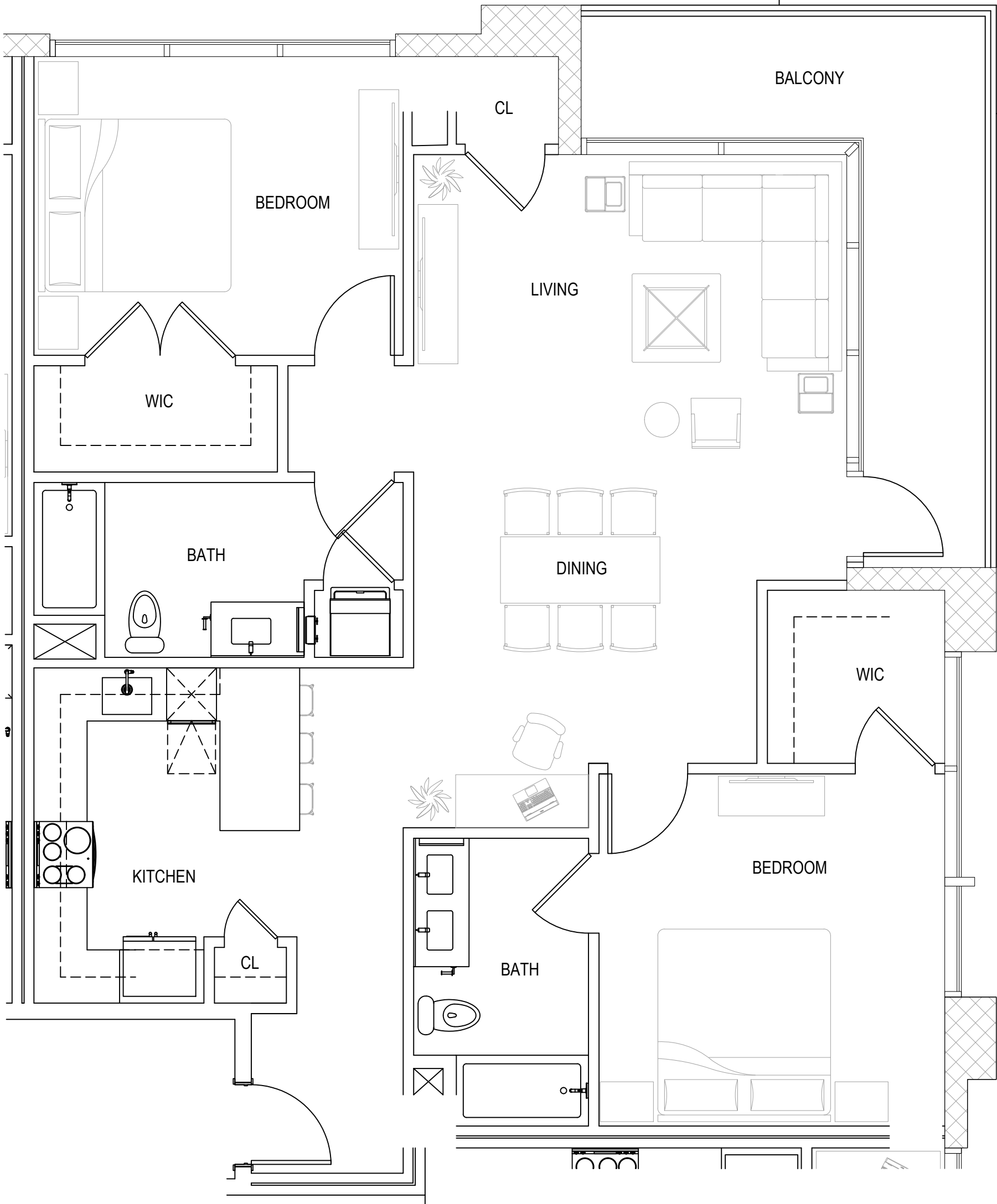
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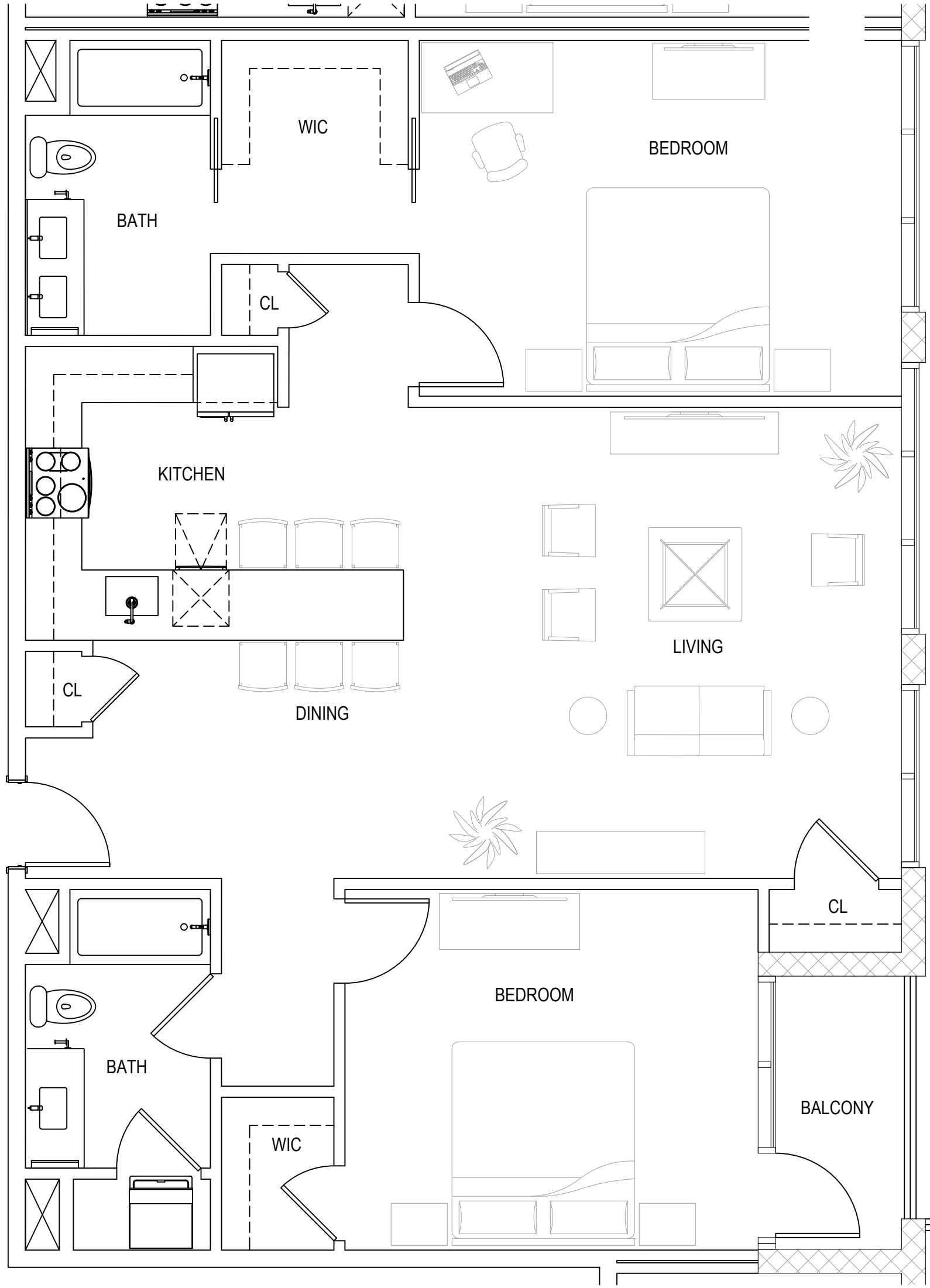
PROJECT NO: 246148



ENLARGED PLAN - 2 BR/ 2BA UNIT C1.1
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TOTAL OF (8)



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1,238 S.F.
TOTAL OF (6)



ENLARGED PLAN - 2 BR/ 2BA UNIT C1.5
1,263 S.F.
TOTAL OF (2)



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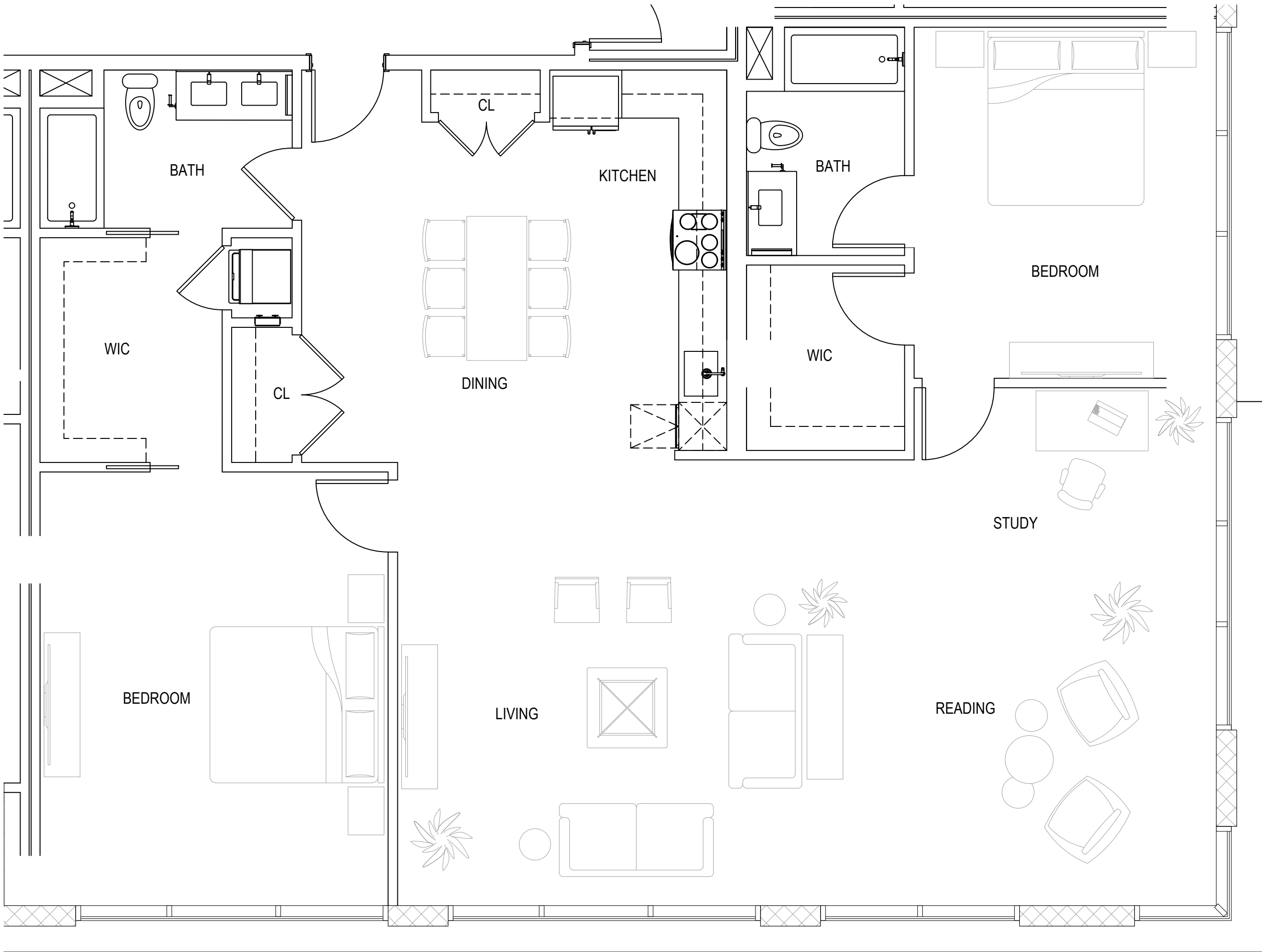
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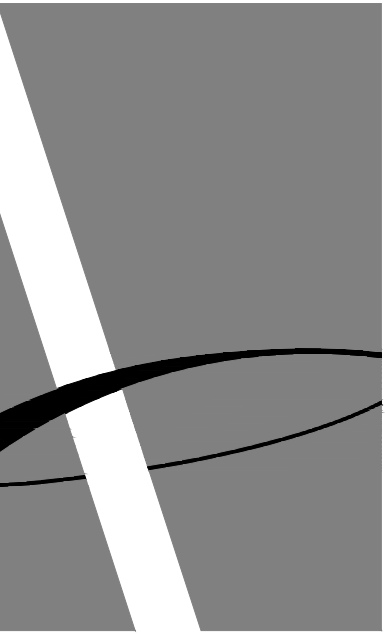
ENLARGED UNIT PLANS

A5.16

PROJECT NO: 246148



ENLARGED PLAN - 2 BR/ 2BA UNIT C1.3
1,738 S.F.
TOTAL OF (3)



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ENLARGED UNIT PLANS

A5.18

PROJECT NO: 246148



ABBREVIATIONS

- ACCORDING TO FEMA THE DEFINITION OF ZONE "X" (UNSHADED) IS: AREAS OF MINIMAL FLOOD HAZARD.
- INFORMATION WAS OBTAINED FROM THE FEDERAL EMERGENCY MANAGEMENT AGENCY ON FEBRUARY 25, 2025.
- FEMA BASE FLOOD ELEVATIONS ARE BASED ON NAVD88 DATUM.
5. **BENCHMARK:**
BNM 122 (CITY OF SAN MATEO BENCHMARK) BEING A NAIL AND WASHER ON TOP OF A CURB AT THE NORTH INTERSECTION OF 3RD AVENUE AND EL CAMINO REAL ELEVATION: 42.81' (NGVD 88)
6. **BASIS OF BEARINGS:**
THE BEARING OF SOUTH 48° 30' 00" WEST TAKEN ON THE NORTHWEST MONUMENT CORNER OF PARCEL 1 AS SHOWN ON THAT CERTAIN PARCEL MAP NUMBER 400 FILED FOR RECORD ON JUNE 18, 2004, IN BOOK 75 OF MAPS AT PAGE (S) 53-54, OFFICIAL RECORDS OF SAN MATEO COUNTY WAS TAKEN AS THE BASIS FOR ALL BEARINGS SHOWN HEREON.
14. **CORNER RECORD NOTE:**
THE DEVELOPER AND/OR CONTRACTOR SHALL BE RESPONSIBLE FOR THE PREPARATION AND FILING OF PRE-CONSTRUCTION AND POST-CONSTRUCTION CORNER RECORDS FOR ANY MONUMENTS OR PROPERTY CORNERS SHOWN HEREON THAT MAY BE DESTROYED DURING IMPROVEMENTS TO THE SUBJECT PROPERTY AS DEFINED IN SECTION 8771(B) OF THE PROFESSIONAL LAND SURVEYORS ACT.

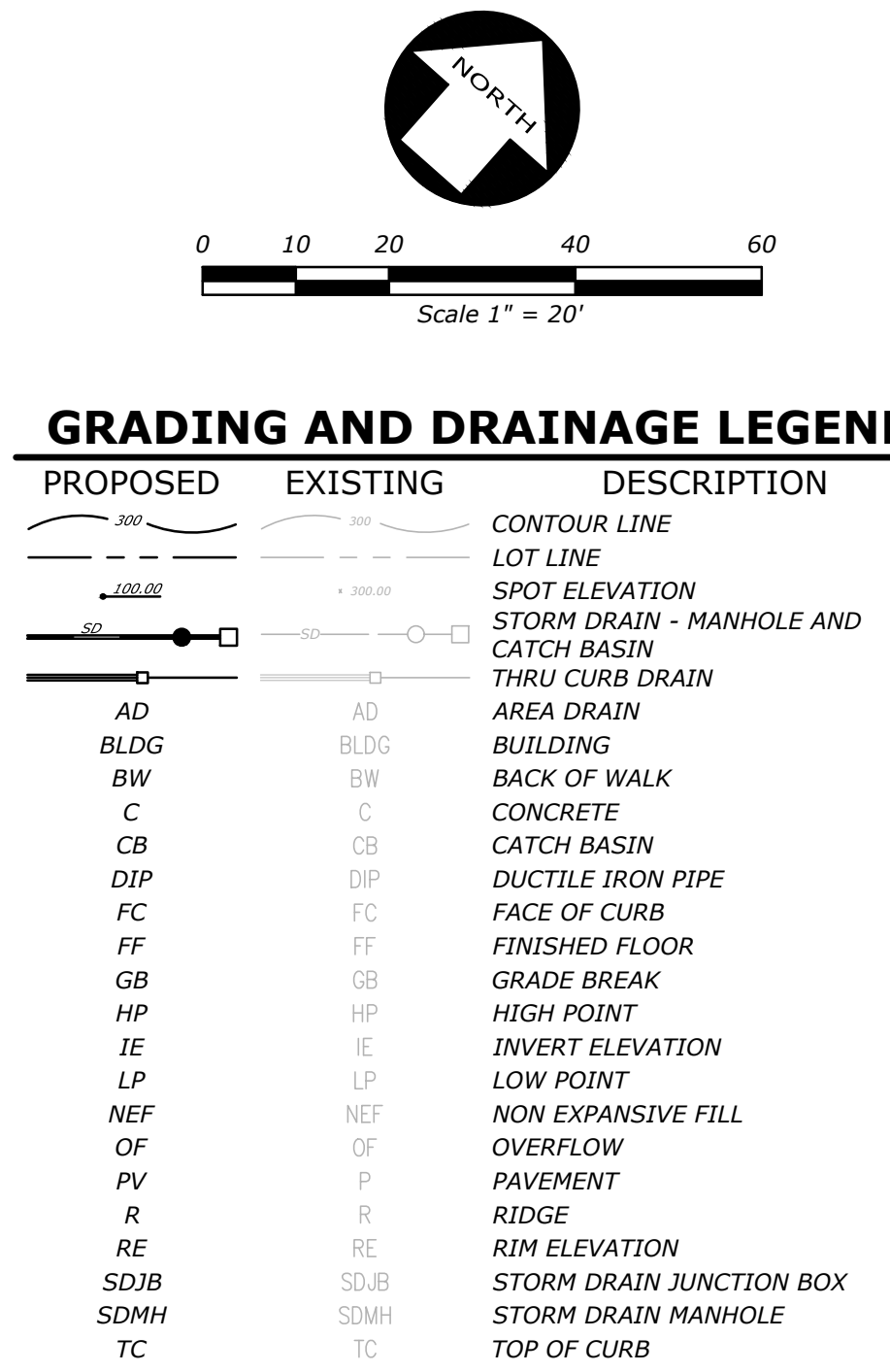
	BUILDING LINE
	BUILDING OVERHANG LINE
	CENTER LINE
	CONCRETE/BLOCK WALL
	CONCRETE CURB
	CONTOUR CURB & GUTTER
	CONTOUR LINE-MAJOR
	CONTOUR LINE-MINOR
	DRIVEWAY
	EASEMENT LINE
	EDGE OF PAVEMENT
	ELECTRIC LINE
	FENCE LINE
	GAS LINE-VALVE & METER
	LOT LINE
	MONUMENT/MONUMENT LINE
	PROPERTY LINE
	SANITARY SEWER LINE-MANHOLE & CLEANOUT
	SIDEWALK
	SPOT ELEVATION
	STORM DRAIN LINE-MANHOLE & CATCH BASIN
	STORM DRAIN LINE-MANHOLE & CATCH BASIN
	STORM DRAIN LINE OVER 24" DIAMETER
	TELEPHONE LINE
	UNKNOWN UTILITY LINE
	WATER LINE & VALVE
	AREA DRAIN
	BACKFLOW PREVENTION DEVICE
	BOLLARD
	ELECTROLIER
	FIRE DEPARTMENT CONNECTION
	HYDRANT
	PARKING METER
	TRANSMISSION TOWER
	TRAFFIC SIGNAL POLE
	TRAFFIC SIGN
	UTILITY BOX
	WATER VALVE
	LEAD & TACK "LS 6256"

BW	BACK OF SIDEWALK	P-FC	PAVEMENT FACE OF CURB
C	CONCRETE	TW	TOP OF WALL
CB-T/C	CATCH BASIN AT TOP OF CURB	TC	TOP OF CURB
DOC.	DOCUMENT	RP	REINFORCED CONCRETE PIPE
CTV	CABLE TELEVISION BOX	PVC	POLYVINYL CHLORIDE PIPE
EB	ELECTRIC BOX	SDMH	STORM DRAIN MANHOLE
ECB	ELECTRIC CABINET	SSMH	SANITARY SEWER MANHOLE
EMH	ELECTRIC MANHOLE	SLB	STREET LIGHT BOX
EP	EDGE OF PAVEMENT	UB	UNKNOWN UTILITY BOX
EV	ELECTRIC VAULT	WB	WATER BOX
EW	EDGE OF SIDEWALK	WM	WATER METER
FF	FINISHED FLOOR	IE	INVERT ELEVATION
FL-FC	FLOWLINE FACE OF CURB	RE	RIM ELEVATION
IB	IRRIGATION BOX		
LP	LIP OF CURB		

DATE	DESCRIPTION
03.27.2025	SB330 APPLICATION

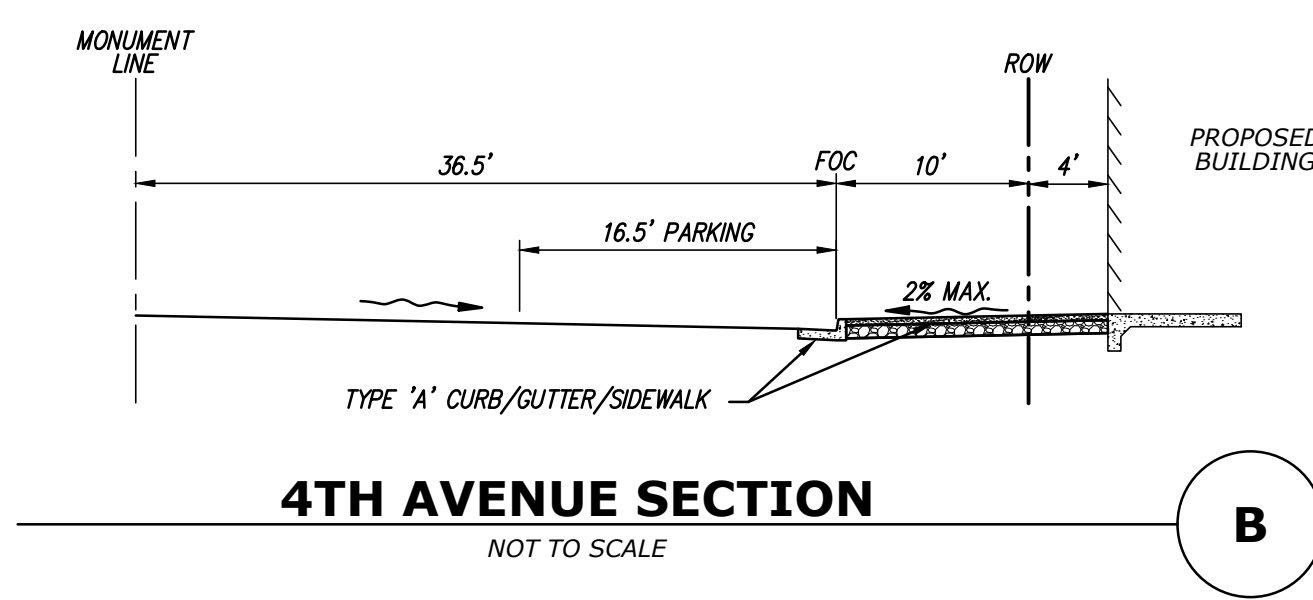
C1.1

PROJECT NO: 246148

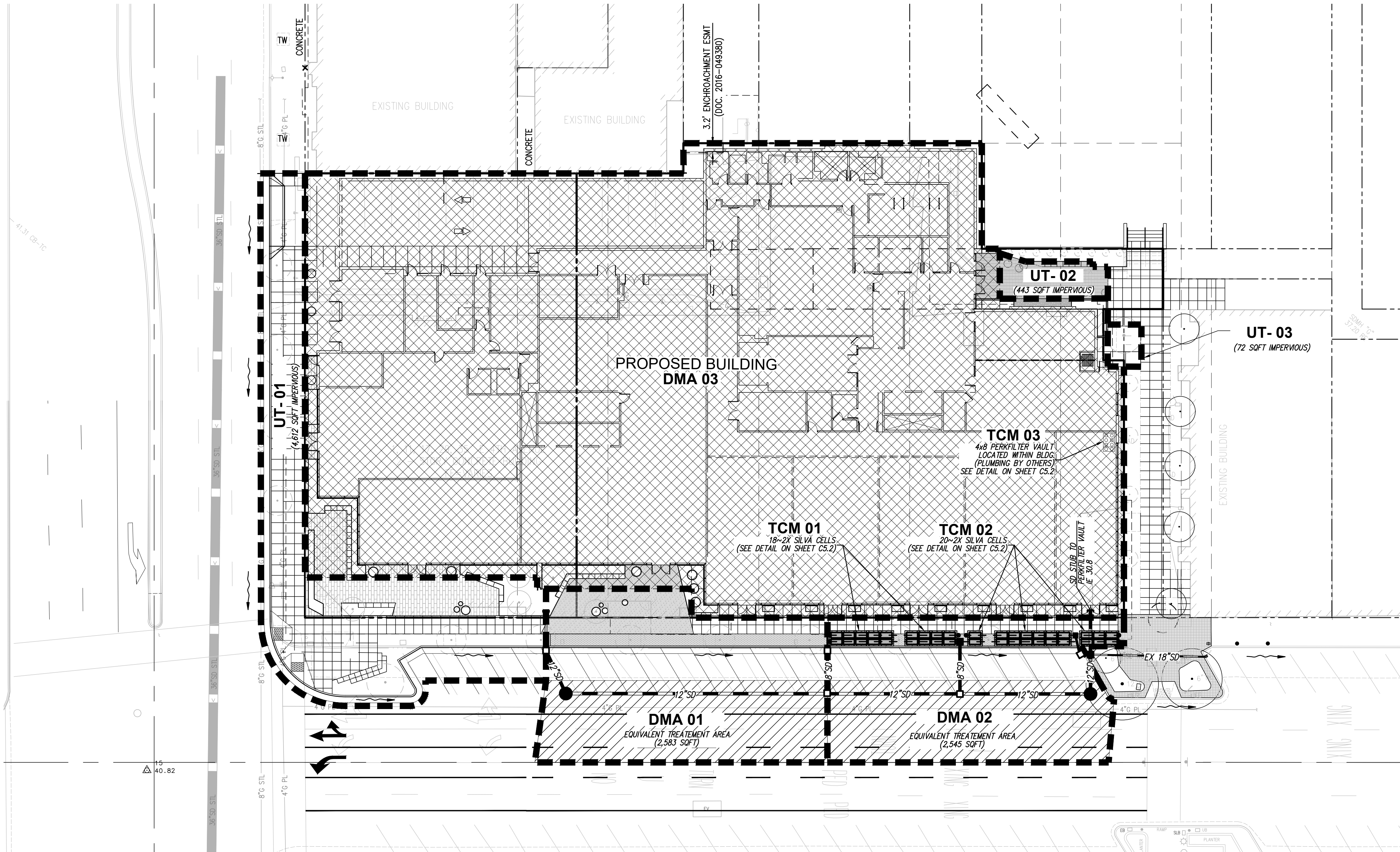


DATE	DESCRIPTION
03.27.2025	SB330 APPLICATION

PROJECT NO: 246148



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C.3 and C.6 Development Review Checklist
Municipal Regional Stormwater Permit (MRP 3.0)
Stormwater Controls for Development Projects
Effective Date: July 1, 2024

COUNTY OF SAN MATEO
Planning & Building Department
455 County Center, 2nd Floor
Redwood City, CA 94063
BLD: 650-599-7311/PLN: 650-363-1825
http://planning.smcgov.org

Project Information (Enter information only into blue-highlighted cells - other cells are locked.)

I.A Enter Project Data (For "C.3 Regulated Projects," data will be reported in the municipality's stormwater Annual Report.)

Project Name: El Camino Real & 4th Avenue Case Number:
Project Address: TBD Cross Street: 4th Avenue
Project APN: 034-143-260, 034-143-300, 034-143-3 Project Watershed:
Applicant Name: Rob Lerma Project Phase No. N/A
Applicant Phone: 408-663-5440 Applicant Email Address: rlerma@kierwright.com

Development Type:
(check all that apply)

☐ Small Single-Family Home Project (<10,000 sq. ft. of created and/or replaced impervious surface)
☐ Large Single-Family Home Project (≥10,000 sq. ft. of created and/or replaced impervious surface)
☐ Subdivision - Residential: Two or more lot development² # of units:
☒ Multi-Family Residential # of units: 254
☐ Commercial
☐ Industrial, Manufacturing
☒ Mixed-Use # of units: 50
☐ New, widened or reconstructed roads related to parcel-based projects³
☐ Stand-alone pavement maintenance or construction work, or similar work related to parcel-based projects
☐ Other redevelopment project as defined by MRP: creating, adding and/or replacing exterior existing impervious surface on a site where past development has occurred.
☐ Institutional: schools, libraries, jails, etc.
☐ Parks and trails, camp grounds, other recreational
☐ Kennels, Ranches
☐ Other, Please specify

Project Description (Don't include past or future phases)⁴
Proposed 14-story mixed use development with underground parking.

I.A.1 Total Project Area: 48,487 square feet (on and off-site)
I.A.2 Total Area on-site: 40,212 square feet (on the private property)
I.A.3 Total Area off-site: 8,275 square feet (frontage or area in Public Right of Way being improved)
I.A.4 Total Area of land disturbed during construction: 48,487 square feet
(Include all project on-site and off-site areas of clearing, grading, excavating and stockpiling)
I.A.5 Site slope: 1 %

I.A.6 Certification:
I certify that the information provided on this form is correct and acknowledge that, should the project exceed the amount of new and/or replaced impervious surface provided in this form, the as-built project may be subject to additional improvements.

☒ Preliminary Calculations Attached ☐ Final Calculations Attached ☐ Stormwater Control Plan Attached

Name of person completing the form: Rob Lerma Title: Senior Engineer
Signature: Date:
Phone Number: 408-663-5440 E-mail: rlerma@kierwright.com

¹ Small and Large Detached Single-Family Homes that are not part of a common plan of development²
² Common Plans of Development (subdivisions or contiguous, commonly owned lots, for the construction of two or more homes developed within 1 year of each other), and/or constructed with shared utilities, are not considered single family home projects by the MRP.
³ Stand-alone roadway or pavement projects, or pavement work that is part of a project, creating or replacing 5,000 sq. ft. or more of impervious surface may be subject to C.3 requirements - both in public and private areas. See the Roads Factsheet at: www.flowstobay.org/newdevelopment
⁴ Project description examples: 5-story office building, industrial warehouse, residential with five 4-story buildings for 200 condominiums, etc. 7/1/24

I.B Is the project a "C.3 Regulated Project" per MRP Provision C.3.b? (Use table below to make determination.)
I.B.1 Enter the amount of Impervious Surface Retained, Replaced or Created³ by the project (use DMA Table in Worksheet D):
Table I.B.1 Impervious^a and Pervious^a Surfaces (Match DMA Summary Table in Worksheet D, if applicable)

Impervious Surfaces (IS) (e.g., sidewalks, driveways, parking areas, patios, roads, rooftops, pools, pathways, etc.)	Pre-Project	Post-Project			
	I.B.1.a Existing (Pre-Project) Impervious Surface (sq.ft.)	I.B.1.b Existing Impervious Surface to be Retained ³ (sq.ft.)	I.B.1.c Existing Impervious Surface to be Replaced ³ (sq.ft.)	I.B.1.d New Impervious Surface to be Created ³ (sq.ft.)	I.B.1.e Post-Project Impervious Surface (sq.ft.) (=b+c+d)
On-site area (within the parcel/private site boundaries)	40,001	-	38,287	211	38,498
Off-site area (e.g., frontage/other area in Public Right of Way)	8,185	-	7,522	90	7,612
Subtotal:	48,186	-	45,809	301	46,110
Total Impervious Surface Replaced and Created: (sum of totals for columns I.B.1.c and I.B.1.d):					
		I.B.1.f	46,110 sq. ft.		
Pervious Surfaces (PS) (e.g., landscaping, pervious pavement, bioretention areas, parking strips, street trees, etc. - both on-site and off-site)	Existing (Pre-Project) Pervious Surface (sq.ft.)	Post-project			
		Pervious Surface (sq.ft.)			
All pervious off-site area (e.g., frontage/Public Right of Way) ³	90				664
Landscaping area on-site	211				1,713
Pervious Pavement area on-site	-			I.B.1.g	-
Green Roof area on-site	-				-
Subtotal:	301	50% Rule Calculation ³			2,377
Total Project Area (should be equal to I.A.1)	48,487	I.B.1.h	95 %		48,487

Worksheet D

C.3 Regulated Projects and Non-Regulated GI Projects

Stormwater Treatment Measures and Site Design Measures by Drainage Management Area (DMA)

Check all applicable boxes, answer questions and fill in cells related to the site design and treatment measure(s) included in the project.

Drainage Management Area Summary Table

Complete the information below at the Entitlement, Building Permit and Certificate of Occupancy stages for Regulated C.3 Projects and Non-Regulated Green Infrastructure Projects. (The first four cells are automatically filled in from the Project Info sheet.)

Project Name: El Camino Real & 4th Avenue
Project Address: TBD
Cross Streets: 4th Avenue
APN: 034-143-260, 034-143-300, 034-143-310
Special Project^{1,2}? Yes of C.3.d amount of runoff treated by Non-LID Systems on the Special Project site.
C.3 Regulated? Yes
Public or Private Project? Private Public projects are those on public property or ROW; private projects are on privately-owned property but can include improvements in the public ROW required as part of the project.

DMA Identification Number	Impervious Area ¹³ (ft²)	Pervious Area ¹⁴ (ft²)	Type of Site Design Measure or Treatment Measure ¹⁵	Sizing Criteria Used ¹⁶	Size Required ¹⁷	Size Provided
Example DMA 1	5,000	2,000	Bioretention unlined with underdrain	2c: Flow	208 ft2	220 ft2
Example DMA 2	1,000	1,000	Self-retaining area	Other	< 2:1 ratio	1:1 ratio
Example DMA 3	1,000	-	Infiltration trench	1b: Volume	1,000 ft3	1,100 ft3
1	4,888	99	Tree well filter with bioretention soil with underdrain	2c: Flow	196 ft2	200 ft2
2	4,428	32	Tree well filter with bioretention soil with underdrain	2c: Flow	177 ft2	180 ft2
3	37,328	1,370	Proprietary media filter system	Other	N/A	N/A
4						
5						
6						
7						
8						
9						
10						
11						
12						
13						
14						
15						
add rows, if needed						
TOTALS	46,644	1,501	N/A	N/A	N/A	N/A
Totals from Project Info Sheet Cells	46,110	2,377				

Is the project harvesting and using rainwater? Yes ☐ Rainwater Harvesting/Use Measures:
☐ Rainwater Harvesting for indoor non-potable water use
☐ Rainwater Harvesting for landscape irrigation use

A long term Operations and Maintenance (O&M) Agreement and Plan for this project will be required. Please contact the municipality for an agreement template and/or consult the C.3 Regulated Projects Guide and table of contents at www.flowstobay.org/newdevelopment for maintenance plan templates for specific facility types

12 Special Projects are smart growth, high density, transit-oriented or affordable housing developments with the criteria defined in Provision C.3.e.ii (2), (3) or (4) (see Worksheet F)
13 The sq. ft. of impervious area within the Drainage Management Area
14 The sq. ft. of pervious area within the Drainage Management Area
15 "Lined" refers to an impermeable liner placed on the bottom of a bioretention area, such that no infiltration into native soil occurs.
16 Select from the menu which of the following Provision C.3.d.i) hydraulic sizing methods was used, if any. Volume based approaches: 1(a) Urban Runoff Quality Management approach, or 1(b) 80% capture approach (recommended volume-based approach). Flow-based approaches: 2(a) 10% of 50-year peak flow approach, 2(b) 2 times the 85th percentile rainfall intensity approach, 2(c) 0.2-inch-per-hour intensity approach (recommended flow-based approach - also known as the 4% rule for bioretention), or 3 Combination flow and volume-based approach. "Other" is used for Site Design Measures such as Self-Retaining or Self-Treating Areas.
17 Each DMA should drain to one treatment area (unless it is self-treating or self-retaining). If multiple DMAs are draining to one treatment area, they should be combined into one DMA. If one DMA drains to multiple treatment areas, that DMA should be split up so there is one DMA per treatment area (which allows the treatment area to be properly sized).

Worksheet F
Special Projects

Complete this worksheet for projects that appear to meet the definition of "Special Project," per Provision C.3.e.i of the Municipal Regional Stormwater Permit (MRP). The form assists in determining whether a project meets Special Project criteria, and the percentage of low impact development (LID) treatment reduction credit. Special Projects that implement less than 100% LID treatment must provide a narrative discussion of the feasibility or infeasibility of 100% LID treatment. See Appendix J of the C.3 Regulated Projects Guide (download at www.flowstobay.org/newdevelopment) for more information.

F-1 "Special Project" Determination (Check the boxes to determine if the project meets any of the following categories.)

Special Project Category "A"
Does the project have ALL of the following characteristics?

☐ Located in a municipality's designated central business district, downtown core area or downtown core zoning district, neighborhood business district or comparable pedestrian-oriented commercial district, or historic preservation site and/or district;
☐ Creates and/or replaces 0.5 acres or less of impervious surface - enter answer in F-2 table;
☐ Includes no surface parking, except for incidental parking for emergency vehicle access, ADA access, and passenger or freight loading zones;

☐ Has at least 85% coverage of the entire site by permanent structures. The remaining 15% portion of the site may be used for safety access, parking structure entrances, trash and recycling service, utility access, pedestrian connections, public uses, landscaping and stormwater treatment - enter answer in F-2 Table

☐ No (continue)
☐ Yes – Complete Section F-2 below

Special Project Category "B"
Does the project have ALL of the following characteristics?

☒ Located in a municipality's designated central business district, downtown core area or downtown core zoning district, neighborhood business district or comparable pedestrian-oriented commercial district, or historic preservation site and/or district¹⁹.
☒ Creates and/or replaces more than 0.5 acres of impervious area and less than 2.0 acres - enter answer in F-2 Table;
☒ Includes no surface parking, except for incidental parking for emergency access, ADA access, and passenger or freight loading zones;

☒ Has at least 85% coverage of the entire site by permanent structures. The remaining 15% portion of the site may be used for safety access, parking structure entrances, trash and recycling service, utility access, pedestrian connections, public uses, landscaping and stormwater treatment - enter answer in F-2 Table;

☒ Minimum gross density of either 50 dwelling units per acre (for residential projects) or a Floor Area Ratio (FAR) of 2:1 (for commercial projects) - mixed use projects may use either criterion²⁰ - enter answer in F-2 Table;

☐ No (continue)
☒ Yes – Complete Section F-2 below

Special Project Category "C"
Complete the Special Project Category C - Affordable Housing Credit Calculator (AHCC) Worksheet.
Does the project meet ALL of the required characteristics for Category C?

☐ No
☐ Yes – Complete Section F-2 below

¹⁹ And built as part of a municipality's stated objective to preserve/enhance a pedestrian-oriented type of urban design.
²⁰ The MRP establishes definitions for "Gross Density" (GD) & FAR. GD is defined as, "the total number of residential units divided by the acreage of the entire site area, including land occupied by public right-of-ways, recreational, civic, commercial and other non-residential uses." FAR is defined as, "the Ratio of the total floor area on all floors of all buildings at a project site (except structures, floors, or floor areas dedicated to parking) to the total project site area. 7-1-24

F-2 LID Treatment Reduction Credit Calculation

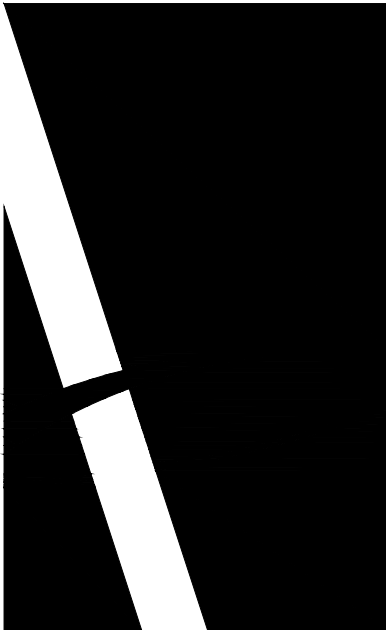
If more than one category applies, choose only one of the applicable categories and fill out the table for that category.
Fill in all cells with blue highlighting that pertain to the chosen Special Project Category.

Category	Impervious Area Created/Replaced (sq. ft.)	Site Coverage (%)	Project Density ²⁰ or FAR ²⁰	Density/Criteria	Allowable Credit (%)	Applied Credit (%)
A			N.A.	See above in F-1	100%	
B	46110	95%	3	Res ≥ 50 DU/ac or FAR ≥ 2:1	50%	
				Res ≥ 75 DU/ac or FAR ≥ 3:1	75%	
				Res ≥ 100 DU/ac or FAR ≥ 4:1	100%	100%
C	Affordable Housing Credit - from AHCC Worksheet)					
TOTAL CREDIT =					100%	

F-3 Narrative Discussion of the Feasibility/Infeasibility of 100% LID Treatment:
If project will implement less than 100% LID, prepare a discussion of the feasibility or infeasibility of 100% LID treatment, as described in Appendix J of the C.3 Regulated Projects Guide.

F-4 Select Certified Non-LID Treatment Measures:
If the project will include non-LID treatment measures, select a treatment measure certified for "Basic" General Use Level Designation (GULD) by the Washington State Department of Ecology's Technical Assessment Protocol – Ecology (TAPE²¹). See guidance in Appendix J of the C.3 Regulated Projects Guide (www.flowstobay.org/newdevelopment).

²¹ TAPE certification is used in order to satisfy Special Project's reporting requirements in the MRP.



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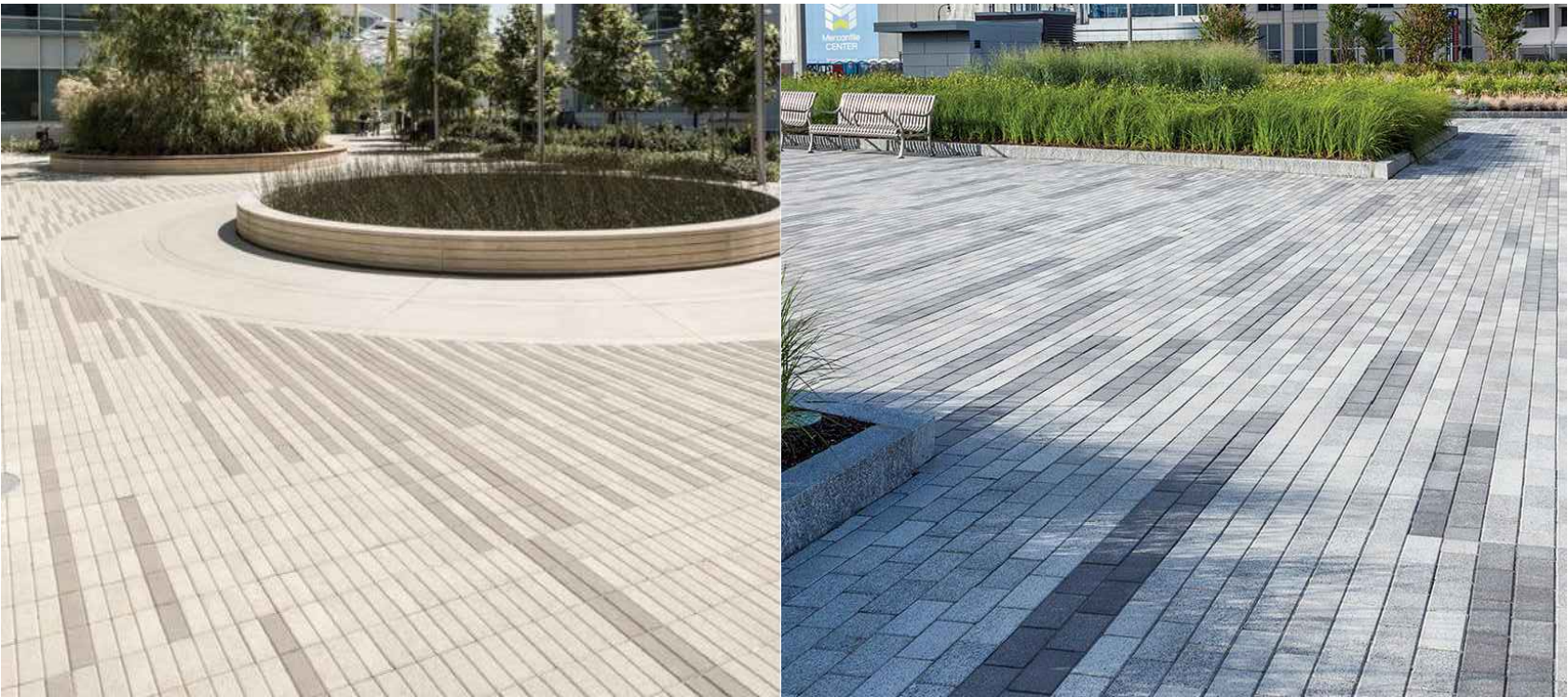
3300 Scott Boulevard, Building 22
Santa Clara, CA 95054 Phone: (408) 727-6966
www.kierwright.com

A Planning Application For:
MECAH VENTURES
EL CAMINO REAL & E. 4TH AVENUE
SAN MATEO, CA 94401

DATE 03.27.2025 DESCRIPTION SB330 APPLICATION

PRELIMINARY
LOW IMPACT
DEVELOPMENT
REDUCTION
CALCULATIONS

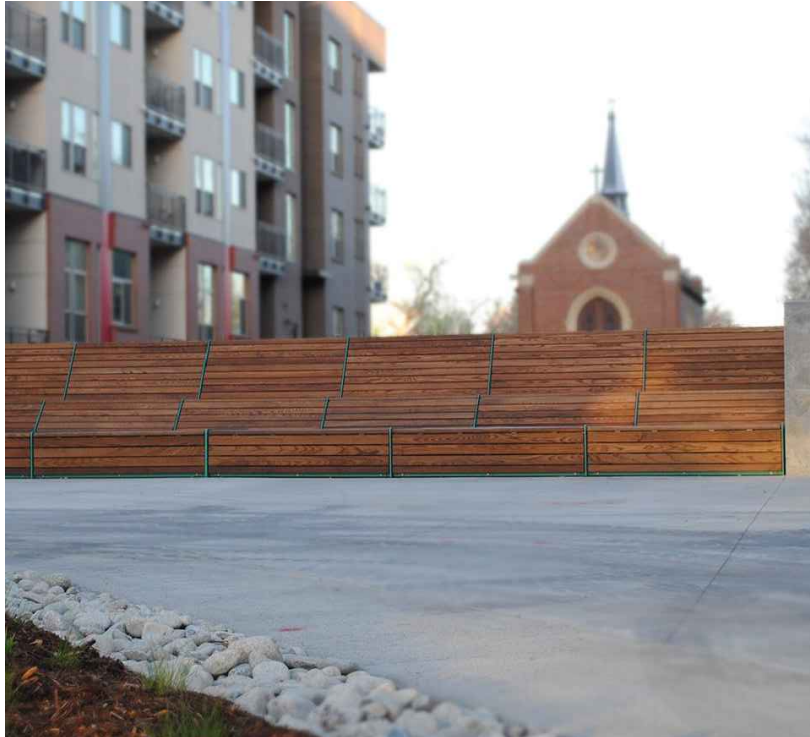
C5.3
PROJECT NO. 246148



PAVERS



BUILT IN SEATING AT RESTAURANT PATIO



TIERED SEATING AT ART PLAZA



SCULPTURAL POTS AT COMMERCIAL ENTRY



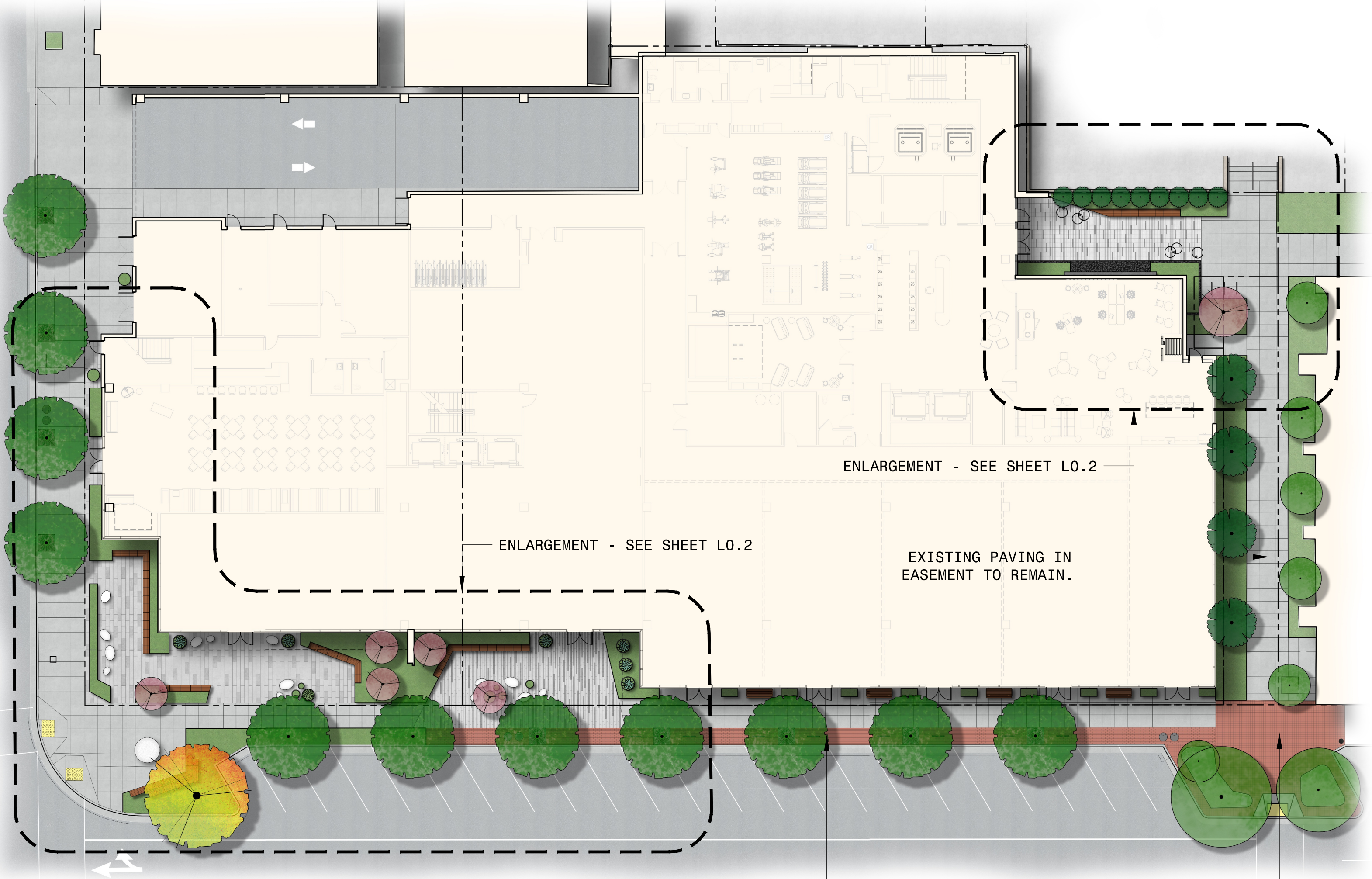
SCULPTURAL SEATING



WATER/FEATURE WALL



FEATURE LIGHTS AT RESIDENTIAL ENTRY

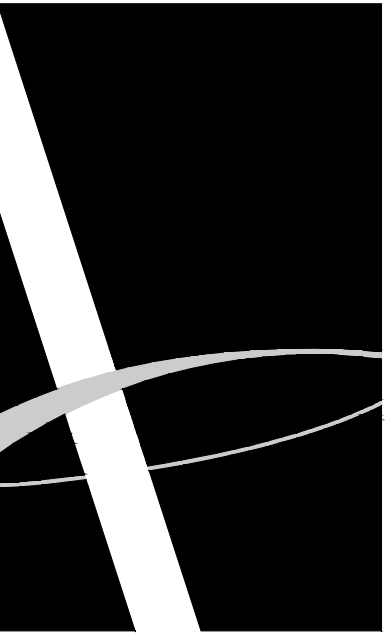
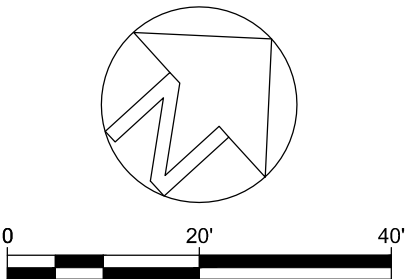
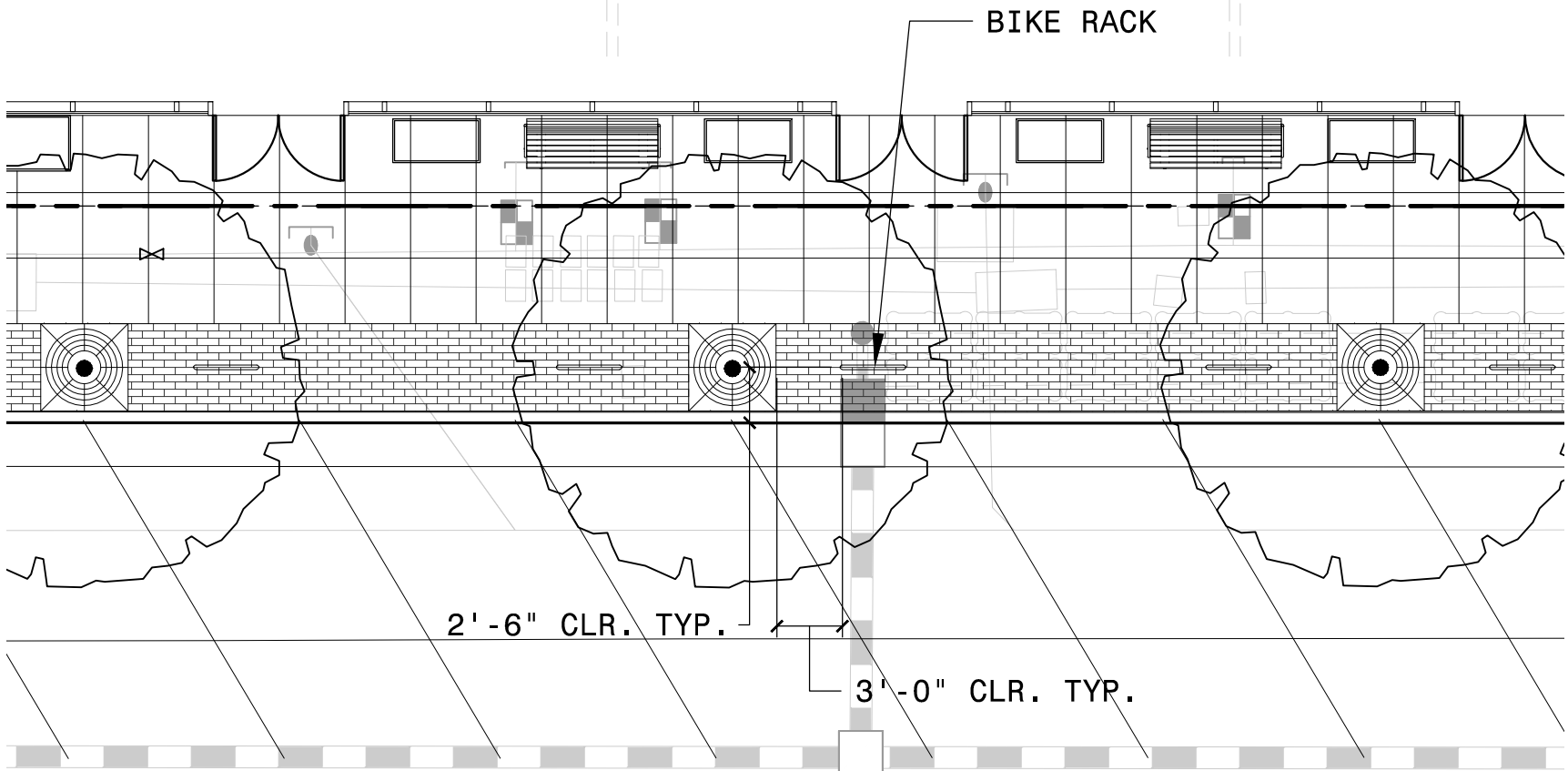


CITY STANDARD STREET FRONTAGE TO INCLUDE BRICK BAND, TREE GRATES, BIKE PARKING, WITH CONTAINERS AND BENCHES BETWEEN RETAIL ENTRANCES

EXISTING PAVING AND PLANTER AREAS TO REMAIN

TYPICAL SHORT TERM BIKE PARKING DETAIL

SCALE: 1/8" = 1'-0"



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A Planning Application For:
MECAH VENTURES
EL CAMINO REAL & E. 4TH AVENUE
SAN MATEO, CA 94401

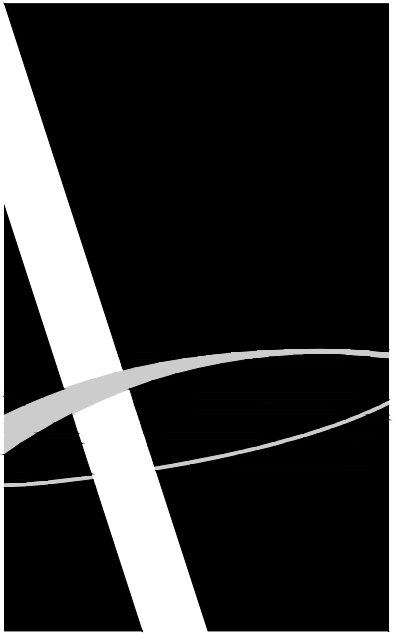
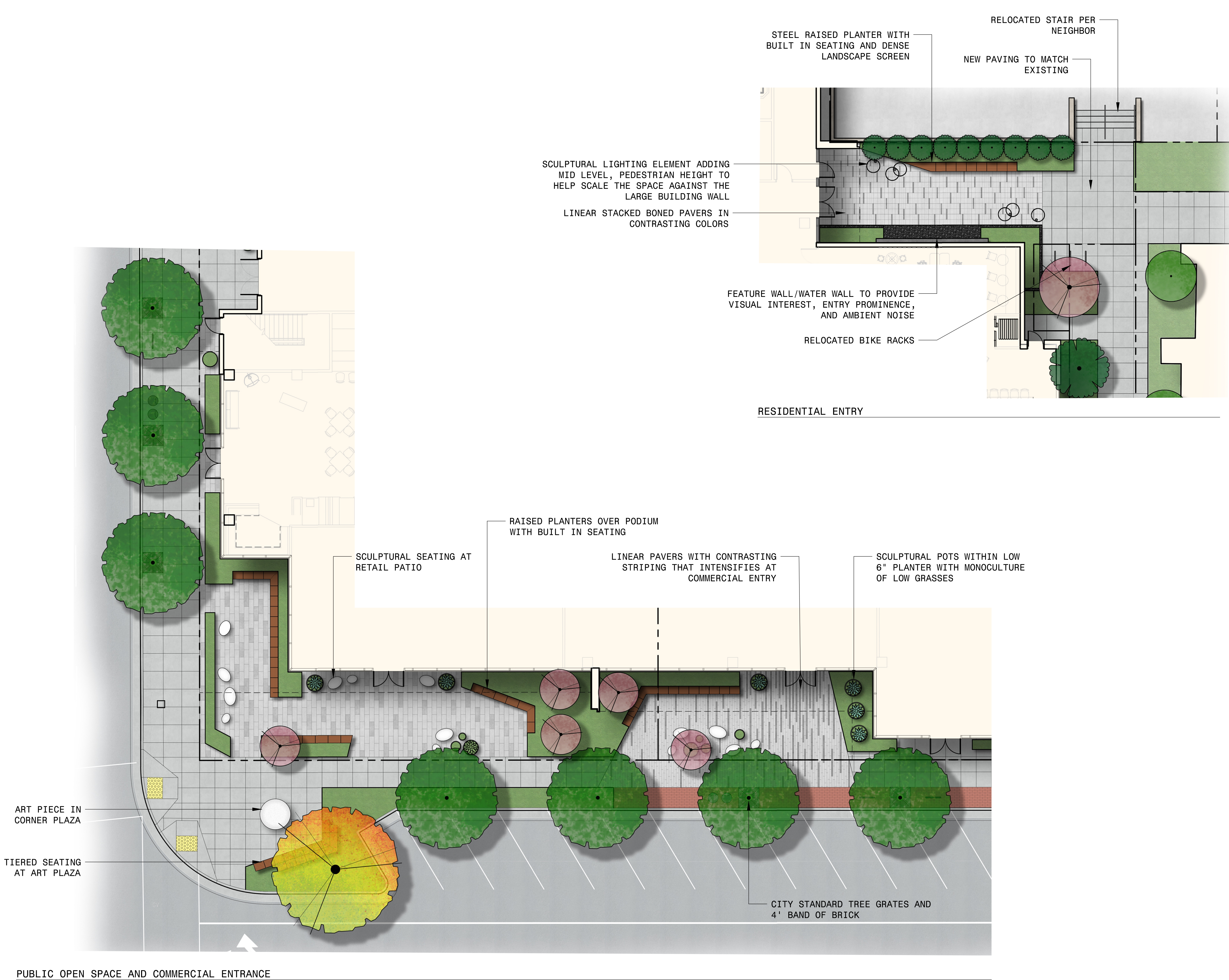
DATE	DESCRIPTION
11.11.2024	SB830 APPLICATION
06.03.2025	1ST PLANNING APPLICATION



PRELIMINARY
LANDSCAPE PLAN

L0.1

PROJECT NO: 246148



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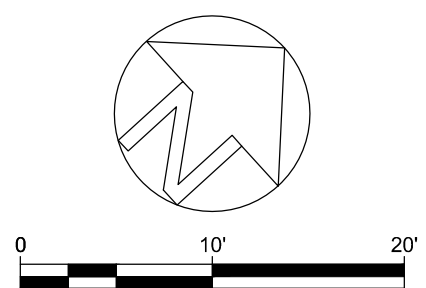
A Planning Application For:
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EL CAMINO REAL & E. 4TH AVENUE
SAN MATEO, CA 94401

DATE	DESCRIPTION
11.11.2024	SB830 APPLICATION
06.03.2025	1ST PLANNING APPLICATION



PRELIMINARY
LANDSCAPE PLAN -
ENLARGEMENTS
L0.2

PROJECT NO: 246148





California

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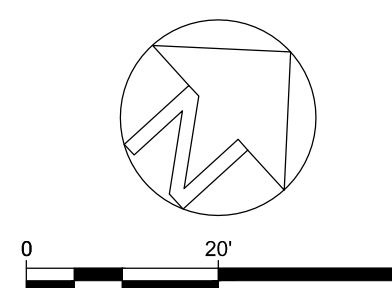
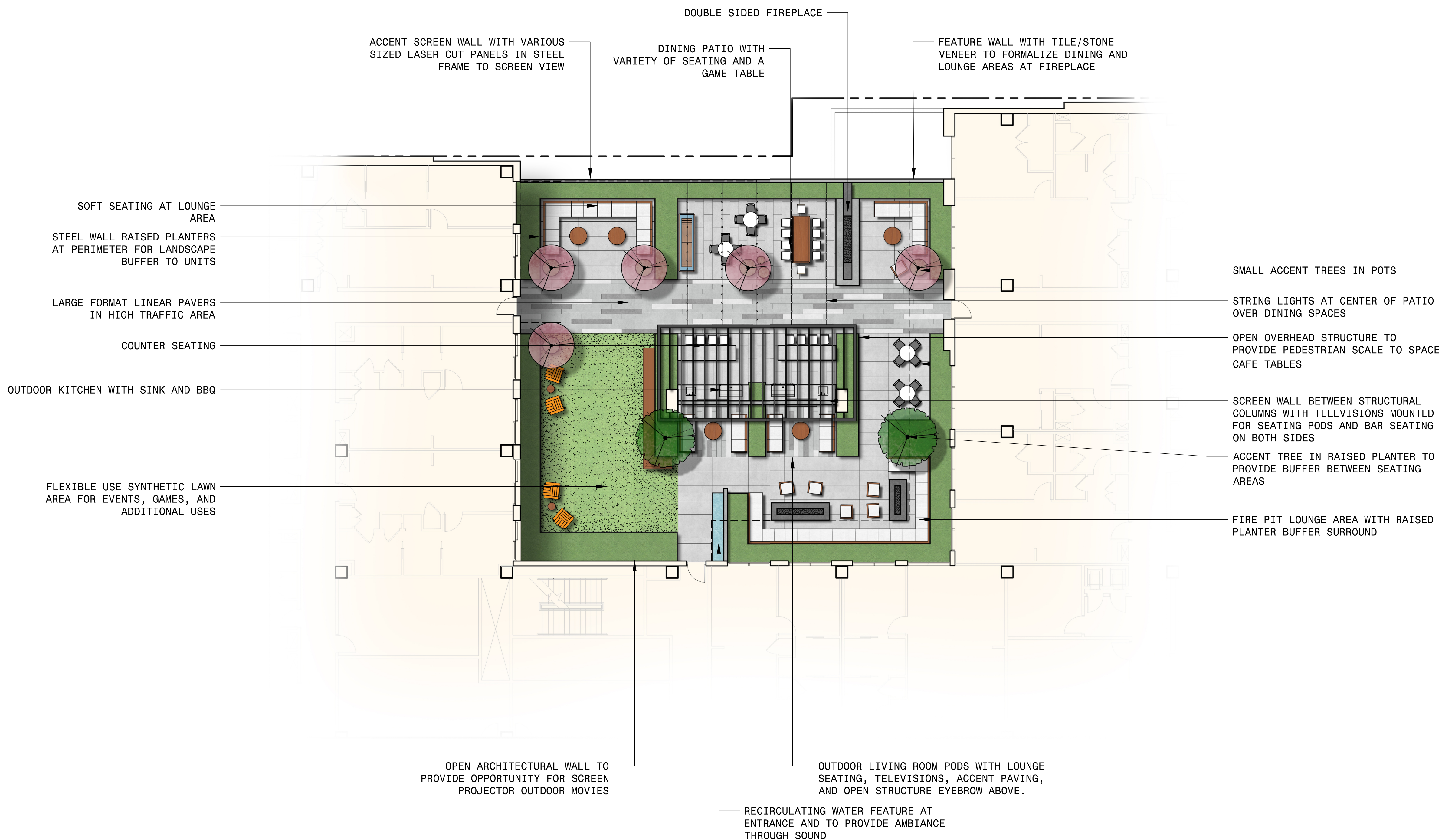
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SAN MATEO, CA 94401

DATE	DESCRIPTION
11.11.2024	SB330 APPLICAT
06.03.2025	1ST PLANNING APPLICAT



**PRELIMINARY
LANDSCAPE PLAN
2ND FLOOR
L0.3**

PROJECT NO: 24614



\\nas1aradms01\cna\cna\Techcon Constructors\12145 - 4TH AND EL CAMINO\WORKING DRAWINGS_ENTITLEMENT\PLANS\VERSION 3\4TH AND EL CAMINO-ENTITLEMENT.dwg • Jun 02, 2025, 4:33pm • arnava

TREES



LOPHOSTEMON CONFERTUS
ULMUS PARVIFOLIA
QUERCUS PALUSTRIS



LAURUS NOBILIS 'SARATOGA'
ACER RUBRUM 'ARMSTRONG'
QUERCUS ROBER X ALBA 'SKINNY GENES'
PODOCARPUS 'MAKI'



OLEA EUROPAEA
CERCIDIUM 'DESERT MUSEUM'
AGONIS FLEXUOSA



QUERCUS AGRIFOLIA
LOPHOSTEMON CONFERTUS
MAGNOLIA GRANDIFLORA
FICUS MICROCARPA

SHRUBS



AGAVE 'BLUE GLOW'
AGAVE 'BLUE FLAME'
ANIGOZANTHOS SPP.
CHONDROPETALUM TECTORUM



LOMANDRA 'TROPIC BELLE'
DIANELLA 'LITTLE REV'
MAHONIA X 'SOFT CARESS'
WESTRINGIA 'GRAY BOX'

GROUND COVERS



FESTUCA MAIREI
LOMANDRA 'BREEZE'
PENNISETUM SPATHIOLATUM
SESLERIA AUTUMNALIS



SENECIO MANDRALISCAE
SESLERIA AUTUMNALIS
WESTRINGIA 'LOW HORIZON'

NOTES:

1. FINAL SPECIES ARE NOT SELECTED. BELOW IS LIST OF POTENTIAL SPECIES, PLANT TYPES, AND PLANT STYLES. A SAMPLE PHOTO HAS BEEN PROVIDED A POTENTIAL SPECIES SELECTION, BUT IS NOT INTENDED TO INDICATE THE FINAL PLANT SELECTION. FINAL PLANTING SELECTION WILL BE MADE DURING THE FORMAL ENTITLEMENT SUBMITTAL.



DATE	DESCRIPTION
11.11.2024	SB330 APPLICATION
06.03.2025	1ST PLANNING APPLICATION



QUERCUS AGRIFOLIA
LOPHOSTEMON CONFERTUS
MAGNOLIA GRANDIFLORA
FICUS MICROCARPA

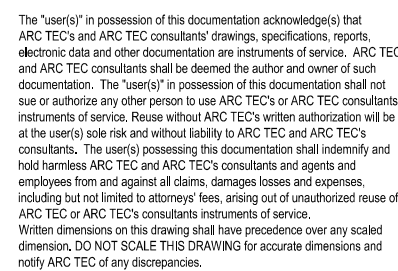
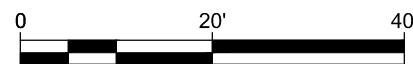
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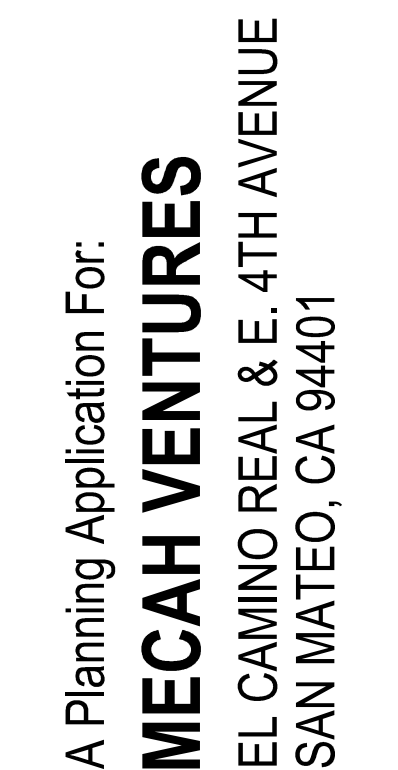
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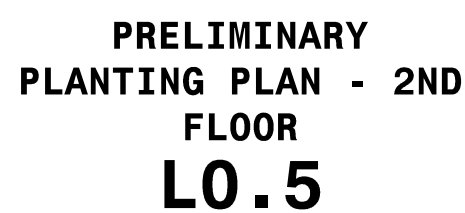
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In Association with



DATE	DESCRIPTION
11.11.2024	SB330 APPLICATION
06.03.2025	1ST PLANNING APPLICATION



PROJECT NO: 246148



California
1731 Technology Drive, Suite 750
San Jose, CA 95113 408.496.1121

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A Planning Application For:
MECAH VENTURES
EL CAMINO REAL & E. 4TH AVENUE
SAN MATEO, CA 94401

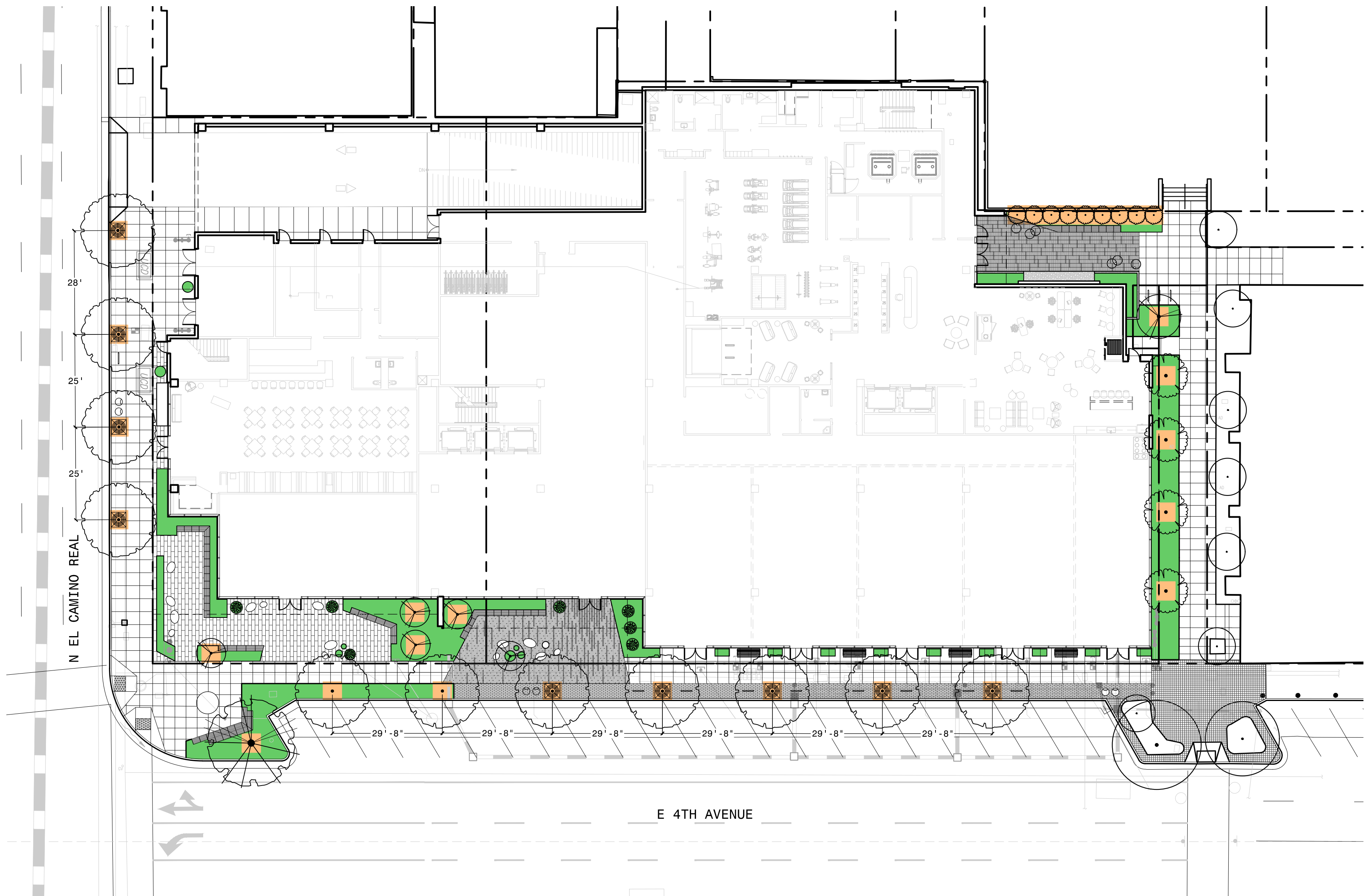
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11.11.2024	SB330 APPLICATION
06.03.2025	1ST PLANNING APPLICATION



PRELIMINARY IRRIGATION PLAN

LO.7

PROJECT NO: 246148



THE PROPOSED LANDSCAPE AREAS WILL BE IRRIGATED WITH A LOW VOLUME IRRIGATION SYSTEM. SHRUB AREAS WILL BE IRRIGATED WITH IN-LINE DRIP EMITTER TUBING, WHILE TREES AND POTS WILL BE IRRIGATED WITH POINT SOURCE EMITTERS. THE IRRIGATION SYSTEM WILL BE SERVICED BY A DEDICATED IRRIGATION METER, AND WILL INCLUDE POINT OF CONNECTION EQUIPMENT CONSISTENT WITH THE STATE'S MODEL WATER EFFICIENT LANDSCAPE ORDINANCE (MWEO), INCLUDING A REDUCED PRESSURE BACKFLOW PREVENTER, MASTER VALVE, FLOW SENSOR, SMART CONTROLLER, AND WEATHER SENSOR. FINAL IRRIGATION DESIGN AND WATER BUDGET CALCULATIONS DEMONSTRATING COMPLIANCE WITH MWEO WILL BE PROVIDED IN SUBSEQUENT SUBMITTALS.

WELO

WATER BUDGET AND WATER USE CALCULATOR

Date:5/29/2025

Project Name:MECAH VENTURES

Project Contact:MATT HAWKS

Project Contact Email:

Maximum Applied Water Allowance (MAWA)

Project Type

ETo

ETAF

Special Landscape Area (SLA)

Total Landscape Area including SLA

MAWA (gall/yr)

Non-residential

42.7

0.45

-

3,671

43,734

Estimated Total Water Use (ETWU)

ETo

(SF * PF) / IE

SLA

ETWU (gal/yr)

42.7

1,474

-

39,018

Difference between MAWA and ETWU

4,716

Project meets water budget.

ETWU Calculation (Regular landscape areas)

Zone #

Description

Select Irrigation

Square Feet (SF)

Plant Factor (PF)

Irrigation Efficiency (IE)

(SF * PF) / IE

1

Low Water Use Shrubs/Groundcover

Drip

2,746

0.30

0.81

1,017

2

Trees

Bubbler

925

0.40

0.81

457

3

-

4

-

Landscape area (not including SLA)

3,671

1,474

ETWU Calculation Special Landscape Areas (SLA)

Description

Square Feet (SF)

Plant Factor / Irrigation Efficiency (PF/IE)

(SF * PF) / IE

Edible planting area

1.0

-

Multi-use and sports field turf areas

1.0

-

Area irrigated with recycled water

1.0

-

Pool

1.0

-

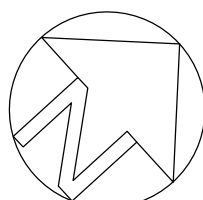
Total SLA

0

0

Total Landscape Area (including SLA) from ETWU Calculation

3,671





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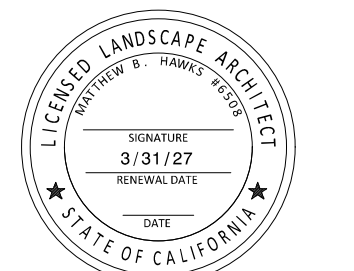
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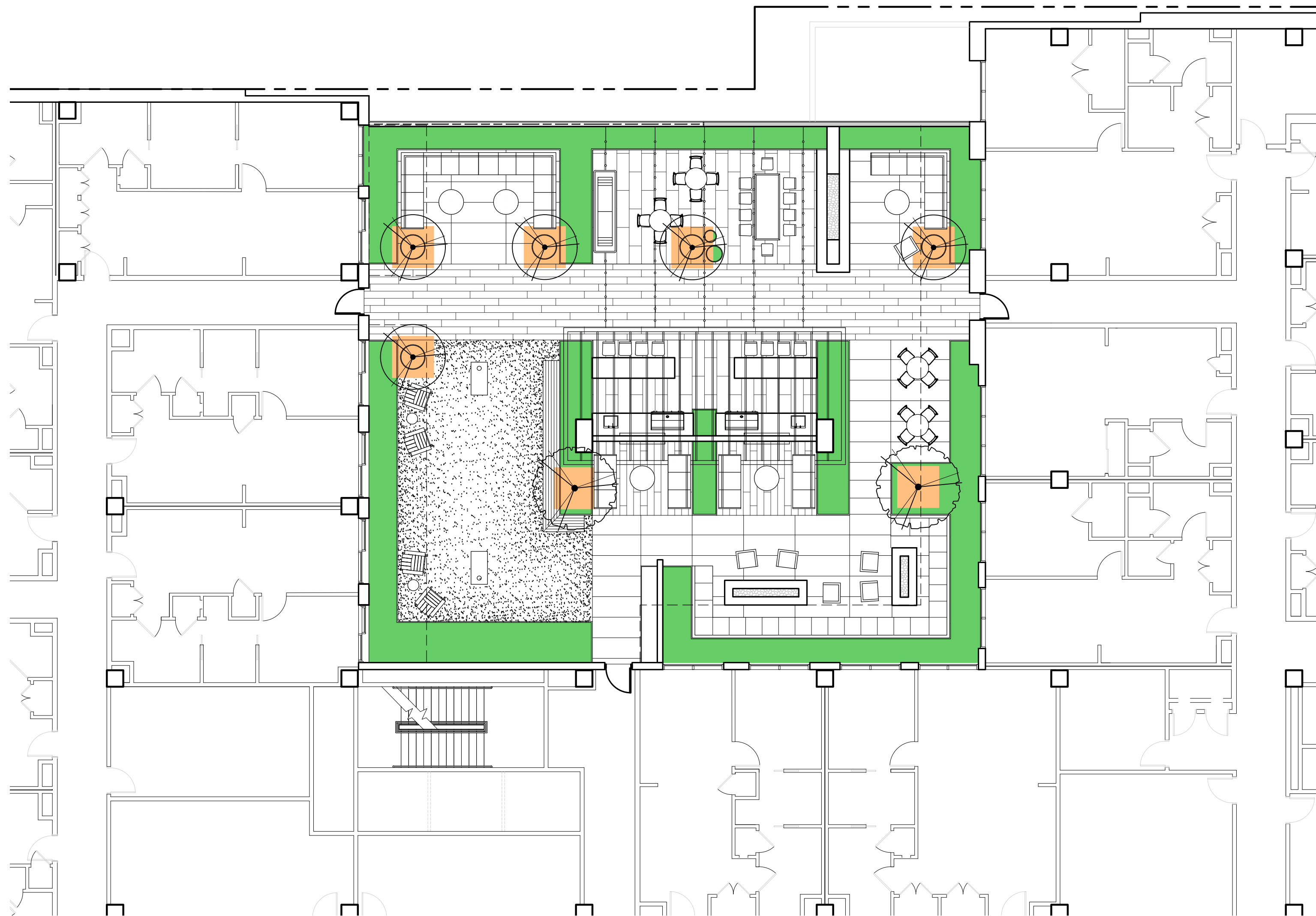
A Planning Application For:
MECAH VENTURES
EL CAMINO REAL & E. 4TH AVENUE
SAN MATEO, CA 94401

DATE	DESCRIPTION
11.11.2024	SB330 APPLICATION
06.03.2025	1ST PLANNING APPLICATION



**PRELIMINARY
IRRIGATION PLAN -
2ND FLOOR
L0.8**

PROJECT NO: 246148



WELO

WATER BUDGET AND WATER USE CALCULATOR

Date:5/29/2025

Project Name:MECAH VENTURES

Project Contact:MATT HAWKS

Project Contact Email:

Maximum Applied Water Allowance (MAWA)

Project Type

ETo

ETAF

Special Landscape Area (SLA)

Total Landscape Area including SLA

MAWA (gall/yr)

Non-residential

42.7

0.45

-

3,671

43,734

Estimated Total Water Use (ETWU)

ETo

(SF * PF) / IE

SLA

ETWU (gall/yr)

42.7

1,474

-

39,018

Difference between MAWA and ETWU

4,716

Project meets water budget.

ETWU Calculation (Regular landscape areas)

Zone #

Description

Select Irrigation

Square Feet (SF)

Plant Factor (PF)

Irrigation Efficiency (IE)

(SF * PF) / IE

1

Low Water Use Shrubs/Groundcover

Drip

2,746

0.30

0.81

1,017

2

Trees

Bubbler

925

0.40

0.81

457

3

-

4

-

Landscape area (not including SLA)

3,671

1,474

ETWU Calculation Special Landscape Areas (SLA)

Description

Square Feet (SF)

Plant Factor / Irrigation Efficiency (PF/IE)

(SF * PF) / IE

Edible planting area

1.0

-

Multi-use and sports field turf areas

1.0

-

Area irrigated with recycled water

1.0

-

Pool

1.0

-

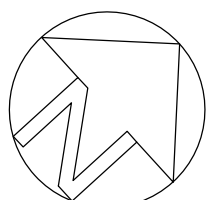
Total SLA

0

0

Total Landscape Area (including SLA) from ETWU Calculation

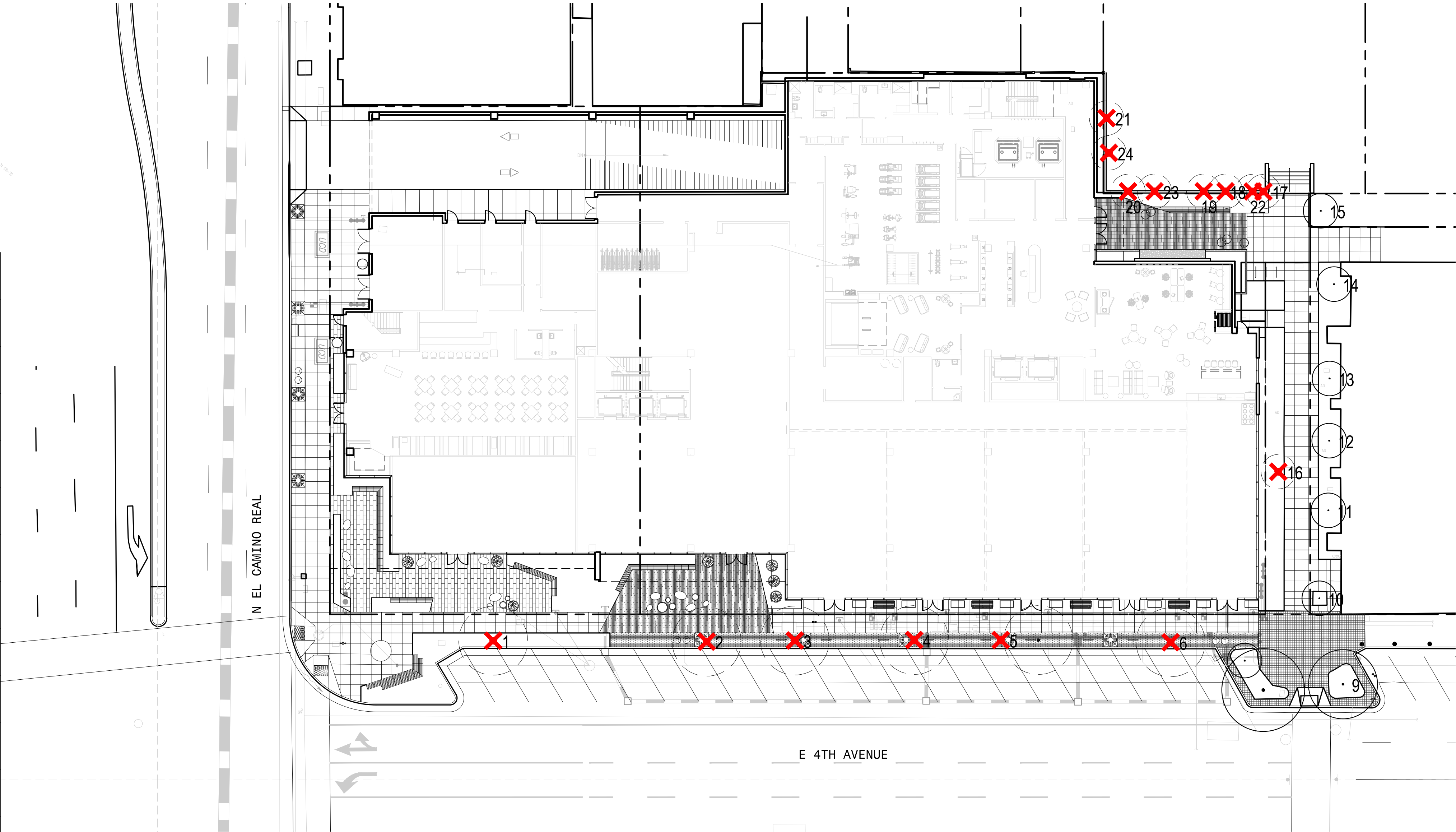
3,671



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TREE REMOVAL TABLE

TREE #	SPECIES	DBH	PROTECTED TREE	CONDITION
1	CELTIS AUSTRALIS EUROPEAN HACKBERRY	13.6	YES	60%
2	CELTIS AUSTRALIS EUROPEAN HACKBERRY	12	YES	60%
3	CELTIS AUSTRALIS EUROPEAN HACKBERRY	14.9	YES	55%
4	ULMUS MORTON ACCOLADE ACCOLADE ELM	2	YES	70%
5	CELTIS AUSTRALIS EUROPEAN HACKBERRY	8.3	YES	60%
6	CELTIS AUSTRALIS EUROPEAN HACKBERRY	4	YES	60%
7	CELTIS AUSTRALIS EUROPEAN HACKBERRY	4.9	YES	60%
8	ULMUS PARVIFOLIA CHINESE ELM	13	YES	65%
9	ULMUS PARVIFOLIA CHINESE ELM	6.2	YES	60%
10	CARPINUS CAROLINIANA AMERICAN HORNBEAM	6	NO	65%
11	CARPINUS CAROLINIANA AMERICAN HORNBEAM	6	NO	65%
12	CARPINUS CAROLINIANA AMERICAN HORNBEAM	5	NO	65%
13	CARPINUS CAROLINIANA AMERICAN HORNBEAM	4	NO	65%
14	CARPINUS CAROLINIANA AMERICAN HORNBEAM	5	NO	65%
15	CARPINUS CAROLINIANA AMERICAN HORNBEAM	4	NO	65%
16	PHOENIX DACTYLIFERA DATE PALM	13.5	NO	70%
17	CELTIS AUSTRALIS EUROPEAN HACKBERRY	3	NO	60%
18	CELTIS AUSTRALIS EUROPEAN HACKBERRY	3	NO	60%
19	CELTIS AUSTRALIS EUROPEAN HACKBERRY	3	NO	60%
20	CELTIS AUSTRALIS EUROPEAN HACKBERRY	3	NO	60%
21	CELTIS AUSTRALIS EUROPEAN HACKBERRY	3	NO	60%
22	LAGERSTROEMIA INDICA CRAPE MYRTLE	2,2,2	NO	60%
23	LAGERSTROEMIA INDICA CRAPE MYRTLE	2,2,2	NO	60%
24	LAGERSTROEMIA INDICA CRAPE MYRTLE	2,2,2	NO	60%



TREE DISPOSITION LEGEND

SYMBOL	DESCRIPTION
<div><div></div><div>◦ ##</div></div>	EXISTING TREE
<div><div></div><div>X</div></div>	TREE TO BE REMOVED

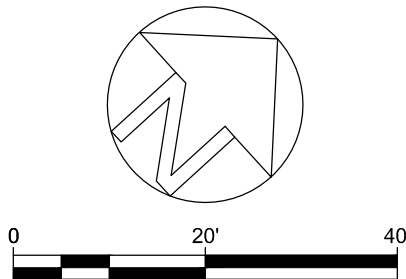
NOTES:

1. DBH IS MEASURED 4'-6" ABOVE GRADE ON THE UPHILL SIDE OF TREE.

2. ONLY TREES SHOWN WITHIN THE LIMIT OF TREE PROTECTION REQUIRE PROTECTION METHODS.

3. ALL TREES TO BE REMOVED SHALL HAVE THEIR STUMPS GROUND DOWN TO A MINIMUM DEPTH OF 2 FEET. REMOVE ALL LARGE ROOTS FROM PLANTING AREAS A MINIMUM DISTANCE OF 5 FEET BEYOND THE DRIPLINE OF THE TREE.

4. SEE L4.1 FOR REPLACEMENT TREE LOCATIONS AND SPECIES.



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A Planning Application For:
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DATE	DESCRIPTION
11.11.2024	SB830 APPLICATION
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PRELIMINARY TREE
DISPOSITION PLAN

L0.9

PROJECT NO: 246148