

A Planning Application For:  
**MECAH VENTURES**  
 1 E. 4th Avenue  
 San Mateo, CA 94401

**PROJECT DESCRIPTION**

THE PROJECT PROPOSES THE CONSTRUCTION OF AN APPROXIMATELY 379,186 SF ON A 39.928 SF/0.91 ACRE. PROJECT INCLUDES 236 DWELLING UNITS, 9-STORY RESIDENTIAL USE BUILDING OVER ONE FLOOR OFFICE/RETAIL AND TWO FLOOR BELOW GRADE PARKING AND 5-STORY OFFICE STRUCTURE ABOVE RESIDENTIAL FLOORS. THE GROUND FLOOR WOULD CONSIST OF RETAIL, OFFICE, RESTAURANT, AMENITIES, LEASING OFFICE, MAIL ROOM, UTILITY ROOMS. THE PROJECT PROPOSES 15% BELOW MARKET RATE UNITS (18 VLI AND 18 MOD INCOME OR 36 UNITS). THE PROJECT MEETS THE HAA REQUIREMENTS. ALL UNITS ARE FOR RENTAL.

SCOPE OF WORK INCLUDES THE CONSTRUCTION OF THE BUILDING CORE AND SHELL, COMPLETE BUILD OUT OF RESIDENTIAL DWELLING UNITS AS WELL AS SITE IMPROVEMENTS SUCH AS SIDEWALKS, CURB/GUTTER, BICYCLE RACKS, STREET TREES, ETC.  
 THE EXISTING STRUCTURE TO BE DEMOLISHED CONSISTS OF 28,504 SQUARE-FOOT RETAIL SPACE ON THE GROUND FLOOR AND 28,504 SQUARE FEET OF OFFICE SPACE ON THE SECOND FLOOR. THERE ARE NO EXISTING RESIDENTIAL UNITS ON THE PROJECT SITE.

**PROJECT TEAM**

**OWNER:** MECAH VENTURES  
 1299 El Camino Real, Unit #1181  
 Menlo Park, CA 94025

**ARCHITECT:** ARC TEC INC.  
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**CIVIL ENGINEER:** KIER & WRIGHT  
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 EMAIL: mknudsen@kierwright.com

**PROJECT DATA**

**OWNER NAME:** MECAH VENTURES  
**PROJECT ADDRESS:** 1 E. 4TH AVENUE  
 SAN MATEO, CA 94401

**BUILDING AREA, OFFICE:** 379,186 S.F.  
**NUMBER OF UNITS:** 236 UNITS  
**NUMBER OF STORIES:** 14 stories  
**CONSTRUCTION TYPE:** SEE BELOW  
**FIRE SPRINKLERS:** YES  
**OCCUPANCY TYPE:** B, R-2, S-2  
**BUILDING TOP OF PLATE:** 184'-0"

**PROJECT DATA:**

Unit Type	Unit Area (S.F.)	Balcony Area (S.F.)	Unit Area w/Balcony (S.F.)	# Unit Level 2	# Unit Level 3	# Unit Level 4 to level 7	# Unit Level 8	# Unit Level 9	# Unit Level 10	Total # Units	Density Bonus Parking Req'd	Short-Term Bike Pkg Req'd	Long-Term Bike Pkg Req'd	Total Unit Area	Total Balcony Area	Unit Mix
A1.0 (Studio)	628	0	628	1	1	4	1	1	1	9	0.50	0.05	1.00	5,652	0	34%
A1.1 (Studio)	744	44	788	1	1	4	1	1	1	9	0.50	0.05	1.00	6,696	396	
A1.2 (Studio)	556	0	556	1	0	0	0	0	0	1	0.50	0.05	1.00	556	0	
A1.3 (Studio)	431	0	431	1	1	0	1	0	1	8	0.50	0.05	1.00	3,448	0	
A1.4 (Studio)	473	0	473	1	1	4	0	1	1	8	0.50	0.05	1.00	3,784	0	
A1.5 (Studio)	538	0	538	1	0	0	0	0	0	1	0.50	0.05	1.00	538	0	
A1.6 (Studio)	517	54	571	1	1	4	1	1	1	9	0.50	0.05	1.00	4,653	486	
A1.7 (Studio)	517	54	571	1	1	4	1	1	1	9	0.50	0.05	1.00	4,653	486	
A1.8 (Studio)	398	0	398	0	2	8	2	2	2	16	0.50	0.05	1.00	6,368	0	
A1.9 (Studio)	396	0	396	0	0	8	2	0	0	10	0.50	0.05	1.00	3,960	0	
B1.0 (1BR/1BA Unit)	659	0	659	1	1	4	1	0	0	7	0.50	0.05	1.00	4,613	0	
B1.1 (1BR/1BA Unit)	604	0	604	1	1	4	1	0	0	7	0.50	0.05	1.00	4,228	0	
B1.2 (1BR/1BA Unit)	998	146	1,144	1	0	0	0	0	0	1	0.50	0.05	1.00	998	146	
B1.3 (1BR/1BA Unit)	821	121	942	1	1	4	1	1	1	9	0.50	0.05	1.00	7,389	1,089	
B1.4 (1BR/1BA Unit)	962	0	962	1	1	4	1	1	1	9	0.50	0.05	1.00	8,658	0	
B1.5 (1BR/1BA Unit)	934	75	1,009	1	1	4	0	0	0	6	0.50	0.05	1.00	5,604	450	
B1.8 (1BR/1BA Unit)	594	0	594	1	1	4	1	1	1	9	0.50	0.05	1.00	5,346	0	
B1.9 (1BR/1BA Unit)	626	0	626	1	1	4	1	1	1	9	0.50	0.05	1.00	5,634	0	
B1.10 (1BR/1BA Unit)	576	0	576	1	1	4	1	0	1	8	0.50	0.05	1.00	4,608	0	
B1.11 (1BR/1BA Unit)	744	0	744	1	0	0	0	0	0	1	0.50	0.05	1.00	744	0	
B1.12 (1BR/1BA Unit)	630	0	630	1	1	4	1	1	1	9	0.50	0.05	1.00	5,670	0	
B1.13 (1BR/1BA Unit)	661	0	661	1	0	0	0	0	0	1	0.50	0.05	1.00	661	0	
B1.14 (1BR/1BA Unit)	829	0	829	1	1	4	1	1	1	9	0.50	0.05	1.00	7,461	0	
B1.15 (1BR/1BA Unit)	653	0	653	1	1	4	1	1	1	9	0.50	0.05	1.00	5,877	0	
B1.16 (1BR/1BA Unit)	896	0	896	1	1	4	1	1	1	9	0.50	0.05	1.00	8,064	0	
B1.18 (1BR/1BA Unit)	916	0	916	0	1	4	1	1	1	8	0.50	0.05	1.00	7,328	0	
B1.19 (1BR/1BA Unit)	704	0	704	0	1	4	1	1	1	8	0.50	0.05	1.00	5,632	0	
B1.20 (1BR/1BA Unit)	859	150	979	0	0	0	1	1	1	3	0.50	0.05	1.00	2,577	450	
B1.21 (1BR/1BA Unit)	717	0	717	0	0	4	1	0	0	5	0.50	0.05	1.00	3,585	0	
B1.22 (1BR/1BA Unit)	680	0	680	0	1	4	1	1	1	8	0.50	0.05	1.00	5,440	0	
B1.23 (1BR/1BA Unit)	1007	0	1007	0	0	4	0	1	0	1	0.50	0.05	1.00	1007	0	
C1.0 (2BR/2BA Unit)	1,238	144	1,382	1	1	4	0	0	0	6	0.50	0.10	1.25	7,428	864	
C1.1 (2BR/2BA Unit)	1,042	0	1,042	1	1	0	0	1	1	4	0.50	0.10	1.25	4,168	0	
C1.2 (2BR/2BA Unit)	1,583	146	1,729	0	1	4	0	0	0	5	0.50	0.10	1.25	7,915	730	
C1.3 (2BR/2BA Unit)	1,738	0	1,738	0	0	0	1	1	1	3	0.50	0.10	1.25	5,214	0	
C1.4 (2BR/2BA Unit)	1,352	0	1,352	0	0	0	1	1	1	3	0.50	0.10	1.25	4,056	0	
C1.5 (2BR/2BA Unit)	1,263	0	1,263	0	0	0	0	1	1	2	0.50	0.10	1.25	2,526	0	
Total # dwelling units				25	26	109	27	24	25	236				174,699	5693	9%

Floor Area	Use	Level 1	Level 11	Level 12	Level 13	Level 14	Level 15	Total Area	Project FAR
		Retail Area	8,458						
Restaurant Area	3,436							3,436	
Office Area	9,423	27,177	26,648	23,135	19,278	2,206		107,867	
<b>Total FAR Floor Area</b>								<b>119,761</b>	<b>3.0</b>

**BMR UNIT BREAKDOWN**

UNIT TYPE	TAG	AREA (S.F.)	LOCATION	# VLI (VERY LOW INCOME) UNITS	# LI (LOW INCOME) UNITS	# MOD (MODERATE INCOME) UNITS	TOTAL BMR UNITS	% BMR UNITS
STUDIO	A1.4	388	LEVEL 02	1	0	0	1	3%
1BED/1BA	B1.0	659	LEVEL 02	1	0	1	2	6%
2BED/2BA	C1.1	1,127	LEVEL 02	0	1	1	1	3%
STUDIO	A1.4	388	LEVEL 03	1	0	0	1	3%
1BED/1BA	B1.0	659	LEVEL 03	1	0	1	2	6%
2BED/2BA	C1.1	1,127	LEVEL 03	0	1	1	1	3%
STUDIO	A1.4	388	LEVEL 04	1	0	0	1	3%
1BED/1BA	B1.0	659	LEVEL 04	1	0	2	3	8%
STUDIO	A1.4	388	LEVEL 05	1	0	0	1	3%
1BED/1BA	B1.0	659	LEVEL 05	1	0	2	3	8%
STUDIO	A1.4	388	LEVEL 06	1	0	0	1	3%
1BED/1BA	B1.0	659	LEVEL 06	1	0	2	3	8%
STUDIO	A1.4	388	LEVEL 07	1	0	0	1	3%
1BED/1BA	B1.0	659	LEVEL 07	1	0	2	3	8%
STUDIO	A1.4	388	LEVEL 08	1	0	0	1	3%
1BED/1BA	B1.0	659	LEVEL 08	1	0	2	3	8%
STUDIO	A1.4	388	LEVEL 09	1	0	0	1	3%
1BED/1BA	B1.12	630	LEVEL 09	1	0	1	2	6%
2BED/2BA	C1.1	1,127	LEVEL 09	0	0	1	1	3%
STUDIO	A1.4	388	LEVEL 10	1	0	0	1	3%
1BED/1BA	B1.12	630	LEVEL 10	1	0	1	2	6%
2BED/2BA	C1.1	1,127	LEVEL 10	0	0	1	1	3%
<b>TOTAL BMR UNITS</b>				<b>18</b>	<b>0</b>	<b>18</b>	<b>36</b>	

**DEVELOPMENT PROJECT DATA INFORMATION**

Site Address:	1 E. 4th Avenue San Mateo, CA 94401	
APN:	034143260, 034143300, 034143310	
General Plan:	MIXED-USE HIGH	
Zoning Classification:	CBD - DISTRICT GENERAL BUSINESS	
Lot Size (Sq. Ft.)	39,928 S.F. / 0.91 ACRES	
Permitted Floor Area Ratio (UNDER GENERAL PLAN)	4.5	
Permitted Floor Area (4.5 x 39,928 S.F. Non Residential Only)	179,676 S.F.	
Proposed Floor Area:	119,761 S.F.	
Proposed Floor Area Ratio (119,761 S.F. / 39,928 S.F.):	3.00	
Dwelling Unit Density (UNDER GENERAL PLAN)	100-130 DU/AC	
	Existing:	Proposed:
Floor Area (Sq. Ft.):	N/A	119,761 S.F.
Main Structure(s):	N/A	
Detached Accessory Structures:	N/A	
Exemptions:	N/A	
<b>Total Floor Area (Non Residential Only)</b>	<b>119,761 S.F.</b>	
<b>Total Area (Non Commercial Area)</b>	<b>259,425 S.F.</b>	
Existing Floor Area to be Redeveloped:	0 S.F.	
Total Unit Count for Residential Parking Requirements:	236 Dwelling Units	
Total Covered Parking Stalls:	171	
List of All Heritage Trees on Site including Species and Size:	REFER TO ARBORIST REPORT	
Cubic Yards of Soil Disturbance: (required in order to determine if a Stormwater Pollution Prevention Construction Permit is required)	44,200 CY (TOTAL OFF-HAUL)	

1. See Zoning Code Section 27.04.200 (b) (1) for full Floor Area definition.  
 2. See Zoning Code Section 27.04.200 (b) (2) for full list of Floor Area Exclusions.

**APPLICABLE CODES**

- 2022 CALIFORNIA BUILDING CODE (CCR TITLE 24, PART 2)
- 2022 CALIFORNIA ELECTRIC CODE (CCR TITLE 24, PART 3)
- 2022 CALIFORNIA MECHANICAL CODE (CCR TITLE 24, PART 4)
- 2022 CALIFORNIA PLUMBING CODE (CCR TITLE 24, PART 5)
- 2022 CALIFORNIA ENERGY CODE (CCR TITLE 24, PART 6)
- 2022 CALIFORNIA FIRE CODE (CCR TITLE 24, PART 9)
- 2022 CALIFORNIA GREEN BUILDING STANDARDS CODE (CCR TITLE 24, PART 11)

ALL CODES ARE SUBJECT TO LOCAL GOVERNMENT AMENDMENTS PER CALIFORNIA BUILDING STANDARDS COMMISSION BULLETIN 10-03.

**CONSTRUCTION TYPES**

- OFFICE (B) LEVEL 11-> LEVEL 15; II-B
- RESIDENTIAL (R-2) LEVEL 2-> LEVEL 10; II-B
- OFFICE (B) RETAIL (M) - LEVEL 1; II-B
- PARKING GARAGE (S2) - BELOW GRADE P2: TYPE I-A
- PARKING GARAGE (S2) - BELOW GRADE P1: TYPE I-A

**DRAWING INDEX AND ISSUE DATES**

- PRELIMINARY OR PRICING PLANS
- FIRST FORMAL SUBMITTAL OR NO CHANGES SINCE PREVIOUS ISSUE
- + MODIFICATIONS SINCE PREVIOUS ISSUE

ISSUE DATES AND DESCRIPTIONS

03/27/2025  
 5830 APPLICATION  
 05/30/2025  
 1ST PLANNING SUBMITTAL

**COVER SHEET**

**ARCHITECTURAL**

- A0.01 BUILDING RENDERING
- A0.02 BUILDING RENDERING
- A0.03 BUILDING RENDERING
- A0.04 BUILDING RENDERING
- A0.05 BUILDING RENDERING
- A0.16 NEIGHBORHOOD CONTEXT
- A0.17 NEIGHBORHOOD CONTEXT
- A0.18 NEIGHBORHOOD CONTEXT/ RENDERINGS
- A0.21 AREA CALCULATIONS
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- A0.25 USABLE OPEN SPACE DIAGRAMS
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- A0.31 BUILDING CODE PROJECT DATA
- A0.32 EGRESS DIAGRAMS
- A0.33 EGRESS DIAGRAMS
- A0.34 EGRESS DIAGRAMS
- A1.00 DEMOLITION SITE PLAN
- A1.01 ARCHITECTURAL SITE PLAN
- A1.02 SITE DETAILS
- A1.03 SITE DETAILS
- A1.11 SOLAR SHADOW STUDY
- A2.11 FLOOR PLAN - LEVEL 01
- A2.12 FLOOR PLAN - LEVEL 02
- A2.13 FLOOR PLAN - LEVEL 03
- A2.14 FLOOR PLAN - LEVEL 04 -> LEVEL 07
- A2.15 FLOOR PLAN - LEVEL 08
- A2.16 FLOOR PLAN - LEVEL 09
- A2.17 FLOOR PLAN - LEVEL 10
- A2.18 FLOOR PLAN - LEVEL 11
- A2.19 FLOOR PLAN - LEVEL 12
- A2.20 FLOOR PLAN - LEVEL 13
- A2.21 FLOOR PLAN - LEVEL 14
- A2.22 FLOOR PLAN - LEVEL 15
- AP2.11 FLOOR PLAN - LEVEL P1
- AP2.12 FLOOR PLAN - LEVEL P2
- A3.11 PARTIAL FLOOR PLANS - EXTERIOR ELEVATION
- A3.12 PARTIAL FLOOR PLANS - EXTERIOR ELEVATION
- A3.13 PARTIAL FLOOR PLANS - EXTERIOR ELEVATION
- A3.14 PARTIAL FLOOR PLANS - EXTERIOR ELEVATION
- A3.15 EXTERIOR ELEVATION
- A3.16 EXTERIOR ELEVATION
- A3.17 EXTERIOR ELEVATION
- A3.18 EXTERIOR ELEVATION
- A4.11 BUILDING SECTION
- A4.12 BUILDING SECTION
- A5.11 ENLARGED UNIT PLANS
- A5.12 ENLARGED UNIT PLANS
- A5.13 ENLARGED UNIT PLANS
- A5.14 ENLARGED UNIT PLANS
- A5.15 ENLARGED UNIT PLANS
- A5.16 ENLARGED UNIT PLANS
- A5.17 ENLARGED UNIT PLANS
- A5.18 ENLARGED UNIT PLANS

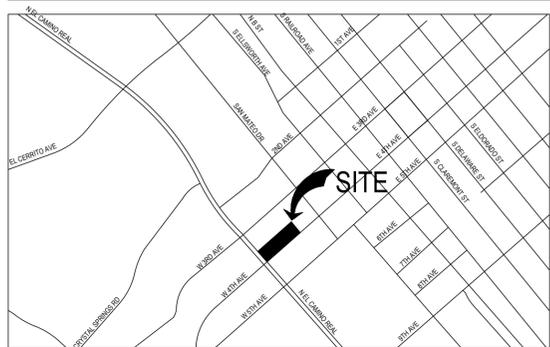
**CIVIL**

- C1.1 EXISTING CONDITIONS PLAN
- C2.1 PRELIMINARY CIVIL SITE PLAN
- C3.1 PRELIMINARY GRADING & DRAINAGE PLAN
- C4.1 PRELIMINARY UTILITY PLAN
- C5.1 PRELIMINARY STORMWATER QUALITY CONTROL PLAN
- C5.2 PRELIMINARY STORMWATER QUALITY CONTROL NOTES
- C5.3 PRELIMINARY LOW IMPACT DEVELOPMENT REDUCTION CALCULATIONS

**LANDSCAPE**

- L0.1 PRELIMINARY LANDSCAPE PLAN
- L0.2 PRELIMINARY LANDSCAPE PLAN - ENLARGEMENTS
- L0.3 PRELIMINARY LANDSCAPE PLAN - 2ND FLOOR
- L0.4 PRELIMINARY PLANTING PLAN
- L0.5 PRELIMINARY PLANTING PLAN - 2ND FLOOR
- L0.6 PRELIMINARY LEGEND AND NOTES
- L0.7 PRELIMINARY IRRIGATION PLAN
- L0.8 PRELIMINARY IRRIGATION PLAN - 2ND FLOOR
- L0.9 PRELIMINARY TREE DISPOSITION PLAN

**VICINITY MAP**



A Preliminary Application for Housing Development For:

**MECAH VENTURES**



RENDERING - VIEW FROM INTERSECTION OF N. EL CAMINO REAL & E. 4TH AVENUE

SCALE: N.T.S.

1



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DATE	DESCRIPTION
03.27.2025	SB330 APPLICATION
05.30.2025	1ST PLANNING SUBMITTAL

RENDERING

**A0.01**

PROJECT NO: 246148





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RENDERING

**A0.03**

PROJECT NO: 246148

RENDERING - VIEW FROM N. EL CAMINO REAL LOOKING TOWARDS E.4TH AVENUE

SCALE: N.T.S.

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RENDERING - VIEW FROM INTERSECTION OF N. EL CAMINO REAL & E. 4TH AVENUE

SCALE: N.T.S.

1



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RENDERING

**A0.04**

PROJECT NO: 246148



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RENDERING - VIEW FROM FROM E. 4TH AVENUE

1

SCALE: N.T.S.



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RENDERING

**A0.05**

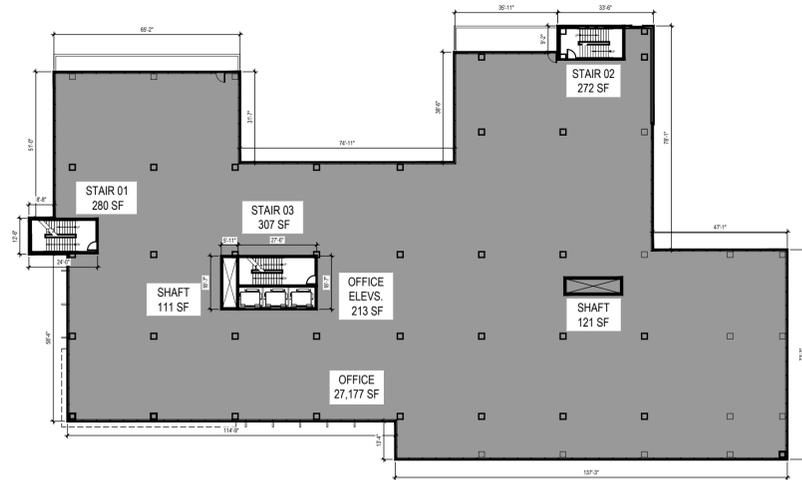
PROJECT NO: 246148

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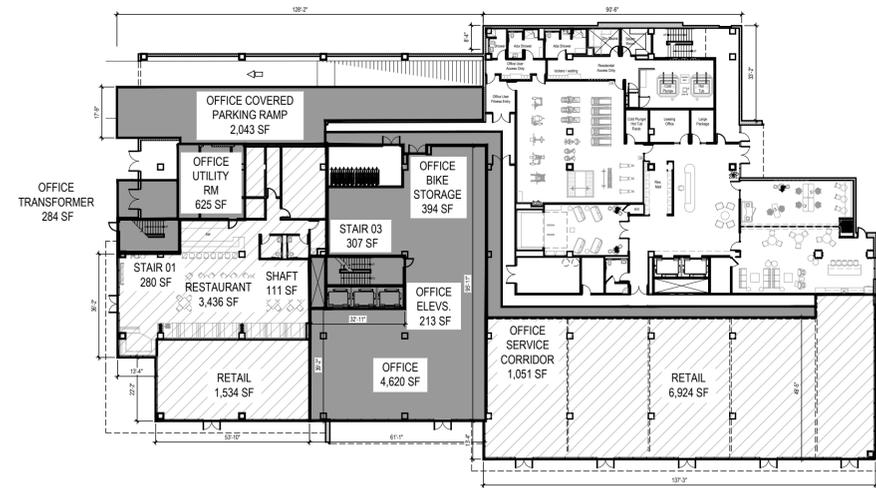






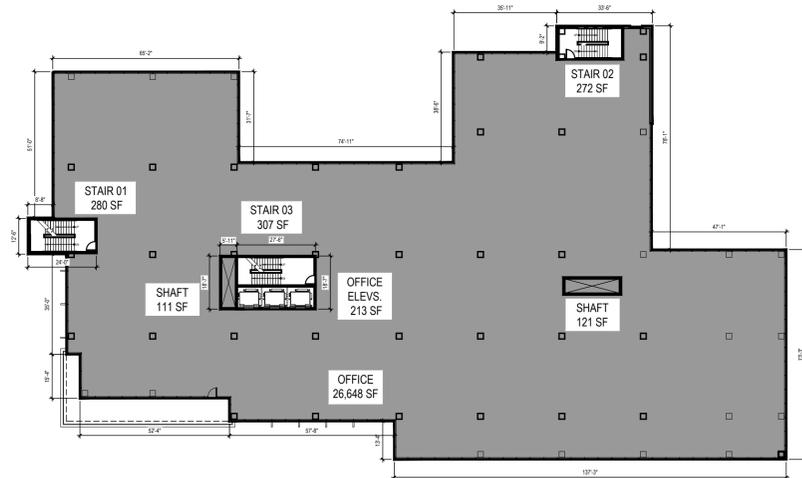
**AREA PLAN - LEVEL 11**

SCALE: 1/32" = 1'-0"



**AREA PLAN - LEVEL 01**

SCALE: 1/32" = 1'-0"



**AREA PLAN - LEVEL 12**

SCALE: 1/32" = 1'-0"



**PARKING ORDINANCE AREA CALCULATIONS**

<b>LEVEL 01</b>		
OPEN OFFICE AREA	4,620 SQ.FT.	
OFFICE STAIR 03	307 SQ.FT.	
OFFICE ELEVATORS	213 SQ.FT.	
OFFICE STAIR 01	280 SQ.FT.	
OFFICE TRANSFORMER ROOM	284 SQ.FT.	
OFFICE COVERED PARKING RAMP	2,043 SQ.FT.	
OFFICE SERVICE CORRIDOR	1,051 SQ.FT.	
OFFICE UTILITY ROOM	625 SQ.FT.	
RESTAURANT	3,436 SQ.FT.	
RETAIL	8,458 SQ.FT.	
FLOOR AREA OFFICE	9,423 SQ.FT.	
FLOOR AREA RETAIL	8,458 SQ.FT.	
FLOOR AREA RESTAURANT	3,436 SQ.FT.	
<b>LEVEL 11</b>		
OFFICE AREA:	27,177 SQ.FT.	
FLOOR AREA OFFICE:	27,177 SQ.FT.	
<b>LEVEL 12</b>		
OFFICE AREA:	26,648 SQ.FT.	
FLOOR AREA OFFICE:	26,648 SQ.FT.	
<b>LEVEL 13</b>		
OFFICE AREA:	23,135 SQ.FT.	
FLOOR AREA OFFICE:	23,135 SQ.FT.	
<b>LEVEL 14</b>		
OFFICE AREA:	19,278 SQ.FT.	
FLOOR AREA OFFICE:	19,278 SQ.FT.	
<b>LEVEL 15</b>		
OFFICE AMENITY:	2,206 SQ.FT.	
FLOOR AREA OFFICE:	2,206 SQ.FT.	

**FAR AREA DESIGNATION**

- OFFICE AREA
- AREAS EXCLUDED FROM FAR CALCULATIONS
- RETAIL AREA

**MINIMUM BICYCLE PARKING STALLS REQUIRED**

(PER CITY OF SAN MATEO MUNICIPAL CODE SECTION 27.64.262)

**REQUIRED SHORT-TERM - RESIDENTIAL**  
 STUDIO AND ONE-BEDROOM UNIT @ 0.05 SPACES PER UNIT  
 216 UNITS x 0.05 = 10.80 SPACES  
 TWO-BEDROOM UNIT @ 0.10 SPACES PER UNIT  
 20 UNITS x 0.10 = 2 SPACES  
**TOTAL REQUIRED SHORT-TERM - RESIDENTIAL: 12.80 SPACES OR 13 SPACES**

**REQUIRED SHORT-TERM - OFFICE (GENERAL)**  
 1 SPACE PER 20,000 S.F. OF OFFICE AREA  
 107,867 S.F. / 20,000 S.F. = 5.39 SPACES OR 6 SPACES

**REQUIRED SHORT-TERM - RETAIL**  
 1 SPACE PER 2,000 S.F. OF RETAIL AREA  
 11,894 S.F. / 2,000 S.F. = 5.94 SPACES OR 6 SPACES

**REQUIRED LONG-TERM - RESIDENTIAL**  
 STUDIO AND ONE-BEDROOM UNIT @ 1.0 SPACE PER UNIT  
 216 UNITS x 1.0 = 216 SPACES  
 TWO-BEDROOM UNIT @ 1.25 SPACES PER UNIT  
 20 UNITS x 1.25 = 25 SPACES  
**TOTAL REQUIRED LONG-TERM - RESIDENTIAL: 241 SPACES**

**REQUIRED LONG-TERM - OFFICE (GENERAL)**  
 1 SPACE PER 10,000 S.F. OF OFFICE AREA  
 107,867 S.F. / 10,000 S.F. = 10.78 SPACES OR 11 SPACES

**REQUIRED LONG-TERM - RETAIL**  
 1 SPACE PER 12,000 S.F. OF RETAIL AREA  
 11,894 S.F. / 12,000 S.F. = 0.99 SPACES OR 1 SPACE

**PROVIDED SHORT-TERM SPACES:**  
 RESIDENTIAL: 14 SPACES  
 RETAIL: 6 SPACES  
 OFFICE: 6 SPACES  
**TOTAL: 26 SPACES**

**PROVIDED LONG-TERM SPACES:**  
 RESIDENTIAL: 243 SPACES  
 RETAIL: 2 SPACES  
 OFFICE: 12 SPACES  
**TOTAL: 257 SPACES**

**FAR AREA CALCULATIONS**

<b>LEVEL 01</b>		
OPEN OFFICE AREA	4,620 SQ.FT.	
OFFICE STAIR 03	307 SQ.FT.	
OFFICE ELEVATORS	213 SQ.FT.	
OFFICE STAIR 01	280 SQ.FT.	
OFFICE TRANSFORMER ROOM	284 SQ.FT.	
OFFICE COVERED PARKING RAMP	2,043 SQ.FT.	
OFFICE SERVICE CORRIDOR	1,051 SQ.FT.	
OFFICE UTILITY ROOM	625 SQ.FT.	
RESTAURANT	3,436 SQ.FT.	
RETAIL	8,458 SQ.FT.	
FLOOR AREA OFFICE	9,423 SQ.FT.	
FLOOR AREA RETAIL	8,458 SQ.FT.	
FLOOR AREA RESTAURANT	3,436 SQ.FT.	
<b>LEVEL 11</b>		
OFFICE AREA:	27,177 SQ.FT.	
FLOOR AREA OFFICE:	27,177 SQ.FT.	
<b>LEVEL 12</b>		
OFFICE AREA:	26,648 SQ.FT.	
FLOOR AREA OFFICE:	26,648 SQ.FT.	
<b>LEVEL 13</b>		
OFFICE AREA:	23,135 SQ.FT.	
FLOOR AREA OFFICE:	23,135 SQ.FT.	
<b>LEVEL 14</b>		
OFFICE AREA:	19,278 SQ.FT.	
FLOOR AREA OFFICE:	19,278 SQ.FT.	
<b>LEVEL 15</b>		
OFFICE AMENITY:	2,206 SQ.FT.	
FLOOR AREA OFFICE:	2,206 SQ.FT.	

**TOTAL FAR FLOOR AREA OFFICE : 107,867 SQ.FT.**  
**TOTAL FAR FLOOR AREA RETAIL : 8,458 SQ.FT.**  
**TOTAL FAR FLOOR AREA RESTAURANT : 3,436 SQ.FT.**

Floor Area	Use	Level 1	Level 11	Level 12	Level 13	Level 14	Level 15	Total Area	Project FAR
	Retail Area	8,458						8,458	
	Restaurant Area	3,436						3,436	
	Office Area	9,423	27,177	26,648	23,135	19,278	2,206	107,867	
	<b>Total FAR Floor Area</b>							<b>119,761</b>	<b>3.0</b>



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In Association with:

A Planning Application For:  
**MECAH VENTURES**  
 1 E. 4TH AVENUE  
 SAN MATEO, CA 94401

DATE	DESCRIPTION
03.27.2025	SB330 APPLICATION
05.30.2025	1ST PLANNING SUBMITTAL

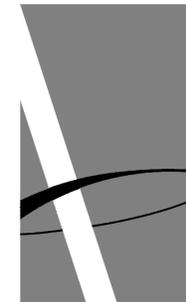
AREA CALCULATIONS

**A 0.21**

PROJECT NO: 246148







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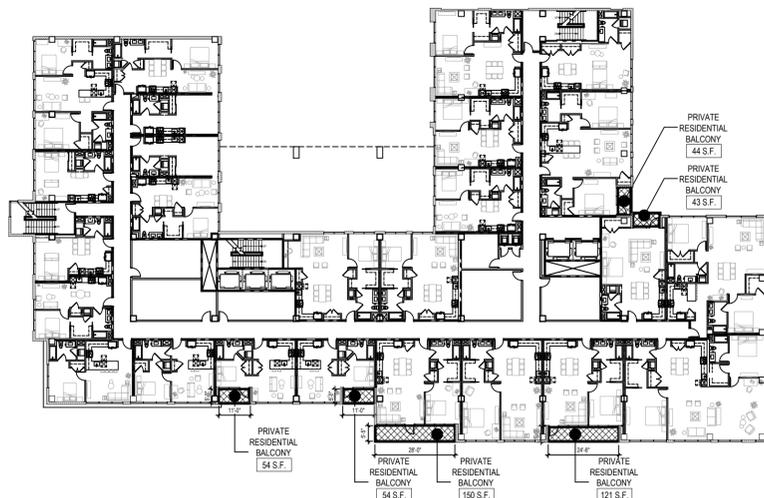
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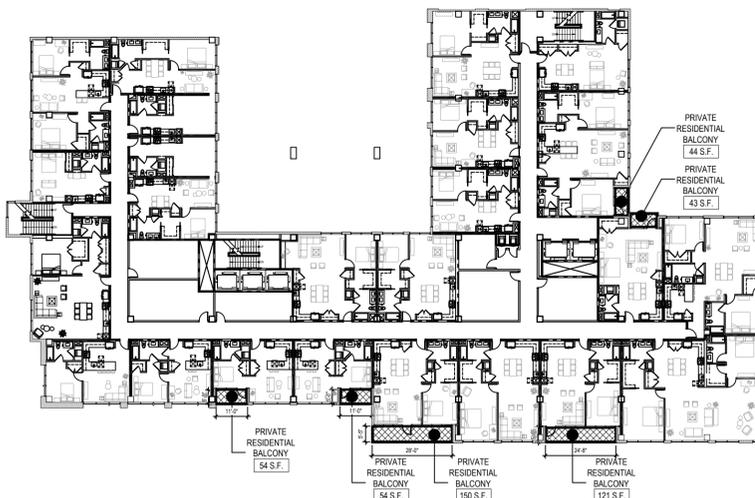


**OPEN SPACE - LEVEL 10**



<b>Level 10 Open Space</b>	Residential Private Open Space (Balconies) (S.F.) - Provided	466
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SCALE: 1/32" = 1'-0"

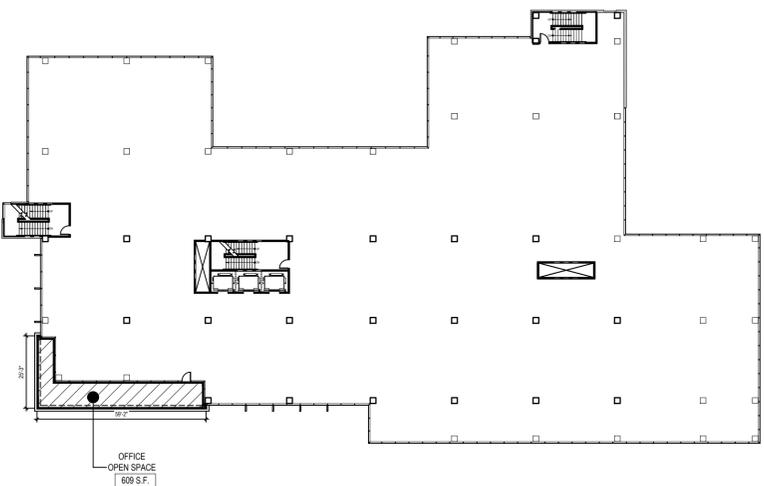


**OPEN SPACE - LEVEL 09**



<b>Level 09 Open Space</b>	Residential Private Open Space (Balconies) (S.F.) - Provided	466
----------------------------	--	-----

SCALE: 1/32" = 1'-0"

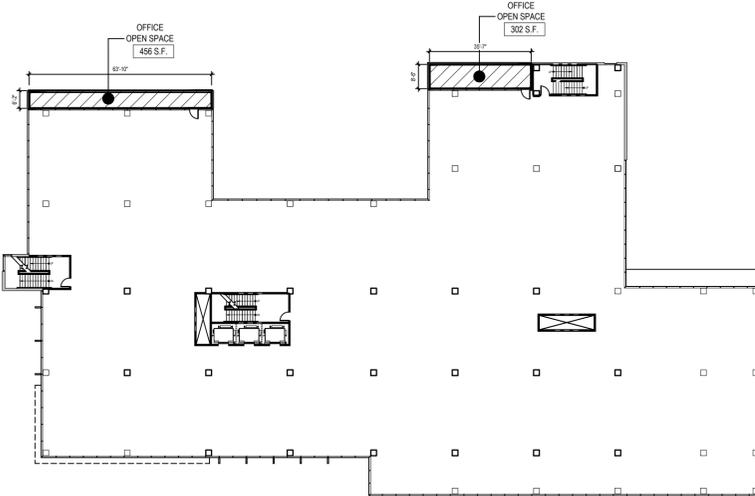


**OPEN SPACE - LEVEL 12**



<b>Level 12 Open Space</b>	Office Open Space (S.F.) - Provided	609
----------------------------	-------------------------------------	-----

SCALE: 1/32" = 1'-0"



**OPEN SPACE - LEVEL 11**



<b>Level 11 Open Space</b>	Office Open Space (S.F.) - Provided	758
----------------------------	-------------------------------------	-----

SCALE: 1/32" = 1'-0"

Open Space	Private Residential Open Space at level 2 (S.F.) - Provided	681
	Common Residential Open Space at Level 4 (S.F.) - Provided	3,990
	Private Residential Open Space at level 3 (S.F.) - Provided	681
	Private Residential Open Space at level 4 (S.F.) - Provided	681
	Private Residential Open Space at level 5 (S.F.) - Provided	681
	Private Residential Open Space at level 6 (S.F.) - Provided	681
	Private Residential Open Space at level 7 (S.F.) - Provided	681
	Private Residential Open Space at level 8 (S.F.) - Provided	466
	Private Residential Open Space at level 9 (S.F.) - Provided	466
	Private Residential Open Space at level 10 (S.F.) - Provided	466
	<b>Total open space private + common (residential) - Provided</b>	<b>9474</b>
	Office Open Space at Level 11 (S.F.) - Provided	758
	Office Open Space at Level 12 (S.F.) - Provided	609
	Office Open Space at Level 13 (S.F.) - Provided	4282
	Office Open Space at Level 14 (S.F.) - Provided	3673
Office Open Space at Level 15 (S.F.) - Provided	6157	
<b>Total Office Open Space (S.F.) - Required (1% of total office area or 0.01 x 112,131 S.F.)</b>	<b>1,121</b>	
<b>Total Common Office Open Space (S.F.) - Provided</b>	<b>15479</b>	

**OPEN SPACE LEGEND**

- OFFICE OPEN SPACE
- PRIVATE RESIDENTIAL OPEN SPACE
- COMMON RESIDENTIAL OPEN SPACE

**USABLE RESIDENTIAL OPEN SPACE CALCULATIONS**

PER SMMC 27.38.130 RESIDENTIAL DEVELOPMENT STANDARDS.

(c) OPEN SPACE. RESIDENTIAL DEVELOPMENT SHALL INCLUDE PRIVATE USABLE OPEN SPACE EQUAL TO AT LEAST 80 SQUARE FEET (STATE DENSITY BONUS REQUEST TO REDUCE TO 43 S.F.) PER DWELLING UNIT OR COMMON USABLE OPEN SPACE EQUAL TO AT LEAST 150% OF THE PRIVATE USABLE OPEN SPACE REQUIREMENTS, OR A COMBINATION OF BOTH.

PRIVATE USABLE OPEN SPACE USED TO FULFILL THIS REQUIREMENT SHALL HAVE A USABLE AREA OF NOT LESS THAN 75 SQUARE FEET (STATE DENSITY BONUS REQUEST TO REDUCE TO 43 S.F. PER DWELLING UNIT AND SHALL NOT BE LESS THAN FOUR (6) FEET IN ANY DIRECTION).

REQUIRED PRIVATE OPEN SPACE (66 UNITS x 43 S.F.): 2,838 S.F.  
REQUIRED COMMON OPEN SPACE (66 UNITS x 43 S.F. x 150%): 4,257 S.F.  
**TOTAL REQUIRED OPEN SPACE: 7,095 S.F.**

PROVIDED PRIVATE OPEN SPACE - LEVEL 02: 681 S.F.  
PROVIDED PRIVATE OPEN SPACE - LEVEL 03: 681 S.F.  
PROVIDED PRIVATE OPEN SPACE - LEVELS 04 TO LEVEL 07: 2,724 S.F.  
PROVIDED PRIVATE OPEN SPACE - LEVEL 08: 466 S.F.  
PROVIDED PRIVATE OPEN SPACE - LEVEL 09: 466 S.F.  
PROVIDED PRIVATE OPEN SPACE - LEVEL 10: 466 S.F.  
**TOTAL PROVIDED PRIVATE OPEN SPACE: 5,484 S.F.**

**TOTAL PROVIDED COMMON OPEN SPACE: 3,990 S.F.**

**TOTAL PROVIDED OPEN SPACE PRIVATE + COMMON: 9,474 S.F.**

**USABLE OFFICE OPEN SPACE CALCULATIONS**

PER SMMC 27.38.090 NONRESIDENTIAL/OFFICE DEVELOPMENT STANDARDS.

(a) Open space shall be provided in an amount equal to one percent (1%) of the nonresidential floor area of the project, not including parking, provided that there shall be no requirement for open space where the resulting open space would be less than 200 square feet.

TOTAL OFFICE SPACE INCLUDING ALL FLOORS = 107,867 S.F.  
1% OF TOTAL OFFICE SPACE INCLUDING ALL LEVELS = 0.01 X 107,867 S.F. = 1,078 S.F.

REQUIRED TOTAL OFFICE OPEN SPACE = 1,078 S.F.  
PROVIDED TOTAL OFFICE OPEN SPACE = 15,479 S.F.

**USABLE OPEN SPACE PER FLOOR - RESIDENTIAL**

<b>Level 02 Open Space</b>	Private Open Space (Balconies) (S.F.) - Provided	681 S.F.
<b>Level 02 Open Space</b>	Common Open Space (S.F.) - Provided	3,990 S.F.
<b>Level 03 Open Space</b>	Private Open Space (Balconies) (S.F.) - Provided	681 S.F.
<b>Levels 04 to 07 Open Space</b>	Private Open Space (Balconies) (S.F.) - Provided	2,724 S.F.
<b>Level 08 Open Space</b>	Private Open Space (Balconies) (S.F.) - Provided	466 S.F.
<b>Level 09 Open Space</b>	Private Open Space (Balconies) (S.F.) - Provided	466 S.F.
<b>Level 10 Open Space</b>	Private Open Space (Balconies) (S.F.) - Provided	466 S.F.
<b>TOTAL OPEN SPACE</b>		<b>9,474 S.F.</b>

**USABLE OPEN SPACE PER FLOOR - OFFICE**

<b>Level 11 Open Space</b>	Office Open Space (S.F.) - Provided	758 S.F.
<b>Level 12 Open Space</b>	Office Open Space (S.F.) - Provided	609 S.F.
<b>Level 13 Open Space</b>	Office Open Space (S.F.) - Provided	4,282 S.F.
<b>Level 14 Open Space</b>	Office Open Space (S.F.) - Provided	3,673 S.F.
<b>Level 15 Open Space</b>	Office Open Space (S.F.) - Provided	6,157 S.F.
<b>TOTAL OPEN SPACE</b>		<b>15,479 S.F.</b>

A Planning Application For:  
**MECAH VENTURES**  
1 E. 4TH AVENUE  
SAN MATEO, CA 94401

DATE	DESCRIPTION
03.27.2025	SB330 APPLICATION
05.30.2025	1ST PLANNING SUBMITTAL

USABLE OPEN SPACE DIAGRAMS

**A 0.25**

PROJECT NO: 246148



# FIRE RESISTANCE CODE SUMMARY

FIRE-RESISTANCE RATING REQUIREMENTS FOR BUILDING ELEMENTS (HOURS) (TABLE 601)												
BUILDING ELEMENT	TYPE I A	TYPE I B	TYPE I I A	TYPE I I B	TYPE I I I A	TYPE I I I B	TYPE IV			TYPE VA	TYPE VB	
	3 <sup>a,b</sup>	2 <sup>a,b,c</sup>	1 <sup>a,b,c</sup>	0 <sup>c</sup>	2 <sup>a,b,c</sup>	2 <sup>a,b,c</sup>	A	B	C	HT	1 <sup>a,c</sup>	0
Primary Structural Frame (See Section 202)	3 <sup>a,b</sup>	2 <sup>a,b,c</sup>	1 <sup>a,b,c</sup>	0 <sup>c</sup>	2 <sup>a,b,c</sup>	2 <sup>a,b,c</sup>	3 <sup>a</sup>	2 <sup>a</sup>	2 <sup>a</sup>	HT	1 <sup>a,c</sup>	0
Bearing Walls Exterior <sup>a,1</sup> Interior	3 <sup>a</sup>	2 <sup>a</sup>	1	0	2	2				2 1/HT <sup>9</sup>	1	0
Nonbearing Walls And Partitions - Exterior	See Table 705.5											
Nonbearing Walls And Partitions - Interior <sup>d</sup>	0	0	0	0	0	0				See Section 2304.11.2	0	0
Floor Construction and Associated Secondary Members (see Section 202)	2	2	1	0	1	0				HT	1	0
Roof Construction and Associated Secondary Members (see Section 202)	1 1/2 <sup>b</sup>	1 <sup>b,c</sup>	1 <sup>b,c</sup>	0 <sup>c</sup>	1 <sup>b,c</sup>	0				HT	1 <sup>b,c</sup>	0

For SI: 1 foot = 304.8 mm.

- Roof supports: Fire-resistance ratings of primary structural frame and bearing walls are permitted to be reduced by 1 hour where supporting a roof only.
- Except in Group A, E, F-1, H, I, L, M, R-1, R-2, R-2.1 and S-1 occupancies, high-rise buildings, and other applications listed in Section 1.11 regulated by the Office of the State Fire Marshal, fire protection of structural members in roof construction shall not be required, including protection of primary structural frame members, roof framing and decking where every part of the roof construction is 20 feet or more above any floor immediately below. Fire-retardant-treated wood members shall be allowed to be used for such unprotected members.
- For Group A, E, I, L, R-1, R-2, and R-2.1 occupancies, high-rise buildings, and other applications listed in Section 1.11 regulated by the Office of the State Fire Marshal, fire protection of members other than the primary structural frame shall not be required, including protection of roof framing and decking where every part of the roof construction is 20 feet or more above any floor immediately below. Fire-retardant-treated wood members shall be allowed to be used for such unprotected members.
- One-story portions of Group A and E assembly occupancies the roof-framing system of Type II A or Type III A construction may be of unprotected construction when such roof-framing system is open to the assembly area and does not contain concealed spaces.
- In all occupancies, heavy timber complying with Section 2304.11 shall be allowed for roof construction including primary structural frame members where a 1-hour or less fire-resistance rating is required.
- Not less than the fire-resistance rating required by other sections of this code.
- Not less than the fire-resistance rating based on fire separation distance (see Table 705.5).
- Not less than the fire-resistance rating as referenced in Section 704.10.
- Heavy timber bearing walls supporting more than two floors or more than a floor and a roof shall have a fire-resistance rating of not less than 1 hour.

FIRE-RESISTANCE RATING FOR EXTERIOR WALLS BASED ON FIRE SEPARATION DISTANCE (TABLE 705.5) <sup>a,b</sup>				
FIRE SEPARATION DISTANCE = X (FEET)	TYPE OF CONSTRUCTION	OCCUPANCY GROUP H <sup>c</sup>	OCCUPANCY GROUP F-1, M, S-1 <sup>d</sup>	OCCUPANCY GROUP A, B, E, F-2, I, R <sup>e</sup> , S-2, U <sup>h</sup>
x < 5 <sup>b</sup>	All	3	2	1
5 ≤ X < 10	IA, IVA Others	3 2	2 1	1 1
10 ≤ X < 30	IA, IB, IVA, IVB II B, VB Others	2 1 1	1 0 1	1 <sup>c</sup> 0 1 <sup>f</sup>
X ≥ 30	All	0	0	0

For SI: 1 foot = 304.8 mm.

- Load-bearing exterior walls shall also comply with the fire-resistance rating requirements of Table 601.
- See Section 706.1.1 for party walls.
- Open parking garages complying with Section 406 shall not be required to have a fire-resistance rating.
- The fire-resistance rating of an exterior wall is determined based upon the fire separation distance of the exterior wall and the story in which the wall is located.
- For special requirements for Group H occupancies, see Section 415.6.
- For special requirements for Group S aircraft hangars, see Section 412.3.1.
- Where Table 705.8 permits nonbearing exterior walls with unlimited area of unprotected openings, the required fire-resistance rating for the exterior walls is 0 hours.
- For a building containing only a Group U occupancy private garage or carport, the exterior wall shall not be required to have a fire-resistance rating where the fire separation distance is 5 feet (1523 mm) or greater or where equipped throughout with an automatic sprinkler system in accordance with Section 903.3 the fire-resistance rating shall not be required where the fire separation distance is 3 feet or greater.
- For a Group R-3 building of Type II-B or Type V-B construction, the exterior wall shall not be required to have a fire-resistance rating where the fire separation distance is 5 feet (1523 mm) or greater or where equipped throughout with an automatic sprinkler system in accordance with Section 903.3 the fire-resistance rating shall not be required where the fire separation distance is 3 feet or greater.

CORRIDOR FIRE-RESISTANCE RATING (Table 1020.2)			
Occupancy	Occupant Load Served by Corridor	Required Fire-Resistance Rating (hours)	
		Without Sprinkler System	With Sprinkler System
H-1, H-2, H-3	All	Not Permitted	1 <sup>c</sup>
H-4, H-5, L	Greater Than 30	Not Permitted	1 <sup>c</sup>
A, B, E, F, M, S, U	Greater Than 30	1	0
R-1, R-2, R-3, R-3.1, R-4	Greater Than 10	1 <sup>d</sup>	1
I-2 <sup>1</sup> I-2.1	Greater Than 6	Not Permitted	1
I-3, R-2.1	Greater Than 6	Not Permitted	1 <sup>b,c</sup>
I-4	All	1	0
E	Greater Than 10	1	0

- For requirements for occupancies in Group I-2 and I-2.1, see Sections 407.2 and 407.3.
- For a reduction in the fire-resistance rating for occupancies in Group I-3, see Section 408.8.
- Buildings equipped throughout with an automatic sprinkler system in accordance with Section 903.3.1.1 or 903.3.1.2 where allowed.
- Group R-3 and R-4 buildings equipped throughout with an automatic sprinkler system in accordance with section 903.3.1.3. See Section 903.2.8 for occupancies where automatic sprinkler systems are permitted in accordance with section 903.3.1.3.

# PLUMBING FIXTURE TABULATIONS

## LEVEL 01 FLOOR (OFFICE)

**B OCCUPANCY NET AREA: 4,620 S.F.**  
4,620 S.F. / 150 S.F. PER PERSON = 30.80 PERSONS; ROUND UP TO 31 PERSONS  
OR 15 MEN & 16 WOMEN

MEN'S FIXTURES	REQUIRED:	WOMEN'S FIXTURES	REQUIRED:
WATER CLOSETS:	15 OCCUPANTS or 1	WATER CLOSETS:	16 OCCUPANTS or 2
URINALS:	15 OCCUPANTS or 1		
LAVATORIES:	15 OCCUPANTS or 1	LAVATORIES:	16 OCCUPANTS or 1

## RESTROOM FIXTURE REQUIREMENTS AND PROVIDED TOTALS FOR LEVEL 01 FLOOR OFFICE

PER CBC SECTION 422.1: WHERE APPLYING THE FIXTURE RATIOS IN TABLE 422.1 RESULTS IN FRACTIONAL NUMBERS, SUCH NUMBERS SHALL BE ROUNDED TO THE NEXT WHOLE NUMBER. FOR MULTIPLE OCCUPANCIES, FRACTIONAL NUMBERS SHALL BE FIRST SUMMED AND THEN ROUNDED TO THE NEXT WHOLE NUMBER.

MEN'S FIXTURES	REQUIRED:	WOMEN'S FIXTURES	REQUIRED:
WATER CLOSETS:	1	WATER CLOSETS:	2
URINALS:	1		
LAVATORIES:	1	LAVATORIES:	1

HI-LOW DRINKING FOUNTAIN	1
SERVICE SINK	1

MEN'S FIXTURES	PROVIDED:	WOMEN'S FIXTURES	PROVIDED:
WATER CLOSETS:	1	WATER CLOSETS:	2
URINALS:	1		
LAVATORIES:	1	LAVATORIES:	2

HI-LOW DRINKING FOUNTAIN	1
SERVICE SINK	1

## LEVEL 11 FLOOR (OFFICE)

**B OCCUPANCY NET AREA: 27,177 S.F.**

27,177 S.F. / 150 S.F. PER OCCUPANT = 181.18 OCCUPANTS; ROUND UP TO 181 OCCUPANTS  
OR 90 MEN & 91 WOMEN

MEN'S FIXTURES	REQUIRED:	WOMEN'S FIXTURES	REQUIRED:
WATER CLOSETS:	90 OCCUPANTS or 2	WATER CLOSETS:	91 OCCUPANTS or 4
URINALS:	90 OCCUPANTS or 1		
LAVATORIES:	90 OCCUPANTS or 2	LAVATORIES:	91 OCCUPANTS or 2

## RESTROOM FIXTURE REQUIREMENTS AND PROVIDED TOTALS FOR LEVEL 11 FLOOR

MEN'S FIXTURES	REQUIRED:	WOMEN'S FIXTURES	REQUIRED:
WATER CLOSETS:	2	WATER CLOSETS:	4
URINALS:	1		
LAVATORIES:	2	LAVATORIES:	2

MEN'S FIXTURES	PROVIDED:	WOMEN'S FIXTURES	PROVIDED:
WATER CLOSETS:	2	WATER CLOSETS:	4
URINALS:	1		
LAVATORIES:	2	LAVATORIES:	2

HI-LOW DRINKING FOUNTAIN	1
SERVICE SINK	1

## LEVEL 12 FLOOR (OFFICE)

**B OCCUPANCY NET AREA: 26,648 S.F.**

26,648 S.F. / 150 S.F. PER OCCUPANT = 177.65 OCCUPANTS; ROUND UP TO 178 OCCUPANTS  
OR 88 MEN & 89 WOMEN

MEN'S FIXTURES	REQUIRED:	WOMEN'S FIXTURES	REQUIRED:
WATER CLOSETS:	88 OCCUPANTS or 2	WATER CLOSETS:	89 OCCUPANTS or 4
URINALS:	88 OCCUPANTS or 1		
LAVATORIES:	88 OCCUPANTS or 2	LAVATORIES:	89 OCCUPANTS or 2

## RESTROOM FIXTURE REQUIREMENTS AND PROVIDED TOTALS FOR LEVEL 12 FLOOR

MEN'S FIXTURES	REQUIRED:	WOMEN'S FIXTURES	REQUIRED:
WATER CLOSETS:	2	WATER CLOSETS:	4
URINALS:	1		
LAVATORIES:	2	LAVATORIES:	2

MEN'S FIXTURES	PROVIDED:	WOMEN'S FIXTURES	PROVIDED:
WATER CLOSETS:	2	WATER CLOSETS:	4
URINALS:	1		
LAVATORIES:	2	LAVATORIES:	2

MEN'S FIXTURES	PROVIDED:	WOMEN'S FIXTURES	PROVIDED:
WATER CLOSETS:	2	WATER CLOSETS:	4
URINALS:	1		
LAVATORIES:	2	LAVATORIES:	2

HI-LOW DRINKING FOUNTAIN	1
SERVICE SINK	1

## LEVEL 13 FLOOR (OFFICE)

**B OCCUPANCY NET AREA: 23,135 S.F.**  
23,135 S.F. / 150 S.F. PER PERSON = 154.23 PERSONS; ROUND UP TO 154 PERSONS  
OR 77 MEN & 77 WOMEN

MEN'S FIXTURES	REQUIRED:	WOMEN'S FIXTURES	REQUIRED:
WATER CLOSETS:	77 OCCUPANTS or 1	WATER CLOSETS:	77 OCCUPANTS or 4
URINALS:	77 OCCUPANTS or 1		
LAVATORIES:	77 OCCUPANTS or 2	LAVATORIES:	77 OCCUPANTS or 2

## RESTROOM FIXTURE REQUIREMENTS AND PROVIDED TOTALS FOR LEVEL 13 FLOOR OFFICE

PER CBC SECTION 422.1: WHERE APPLYING THE FIXTURE RATIOS IN TABLE 422.1 RESULTS IN FRACTIONAL NUMBERS, SUCH NUMBERS SHALL BE ROUNDED TO THE NEXT WHOLE NUMBER. FOR MULTIPLE OCCUPANCIES, FRACTIONAL NUMBERS SHALL BE FIRST SUMMED AND THEN ROUNDED TO THE NEXT WHOLE NUMBER.

MEN'S FIXTURES	REQUIRED:	WOMEN'S FIXTURES	REQUIRED:
WATER CLOSETS:	2	WATER CLOSETS:	4
URINALS:	1		
LAVATORIES:	2	LAVATORIES:	2

HI-LOW DRINKING FOUNTAIN	1
SERVICE SINK	1

MEN'S FIXTURES	PROVIDED:	WOMEN'S FIXTURES	PROVIDED:
WATER CLOSETS:	2	WATER CLOSETS:	4
URINALS:	1		
LAVATORIES:	2	LAVATORIES:	2

HI-LOW DRINKING FOUNTAIN	1
SERVICE SINK	1

## LEVEL 14 FLOOR (OFFICE)

**B OCCUPANCY NET AREA: 19,278 S.F.**

19,278 S.F. / 150 S.F. PER OCCUPANT = 128.52 OCCUPANTS; ROUND UP TO 129 OCCUPANTS  
OR 64 MEN & 65 WOMEN

MEN'S FIXTURES	REQUIRED:	WOMEN'S FIXTURES	REQUIRED:
WATER CLOSETS:	64 OCCUPANTS or 2	WATER CLOSETS:	65 OCCUPANTS or 4
URINALS:	64 OCCUPANTS or 1		
LAVATORIES:	64 OCCUPANTS or 2	LAVATORIES:	65 OCCUPANTS or 2

## RESTROOM FIXTURE REQUIREMENTS AND PROVIDED TOTALS FOR LEVEL 14 FLOOR

MEN'S FIXTURES	REQUIRED:	WOMEN'S FIXTURES	REQUIRED:
WATER CLOSETS:	2	WATER CLOSETS:	4
URINALS:	1		
LAVATORIES:	2	LAVATORIES:	2

MEN'S FIXTURES	PROVIDED:	WOMEN'S FIXTURES	PROVIDED:
WATER CLOSETS:	2	WATER CLOSETS:	4
URINALS:	1		
LAVATORIES:	2	LAVATORIES:	2

HI-LOW DRINKING FOUNTAIN	1
SERVICE SINK	1

## LEVEL 15 FLOOR (OFFICE)

**B OCCUPANCY NET AREA: 2,206 S.F.**

2,206 S.F. / 150 S.F. PER OCCUPANT = 13.50 OCCUPANTS; ROUND UP TO 14 OCCUPANTS  
OR 7 MEN & 7 WOMEN

MEN'S FIXTURES	REQUIRED:	WOMEN'S FIXTURES	REQUIRED:
WATER CLOSETS:	7 OCCUPANTS or 1	WATER CLOSETS:	7 OCCUPANTS or 1
URINALS:	7 OCCUPANTS or 1		
LAVATORIES:	7 OCCUPANTS or 1	LAVATORIES:	7 OCCUPANTS or 1

## RESTROOM FIXTURE REQUIREMENTS AND PROVIDED TOTALS FOR LEVEL 15 FLOOR

MEN'S FIXTURES	REQUIRED:	WOMEN'S FIXTURES	REQUIRED:
WATER CLOSETS:	1	WATER CLOSETS:	1
URINALS:	1		
LAVATORIES:	1	LAVATORIES:	1

MEN'S FIXTURES	PROVIDED:	WOMEN'S FIXTURES	PROVIDED:
WATER CLOSETS:	1	WATER CLOSETS:	1
URINALS:	1		
LAVATORIES:	1	LAVATORIES:	1

MEN'S FIXTURES	PROVIDED:	WOMEN'S FIXTURES	PROVIDED:
WATER CLOSETS:	1	WATER CLOSETS:	1
URINALS:	1		
LAVATORIES:	1	LAVATORIES:	1

HI-LOW DRINKING FOUNTAIN	1
SERVICE SINK	1

# ALLOWABLE BUILDING AREA

ABOVE-GRADE BUILDING (OFFICE AND RESIDENTIAL)		
AUTOMATIC SPRINKLER CONFIGURATION:	SM (BUILDING TWO OR MORE STORIES ABOVE GRADE PLANE, EQUIPPED THROUGHOUT WITH AN AUTOMATIC SPRINKLER SYSTEM IN ACCORDANCE WITH SECTION 903.3.1.1).	
BELOW GRADE	CONSTRUCTION TYPE: I-A	
ABOVE GRADE	CONSTRUCTION TYPE: II-B	
OCCUPANCY CLASSIFICATION		
	B	R-2
MAXIMUM HEIGHT (TABLE 504.2)	85'-0"	85'-0"
MAXIMUM NUMBER OF STORIES (TABLE 504.4)	6	5
SM ALLOWABLE AREA FACTOR (TABLE 506.2)	69,000 S.F.	48,000 S.F.
NS AREA FACTOR (TABLE 506.2)	23,000 S.F.	16,000 S.F.
HEIGHT OF PROPOSED BUILDING	172'-0" (TOP OF PLATE PER ELEV.)	
NUMBER OF STORIES ABOVE GRADE (STARTS AT TOP OF I-A PODIUM PER 510.2)	5	10
PROPOSED AREA PER FLOOR (ABOVE GRADE)	B	R-2
LEVEL 01	9,423 S.F.	12,918 S.F.
LEVEL 02	-	27,238 S.F.
LEVEL 03	-	27,238 S.F.
LEVEL 04	-	27,238 S.F.
LEVEL 05	-	27,238 S.F.
LEVEL 06	-	27,238 S.F.
LEVEL 07	-	27,238 S.F.
LEVEL 08	-	27,693 S.F.
LEVEL 09	-	27,693 S.F.
LEVEL 10	-	27,693 S.F.
LEVEL 11	27,177 S.F.	-
LEVEL 12	26,648 S.F.	-
LEVEL 13	23,135 S.F.	-
LEVEL 14	19,278 S.F.	-
LEVEL 15	2,206 S.F.	-
TOTAL BUILDING AREA ABOVE GRADE	107,867 S.F.	259,425 S.F.

BELOW GRADE BUILDING (PARKING GARAGE)		
CONSTRUCTION TYPE: I - A		
OCCUPANCY CLASSIFICATION: S-2		
AUTOMATIC SPRINKLER CONFIGURATION:	S1 (BUILDING A MAXIMUM OF ONE STORY ABOVE GRADE PLANE, EQUIPPED THROUGHOUT WITH AN AUTOMATIC SPRINKLER SYSTEM IN ACCORDANCE WITH SECTION 903.3.1.1).	
OCCUPANCY CLASSIFICATION		
	S-2	
MAXIMUM HEIGHT (TABLE 504.2)	UNLIMITED	
MAXIMUM NUMBER OF STORIES (TABLE 504.4)	UNLIMITED	
S1 ALLOWABLE AREA FACTOR (TABLE 506.2)	UNLIMITED	
NS AREA FACTOR (TABLE 506.2)	UNLIMITED	
PROPOSED AREA PER FLOOR (BELOW GRADE)		
BUILDING LEVEL	BUILDING AREA	
PARKING LEVEL P1	36,973 S.F.	
PARKING LEVEL P2	36,973 S.F.	
TOTAL BUILDING AREA BELOW GRADE	73,946 S.F.	

## SUMMARY:

ABOVE GRADE OFFICE AND RESIDENTIAL:  
TYPE II-B CONSTRUCTION (MERCANTILE M OCCUPANCY LEVEL 01)  
TYPE II-B CONSTRUCTION (BUSINESS B OCCUPANCY LEVEL 01)  
TYPE II-B CONSTRUCTION (RESIDENTIAL R-2 OCCUPANCY LEVEL 02 TO LEVEL 10)  
TYPE II-B CONSTRUCTION (BUSINESS B OCCUPANCY LEVEL 11 TO LEVEL 15)

## BELOW GRADE PARKING STRUCTURE:

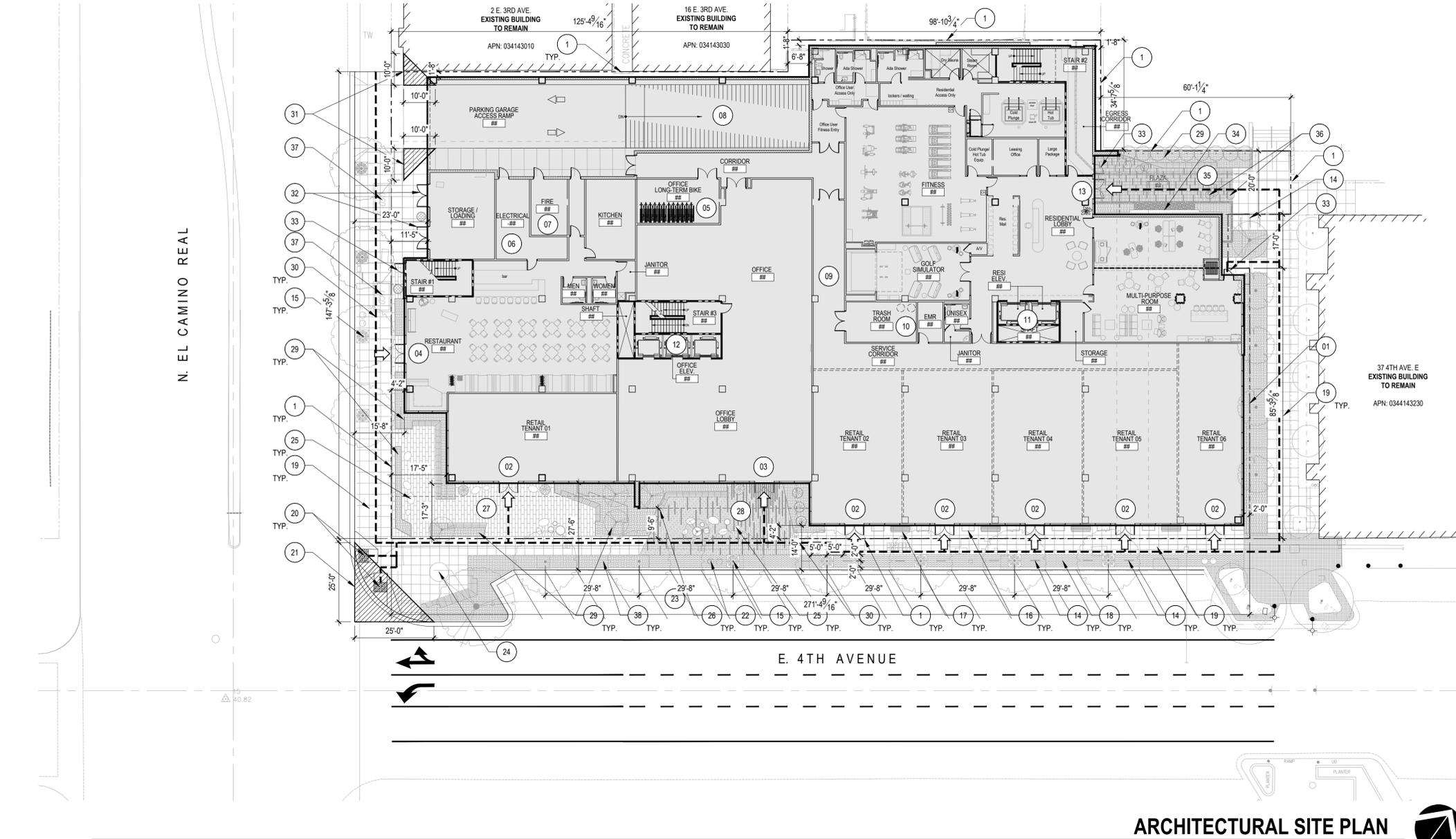
- TYPE I-A CONSTRUCTION
- Below grade Parking Structure: Type I-A construction.
- Three-hour rated construction is required for exterior walls and concrete slab separating garage from the office building. Minimum concrete thickness to be 6.2".
- Two-hour rating is required for other floors with minimum concrete thickness of 5".
- All shafts and stairs/ elevators shafts to be constructed with two-hour fire rated partitions.
</











**ARCHITECTURAL SITE PLAN**

SCALE: 1"=20'-0"



**MINIMUM BICYCLE PARKING STALLS REQUIRED**

PER CITY OF SAN MATEO MUNICIPAL CODE SECTION 27.64.262

**REQUIRED SHORT-TERM - RESIDENTIAL**  
 STUDIO AND ONE-BEDROOM UNIT @ 0.05 SPACES PER UNIT  
 216 UNITS x 0.05 = 10.80 SPACES  
 TWO-BEDROOM UNIT @ 0.1 SPACES PER UNIT  
 20 UNITS x 0.10 = 2 SPACES  
 TOTAL REQUIRED SHORT-TERM - RESIDENTIAL: 12.80 SPACES OR 13 SPACES

**REQUIRED LONG-TERM - RESIDENTIAL**  
 STUDIO AND ONE-BEDROOM UNIT @ 1.0 SPACE PER UNIT  
 216 UNITS x 1.0 = 216 SPACES  
 TWO-BEDROOM UNIT @ 1.25 SPACES PER UNIT  
 20 UNITS x 1.25 = 25 SPACES  
 TOTAL REQUIRED LONG-TERM - RESIDENTIAL: 241 SPACES

**REQUIRED SHORT-TERM - RETAIL**  
 1 SPACE PER 2,000 S.F. OF RETAIL AREA  
 11,894 S.F. / 2,000 S.F. = 5.94 SPACES OR 6 SPACES

**REQUIRED LONG-TERM - RETAIL**  
 1 SPACE PER 12,000 S.F. OF RETAIL AREA  
 11,894 S.F. / 12,000 S.F. = 0.99 SPACES OR 1 SPACE

**REQUIRED SHORT-TERM - OFFICE**  
 1 SPACE PER 20,000 S.F. OF RETAIL AREA  
 107,867 S.F. / 20,000 S.F. = 5.39 SPACES OR 6 SPACES

**REQUIRED LONG-TERM - OFFICE**  
 1 SPACE PER 10,000 S.F. OF RETAIL AREA  
 107,867 S.F. / 10,000 S.F. = 10.78 SPACES OR 11 SPACES

**PROVIDED SHORT-TERM SPACES**

RESIDENTIAL	14 SPACES
RETAIL	6 SPACES
OFFICE	6 SPACES
TOTAL	26 SPACES

**PROVIDED LONG-TERM SPACES**

RESIDENTIAL	241 SPACES *
RETAIL	2 SPACES **
OFFICE	12 SPACES ***
TOTAL	257 SPACES

\* PROVIDED @ LEVEL 02 TO LEVEL 10  
 \*\* PROVIDED @ LEVEL 01  
 \*\*\* PROVIDED @ LEVEL 01

**KEY NOTES**

- 01 EXISTING PROPERTY LINE
- 02 PRIMARY RETAIL ENTRANCE
- 03 PRIMARY OFFICE LOBBY ENTRANCE
- 04 PRIMARY RESTAURANT ENTRANCE
- 05 OFFICE LONG-TERM BIKE STORAGE
- 06 ELECTRICAL ROOM
- 07 FIRE PUMP ROOM
- 08 ACCESS RAMP TO BELOW GRADE PARKING STRUCTURE W/ TRANSITION SLOPE SERVICE CORRIDOR
- 09 OFFICE/ RESIDENTIAL TRASH ROOM
- 10 RESIDENTIAL ELEVATORS
- 11 OFFICE ELEVATORS
- 12 PRIMARY RESIDENTIAL ENTRANCE
- 13 SHORT-TERM BIKE RACK INSTALLED IN BRICK BANDING AT SIDEWALK FURNITURE ZONE
- 14
- 15 STREET TREE IN TREE GRATE
- 16 PANTED CONTAINER
- 17 BENCH
- 18 4'-0" WIDE ACCENT BRICK PAVERS
- 19 TYPICAL FRONTAGE CONCRETE SIDEWALK
- 20 ADA RAMP AND TRUNCATED DOMES
- 21 25'-0" x 25'-0" VISIBILITY TRIANGLE
- 22 TRASH RECEPTACLE
- 23 STREET PARKING
- 24 PROPOSED PUBLIC ART LOCATION
- 25 PRECAST SMOOTH 'PEBBLE' SEATING ELEMENTS
- 26 SLATTED WOOD SEAT INTEGRATED INTO THE RAISED PLANTER
- 27 ACCENT PAVERS AT RETAIL FRONTAGE
- 28 LINEAR PAVERS WITH CONTRASTING STRIPING TO INTENSIFY COMMERCIAL ENTRY
- 29 RAISED PLANTERS WITH BUILT IN SEATING
- 30 ACCESSIBLE PATH OF TRAVEL
- 31 10'-0" x 10'-0" VISION TRIANGLE
- 32 SERVICE DOOR
- 33 EGRESS DOOR
- 34 WATER FEATURE
- 35 ACCENT PAVERS AT RESIDENTIAL ENTRANCE
- 36 DECORATIVE LIGHT FIXTURES
- 37 UNDERGROUND TRANSFORMERS
- 38 SOFTSCAPE (REFER TO LANDSCAPE)

**PROJECT DATA**

**GENERAL PLAN REQUIREMENTS**

ASSESSOR'S PARCEL NO.: 034-143-260  
 034-143-300  
 034-143-310

GENERAL PLAN: MIXED-USE HIGH  
 SITE AREA: ±39,928 S.F. / 0.91 ACRES  
 ALLOWABLE MAX FAR (NON-RESIDENTIAL ONLY) 4.5 (259,425 S.F.)  
 PROPOSED FAR (NON-RESIDENTIAL ONLY) 3.0 (119,761 S.F.)  
 DWELLING UNIT DENSITY (100-130 DU/ AC) 91 DU - 118 DU  
 W/ 100% INCREASED STATE DENSITY 236 DU  
 LOT COVERAGE 100%  
 ALLOWABLE MAX. BUILDING HEIGHT 5 TO 8 STORIES  
 PROPOSED BUILDING HEIGHT 184 FEET (14-STORY + PENTHOUSE/ TERRACE / MECHANICAL EQUIPMENT)

**ZONING REQUIREMENTS**

ZONING: CBD DISTRICT GENERAL BUSINESS  
 SITE AREA: ±39,928 S.F. / 0.91 ACRES  
 ALLOWABLE MAX FAR (COMMERCIAL + RESIDENTIAL) 3.0 (119,784 S.F.)  
 PROPOSED FAR (COMMERCIAL + RESIDENTIAL) 9.5 (379,186 S.F.)  
 MAX DWELLING UNIT DENSITY 50 DU/ AC OR 46 UNITS  
 ALLOWABLE MAX BUILDING HEIGHT 55 FEET  
 PROPOSED BUILDING HEIGHT 184 FEET (14-STORY + PENTHOUSE/ TERRACE / MECHANICAL EQUIPMENT)

**PROPOSED BUILDING AREA (15- STORY BUILDING)**

RESIDENTIAL - LEVEL 01	12,918 S.F.
OFFICE - LEVEL 01	9,423 S.F.
RESTAURANT - LEVEL 01	3,436 S.F.
RETAIL - LEVEL 01	8,458 S.F.
RESIDENTIAL - LEVEL 02	27,238 S.F.
RESIDENTIAL - LEVEL 03	27,238 S.F.
RESIDENTIAL - LEVEL 04	27,238 S.F.
RESIDENTIAL - LEVEL 05	27,238 S.F.
RESIDENTIAL - LEVEL 06	27,238 S.F.
RESIDENTIAL - LEVEL 07	27,238 S.F.
RESIDENTIAL - LEVEL 08	27,693 S.F.
RESIDENTIAL - LEVEL 09	27,693 S.F.
RESIDENTIAL - LEVEL 10	27,693 S.F.
OFFICE - LEVEL 11	27,177 S.F.
OFFICE - LEVEL 12	26,648 S.F.
OFFICE - LEVEL 13	23,135 S.F.
OFFICE - LEVEL 14	19,278 S.F.
PENTHOUSE - LEVEL 15	2,206 S.F.
<b>TOTAL BUILDING AREA</b>	<b>379,186 S.F.</b>

**HAA REQUIREMENTS (BASED ON 379,186 S.F. BUILDING AREA)**  
 COMMERCIAL (1/3 OF 379,186 S.F. OR 126,395 S.F.)  
 NON-COMMERCIAL (2/3 OF 379,186 S.F. OR 252,791 S.F.)

OFFICE AREA	107,867 S.F.
RESTAURANT	3,436 S.F.
RETAIL	8,458 S.F.
<b>TOTAL COMMERCIAL AREA (PROVIDED)</b>	<b>119,761 S.F.</b>

**TOTAL NON-COMMERCIAL AREA (PROVIDED): 259,425 S.F.**

**FAR (119,761 S.F. / 39,928 S.F.) - (COMMERCIAL ONLY) 3.0**

**# DWELLING UNITS PER FLOOR**

LEVEL 02	26 DU
LEVEL 03	26 DU
LEVEL 04	27 DU
LEVEL 05	27 DU
LEVEL 06	27 DU
LEVEL 07	27 DU
LEVEL 08	27 DU
LEVEL 09	24 DU
LEVEL 10	25 DU
<b>TOTAL # DWELLING UNITS</b>	<b>236 UNITS (OR 260 DU/ AC)</b>

**DWELLING UNIT MIX**

STUDIO	80 DU (OR 34%)
ONE-BEDROOM	136 DU (OR 57%)
TWO-BEDROOM	20 DU (OR 9%)
<b>TOTAL # DWELLING UNITS</b>	<b>236 UNITS (OR 260 DU/ AC)</b>

**BMR UNIT REQUIREMENTS - PER SDB ON BASE DENSITY (118 UNITS)**  
 50% INCREASE: 15% VERY LOW INCOME 18 UNITS  
 ADDITIONAL 50%: 15% MODERATE INCOME 18 UNITS  
 TOTAL (PROVIDED) 36 UNITS



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 In Association with:

A Planning Application For:  
**MECAH VENTURES**  
 1 E. 4TH AVENUE  
 SAN MATEO, CA 94401

DATE	DESCRIPTION
03.27.2025	SBS30 APPLICATION
05.30.2025	1ST PLANNING SUBMITTAL

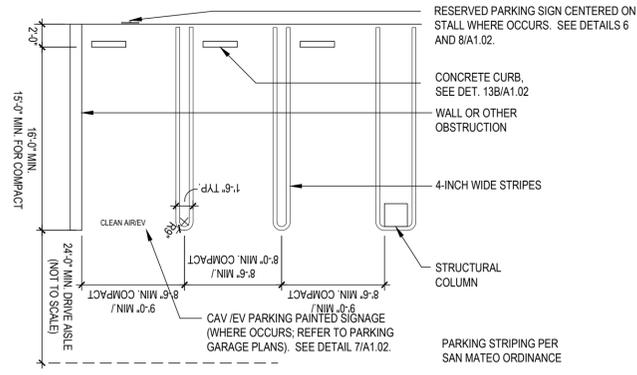
ARCHITECTURAL SITE PLAN

**A1.01**

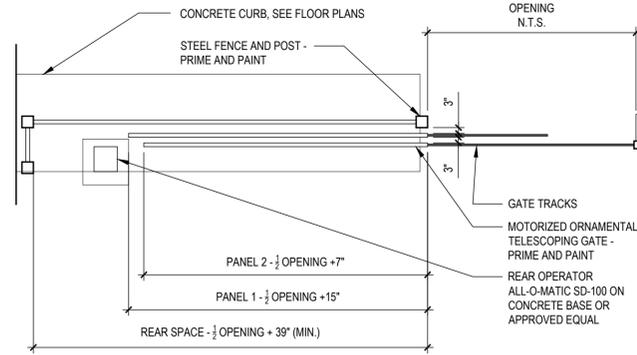
PROJECT NO: 246148

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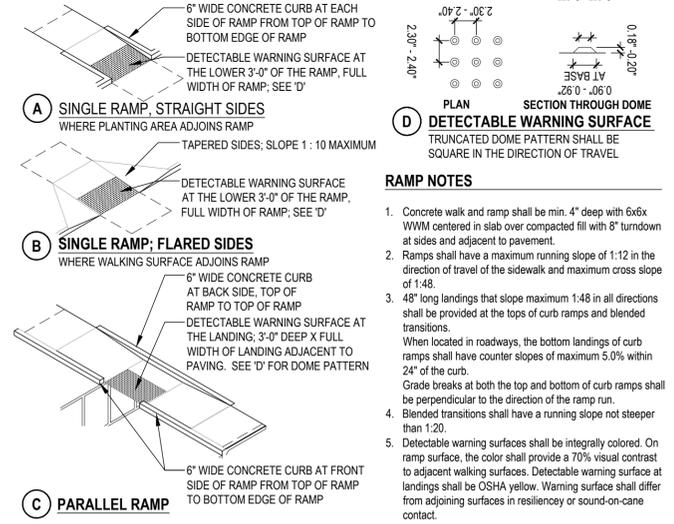




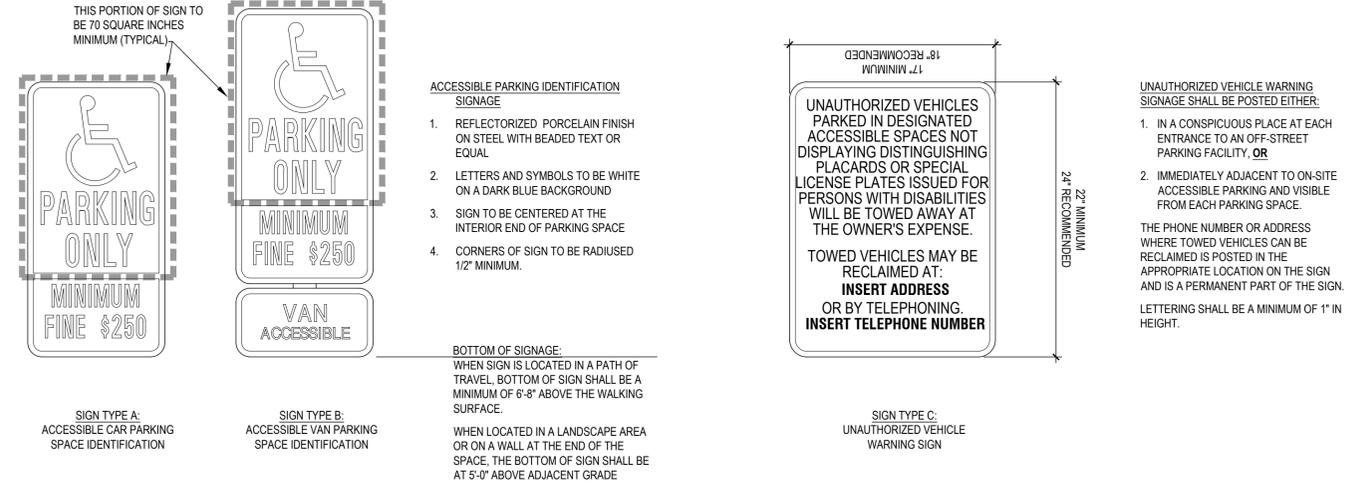
**13** PARKING STALL STRIPING  
SCALE: 1/8"=1'-0"



**5** EV PARKING STALL SYMBOL  
SCALE: 1/2"=1'-0"



**1** CURB RAMP CONFIGURATION  
SCALE: N.T.S.



**6** ACCESSIBLE PARKING SIGNAGE & UNAUTHORIZED VEHICLE SIGNAGE  
SCALE: 1 1/2"=1'-0"



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In Association with:

A Planning Application For:  
**MECAH VENTURES**  
1 E. 4TH AVENUE  
SAN MATEO, CA 94401

DATE	DESCRIPTION
03.27.2025	SB330 APPLICATION
05.30.2025	1ST PLANNING SUBMITTAL

SITE DETAILS

**A 1.03**

PROJECT NO: 246148



WINTER SOLSTICE - 9 AM

SCALE: N.T.S.

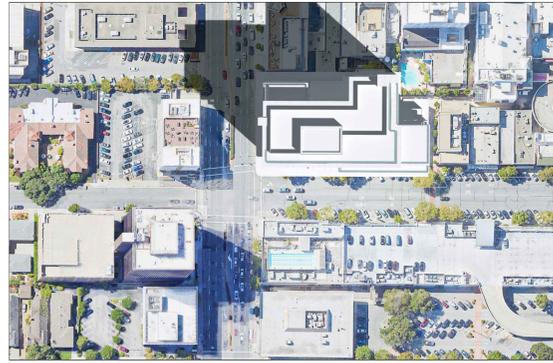
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AUTUMN EQUINOX - 9 AM

SCALE: N.T.S.

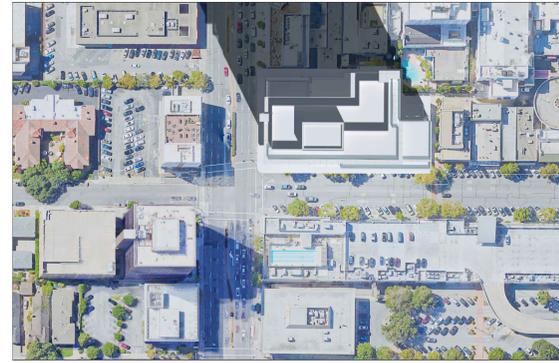
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SUMMER SOLSTICE - 9 AM

SCALE: N.T.S.

5



SPRING EQUINOX - 9 AM

SCALE: N.T.S.

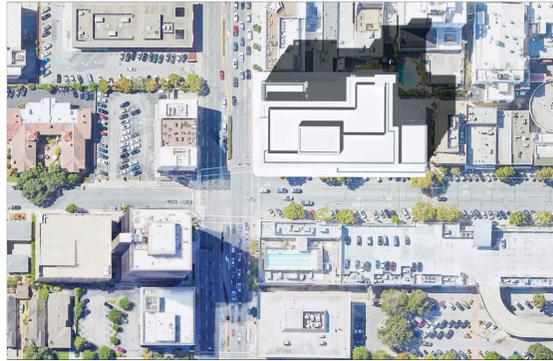
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WINTER SOLSTICE - 12 PM

SCALE: N.T.S.

14



AUTUMN EQUINOX - 12 PM

SCALE: N.T.S.

10



SUMMER SOLSTICE - 12 PM

SCALE: N.T.S.

6



SPRING EQUINOX - 12 PM

SCALE: N.T.S.

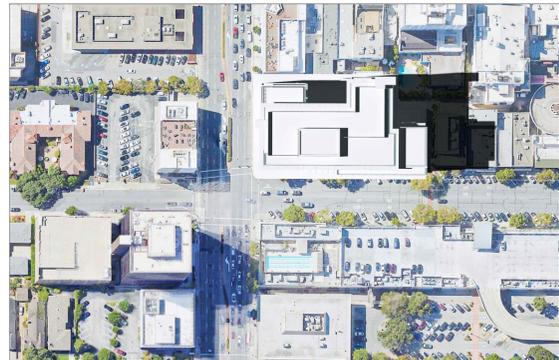
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AUTUMN EQUINOX - 2 PM

SCALE: N.T.S.

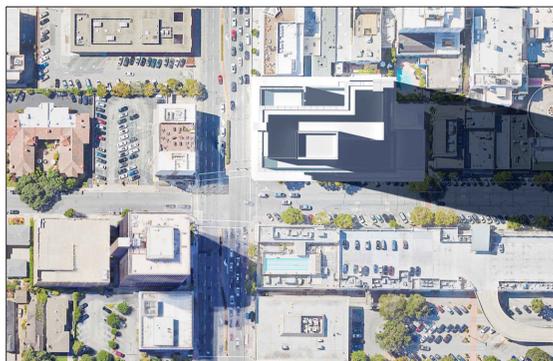
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SPRING EQUINOX - 2 PM

SCALE: N.T.S.

3



WINTER SOLSTICE - 4 PM

SCALE: N.T.S.

16



AUTUMN EQUINOX - 4 PM

SCALE: N.T.S.

12



SUMMER SOLSTICE - 4 PM

SCALE: N.T.S.

8



SPRING EQUINOX - 4 PM

SCALE: N.T.S.

4



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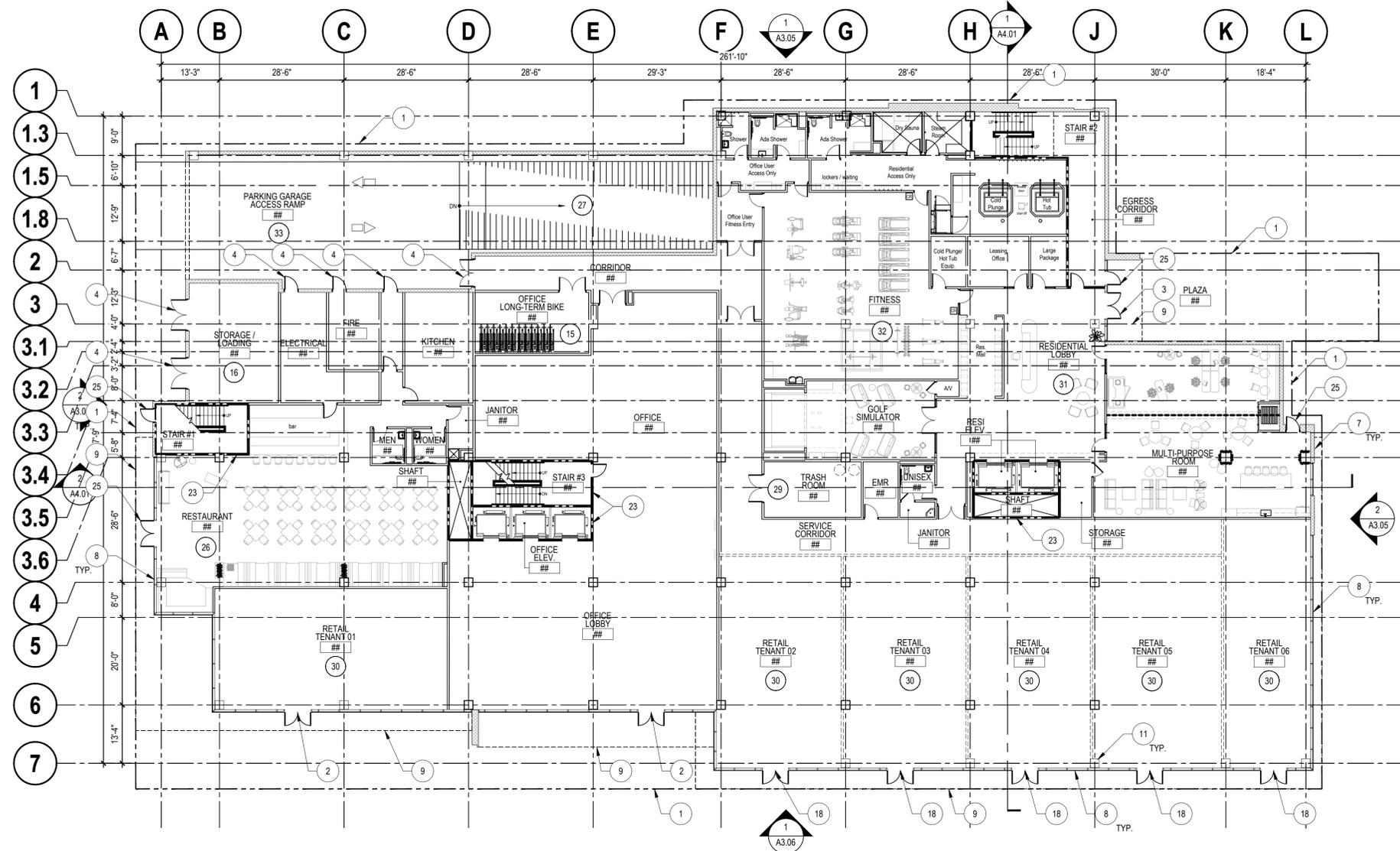
A Planning Application For:  
**MECAH VENTURES**  
1 E. 4TH AVENUE  
SAN MATEO CA 94401

DATE	DESCRIPTION
03.27.2025	SB330 APPL
05.30.2025	1ST PLANNING SUB

SOLAR SHADOW STUDY

**A1.11**

PROJECT NO: 24



## KEYNOTES - FLOOR PLAN

NOTE: NOT ALL KEYNOTES LISTED MAY APPLY TO THIS DRAWING.

- 1 EXISTING PROPERTY LINE
- 2 PRIMARY OFFICE ENTRANCE
- 3 PRIMARY RESIDENTIAL ENTRANCE
- 4 SERVICE DOOR
- 5 ACCESS RAMP TO BELOW GRADE PARKING STRUCTURE W/ TRANSITION SLOPE TOP BOTTOM SIDEWALK
- 6 2-HR FIRE RATED WALLS AT TRASH CHUTTE
- 7 EXTERIOR WALLS - REFER TO EXTERIOR ELEVATIONS
- 8 EXTERIOR ALUM./ GLASS WINDOW SYSTEM
- 9 CANOPY ABOVE (SHOWN DASHED)
- 10 CANOPY BELOW
- 11 STRUCTURAL COLUMN
- 12 2HR. MECHANICAL SHAFT
- 13 SECONDARY OFFICE ENTRANCE
- 14 LOADING/ STORAGE
- 15 OFFICE LONG-TERM BIKE LOCKERS
- 16 RESIDENTIAL TRANSFORMER
- 17 42"H. AFF PARAPET WALL
- 18 RETAIL ENTRANCE
- 19 PRIVATE RESIDENTIAL BALCONY WITH 42"H. GUARDRAIL
- 20 EXTERIOR SLIDING GLASS DOOR
- 21 1HR FIRE RATED DEMISING WALL AT DWELLING UNIT
- 22 1HR FIRE RATED WALL AT HALLWAY
- 23 2HR FIRE RATED WALL AT STAIRS, ELEVATORS AND SHAFT
- 24 ARCHITECTURAL FIN
- 25 EGRESS DOOR
- 26 RESTAURANT
- 27 PARKING GARAGE ACCESS RAMP
- 28 OPEN OFFICE AREA
- 29 TRASH ROOM
- 30 RETAIL
- 31 RESIDENTIAL LOBBY
- 32 FITNESS
- 33 COVERED PARKING ENTRANCE
- 34 42" H. GUARDRAIL AT BALCONY
- 35 MECHANICAL EQUIPMENT SCREEN

## FLOOR PLAN - LEVEL 01

SCALE: 1/16" = 1'-0"



Private Residential Open Space at level 2 (S.F.) - Provided	681
Common Residential Open Space at Level 4 (S.F.) - Provided	3,990
Private Residential Open Space at level 3 (S.F.) - Provided	681
Private Residential Open Space at level 4 (S.F.) - Provided	681
Private Residential Open Space at level 5 (S.F.) - Provided	681
Private Residential Open Space at level 6 (S.F.) - Provided	681
Private Residential Open Space at level 7 (S.F.) - Provided	681
Private Residential Open Space at level 8 (S.F.) - Provided	466
Private Residential Open Space at level 9 (S.F.) - Provided	466
Private Residential Open Space at level 10 (S.F.) - Provided	466
<b>Total open space private + common (residential) - Provided</b>	<b>9474</b>
Office Open Space at Level 11 (S.F.) - Provided	758
Office Open Space at Level 12 (S.F.) - Provided	609
Office Open Space at Level 13 (S.F.) - Provided	4282
Office Open Space at Level 14 (S.F.) - Provided	3673
Office Open Space at Level 15 (S.F.) - Provided	6157
Total Office Open Space (S.F.) - Required (1% of total office area or 0.01 x 112,131 S.F.)	1,121
<b>Total Common Office Open Space (S.F.) - Provided</b>	<b>15479</b>

Use	Level 1	Level 11	Level 12	Level 13	Level 14	Level 15	Total Area	Project FAR
Retail Area	8,458						8,458	
Restaurant Area	3,436						3,436	
Office Area	9,423	27,177	26,648	23,135	19,278	2,206	107,867	
<b>Total FAR Floor Area</b>							<b>119,761</b>	<b>3.0</b>

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California  
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San Jose, CA 95113 408.496.1121

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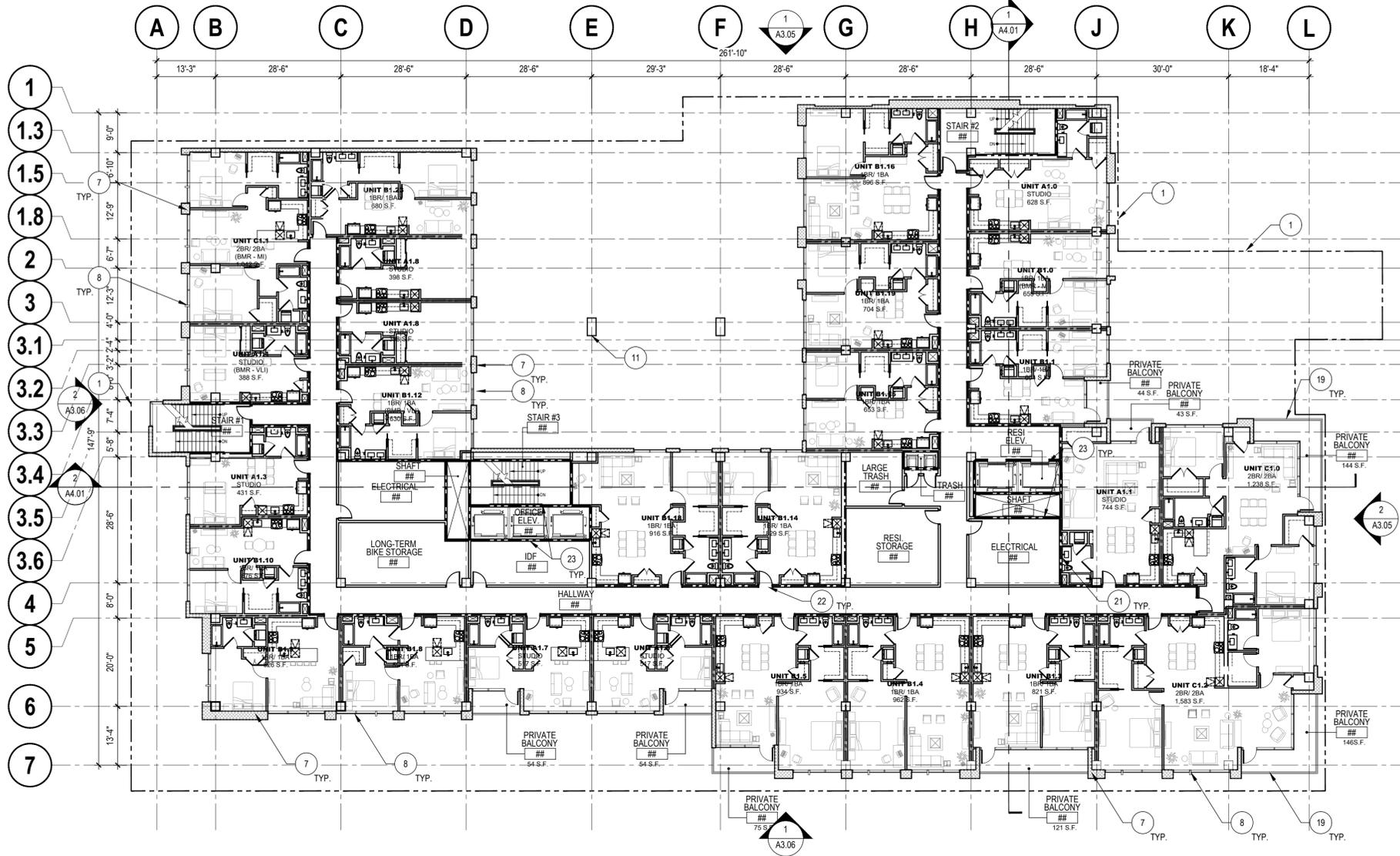
DATE	DESCRIPTION
03.27.2025	S8330 APPLICATION
05.30.2025	1ST PLANNING SUBMITTAL

FLOOR PLAN  
LEVEL 01

**A 2.11**

PROJECT NO: 246148





## KEYNOTES - FLOOR PLAN

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- 26 RESTAURANT
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- 28 OPEN OFFICE AREA
- 29 TRASH ROOM
- 30 RETAIL
- 31 RESIDENTIAL LOBBY
- 32 FITNESS
- 33 COVERED PARKING ENTRANCE
- 34 42" H. GUARDRAIL AT BALCONY
- 35 MECHANICAL EQUIPMENT SCREEN

## FLOOR PLAN - LEVEL 03

SCALE: 1/16" = 1'-0"



Open Space	Private Residential Open Space at level 2 (S.F.) - Provided	681
	Common Residential Open Space at Level 4 (S.F.) - Provided	3,990
	Private Residential Open Space at level 3 (S.F.) - Provided	681
	Private Residential Open Space at level 4 (S.F.) - Provided	681
	Private Residential Open Space at level 5 (S.F.) - Provided	681
	Private Residential Open Space at level 6 (S.F.) - Provided	681
	Private Residential Open Space at level 7 (S.F.) - Provided	681
	Private Residential Open Space at level 8 (S.F.) - Provided	466
	Private Residential Open Space at level 9 (S.F.) - Provided	466
	Private Residential Open Space at level 10 (S.F.) - Provided	466
	<b>Total open space private + common (residential) - Provided</b>	<b>9474</b>
	Office Open Space at Level 11 (S.F.) - Provided	758
	Office Open Space at Level 12 (S.F.) - Provided	609
	Office Open Space at Level 13 (S.F.) - Provided	4282
	Office Open Space at Level 14 (S.F.) - Provided	3673
Office Open Space at Level 15 (S.F.) - Provided	6157	
Total Office Open Space (S.F.) - Required (1% of total office area or 0.01 x 112,131 S.F.)	1,121	
<b>Total Common Office Open Space (S.F.) - Provided</b>	<b>15479</b>	

Floor Area	Use	Level						Total Area	Project FAR
		Level 1	Level 11	Level 12	Level 13	Level 14	Level 15		
	Retail Area	8,458						8,458	
	Restaurant Area	3,436						3,436	
	Office Area	9,423	27,177	26,648	23,135	19,278	2,206	107,867	
	<b>Total FAR Floor Area</b>							<b>119,761</b>	<b>3.0</b>

### BMR UNIT BREAKDOWN

UNIT TYPE	TAG	AREA (S.F.)	LOCATION	# VLI (VERY LOW INCOME) UNITS	# LI (LOW INCOME) UNITS	# MOD (MODERATE INCOME) UNITS	TOTAL BMR UNITS	% BMR UNITS
STUDIO	A1.4	388	LEVEL 02	1	0	0	1	3%
1BED/1BA	B1.0	659	LEVEL 02	1	0	1	2	6%
2BED/2BA	C1.1	1,127	LEVEL 02	0	0	1	1	3%
STUDIO	A1.4	388	LEVEL 03	1	0	0	1	3%
1BED/1BA	B1.0	659	LEVEL 03	1	0	1	2	6%
2BED/2BA	C1.1	1,127	LEVEL 03	0	0	1	1	3%
STUDIO	A1.4	388	LEVEL 04	1	0	0	1	3%
1BED/1BA	B1.0	659	LEVEL 04	1	0	2	3	8%
STUDIO	A1.4	388	LEVEL 05	1	0	0	1	3%
1BED/1BA	B1.0	659	LEVEL 05	1	0	2	3	8%
STUDIO	A1.4	388	LEVEL 06	1	0	0	1	3%
1BED/1BA	B1.0	659	LEVEL 06	1	0	2	3	8%
STUDIO	A1.4	388	LEVEL 07	1	0	0	1	3%
1BED/1BA	B1.0	659	LEVEL 07	1	0	2	3	8%
STUDIO	A1.4	388	LEVEL 08	1	0	0	1	3%
1BED/1BA	B1.0	659	LEVEL 08	1	0	2	3	8%
STUDIO	A1.4	388	LEVEL 09	1	0	0	1	3%
1BED/1BA	B1.12	630	LEVEL 09	1	0	1	2	6%
2BED/2BA	C1.1	1,127	LEVEL 09	0	0	1	1	3%
STUDIO	A1.4	388	LEVEL 10	1	0	0	1	3%
1BED/1BA	B1.12	630	LEVEL 10	1	0	1	2	6%
2BED/2BA	C1.1	1,127	LEVEL 10	0	0	1	1	3%
<b>TOTAL BMR UNITS</b>				<b>18</b>	<b>0</b>	<b>18</b>	<b>36</b>	



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A Planning Application For:  
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1 E. 4TH AVENUE  
SAN MATEO, CA 94401

DATE	DESCRIPTION
03.27.2025	SB330 APPLICATION
05.30.2025	1ST PLANNING SUBMITTA

FLOOR PLAN  
LEVEL 03

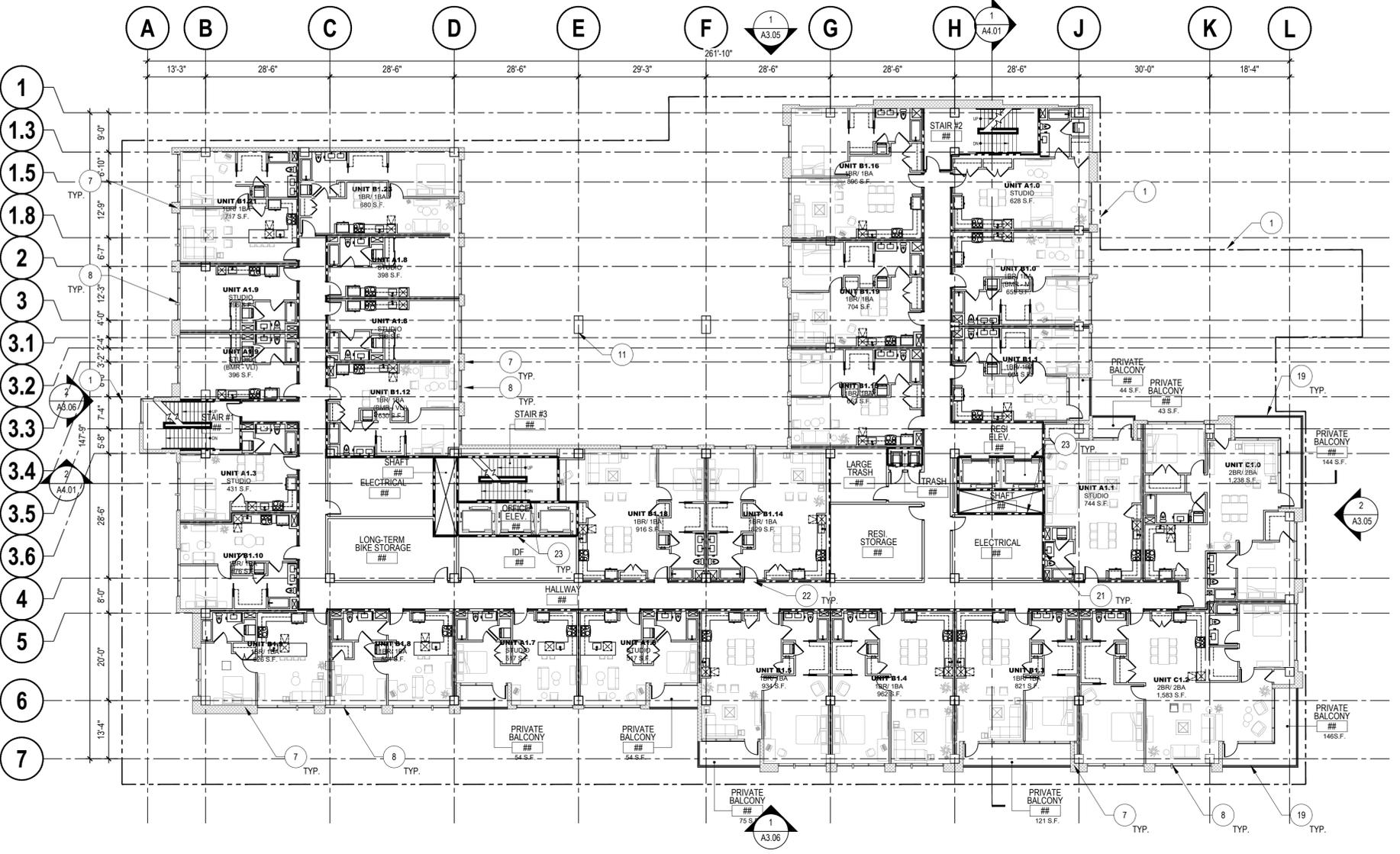
**A 2.13**

PROJECT NO: 246148

# KEYNOTES - FLOOR PLAN

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- 28 OPEN OFFICE AREA
- 29 TRASH ROOM
- 30 RETAIL
- 31 RESIDENTIAL LOBBY
- 32 FITNESS
- 33 COVERED PARKING ENTRANCE
- 34 42" H. GUARDRAIL AT BALCONY
- 35 MECHANICAL EQUIPMENT SCREEN



## FLOOR PLAN - LEVEL 04 THRU LEVEL 07

SCALE: 1/16" = 1'-0"



Private Residential Open Space at level 2 (S.F.) - Provided	681
Common Residential Open Space at Level 4 (S.F.) - Provided	3,990
Private Residential Open Space at level 3 (S.F.) - Provided	681
Private Residential Open Space at level 4 (S.F.) - Provided	681
Private Residential Open Space at level 5 (S.F.) - Provided	681
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Private Residential Open Space at level 10 (S.F.) - Provided	466
<b>Total open space private + common (residential) - Provided</b>	<b>9474</b>
Office Open Space at Level 11 (S.F.) - Provided	758
Office Open Space at Level 12 (S.F.) - Provided	609
Office Open Space at Level 13 (S.F.) - Provided	4282
Office Open Space at Level 14 (S.F.) - Provided	3673
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<b>Total Common Office Open Space (S.F.) - Provided</b>	<b>15479</b>

BMR UNIT BREAKDOWN								
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1BED/1BA	B1.0	659	LEVEL 02	1	0	1	2	6%
2BED/2BA	C1.1	1,127	LEVEL 02	0	0	1	1	3%
STUDIO	A1.4	388	LEVEL 03	1	0	0	1	3%
1BED/1BA	B1.0	659	LEVEL 03	1	0	1	2	6%
2BED/2BA	C1.1	1,127	LEVEL 03	0	0	1	1	3%
STUDIO	A1.4	388	LEVEL 04	1	0	0	1	3%
1BED/1BA	B1.0	659	LEVEL 04	1	0	2	3	8%
STUDIO	A1.4	388	LEVEL 05	1	0	0	1	3%
1BED/1BA	B1.0	659	LEVEL 05	1	0	2	3	8%
STUDIO	A1.4	388	LEVEL 06	1	0	0	1	3%
1BED/1BA	B1.0	659	LEVEL 06	1	0	2	3	8%
STUDIO	A1.4	388	LEVEL 07	1	0	0	1	3%
1BED/1BA	B1.0	659	LEVEL 07	1	0	2	3	8%
STUDIO	A1.4	388	LEVEL 08	1	0	0	1	3%
1BED/1BA	B1.0	659	LEVEL 08	1	0	2	3	8%
STUDIO	A1.4	388	LEVEL 09	1	0	0	1	3%
1BED/1BA	B1.12	630	LEVEL 09	1	0	1	2	6%
2BED/2BA	C1.1	1,127	LEVEL 09	0	0	1	1	3%
STUDIO	A1.4	388	LEVEL 10	1	0	0	1	3%
1BED/1BA	B1.12	630	LEVEL 10	1	0	1	2	6%
2BED/2BA	C1.1	1,127	LEVEL 10	0	0	1	1	3%
<b>TOTAL BMR UNITS</b>				<b>18</b>	<b>0</b>	<b>18</b>	<b>36</b>	

Floor Area	Use	Level						Total Area	Project FAR
		Level 1	Level 11	Level 12	Level 13	Level 14	Level 15		
	Retail Area	8,458						8,458	
	Restaurant Area	3,436						3,436	
	Office Area	9,423	27,177	26,648	23,135	19,278	2,206	107,867	
	<b>Total FAR Floor Area</b>							<b>119,761</b>	<b>3.0</b>



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DATE	DESCRIPTION
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FLOOR PLAN  
LEVEL 04 THRU LEVEL 07

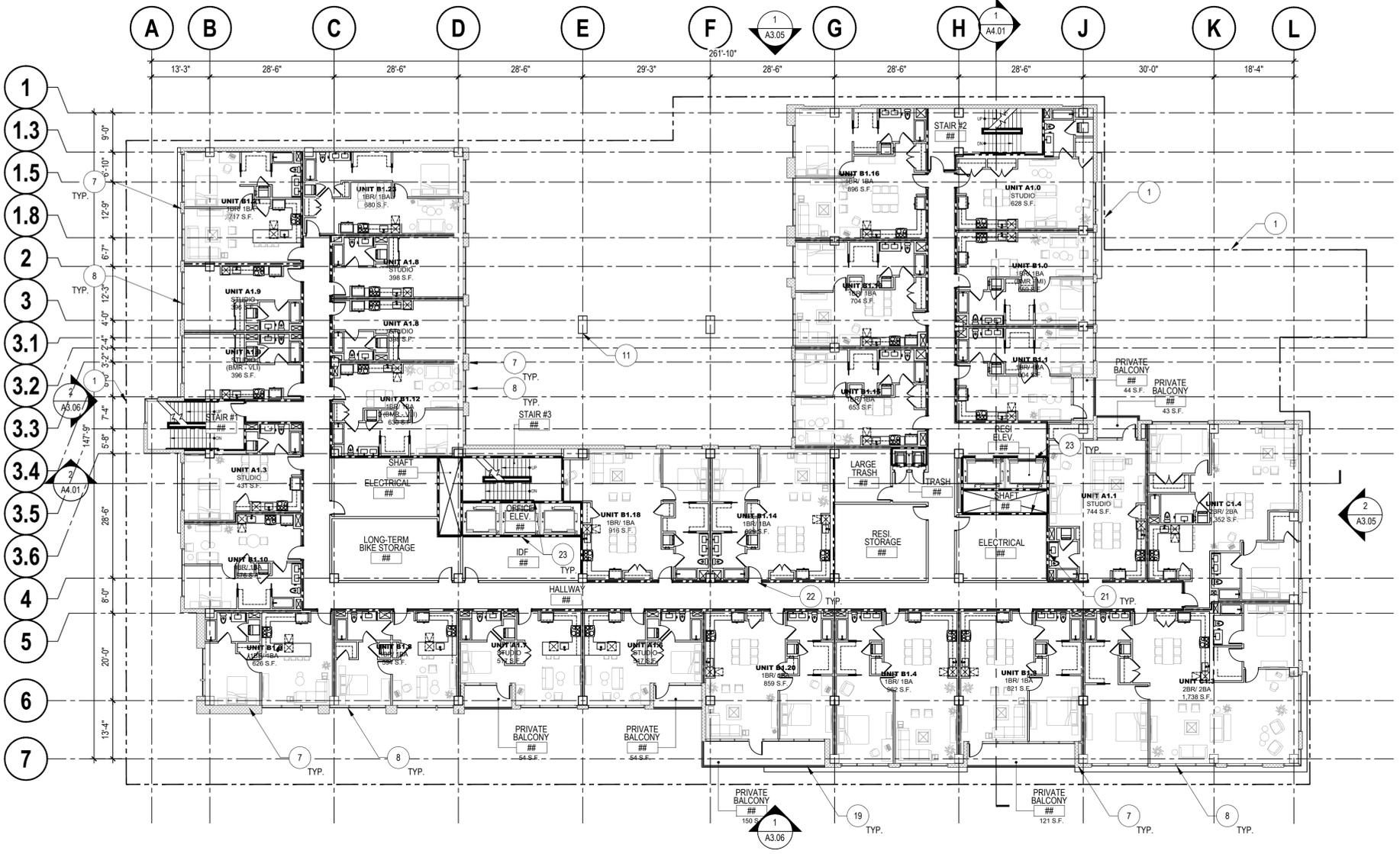
**A 2.14**

PROJECT NO: 246148

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FLOOR PLAN - LEVEL 08

SCALE: 1/16" = 1'-0"



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1BED/1BA	B1.0	659	LEVEL 04	1	0	2	3	8%
STUDIO	A1.4	388	LEVEL 05	1	0	0	1	3%
1BED/1BA	B1.0	659	LEVEL 05	1	0	2	3	8%
STUDIO	A1.4	388	LEVEL 06	1	0	0	1	3%
1BED/1BA	B1.0	659	LEVEL 06	1	0	2	3	8%
STUDIO	A1.4	388	LEVEL 07	1	0	0	1	3%
1BED/1BA	B1.0	659	LEVEL 07	1	0	2	3	8%
STUDIO	A1.4	388	LEVEL 08	1	0	0	1	3%
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<b>TOTAL BMR UNITS</b>				<b>18</b>	<b>0</b>	<b>18</b>	<b>36</b>	

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	Office Area	9,423	27,177	26,648	23,135	19,278	2,206	107,867		
	<b>Total FAR Floor Area</b>							<b>119,761</b>		<b>3.0</b>



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In Association with:

A Planning Application For:  
**MECAH VENTURES**  
1 E. 4TH AVENUE  
SAN MATEO, CA 94401

DATE	DESCRIPTION
03.27.2025	S8330 APPLICATION
05.30.2025	1ST PLANNING SUBMITTAL

FLOOR PLAN  
LEVEL 08

**A 2.15**

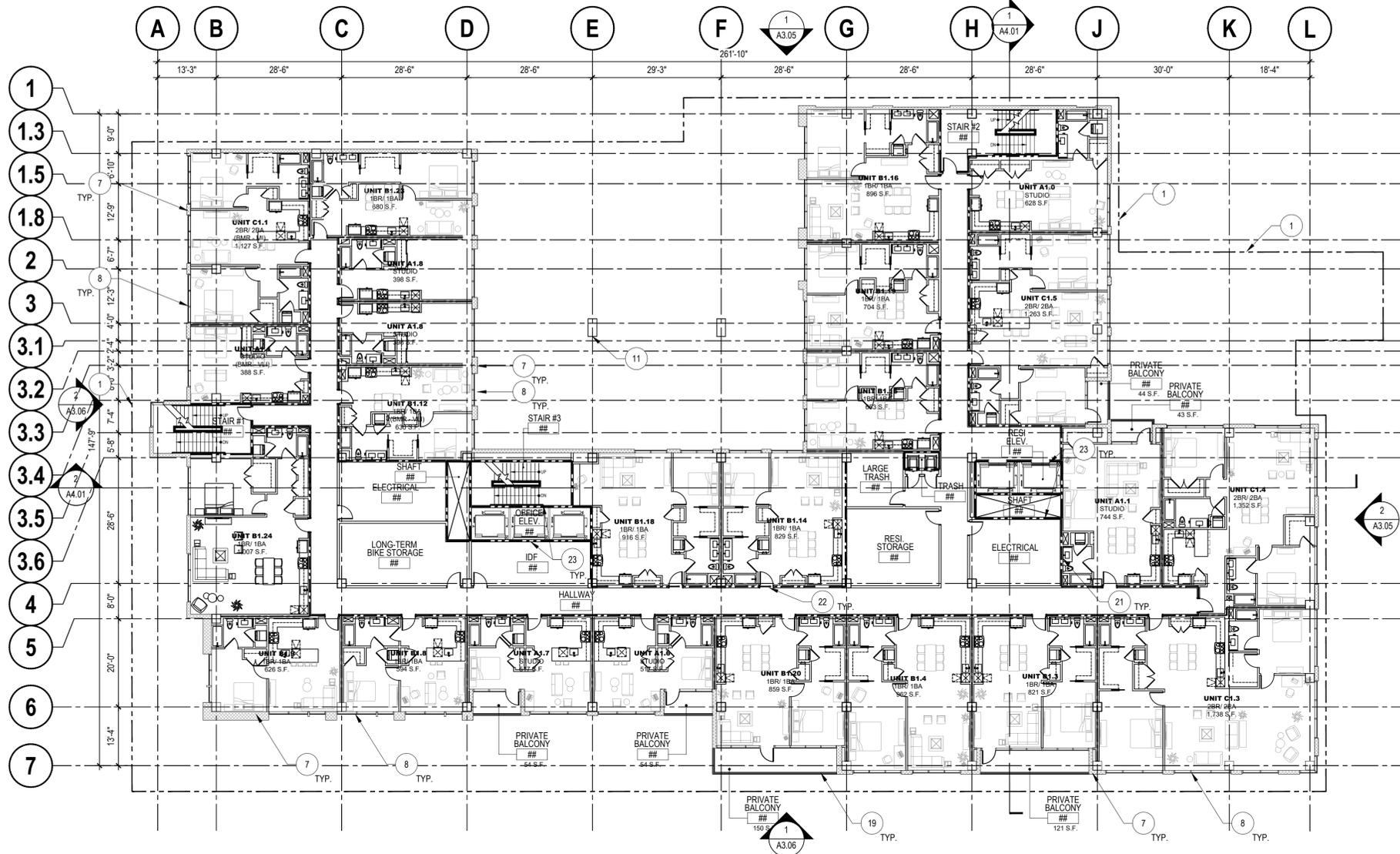
PROJECT NO: 246148

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# KEYNOTES - FLOOR PLAN

NOTE: NOT ALL KEYNOTES LISTED MAY APPLY TO THIS DRAWING.

- 1 EXISTING PROPERTY LINE
- 2 PRIMARY OFFICE ENTRANCE
- 3 PRIMARY RESIDENTIAL ENTRANCE
- 4 SERVICE DOOR
- 5 ACCESS RAMP TO BELOW GRADE PARKING STRUCTURE W/ TRANSITION SLOPE TOP BOTTOM SIDEWALK
- 6 2-HR FIRE RATED WALLS AT TRASH CHUTTE
- 7 EXTERIOR WALLS - REFER TO EXTERIOR ELEVATIONS
- 8 EXTERIOR ALUM./GLASS WINDOW SYSTEM
- 9 CANOPY ABOVE (SHOWN DASHED)
- 10 CANOPY BELOW
- 11 STRUCTURAL COLUMN
- 12 2HR. MECHANICAL SHAFT
- 13 SECONDARY OFFICE ENTRANCE
- 14 LOADING/STORAGE
- 15 OFFICE LONG-TERM BIKE LOCKERS
- 16 RESIDENTIAL TRANSFORMER
- 17 42"H. AFF. PARAPET WALL
- 18 RETAIL ENTRANCE
- 19 PRIVATE RESIDENTIAL BALCONY WITH 42"H. GUARDRAIL
- 20 EXTERIOR SLIDING GLASS DOOR
- 21 1HR FIRE RATED DEMISING WALL AT DWELLING UNIT
- 22 1HR FIRE RATED WALL AT HALLWAY
- 23 2HR FIRE RATED WALL AT STAIRS, ELEVATORS AND SHAFT
- 24 ARCHITECTURAL FIN
- 25 EGRESS DOOR
- 26 RESTAURANT
- 27 PARKING GARAGE ACCESS RAMP
- 28 OPEN OFFICE AREA
- 29 TRASH ROOM
- 30 RETAIL
- 31 RESIDENTIAL LOBBY
- 32 FITNESS
- 33 COVERED PARKING ENTRANCE
- 34 42" H. GUARDRAIL AT BALCONY
- 35 MECHANICAL EQUIPMENT SCREEN



FLOOR PLAN - LEVEL 09

SCALE: 1/16" = 1'-0"



Private Residential Open Space at level 2 (S.F.) - Provided	681
Common Residential Open Space at Level 4 (S.F.) - Provided	3,990
Private Residential Open Space at level 3 (S.F.) - Provided	681
Private Residential Open Space at level 4 (S.F.) - Provided	681
Private Residential Open Space at level 5 (S.F.) - Provided	681
Private Residential Open Space at level 6 (S.F.) - Provided	681
Private Residential Open Space at level 7 (S.F.) - Provided	681
Private Residential Open Space at level 8 (S.F.) - Provided	466
Private Residential Open Space at level 9 (S.F.) - Provided	466
Private Residential Open Space at level 10 (S.F.) - Provided	466
<b>Total open space private + common (residential) - Provided</b>	<b>9474</b>
Office Open Space at Level 11 (S.F.) - Provided	758
Office Open Space at Level 12 (S.F.) - Provided	609
Office Open Space at Level 13 (S.F.) - Provided	4282
Office Open Space at Level 14 (S.F.) - Provided	3673
Office Open Space at Level 15 (S.F.) - Provided	6157
Total Office Open Space (S.F.) - Required (1% of total office area or 0.01 x 112,131 S.F.)	1,121
<b>Total Common Office Open Space (S.F.) - Provided</b>	<b>15479</b>

BMR UNIT BREAKDOWN								
UNIT TYPE	TAG	AREA (S.F.)	LOCATION	# VLI (VERY LOW INCOME) UNITS	# LI (LOW INCOME) UNITS	# MOD (MODERATE INCOME) UNITS	TOTAL BMR UNITS	% BMR UNITS
STUDIO	A1.4	388	LEVEL 02	1	0	0	1	3%
1BED/1BA	B1.0	659	LEVEL 02	1	0	1	2	6%
2BED/2BA	C1.1	1,127	LEVEL 02	0	0	1	1	3%
STUDIO	A1.4	388	LEVEL 03	1	0	0	1	3%
1BED/1BA	B1.0	659	LEVEL 03	1	0	1	2	6%
2BED/2BA	C1.1	1,127	LEVEL 03	0	0	1	1	3%
STUDIO	A1.4	388	LEVEL 04	1	0	0	1	3%
1BED/1BA	B1.0	659	LEVEL 04	1	0	2	3	8%
STUDIO	A1.4	388	LEVEL 05	1	0	0	1	3%
1BED/1BA	B1.0	659	LEVEL 05	1	0	2	3	8%
STUDIO	A1.4	388	LEVEL 06	1	0	0	1	3%
1BED/1BA	B1.0	659	LEVEL 06	1	0	2	3	8%
STUDIO	A1.4	388	LEVEL 07	1	0	0	1	3%
1BED/1BA	B1.0	659	LEVEL 07	1	0	2	3	8%
STUDIO	A1.4	388	LEVEL 08	1	0	0	1	3%
1BED/1BA	B1.0	659	LEVEL 08	1	0	2	3	8%
STUDIO	A1.4	388	LEVEL 09	1	0	0	1	3%
1BED/1BA	B1.12	630	LEVEL 09	1	0	1	2	6%
2BED/2BA	C1.1	1,127	LEVEL 09	0	0	1	1	3%
STUDIO	A1.4	388	LEVEL 10	1	0	0	1	3%
1BED/1BA	B1.12	630	LEVEL 10	1	0	1	2	6%
2BED/2BA	C1.1	1,127	LEVEL 10	0	0	1	1	3%
<b>TOTAL BMR UNITS</b>				<b>18</b>	<b>0</b>	<b>18</b>	<b>36</b>	

Floor Area	Use	Level					Total Area	Project FAR
		Level 1	Level 11	Level 12	Level 13	Level 14		
	Retail Area	8,458					8,458	
	Restaurant Area	3,436					3,436	
	Office Area	9,423	27,177	26,648	23,135	19,278	2,206	107,867
	<b>Total FAR Floor Area</b>							<b>119,761</b>
								<b>3.0</b>



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**MECAH VENTURES**  
1 E. 4TH AVENUE  
SAN MATEO, CA 94401

DATE	DESCRIPTION
03.27.2025	S8330 APPLICATION
05.30.2025	1ST PLANNING SUBMITTAL

FLOOR PLAN  
LEVEL 09

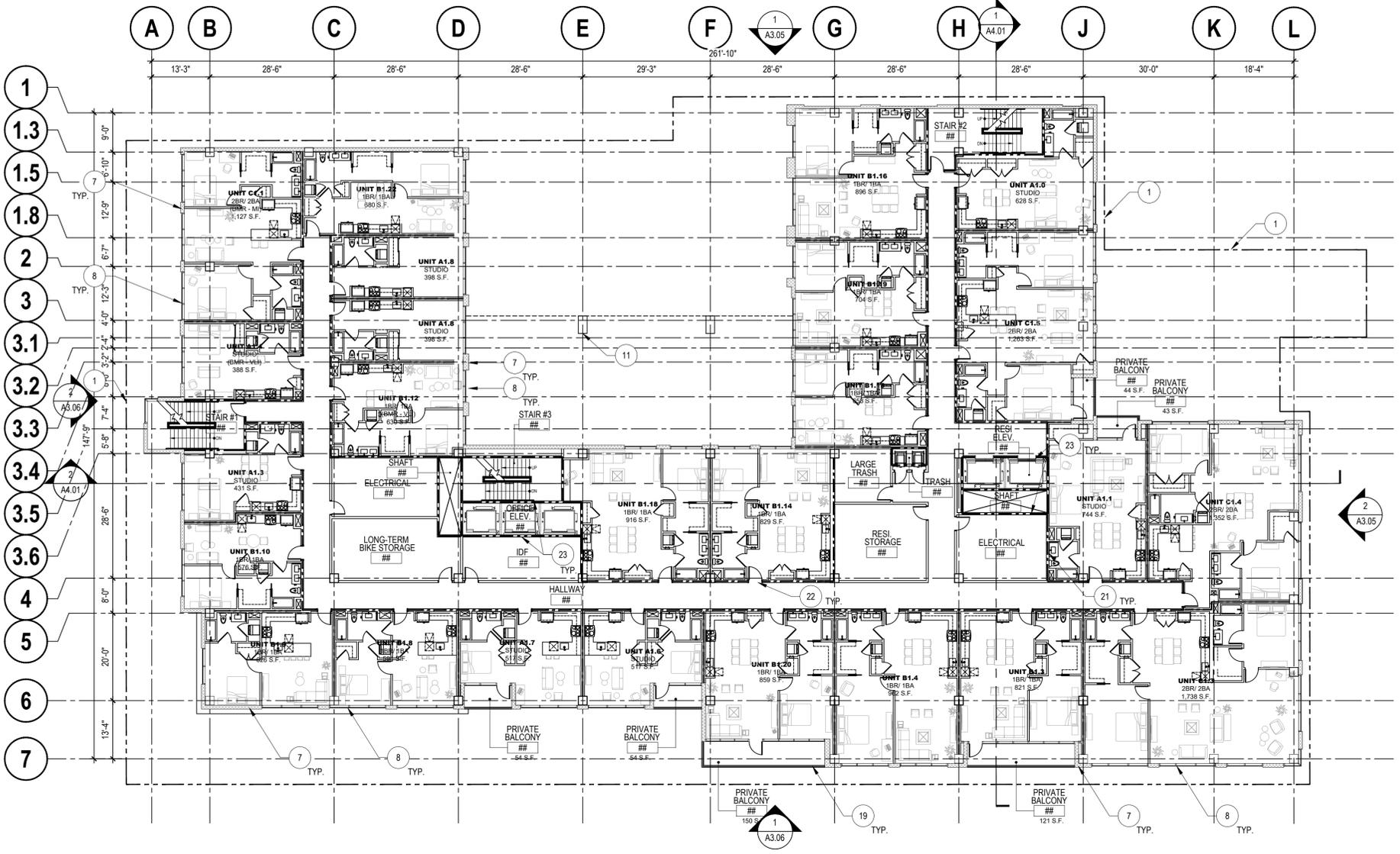
**A 2.16**

PROJECT NO: 246148

# KEYNOTES - FLOOR PLAN

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- 32 FITNESS
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- 34 42" H. GUARDRAIL AT BALCONY
- 35 MECHANICAL EQUIPMENT SCREEN



FLOOR PLAN - LEVEL 10

SCALE: 1/16" = 1'-0"



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Common Residential Open Space at Level 4 (S.F.) - Provided	3,990
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Private Residential Open Space at level 9 (S.F.) - Provided	466
Private Residential Open Space at level 10 (S.F.) - Provided	466
<b>Total open space private + common (residential) - Provided</b>	<b>9474</b>
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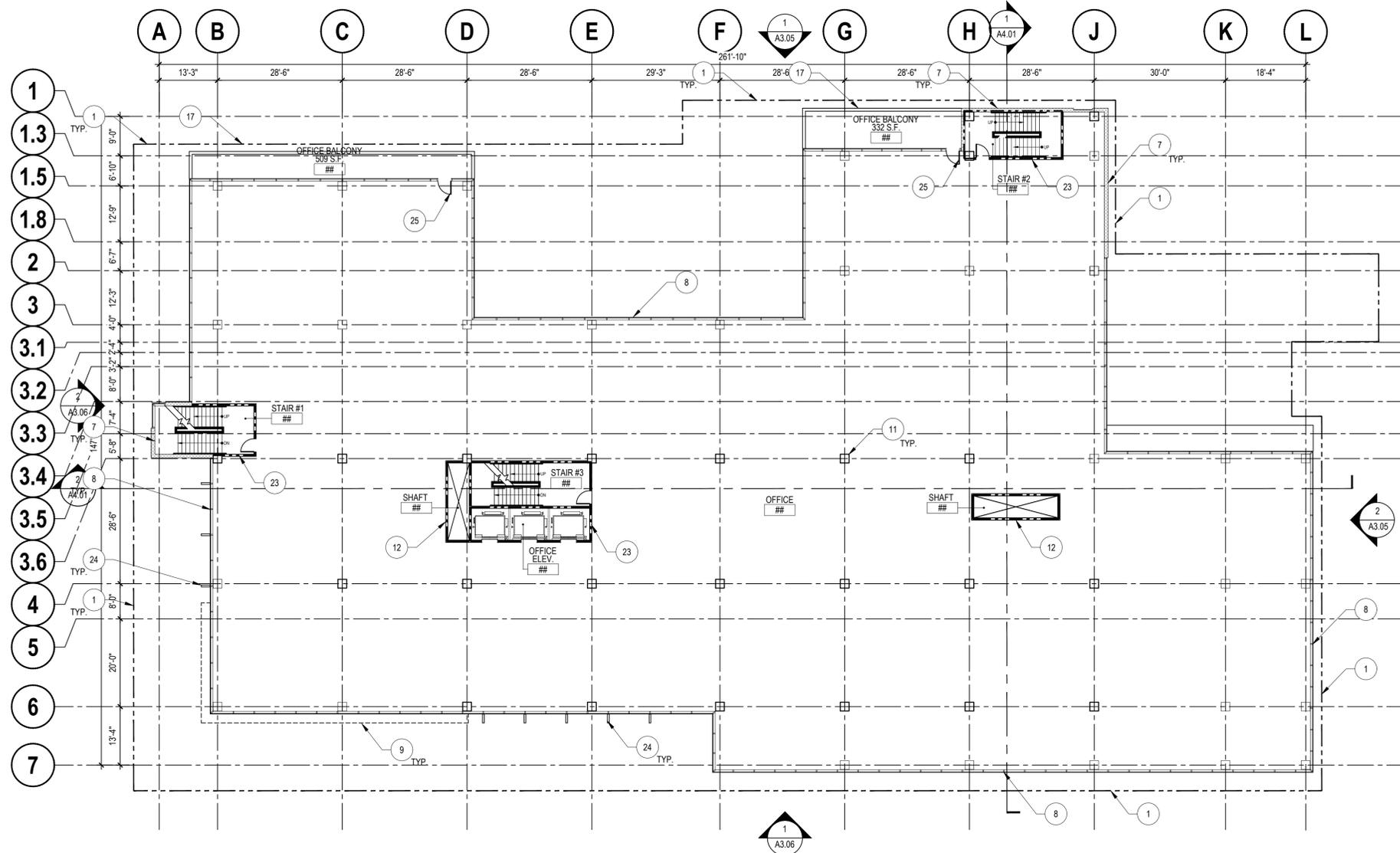
A Planning Application For:  
**MECAH VENTURES**  
1 E. 4TH AVENUE  
SAN MATEO, CA 94401

DATE	DESCRIPTION
03.27.2025	S8330 APPLICATION
05.30.2025	1ST PLANNING SUBMITTAL

FLOOR PLAN  
LEVEL 10

**A 2.17**

PROJECT NO: 246148



## KEYNOTES - FLOOR PLAN

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- 30 RETAIL
- 31 RESIDENTIAL LOBBY
- 32 FITNESS
- 33 COVERED PARKING ENTRANCE
- 34 42" H. GUARDRAIL AT BALCONY
- 35 MECHANICAL EQUIPMENT SCREEN

## FLOOR PLAN - LEVEL 11

SCALE: 1/16" = 1'-0"



Private Residential Open Space at level 2 (S.F.) - Provided	681
Common Residential Open Space at Level 4 (S.F.) - Provided	3,990
Private Residential Open Space at level 3 (S.F.) - Provided	681
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Private Residential Open Space at level 8 (S.F.) - Provided	466
Private Residential Open Space at level 9 (S.F.) - Provided	466
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In Association with:

A Planning Application For:  
**MECAH VENTURES**  
1 E. 4TH AVENUE  
SAN MATEO, CA 94401

DATE	DESCRIPTION
03.27.2025	S8330 APPLICATION
05.30.2025	1ST PLANNING SUBMITTAL

FLOOR PLAN  
LEVEL 11

**A 2.18**

PROJECT NO: 246148



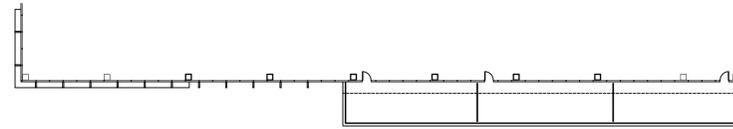




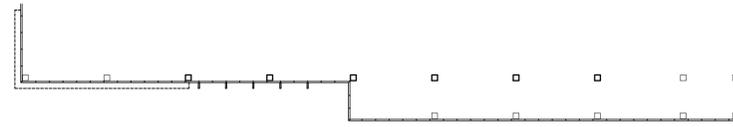




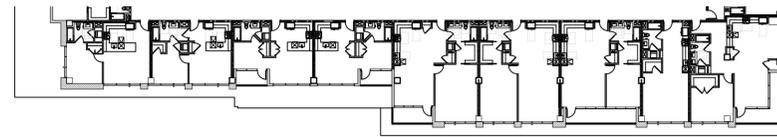




**PARTIAL FLOOR PLAN - LEVEL 13** 1  
SCALE: 1/32" = 1'-0"



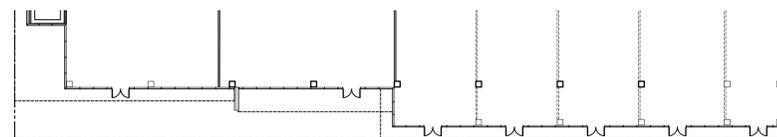
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SCALE: 1/32" = 1'-0"



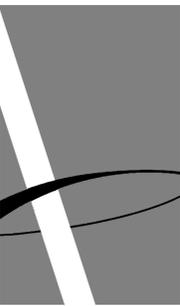
**PARTIAL FLOOR PLAN - LEVEL 02** 3  
SCALE: 1/32" = 1'-0"



**EAST 4TH AVENUE - EXTERIOR FACADE** 4  
SCALE: 1/32" = 1'-0"



**PARTIAL FLOOR PLAN - LEVEL 01** 5  
SCALE: 1/32" = 1'-0"



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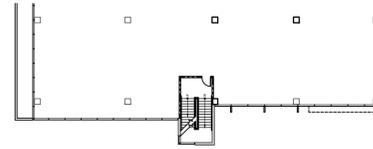
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DATE	DESCRIPTION
03.27.2025	SB330 APPLICATION
05.30.2025	1ST PLANNING SUBMITTAL

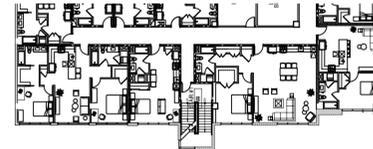
PARTIAL FLOOR PLANS  
/ EXTERIOR ELEVATION

**A3.11**

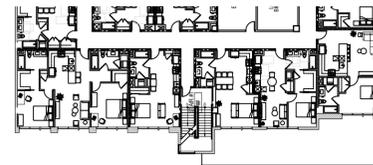
PROJECT NO: 246148



**PARTIAL FLOOR PLAN - LEVEL 13** 1  
SCALE: 1/32" = 1'-0"



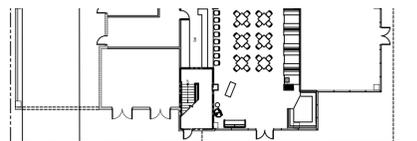
**PARTIAL FLOOR PLAN - LEVEL 11** 2  
SCALE: 1/32" = 1'-0"



**PARTIAL FLOOR PLAN - LEVEL 02** 3  
SCALE: 1/32" = 1'-0"



**N. EL CAMINO REAL - EXTERIOR FACADE** 4  
SCALE: 1/32" = 1'-0"



**PARTIAL FLOOR PLAN - LEVEL 01** 5  
SCALE: 1/32" = 1'-0"



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A Planning Application For:  
**MECAH VENTURES**  
1 E. 4TH AVENUE  
SAN MATEO, CA 94401

DATE	DESCRIPTION
03.27.2025	SB330 APPLICATION
05.30.2025	1ST PLANNING SUBMITTAL

PARTIAL FLOOR PLANS  
/ EXTERIOR ELEVATION

**A3.12**

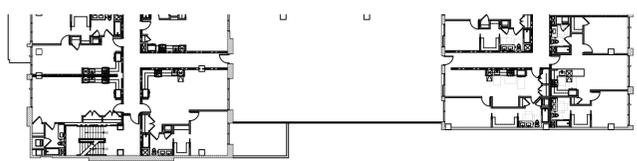
PROJECT NO: 246148



**PARTIAL FLOOR PLAN - LEVEL 13** ①  
SCALE: 1/32" = 1'-0"



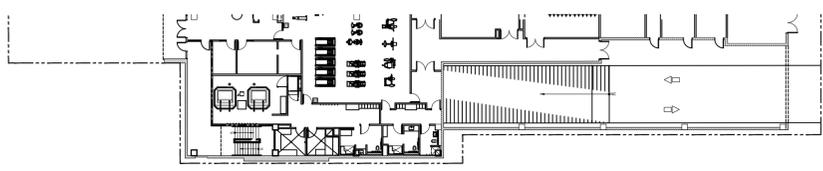
**PARTIAL FLOOR PLAN - LEVEL 11** ②  
SCALE: 1/32" = 1'-0"



**PARTIAL FLOOR PLAN - LEVEL 02** ③  
SCALE: 1/32" = 1'-0"



**NORTH (REAR) - EXTERIOR FACADE** ④  
SCALE: 1/32" = 1'-0"



**PARTIAL FLOOR PLAN - LEVEL 01** ⑤  
SCALE: 1/32" = 1'-0"



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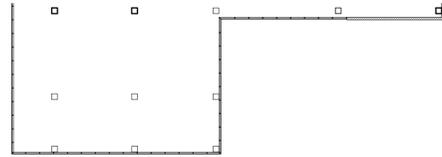
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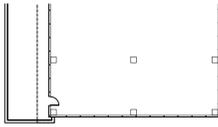
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05.30.2025	1ST PLANNING SUBMITTAL

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/ EXTERIOR ELEVATION

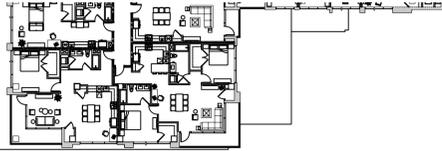
**A3.13**  
PROJECT NO: 246148



**PARTIAL FLOOR PLAN - LEVEL 13** ①  
SCALE: 1/32" = 1'-0"



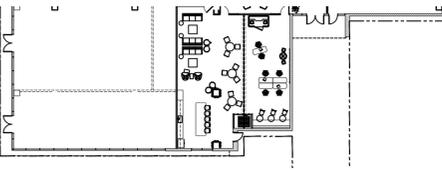
**PARTIAL FLOOR PLAN - LEVEL 11** ②  
SCALE: 1/32" = 1'-0"



**PARTIAL FLOOR PLAN - LEVEL 02** ③  
SCALE: 1/32" = 1'-0"



**EAST (ALLEY) - EXTERIOR FACADE** ④  
SCALE: 1/32" = 1'-0"



**PARTIAL FLOOR PLAN - LEVEL 01** ⑤  
SCALE: 1/32" = 1'-0"



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PARTIAL FLOOR PLANS  
/ EXTERIOR ELEVATION

**A3.14**

PROJECT NO: 246148





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DATE	DESCRIPTION
03.27.2025	SB830 APPLICATION
05.30.2025	1ST PLANNING SUBMITTAL

EXTERIOR ELEVATION

**A3.16**

PROJECT NO: 246148



**N. EL CAMINO REAL - EXTERIOR FACADE**

SCALE: 1/16" = 1'-0"



### KEY NOTES - ELEVATIONS

NOT ALL KEYNOTES MAY APPLY

- |   |   |
|---|---|
| 1 EXISTING PROPERTY LINE  | 11 ALUMINUM/ GLASS ENTRY/EXIT RETAIL DOOR       |
| 2 PAINTED SMOOTH STUCCO - EXTERIOR WALL                         | 12 ARCHITECTURAL FIN                            |
| 3 BUTT JOINT CURTAIN WALL SYSTEM / STOREFRONT SYSTEM            | 13 ALUMINUM/ GLASS ENTRY/EXIT OFFICE LOBBY DOOR |
| 4 42" H. FRAMELESS GLASS GUARDRAIL                              | 14 ALUMINUM/ GLASS ENTRY/EXIT EGRESS DOOR       |
| 5 ALUMINUM COMPOSITE PARAPET WALL CAP                           | 15 BELOW GRADE PARKING ACCESS RAMP              |
| 6 ALUMINUM COMPOSITE CANOPY                                     | 16 PAINTED SMOOTH STUCCO - RECESSED WALL        |
| 7 MECHANICAL SCREEN   | 17 ALUMINUM COMPOSITE PANELS                    |
| 8 ALUMINUM/ GLASS ENTRY/EXIT RESIDENTIAL LOBBY DOOR             |   |
| 9 SERVICE DOOR - HM DOOR AND FRAME TO MATCH ADJACENT WALL COLOR |   |
| 10 EXPRESSED MULLION  |   |

### MATERIAL PALETTE

\* GLAZING SPECIFIED INDICATES GENERAL TONE AND COLOR. FINAL PERCEIVED COLOR AND CLARITY WILL VARY DEPENDING ON 1" INSULATED GLAZING SPECIFICATION TO BE DETERMINED AT TIME OF CONSTRUCTION DOCUMENTATION.

- |           |   |   |           |   |   |
|-----------|---|---|-----------|---|---|
| <b>G1</b> | <b>TYPE:</b><br><b>COLOR:</b><br><b>PRODUCT REF.:</b> | <b>1" INSULATED EXTERIOR GLAZING</b><br>LIGHT BLUE TINT<br>LOW TINT: VIRAQON1" INSULATED<br>VRE1-4725-OITC30 (1/4" CLEAR WITH VRE-4725 #2 - 1/2" AIRSPACE - 1/4" CLEAR HS). | <b>P1</b> | <b>TYPE:</b><br><b>COLOR:</b><br><b>PRODUCT REF.:</b> | <b>PAINT COLOR</b><br>SNOWBOUND<br>SHERWIN WILLIAMS - SW7004  |
| <b>G2</b> | <b>TYPE:</b><br><b>COLOR:</b><br><b>PRODUCT REF.:</b> | <b>1" INSULATED EXTERIOR GLAZING</b><br>DARK BLUE TINT<br>BLUE GLAZING TYPE: VIRAQON 1" INSULATED<br>VE27-2M (1/4" PACIFICA WITH VE-2M#2 - 1/2" AIRSPACE - 1/4" CLEAR).     | <b>P2</b> | <b>TYPE:</b><br><b>COLOR:</b><br><b>PRODUCT REF.:</b> | <b>PAINT COLOR</b><br>COCOA WHIP<br>SHERWIN WILLIAMS - SW9084 |
| <b>M1</b> | <b>TYPE:</b><br><b>COLOR:</b><br><b>PRODUCT REF.:</b> | <b>ALUMINUM COMPOSITE METAL PANEL</b><br>NIGHTFALL METALLIC<br>REYNOBOND SERIES THREE - PREMIUM 3-COAT METALLIC FINISH  |           |   |   |
| <b>M2</b> | <b>TYPE:</b><br><b>COLOR:</b><br><b>PRODUCT REF.:</b> | <b>ALUMINUM COMPOSITE METAL PANEL</b><br>ANODIC CLEAR<br>REYNOBOND SERIES TWO - PREMIUM 2-COAT MICA FINISH  |           |   |   |





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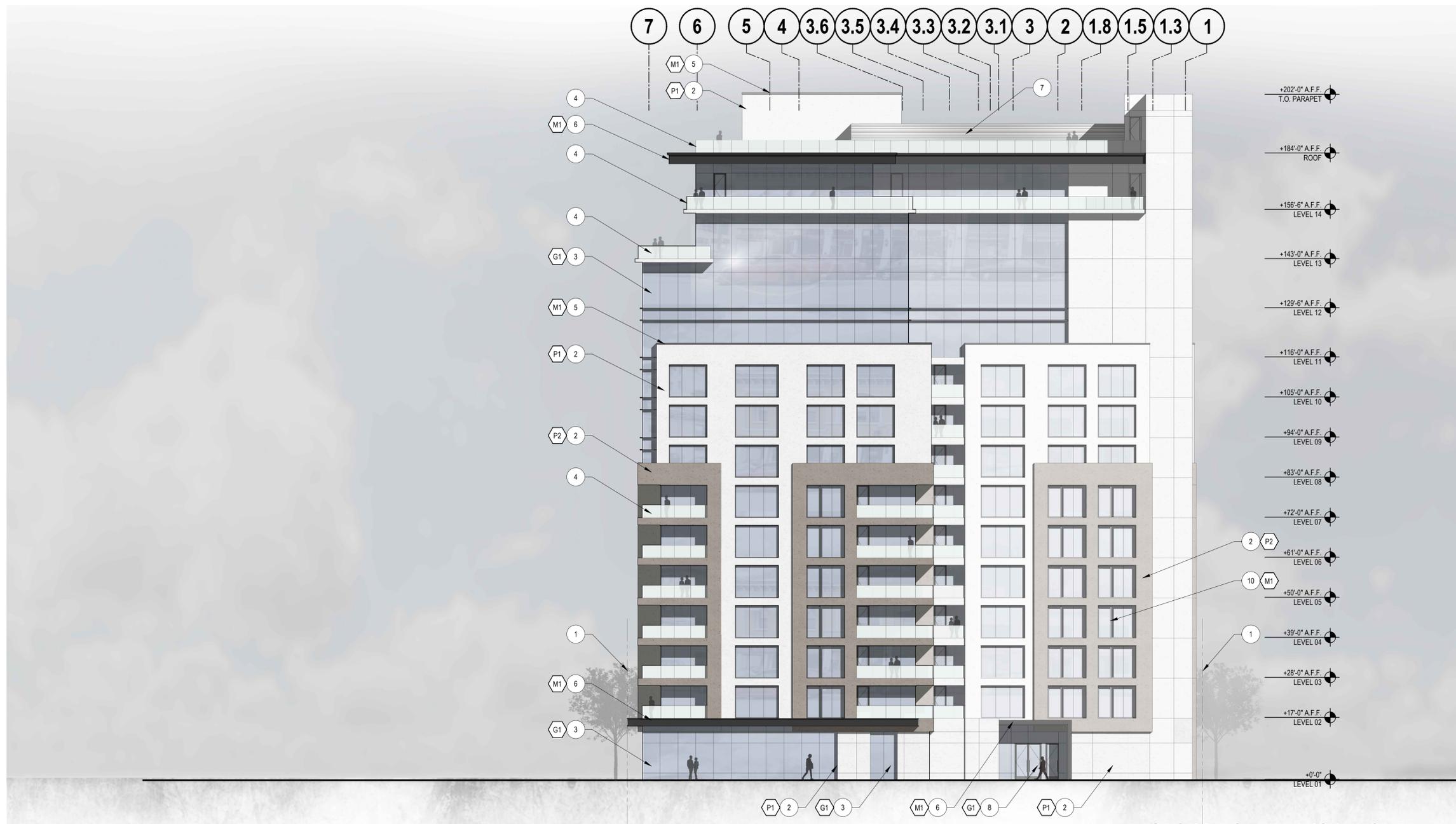
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DATE	DESCRIPTION
03.27.2025	SB830 APPLICATION
05.30.2025	1ST PLANNING SUBMITTAL

EXTERIOR ELEVATION

**A3.18**

PROJECT NO: 246148



**EAST (ALLEY) - EXTERIOR FACADE**

SCALE: 1/16" = 1'-0"

**KEY NOTES - ELEVATIONS**

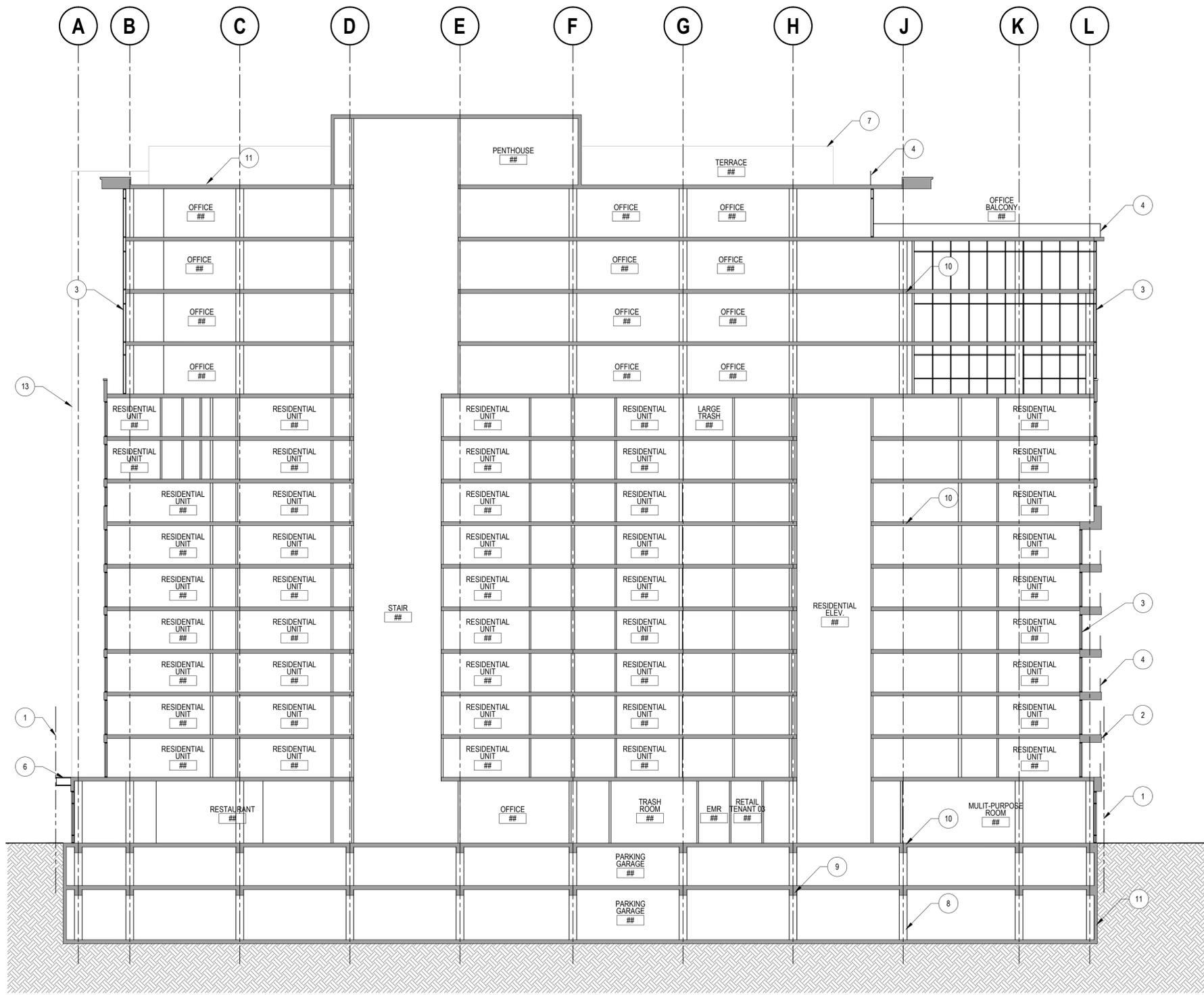
NOT ALL KEYNOTES MAY APPLY

- |   |   |
|---|---|
| 1 EXISTING PROPERTY LINE  | 11 ALUMINUM/ GLASS ENTRY/EXIT RETAIL DOOR       |
| 2 PAINTED SMOOTH STUCCO - EXTERIOR WALL                         | 12 ARCHITECTURAL FIN                            |
| 3 BUTT JOINT CURTAIN WALL SYSTEM / STOREFRONT SYSTEM            | 13 ALUMINUM/ GLASS ENTRY/EXIT OFFICE LOBBY DOOR |
| 4 42" H. FRAMELESS GLASS GUARDRAIL                              | 14 ALUMINUM/ GLASS ENTRY/EXIT EGRESS DOOR       |
| 5 ALUMINUM COMPOSITE PARAPET WALL CAP                           | 15 BELOW GRADE PARKING ACCESS RAMP              |
| 6 ALUMINUM COMPOSITE CANOPY                                     | 16 PAINTED SMOOTH STUCCO - RECESSED WALL        |
| 7 MECHANICAL SCREEN   | 17 ALUMINUM COMPOSITE PANELS                    |
| 8 ALUMINUM/ GLASS ENTRY/EXIT RESIDENTIAL LOBBY DOOR             |   |
| 9 SERVICE DOOR - HM DOOR AND FRAME TO MATCH ADJACENT WALL COLOR |   |
| 10 EXPRESSED MULLION  |   |

**MATERIAL PALETTE**

\* GLAZING SPECIFIED INDICATES GENERAL TONE AND COLOR. FINAL PERCEIVED COLOR AND CLARITY WILL VARY DEPENDING ON 1" INSULATED GLAZING SPECIFICATION TO BE DETERMINED AT TIME OF CONSTRUCTION DOCUMENTATION.

- |           |   |   |           |   |   |
|-----------|---|---|-----------|---|---|
| <b>G1</b> | <b>TYPE:</b><br><b>COLOR:</b><br><b>PRODUCT REF.:</b> | <b>1" INSULATED EXTERIOR GLAZING</b><br>LIGHT BLUE TINT<br>LOW TINT: VIRACON1" INSULATED<br>VRE1-4725-OITC30 (1/4" CLEAR WITH VRE-4725 #2 - 1/2" AIRSPACE - 1/4" CLEAR HS). | <b>P1</b> | <b>TYPE:</b><br><b>COLOR:</b><br><b>PRODUCT REF.:</b> | <b>PAINT COLOR</b><br>SNOWBOUND<br>SHERWIN WILLIAMS - SW7004  |
| <b>G2</b> | <b>TYPE:</b><br><b>COLOR:</b><br><b>PRODUCT REF.:</b> | <b>1" INSULATED EXTERIOR GLAZING</b><br>DARK BLUE TINT<br>BLUE GLAZING TYPE: VIRACON 1" INSULATED<br>VE27-2M (1/4" PACIFICA WITH VE-2M#2 - 1/2" AIRSPACE - 1/4" CLEAR).     | <b>P2</b> | <b>TYPE:</b><br><b>COLOR:</b><br><b>PRODUCT REF.:</b> | <b>PAINT COLOR</b><br>COCOA WHIP<br>SHERWIN WILLIAMS - SW9084 |
| <b>M1</b> | <b>TYPE:</b><br><b>COLOR:</b><br><b>PRODUCT REF.:</b> | <b>ALUMINUM COMPOSITE METAL PANEL</b><br>NIGHTFALL METALLIC<br>REYNOBOND SERIES THREE - PREMIUM 3-COAT METALLIC FINISH  |           |   |   |
| <b>M2</b> | <b>TYPE:</b><br><b>COLOR:</b><br><b>PRODUCT REF.:</b> | <b>ALUMINUM COMPOSITE METAL PANEL</b><br>ANODIC CLEAR<br>REYNOBOND SERIES TWO - PREMIUM 2-COAT MICA FINISH  |           |   |   |



### KEYNOTES

- 1 EXISTING PROPERTY LINE
- 2 PAINTED SMOOTH STUCCO - EXTERIOR WALL
- 3 BUTT JOINT CURTAIN WALL/ STOREFRONT SYSTEM
- 4 42"H. FRAMELESS GLASS GUARDRAIL
- 5 ALUMINUM COMPOSITE PARAPET WALL CAP
- 6 ALUMINUM COMPOSITE CANOPY SYSTEM
- 7 MECHANICAL EQUIPMENT SCREEN
- 8 REINFORCED CONCRETE COLUMN
- 9 CONCRETE BEAM
- 10 CONCRETE SLAB
- 11 CONCRETE RETAINING WALL WITH WATERPROOFING
- 12 SINGLE-PLY ROOFING SYSTEM OVER RIGID INSULATION
- 13 WALL BEYOND

- +202'-0" A.F.F. T.O. PARAPET
- +184'-0" A.F.F. T.O. PLATE
- +156'-6" A.F.F. LEVEL 14
- +143'-0" A.F.F. LEVEL 13
- +129'-6" A.F.F. LEVEL 12
- +116'-0" A.F.F. LEVEL 11
- +105'-0" A.F.F. LEVEL 10
- +94'-0" A.F.F. LEVEL 09
- +83'-0" A.F.F. LEVEL 08
- +72'-0" A.F.F. LEVEL 07
- +61'-0" A.F.F. LEVEL 06
- +50'-0" A.F.F. LEVEL 05
- +39'-0" A.F.F. LEVEL 04
- +28'-0" A.F.F. LEVEL 03
- +17'-0" A.F.F. LEVEL 02
- +0'-0" LEVEL 01
- 11'-0" LEVEL P1
- 25'-0" LEVEL P2

**BUILDING SECTION 1**  
SCALE: 1/16" = 1'-0"



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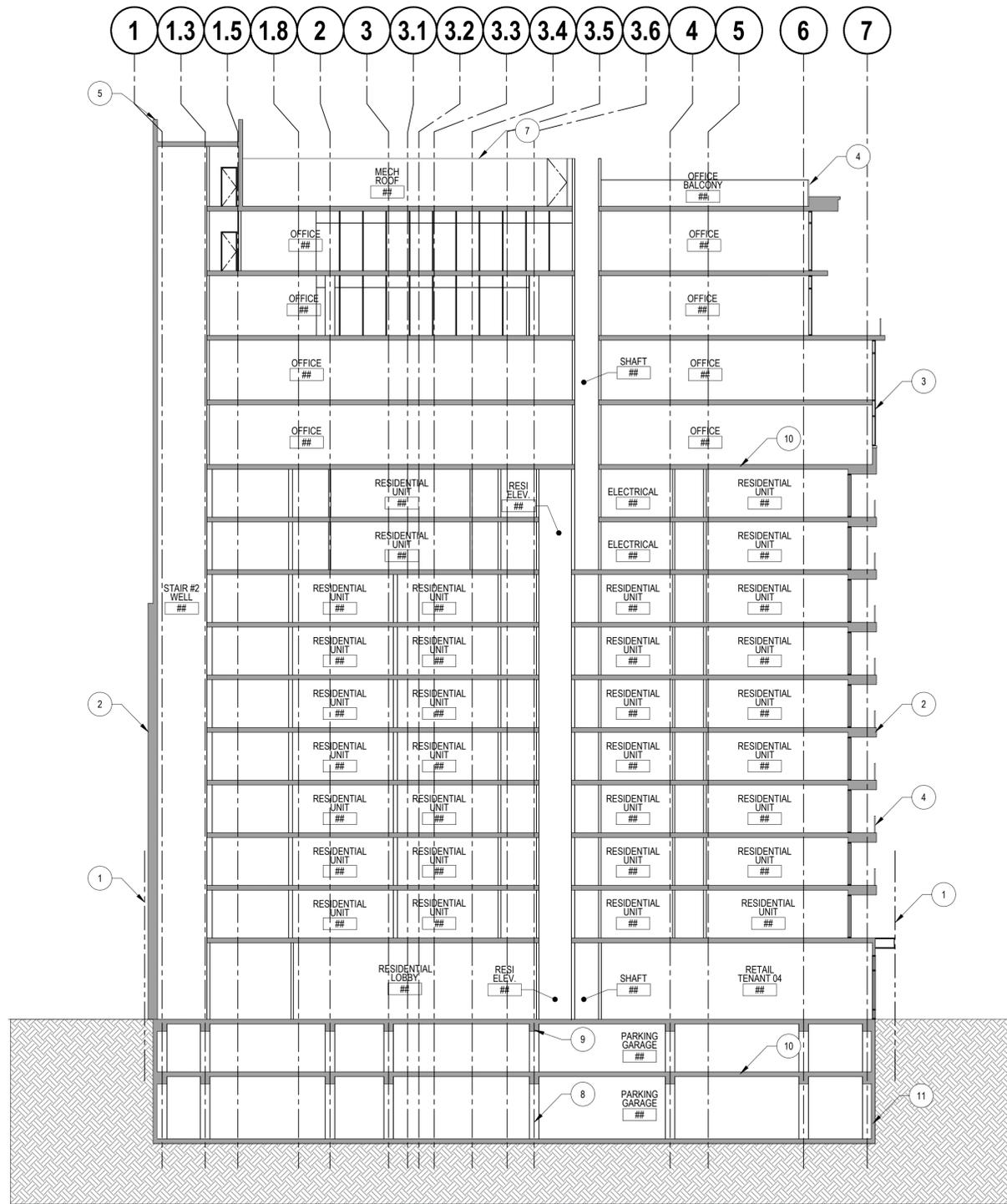
A Planning Application For:  
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05.30.2025	1ST PLANNING SUBMITTAL

BUILDING SECTION

**A4.11**

PROJECT NO: 246148

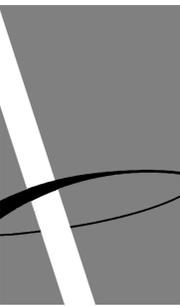


### KEYNOTES

- 1 EXISTING PROPERTY LINE
- 2 PAINTED SMOOTH STUCCO - EXTERIOR WALL
- 3 BUTT JOINT CURTAIN WALL/ STOREFRONT SYSTEM
- 4 42"H. FRAMELESS GLASS GUARDRAIL
- 5 ALUMINUM COMPOSITE PARAPET WALL CAP
- 6 ALUMINUM COMPOSITE CANOPY SYSTEM
- 7 MECHANICAL EQUIPMENT SCREEN
- 8 REINFORCED CONCRETE COLUMN
- 9 CONCRETE BEAM
- 10 CONCRETE SLAB
- 11 CONCRETE RETAINING WALL WITH WATERPROOFING
- 12 SINGLE-PLY ROOFING SYSTEM OVER RIGID INSULATION
- 13 WALL BEYOND

### BUILDING SECTION 1

SCALE: 1/16" = 1'-0"



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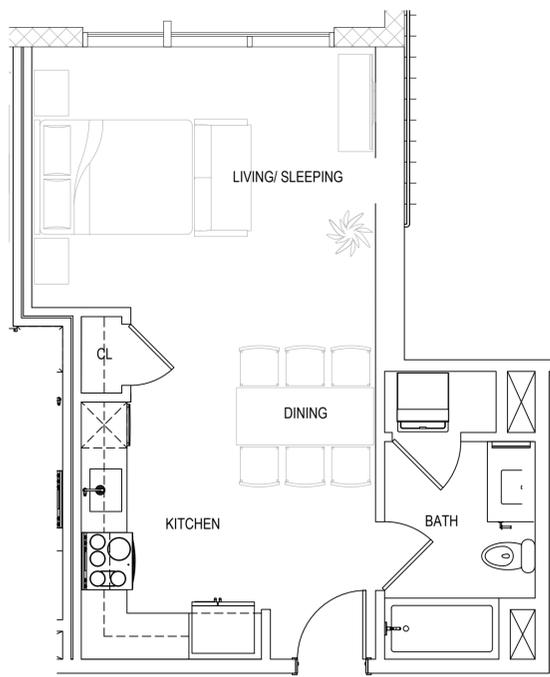
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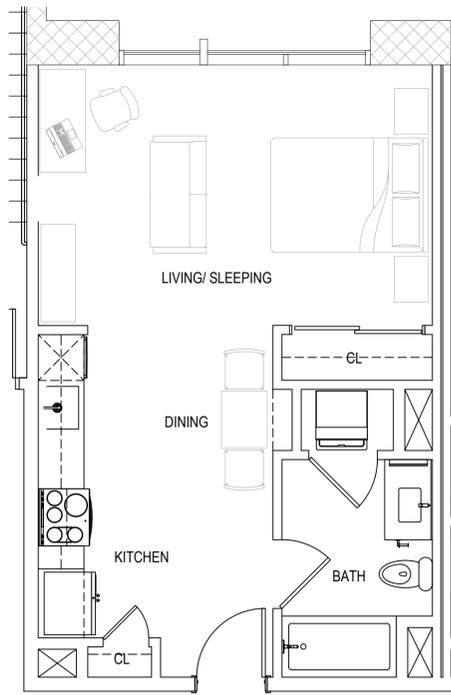
BUILDING SECTION

**A4.12**

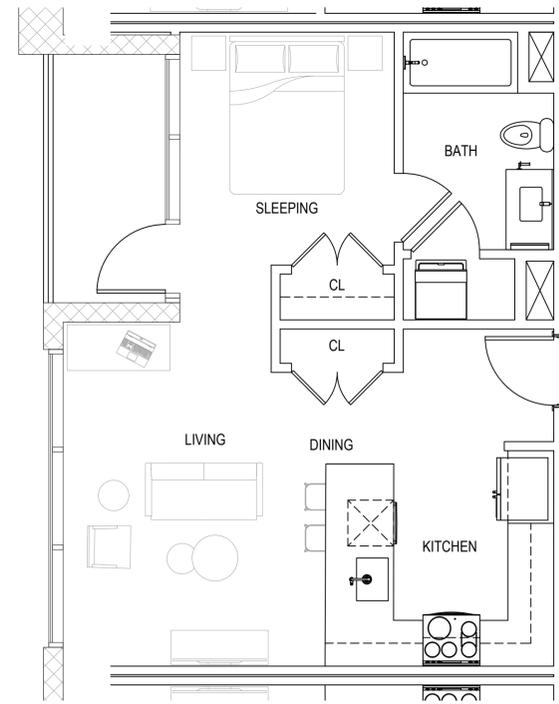
PROJECT NO: 246148



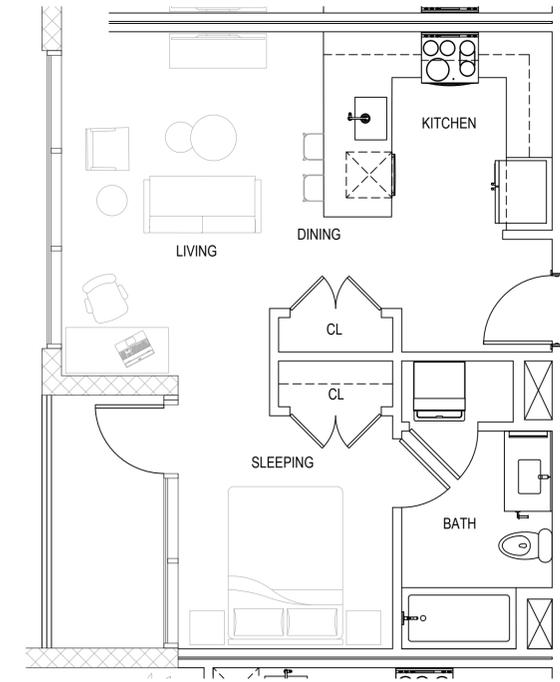
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431 S.F.  
TOTAL OF (8)



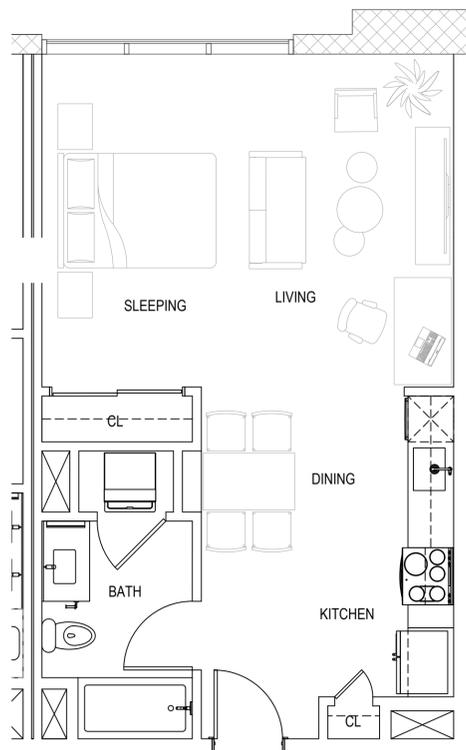
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473 S.F.  
TOTAL OF (10)



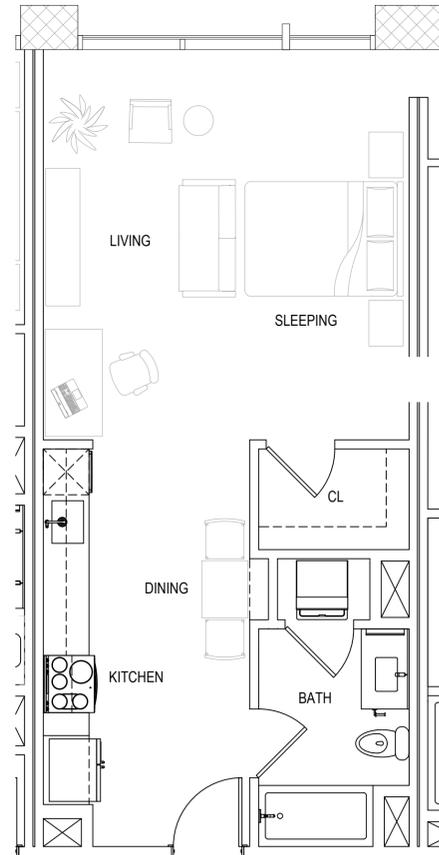
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517 S.F.  
TOTAL OF (9)



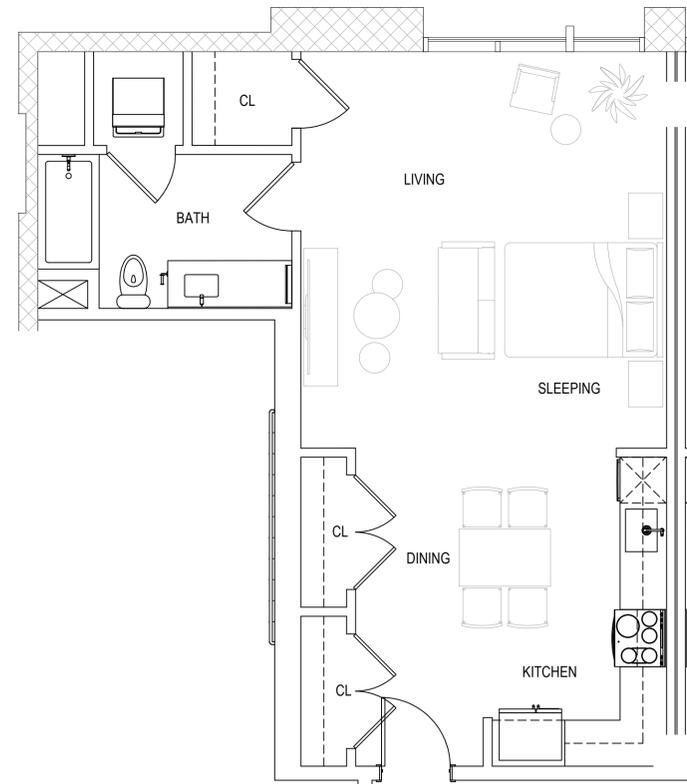
**ENLARGED PLAN - STUDIO A1.6**  
517 S.F.  
TOTAL OF (16)



**ENLARGED PLAN - STUDIO A1.5**  
538 S.F.  
TOTAL OF (1)



**ENLARGED PLAN - STUDIO A1.2**  
556 S.F.  
TOTAL OF (1)



**ENLARGED PLAN - STUDIO A1.0**  
628 S.F.  
TOTAL OF (9)



**ENLARGED PLAN - STUDIO A1.1**  
744 S.F.  
TOTAL OF (10)



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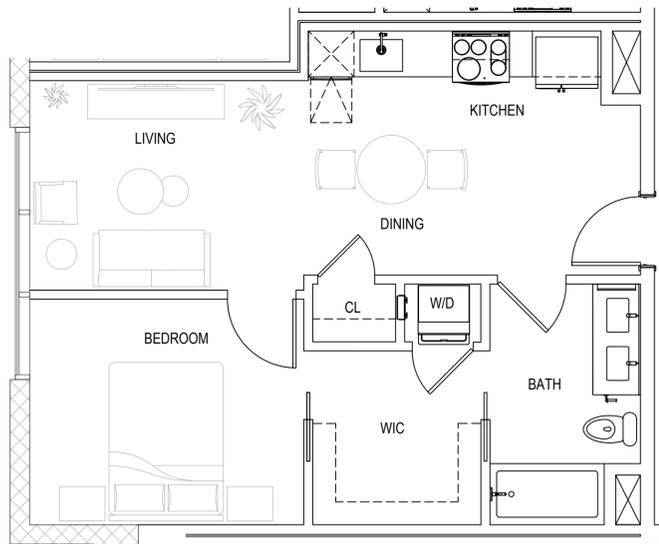
A Planning Application For:  
**MECAH VENTURES**  
1 E. 4TH AVENUE  
SAN MATEO, CA 94401

DATE	DESCRIPTION
03.27.2025	SB330 APPLICATION
05.30.2025	1ST PLANNING SUBMITTAL

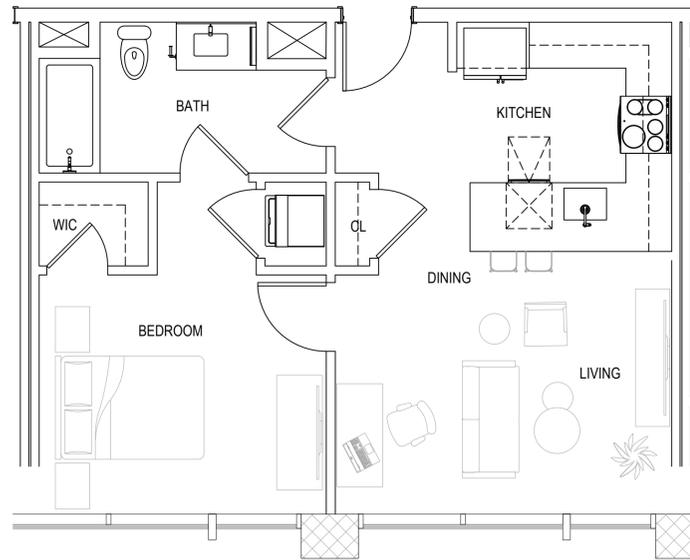
ENLARGED UNIT PLANS

**A5.11**

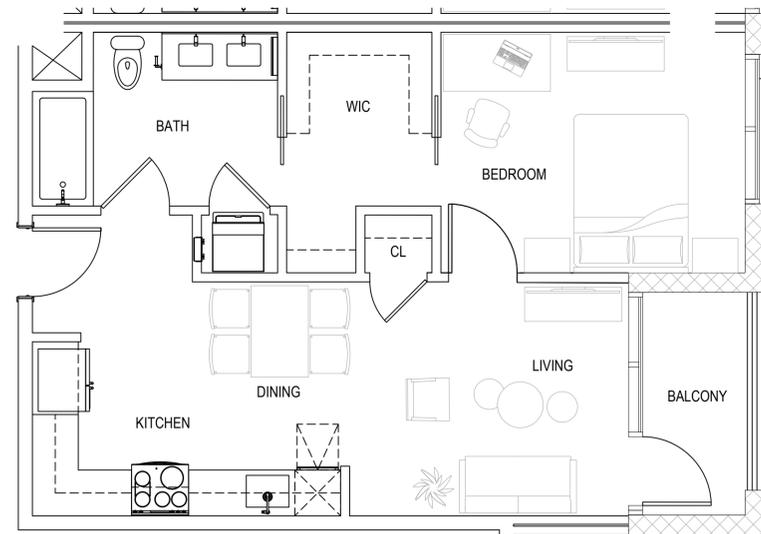
PROJECT NO: 246148



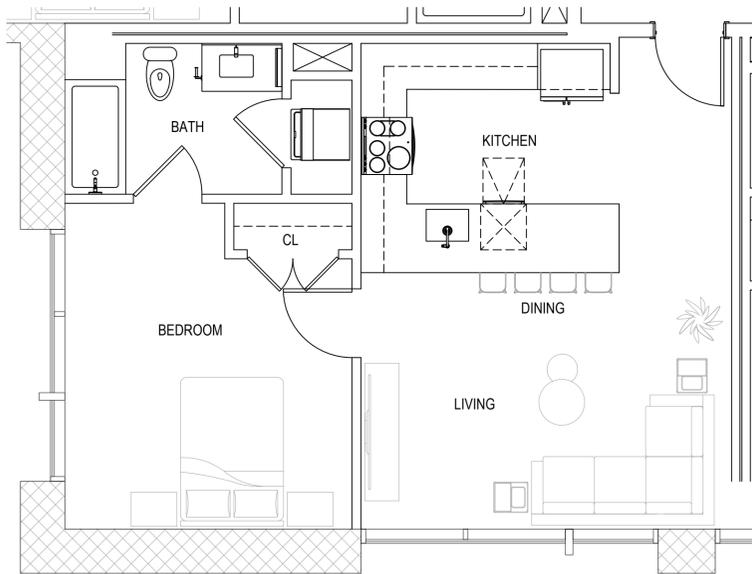
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**576 S.F.**  
**TOTAL OF (8)**



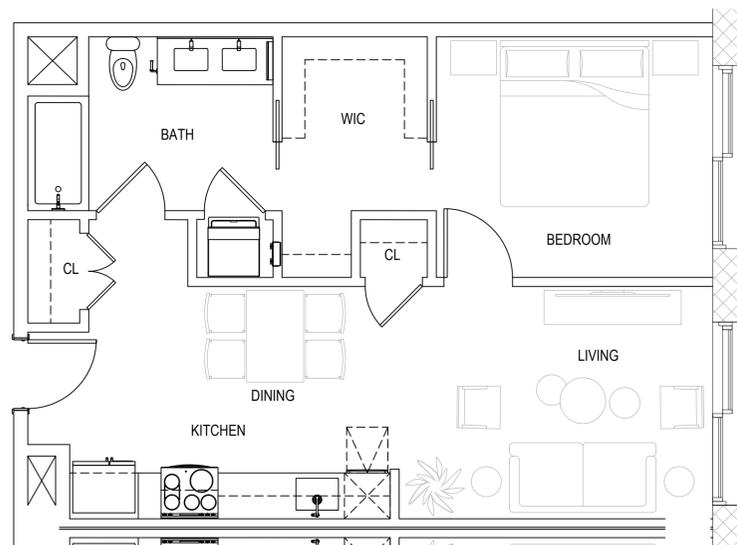
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**TOTAL OF (9)**



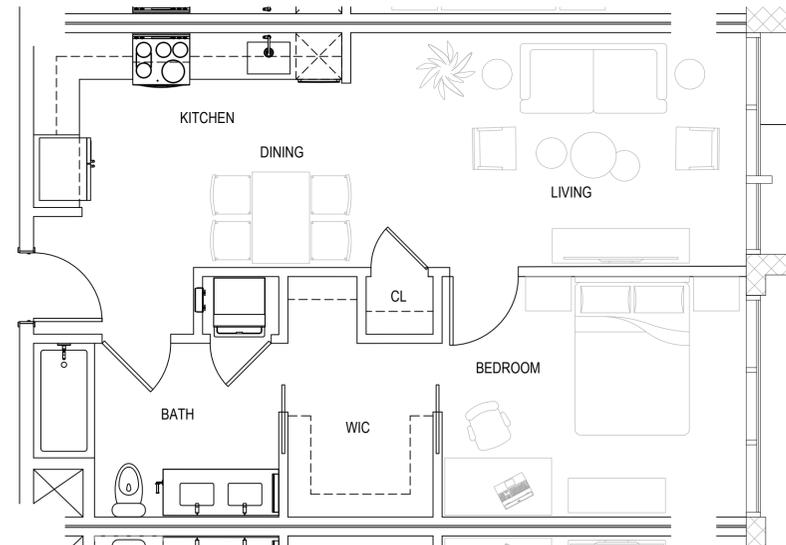
**ENLARGED PLAN - 1 BR/ 1BA UNIT B1.1**  
**604 S.F.**  
**TOTAL OF (8)**



**ENLARGED PLAN - 1 BR/ 1BA UNIT B1.9**  
**626 S.F.**  
**TOTAL OF (9)**



**ENLARGED PLAN - 1 BR/ 1BA UNIT B1.12**  
**630 S.F.**  
**TOTAL OF (10)**



**ENLARGED PLAN - 1 BR/ 1BA UNIT B1.0**  
**659 S.F.**  
**TOTAL OF (7)**



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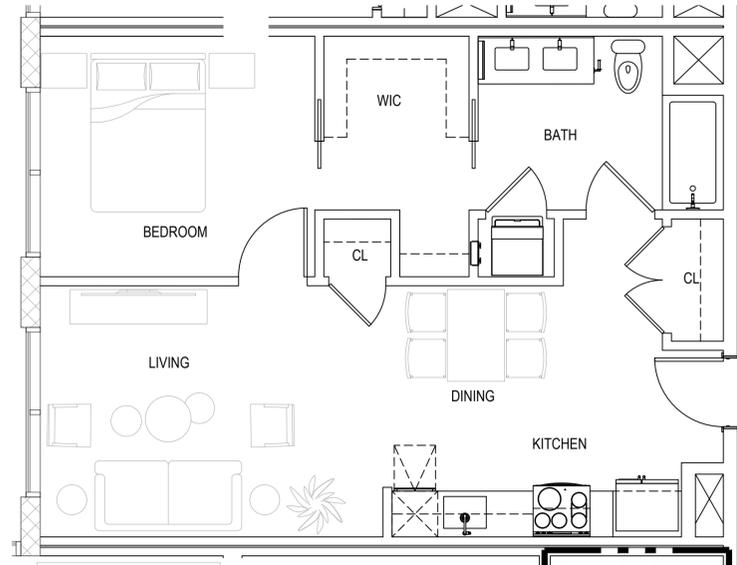
A Planning Application For:  
**MECAH VENTURES**  
 1 E. 4TH AVENUE  
 SAN MATEO, CA 94401

DATE	DESCRIPTION
03.27.2025	SB330 APPLICATION
05.30.2025	1ST PLANNING SUBMITTAL

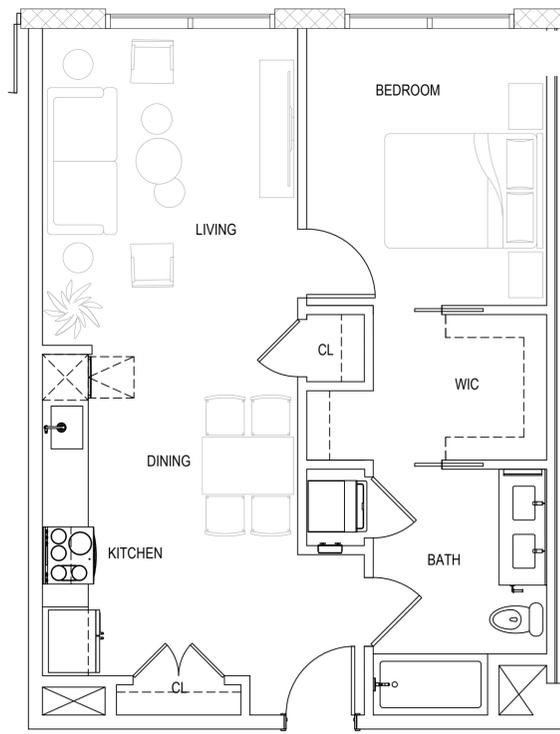
ENLARGED UNIT PLANS

**A5.12**

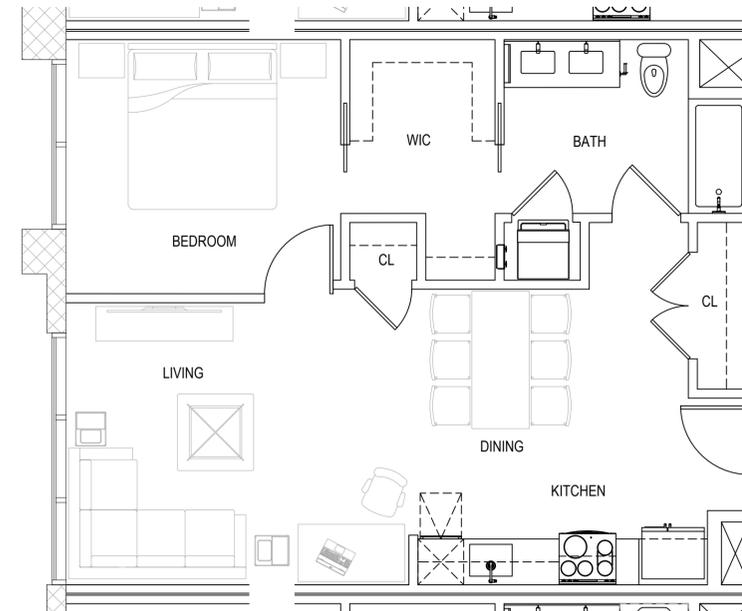
PROJECT NO: 246148



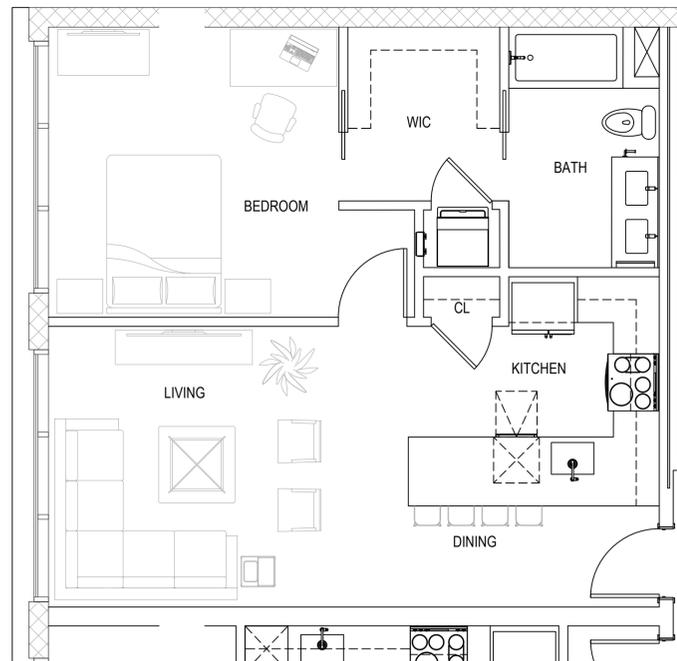
**ENLARGED PLAN - 1 BR/ 1BA UNIT B1.15**  
653 S.F.  
TOTAL OF (9)



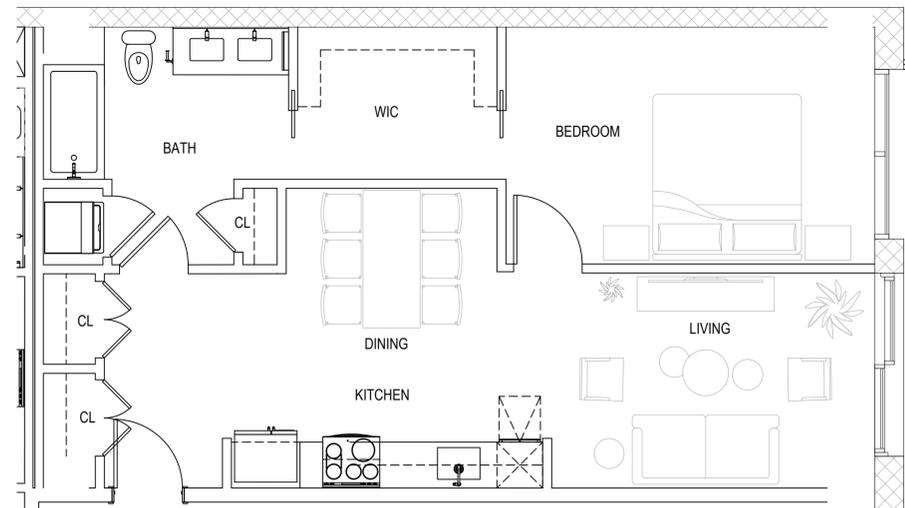
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661 S.F.  
TOTAL OF (1)



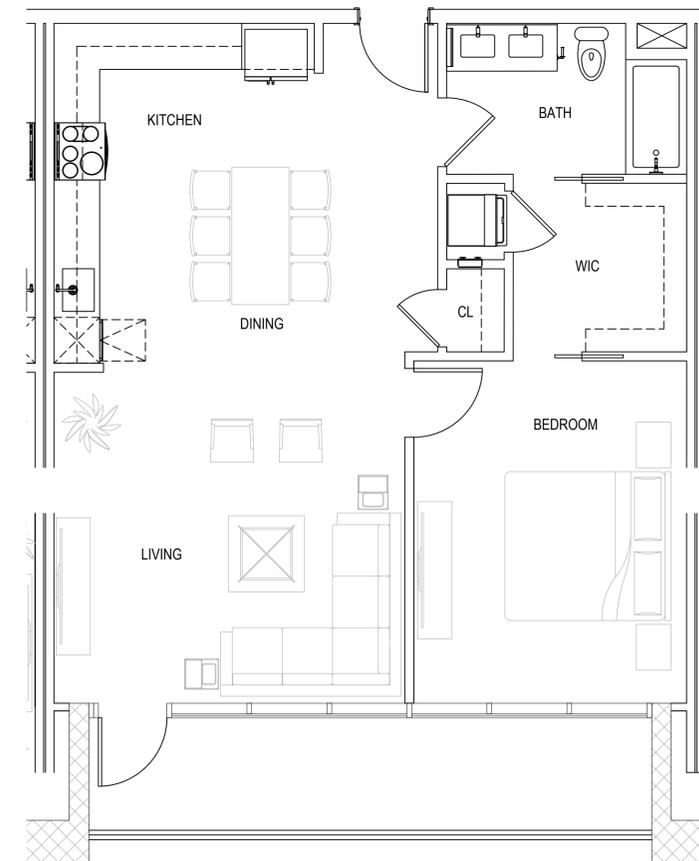
**ENLARGED PLAN - 1 BR/ 1BA UNIT B1.19**  
704 S.F.  
TOTAL OF (8)



**ENLARGED PLAN - 1 BR/ 1BA UNIT B1.21**  
717 S.F.  
TOTAL OF (1)



**ENLARGED PLAN - 1 BR/ 1BA UNIT B1.11**  
744 S.F.  
TOTAL OF (9)



**ENLARGED PLAN - 1 BR/ 1BA UNIT B1.3**  
821 S.F.  
TOTAL OF (9)



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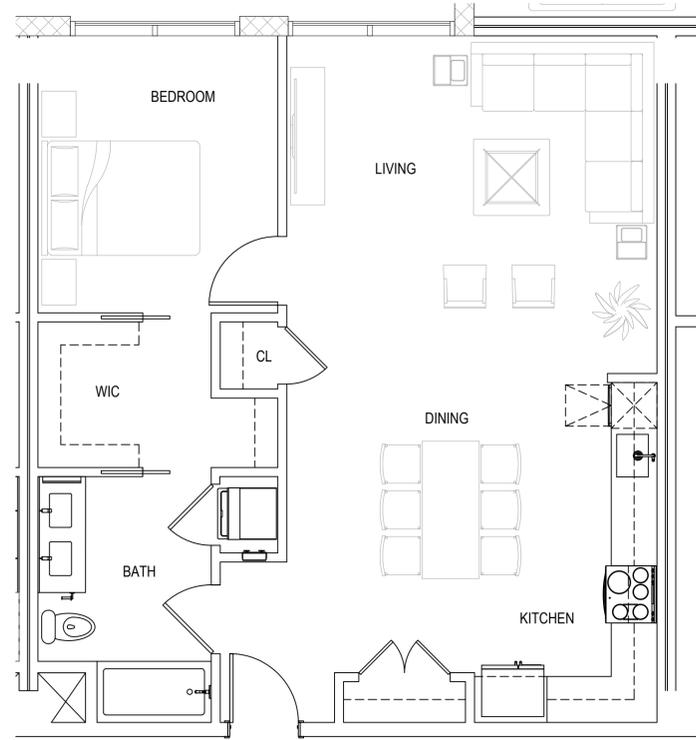
A Planning Application For:  
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SAN MATEO, CA 94401

DATE	DESCRIPTION
03.27.2025	SB330 APPLICATION
05.30.2025	1ST PLANNING SUBMITTAL

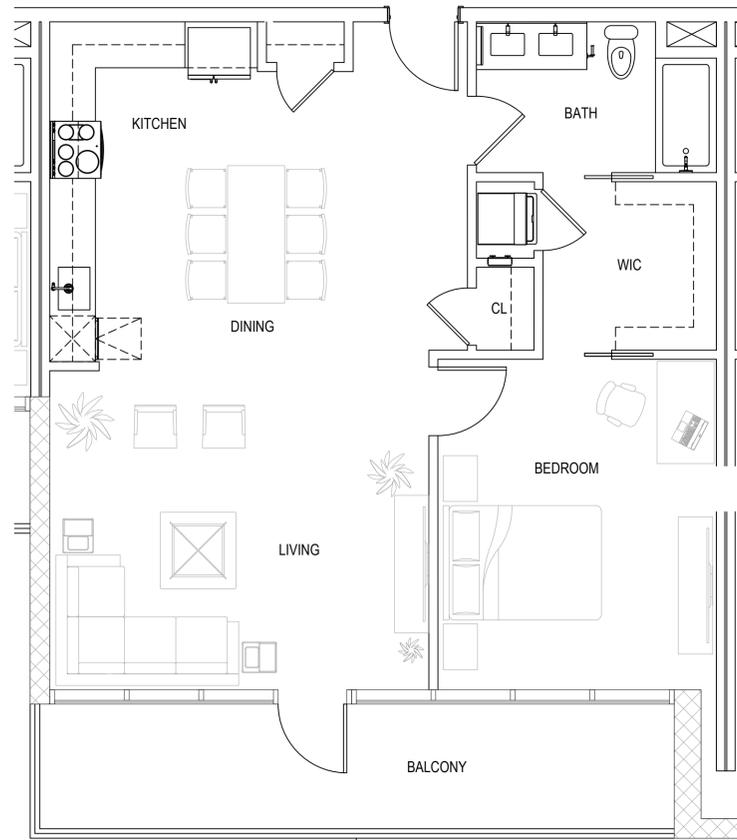
ENLARGED UNIT PLANS

**A5.13**

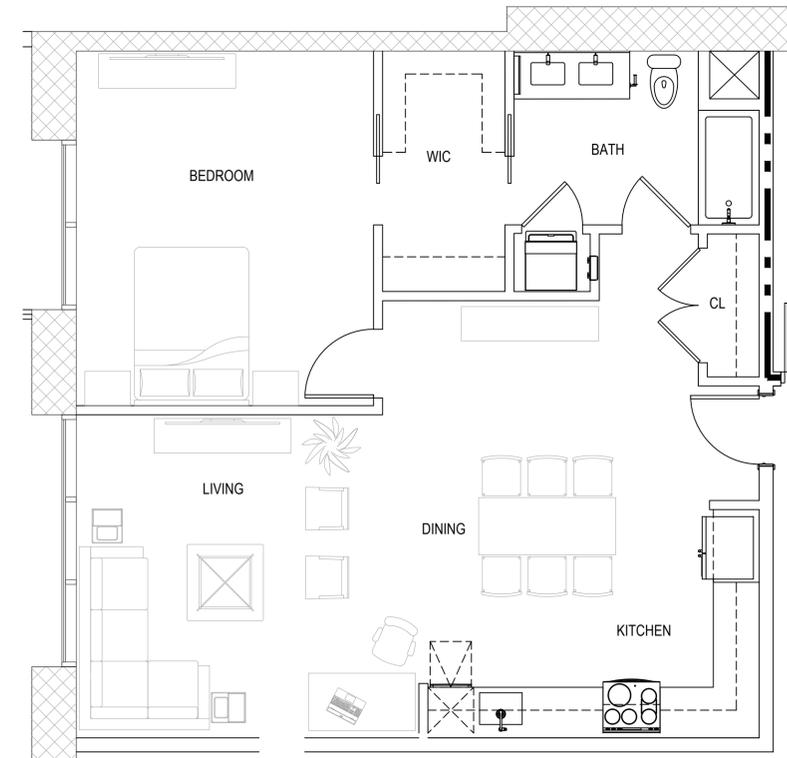
PROJECT NO: 246148



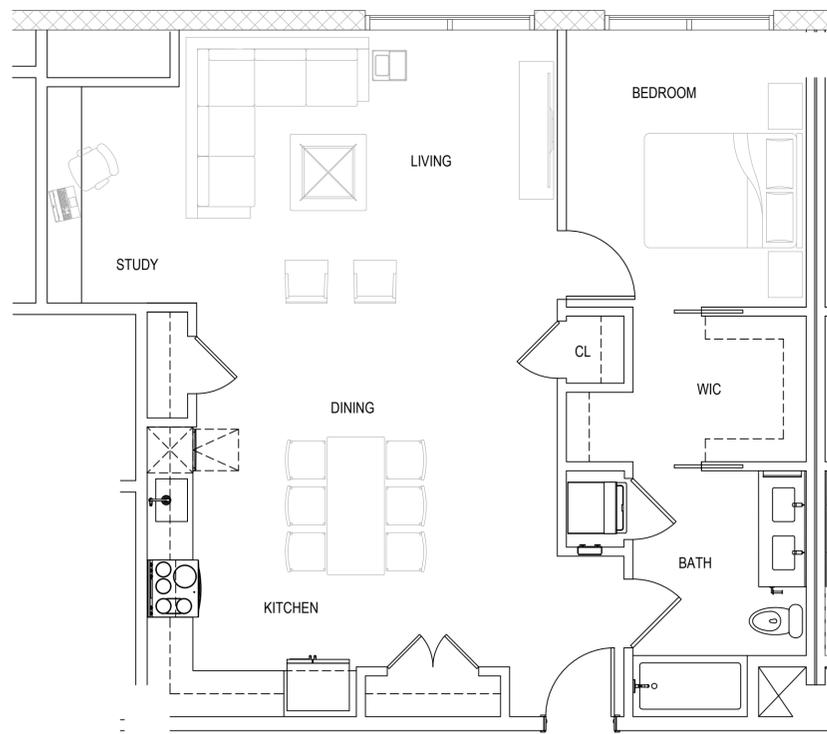
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**TOTAL OF (9)**



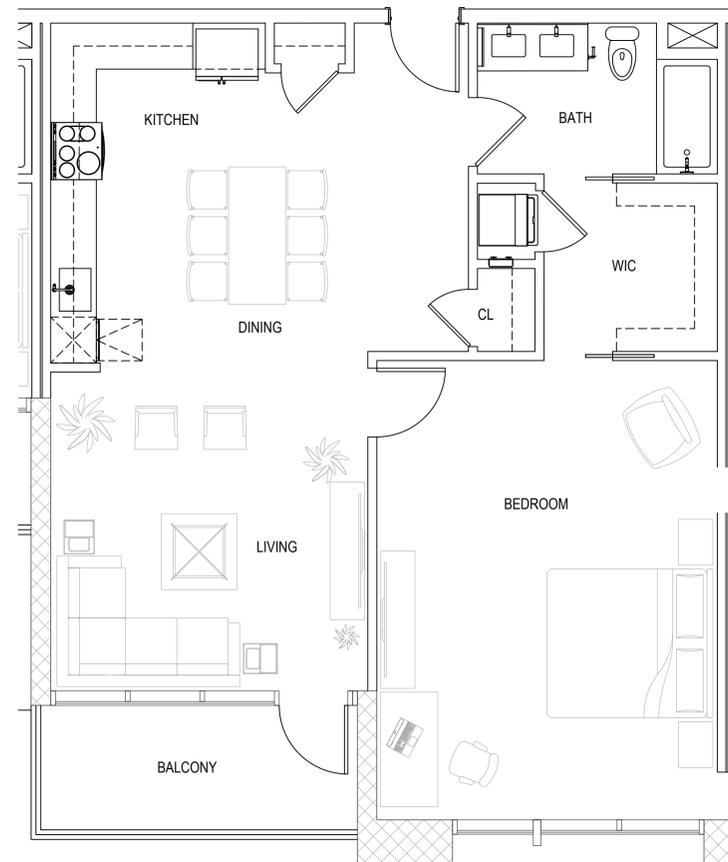
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**TOTAL OF (3)**



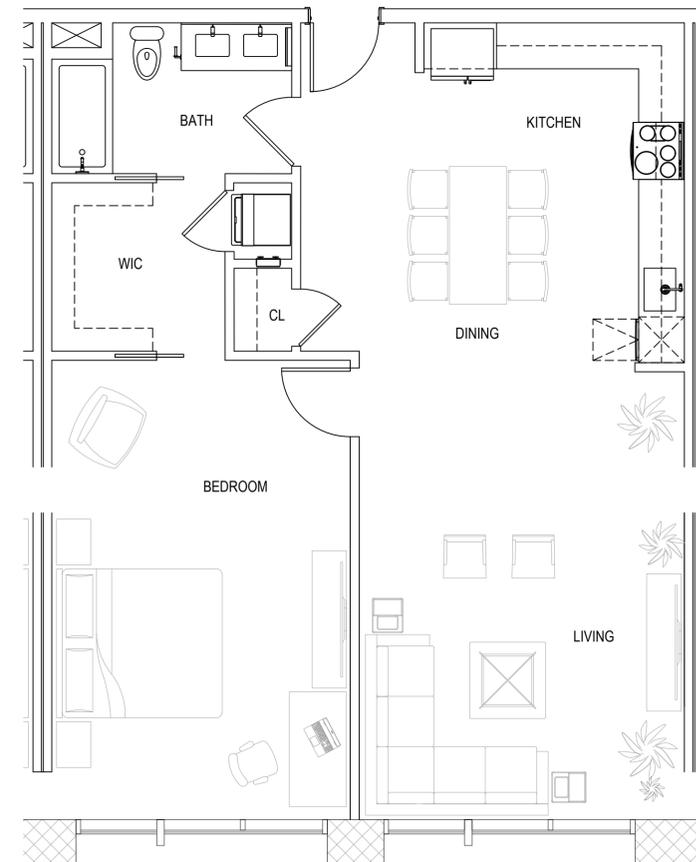
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**896 S.F.**  
**TOTAL OF (9)**



**ENLARGED PLAN - 1 BR/ 1BA UNIT B1.18**  
**916 S.F.**  
**TOTAL OF (8)**



**ENLARGED PLAN - 1 BR/ 1BA UNIT B1.5**  
**934 S.F.**  
**TOTAL OF (9)**



**ENLARGED PLAN - 1 BR/ 1BA UNIT B1.4**  
**962 S.F.**  
**TOTAL OF (9)**



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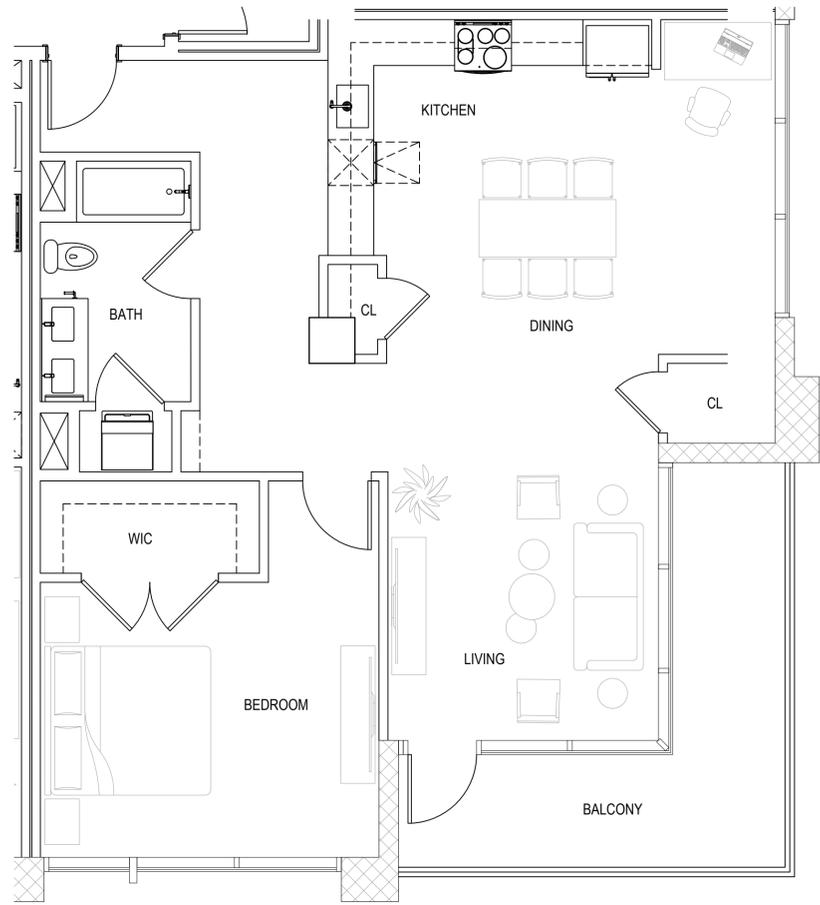
A Planning Application For:  
**MECAH VENTURES**  
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DATE	DESCRIPTION
03.27.2025	SB330 APPLICATION
05.30.2025	1ST PLANNING SUBMITTAL

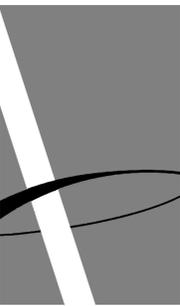
ENLARGED UNIT PLANS

**A5.14**

PROJECT NO: 246148



**ENLARGED PLAN - 1 BR/ 1BA UNIT B1.2**  
**998 S.F.**  
**TOTAL OF (1)**



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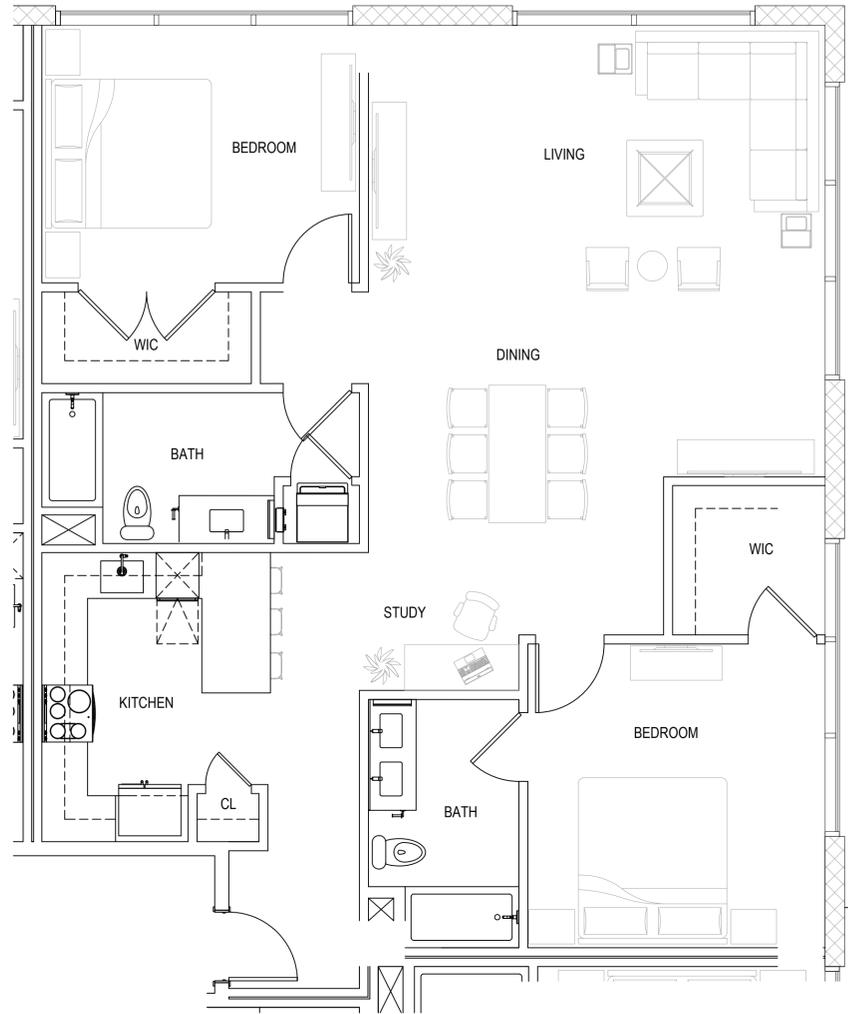
DATE	DESCRIPTION
03.27.2025	SB830 APPLICATION
05.30.2025	1ST PLANNING SUBMITTAL

ENLARGED UNIT PLANS

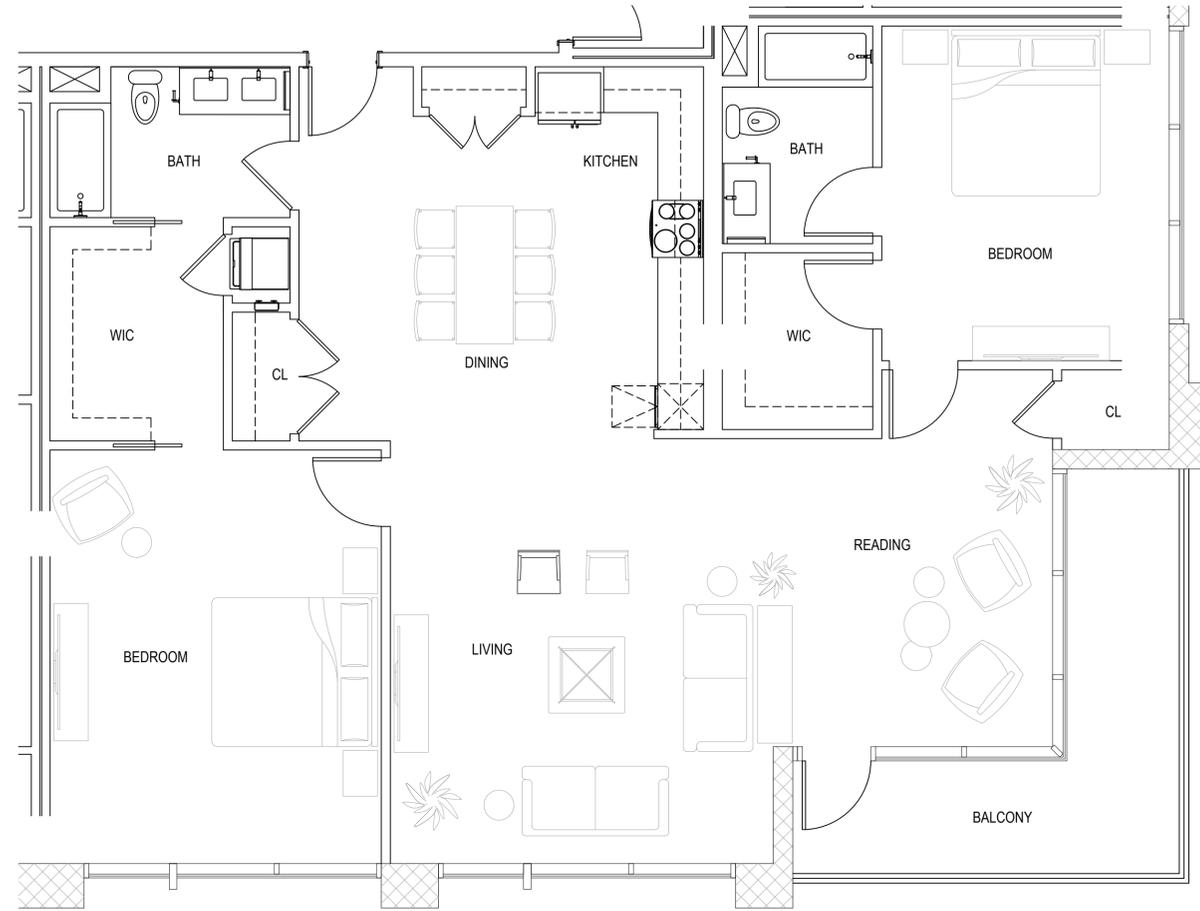
**A5.15**

PROJECT NO: 246148





**ENLARGED PLAN - 2 BR/ 2BA UNIT C1.4**  
**1,352 S.F.**  
**TOTAL OF (3)**



**ENLARGED PLAN - 2 BR/ 2BA UNIT C1.2**  
**1,583 S.F.**  
**TOTAL OF (5)**



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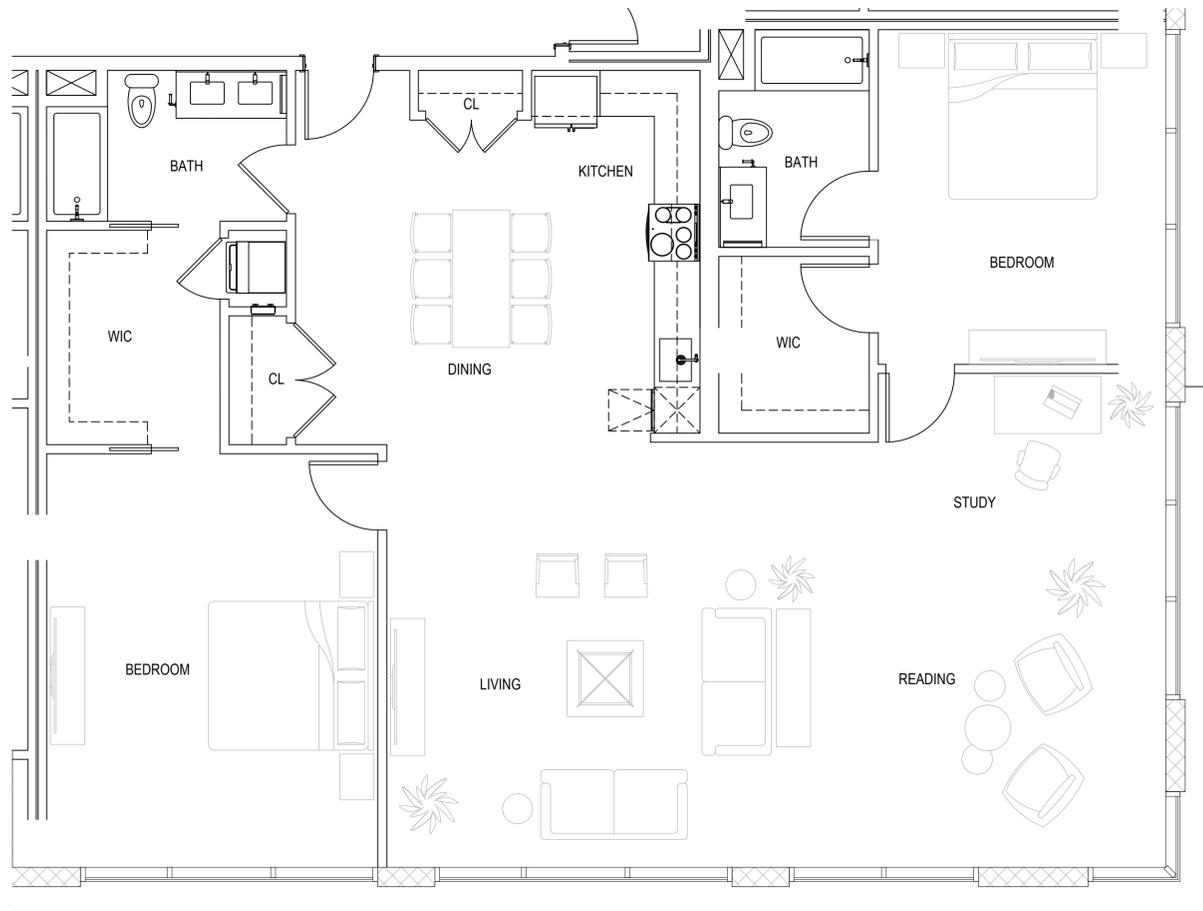
A Planning Application For:  
**MECAH VENTURES**  
 1 E. 4TH AVENUE  
 SAN MATEO, CA 94401

DATE	DESCRIPTION
03.27.2025	SB830 APPLICATION
05.30.2025	1ST PLANNING SUBMITTAL

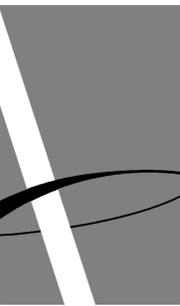
ENLARGED UNIT PLANS

**A5.17**

PROJECT NO: 246148



**ENLARGED PLAN - 2 BR/ 2BA UNIT C1.3**  
**1,738 S.F.**  
**TOTAL OF (3)**



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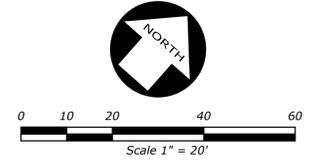
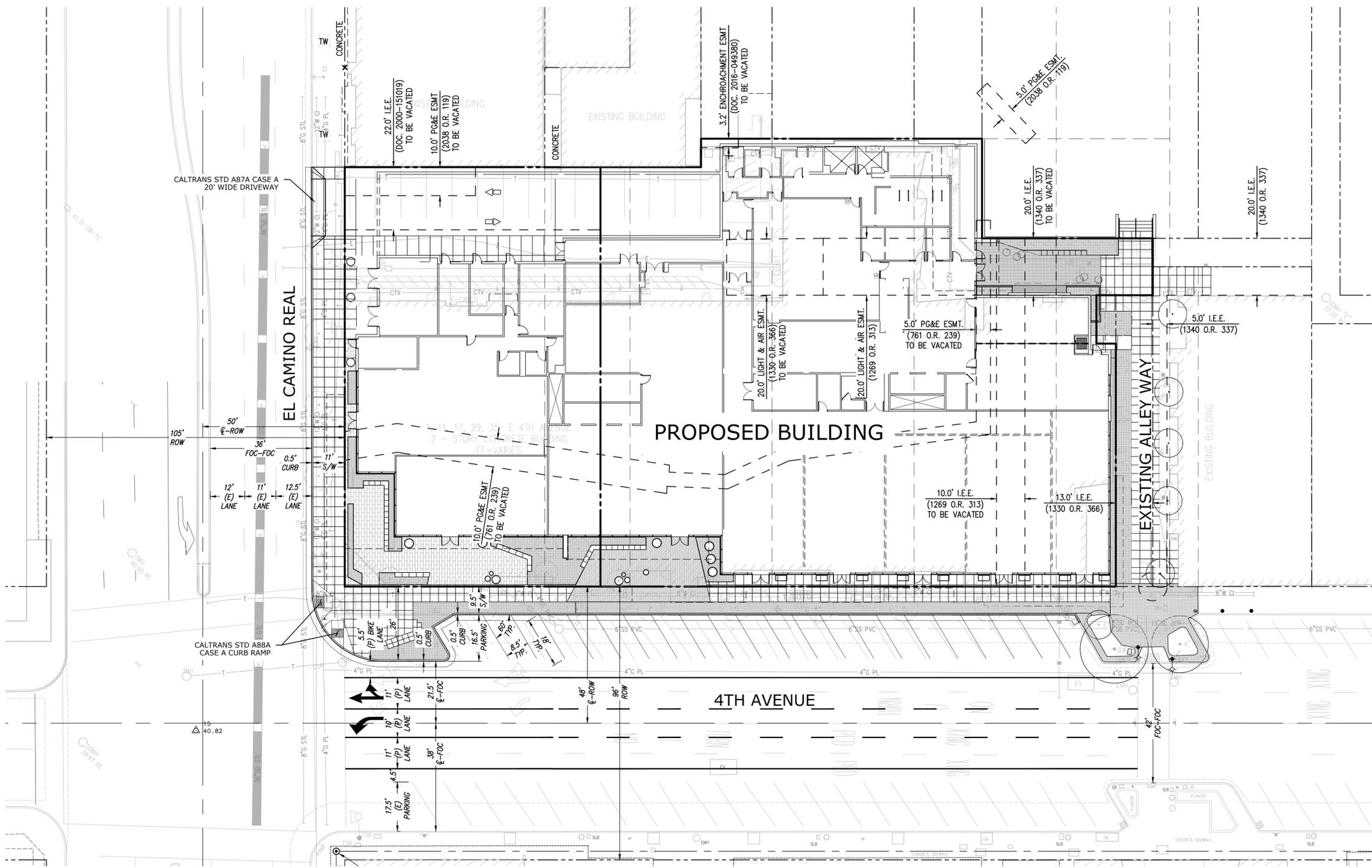
DATE	DESCRIPTION
03.27.2025	SB330 APPLICATION
05.30.2025	1ST PLANNING SUBMITTAL

ENLARGED UNIT PLANS

**A5.18**

PROJECT NO: 246148





**LEGEND**

- BUILDING LINE
- CENTER LINE
- CONCRETE/BLOCK WALL
- CONCRETE CURB
- CONCRETE CURB & GUTTER
- DRIVEWAY
- EASEMENT LINE
- FENCE LINE
- LOT LINE
- MONUMENT/MONUMENT LINE
- PROPERTY LINE
- CONCRETE WALK
- (E) EXISTING
- FOC FACE OF CURB
- (P) PROPOSED
- ROW RIGHT-OF-WAY
- S/W SIDEWALK
- LANDSCAPE - SEE LANDSCAPE SHEETS FOR MATERIAL TYPES
- PAVER - SEE LANDSCAPE SHEETS FOR MATERIAL TYPES
- PAVER - SEE LANDSCAPE SHEETS FOR MATERIAL TYPES
- WALK - SEE LANDSCAPE SHEETS FOR MATERIAL TYPES



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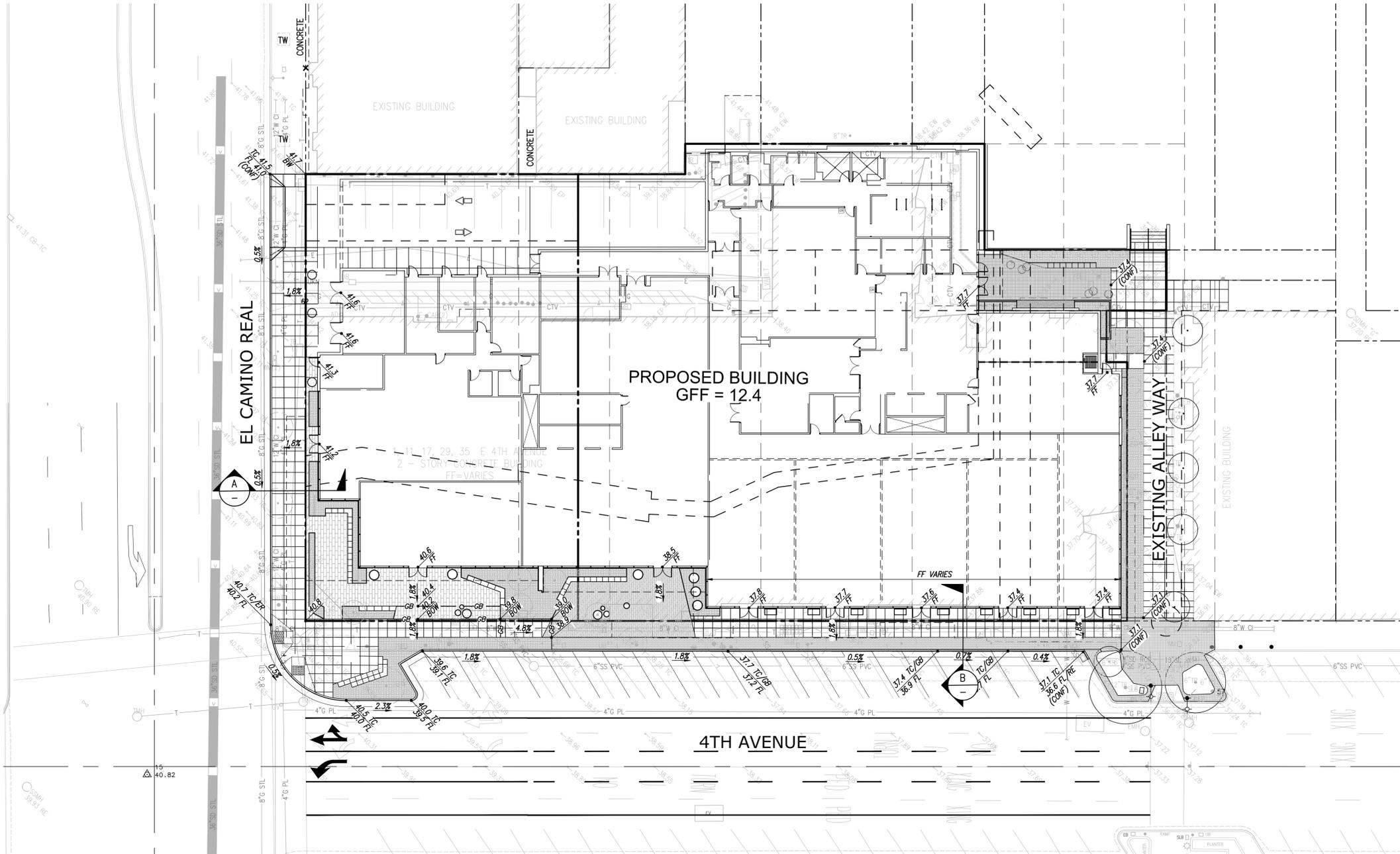


3300 Scott Boulevard Building 22  
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 www.kierwright.com

A Planning Application For:  
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 SAN MATEO, CA 94401

DATE	DESCRIPTION
03.27.2025	SB330 APPLICATION

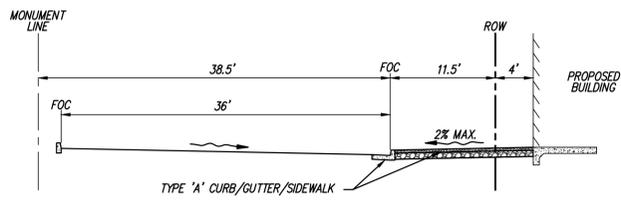
**PRELIMINARY  
 CIVIL SITE  
 PLAN**



**GRADING AND DRAINAGE LEGEND**

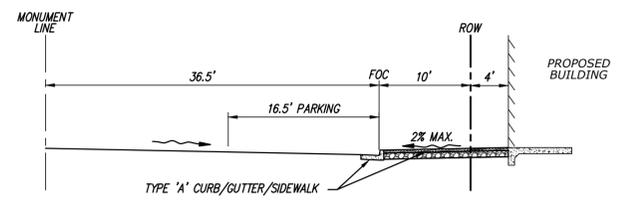
PROPOSED	EXISTING	DESCRIPTION
		CONTOUR LINE
		SPOT ELEVATION
		STORM DRAIN - MANHOLE AND CATCH BASIN
		THRU CURB DRAIN
		AREA DRAIN
		BACK OF WALK
		CATCH BASIN
		DUCTILE IRON PIPE
		FACE OF CURB
		FINISHED FLOOR
		GRADE BREAK
		HIGH POINT
		INVERT ELEVATION
		LOW POINT
		NON EXPANSIVE FILL
		OVERFLOW
		PAVEMENT
		RIDGE
		RIM ELEVATION
		STORM DRAIN JUNCTION BOX
		STORM DRAIN MANHOLE
		TOP OF CURB

**EL CAMINO REAL SECTION**



**A**

**4TH AVENUE SECTION**



**B**



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A Planning Application For:  
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DATE	DESCRIPTION
03.27.2025	SB830 APPLICATION

**PRELIMINARY GRADING & DRAINAGE PLAN**

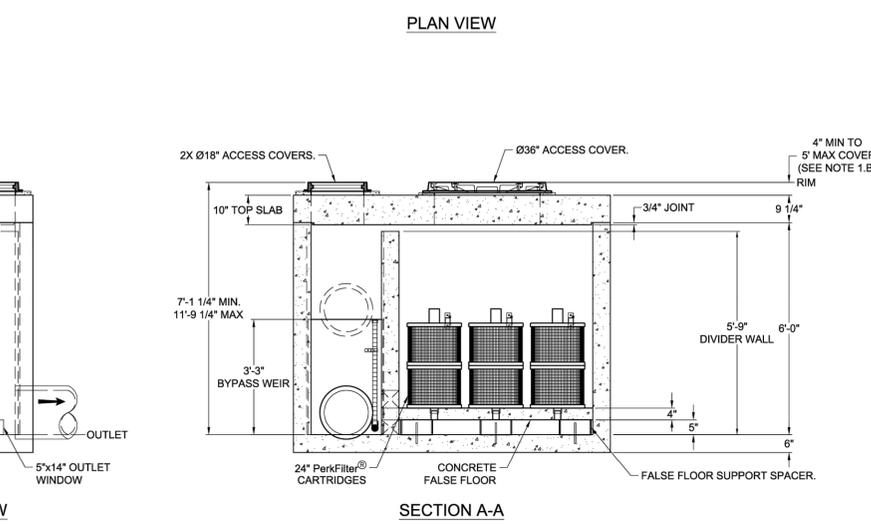
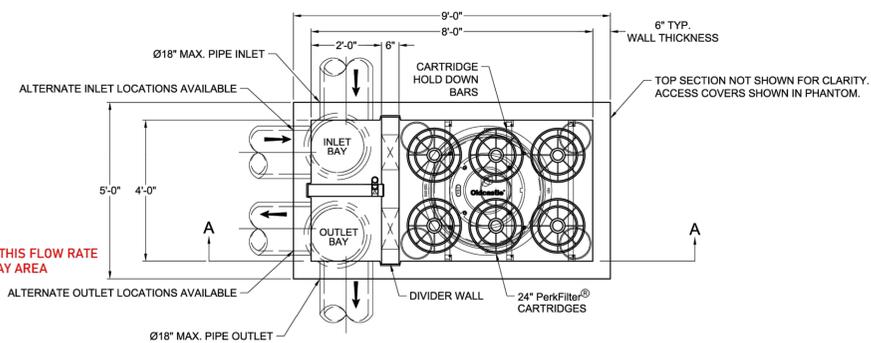
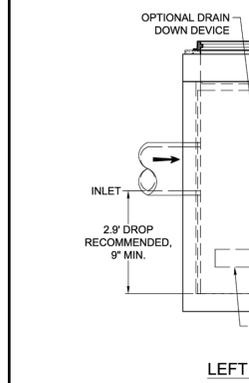
**C3.1**  
PROJECT NO: 246148





SITE SPECIFIC DATA				
Structure ID	-	-	-	-
Treatment Flow Rate (gpm/cfs)	-	-	-	-
Peak Flow Rate (cfs)	-	-	-	-
Cartridge Quantity	-	-	-	-
Rim Elevation	-	-	-	-
Pipe Data	Pipe Location	Pipe Size	Pipe Type	Invert Elevation
Inlet 1	-	-	-	-
Inlet 2	-	-	-	-
Outlet	-	-	-	-
Notes:				
1. Contact Oldcastle for alternative treatment and peak flow capacities.				

PERFORMANCE SPECIFICATIONS			
Peak Treatment Capacities:			
Max. Cartridge Quantity	6		
NJDEP 80% Removal, 75 micron	0.364 cfs		
MAX Ecology 80% Basic & Phosphate	0.192 cfs		
Max. Bypass Capacity	28.2 cfs		



- NOTES
- DESIGN LOADINGS:
    - AASHTO HS-20-44 (WITH IMPACT)
    - DESIGN SOIL COVER: 5'-0" MAXIMUM
    - ASSUMED WATER TABLE: BELOW BASE OF PRECAST
    - ENGINEER-OF-RECORD TO CONFIRM SITE WATER TABLE ELEVATION
    - LATERAL EARTH PRESSURE: 45 PCF (DRAINED)
    - LATERAL LIVE LOAD SURCHARGE: 80 PSF (APPLIED TO 8'-0" BELOW GRADE)
    - NO LATERAL SURCHARGE FROM ADJACENT BUILDINGS, WALLS, PIERS, OR FOUNDATIONS.
  - CONCRETE 28-DAY MINIMUM COMPRESSIVE STRENGTH: 5,000 PSI MINIMUM.
  - REINFORCING: REBAR, ASTM A615A706, GRADE 60
  - CEMENT: ASTM C150
  - REQUIRED ALLOWABLE SOIL BEARING CAPACITY: 2,500 PSF
  - REFERENCE STANDARD:
    - ASTM C690
    - ASTM C913
    - ACI 318-14
  - THIS STRUCTURE IS DESIGNED TO THE PARAMETERS NOTED HEREIN. ENGINEER-OF-RECORD SHALL VERIFY THAT NOTED PARAMETERS MEET OR EXCEED PROJECT REQUIREMENTS. IF DESIGN PARAMETERS ARE INCORRECT, REVIEWING ENGINEER/AUTHORITY SHALL NOTIFY OLDCASTLE INFRASTRUCTURE UPON REVIEW OF THIS SUBMITTAL.
  - OVERSIZED HOLES TO ACCOMMODATE SPECIFIC PIPE TYPE MUST BE CONCENTRIC TO PIPE ID. AFTER PIPES ARE INSTALLED, ALL ANNULAR SPACES SHALL BE FILLED WITH A MINIMUM OF 3,000 PSI CONCRETE FOR FULL THICKNESS OF PRECAST WALLS. PIPES ARE TO BE FLUSH WITH THE INSIDE SURFACE OF THE CONCRETE STRUCTURE.
  - CONTRACTOR RESPONSIBLE TO VERIFY ALL SIZES, LOCATIONS, AND ELEVATIONS OF OPENINGS.
  - CONTRACTOR RESPONSIBLE TO ENSURE ADEQUATE BEARING SURFACE IS PROVIDED (I.E. COMPACTED AND LEVEL PER PROJECT SPECIFICATIONS).
  - KEYWAY HEIGHTS, SLAB WALL THICKNESSES, AND KEYWAYS ARE SUBJECT TO CHANGE, AS REQUIRED FOR SITE REQUIREMENTS AND/OR DUE TO PRODUCT AVAILABILITY AND PRODUCTION FACILITY CONSTRAINTS.
  - FOR SITE SPECIFIC DRAWINGS WITH DETAILED STRUCTURE DIMENSIONS AND WEIGHTS, PLEASE CONTACT OLDCASTLE INFRASTRUCTURE.
  - MAXIMUM PICK WEIGHTS:
    - TOP: XX,XXX LBS
    - BASE: XX,XXX LBS\*
    - \* COMBINED WEIGHT OF BASE INCLUDES DIVIDER WALLS, FALSE FLOOR, AND PRODUCT INTERNALS.
  - INTERNAL SHALL CONSIST OF CARTRIDGES, WEIR WALL, FALSE FLOOR, FALSE FLOOR SUPPORT SPACERS, AND DIVIDER WALL.

**Oldcastle Infrastructure**  
A CMI COMPANY

PerKFilter® Vault (STANDARD)  
4x8 With 24" Cartridges

CUSTOMER: \_\_\_\_\_  
PROJECT NAME: \_\_\_\_\_

SHEET NAME: Specifier Drawing  
REVISION: \_\_\_\_\_  
REV DATE: \_\_\_\_\_  
SHEET: 1 OF 1

**MEDIA FILTER SIZING**

DMA # 1  
A = 39930 s.f.      A = 0.91667 acre

C Value	Area* (s.f.)	Weighted C Value
0.9	39,930	0.900
0.8	0	
0.7	0	
0.1	0	

Rainfall Intensity (i) = 0.2

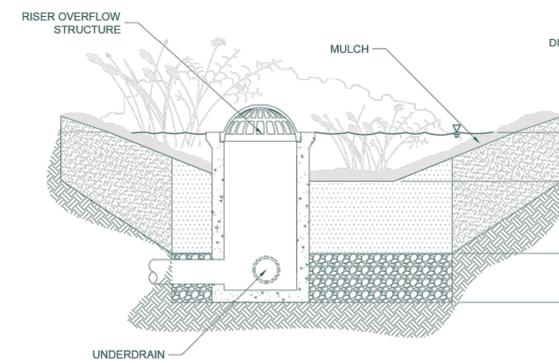
\* Input Values by hand or use Table at the bottom of the spreadsheet.

$Q = C \times i \times A$   
 $Q = \underline{0.1650000}$  cfs

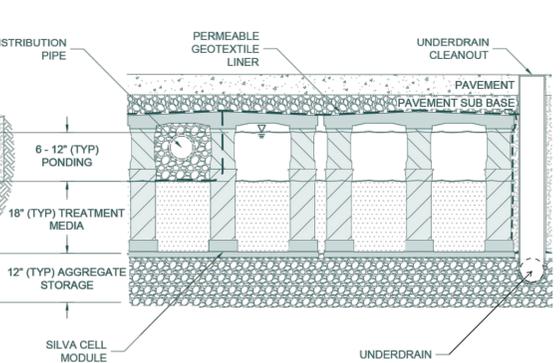
Manufacturer: Oldcastle  
Cartridge Height: 24" in.  
Cartridge Media (if applicable): FloGard Perk Filter  
G.U.L.D. Cartridge Treatment Flowrate (CTF): 13.47 gpm/cartridge

# Cartridges =  $\frac{Q \times (449 \text{ gpm/cfs})}{CTF}$  = 5.5 (round up)  
# Cartridges Required = 6  
Treatment Flow Rate Capacity = 0.18 cfs

**TYPICAL BIORETENTION**



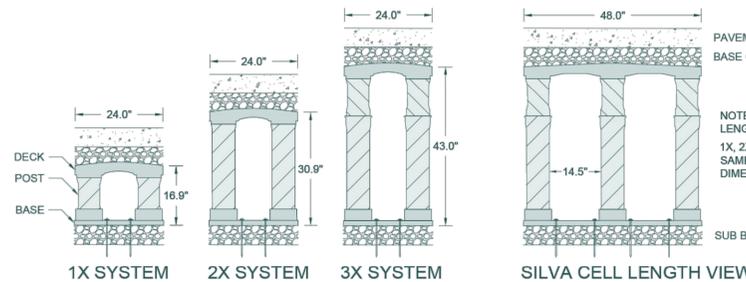
**SILVA CELL BIORETENTION**



BIORETENTION NOTES:  
• TYPICAL BIORETENTION CROSS SECTION ADAPTED FROM SAN FRANCISCO PUBLIC UTILITIES COMMISSION (SFPUC) TYPICAL DETAILS (2017)

SILVA CELL NOTES:  
• 2X SILVA CELL SYSTEM SHOWN.  
• OVERFLOW OUTLET NOT SHOWN, TYPICALLY INTEGRATED INTO INLET STRUCTURE.

**SILVA CELL SYSTEM SIZES**



**SILVA CELL DETAIL 2X**  
NOT TO SCALE



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In Association with:  
**KIER+WRIGHT**  
3300 Scott Boulevard, Building 22  
Santa Clara, CA 95051 Phone: (408) 727-6965  
www.kierwright.com

A Planning Application For:  
**MECAH VENTURES**  
EL CAMINO REAL & E. 4TH AVENUE  
SAN MATEO, CA 94401

DATE	DESCRIPTION
03.27.2025	SB830 APPLICATION

PRELIMINARY  
STORMWATER  
QUALITY  
CONTROL  
NOTES

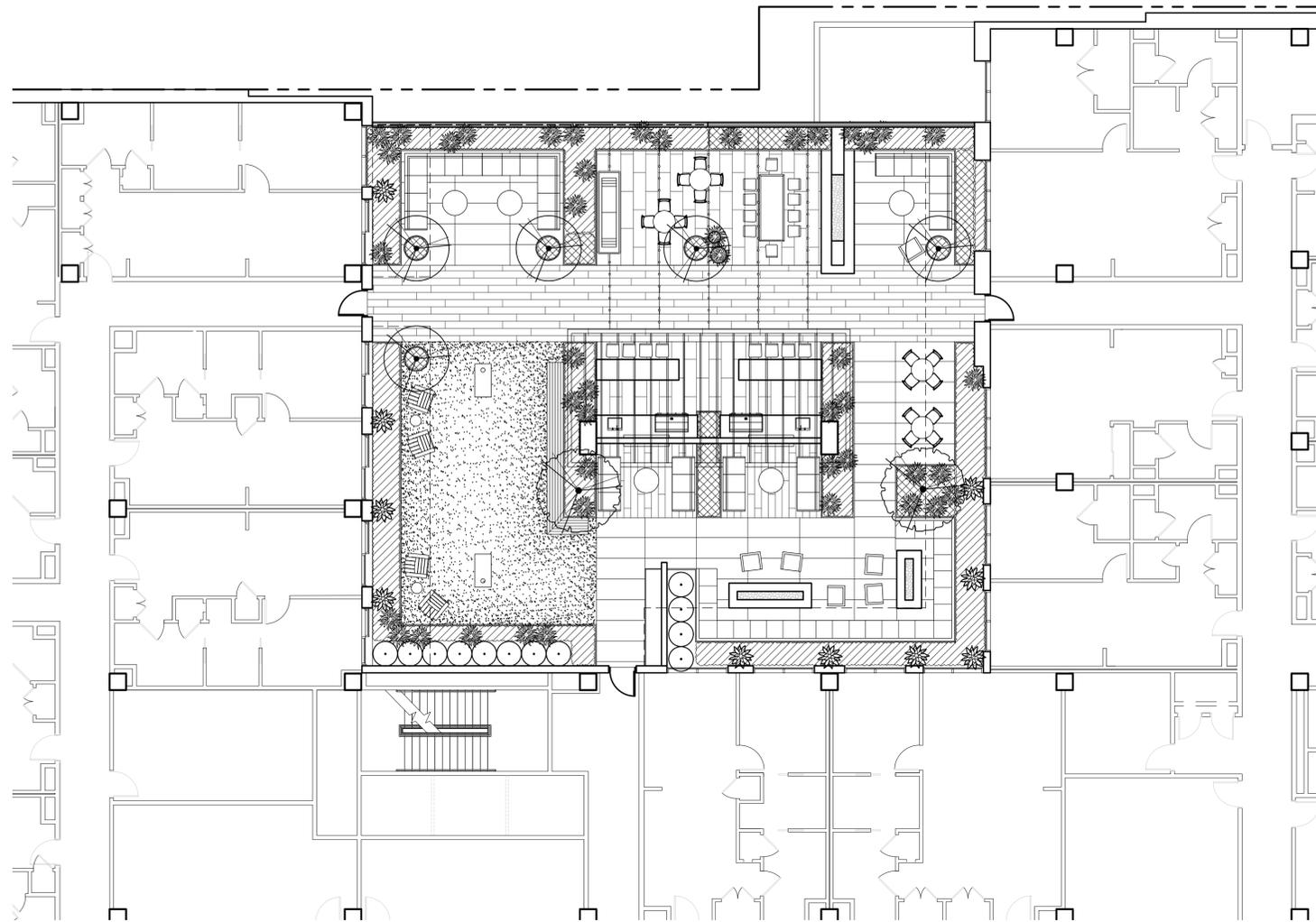












<b>TREES</b>	
	<b>STREET TREES</b>
	LOPHOSTEMON CONFERTUS
	ULMUS PARVIFOLIA
	QUERCUS PALUSTRIS
	<b>UPRIGHT TREES</b>
	LAURUS NOBILIS 'SARATOGA'
	ACER RUBRUM 'ARMSTRONG'
	QUERCUS ROBER X ALBA 'SKINNY GENES'
	PODOCARPUS 'MAKI'
	<b>ACCENT TREES</b>
	OLEA EUROPAEA
	CERCIDIUM 'DESERT MUSEUM'
	AGONIS FLEXUOSA
	<b>FOCAL ACCENT TREES</b>
	QUERCUS AGRIFOLIA
	LOPHOSTEMON CONFERTUS
	MAGNOLIA GRANDIFLORA
	FICUS MICROCARPA
<b>SHRUBS</b>	
	<b>ACCENT SHRUBS</b>
	AGAVE 'BLUE GLOW'
	AGAVE 'BLUE FLAME'
	ANIGOZANTHOS SPP.
	CHONDRPETALUM TECTORUM
	<b>MASSING SHRUBS</b>
	LOMANDRA 'TROPIC BELLE'
	DIANELLA 'LITTLE REV'
	MAHONIA X 'SOFT CARESS'
	WESTRINGIA 'GRAY BOX'
<b>GROUND COVERS</b>	
	<b>GRASSES</b>
	FESTUCA MAIREI
	LOMANDRA 'BREEZE'
	PENNISETUM SPATHIOLATUM
	SESLERIA AUTUMNALIS
	<b>ACCENT PLANTS</b>
	SENECIO MANDRALISCAE
	SESLERIA AUTUMNALIS
	WESTRINGIA 'LOW HORIZON'
<b>NOTES:</b>	
1. FINAL SPECIES ARE NOT SELECTED. BELOW IS LIST OF POTENTIAL SPECIES, PLANT TYPES, AND PLANT STYLES. A SAMPLE PHOTO HAS BEEN PROVIDED A POTENTIAL SPECIES SELECTION, BUT IS NOT INTENDED TO INDICATE THE FINAL PLANT SELECTION. FINAL PLANTING SELECTION WILL BE MADE DURING THE FORMAL ENTITLEMENT SUBMITTAL.	



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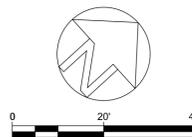
A Planning Application For:  
**MECAH VENTURES**  
EL CAMINO REAL & E. 4TH AVENUE  
SAN MATEO, CA 94401

DATE	DESCRIPTION
11.11.2024	SB830 APPLICATION
06.03.2025	1ST PLANNING APPLICATION

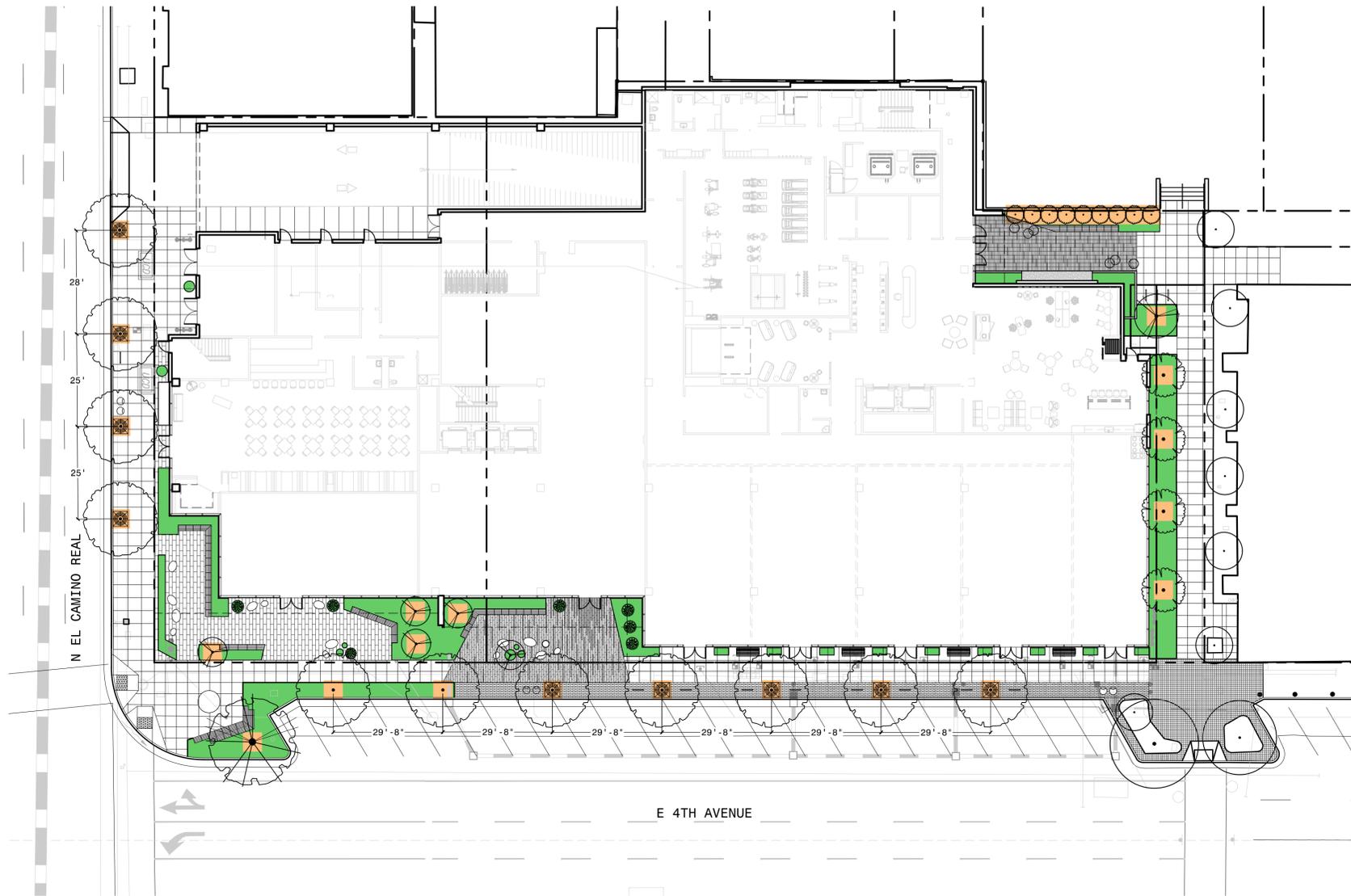


**PRELIMINARY**  
**PLANTING PLAN - 2ND**  
**FLOOR**  
**L0.5**

PROJECT NO. 246148







### IRRIGATION CONCEPT

THE PROPOSED LANDSCAPE AREAS WILL BE IRRIGATED WITH A LOW VOLUME IRRIGATION SYSTEM. SHRUB AREAS WILL BE IRRIGATED WITH IN-LINE DRIP EMITTER TUBING, WHILE TREES AND POTS WILL BE IRRIGATED WITH POINT SOURCE EMITTERS. THE IRRIGATION SYSTEM WILL BE SERVICED BY A DEDICATED IRRIGATION METER, AND WILL INCLUDE POINT OF CONNECTION EQUIPMENT CONSISTENT WITH THE STATE'S MODEL WATER EFFICIENT LANDSCAPE ORDINANCE (MWELO), INCLUDING A REDUCED PRESSURE BACKFLOW PREVENTER, MASTER VALVE, FLOW SENSOR, SMART CONTROLLER, AND WEATHER SENSOR. FINAL IRRIGATION DESIGN AND WATER BUDGET CALCULATIONS DEMONSTRATING COMPLIANCE WITH MWELO WILL BE PROVIDED IN SUBSEQUENT SUBMITTALS.

WELO																																		
WATER BUDGET AND WATER USE CALCULATOR																																		
<table border="1"> <tr> <td>Date:</td> <td colspan="6">5/29/2025</td> </tr> <tr> <td>Project Name:</td> <td colspan="6">MECAH VENTURES</td> </tr> <tr> <td>Project Contact:</td> <td colspan="6">MATT HAWKS</td> </tr> <tr> <td>Project Contact Email:</td> <td colspan="6"></td> </tr> </table>							Date:	5/29/2025						Project Name:	MECAH VENTURES						Project Contact:	MATT HAWKS						Project Contact Email:						
Date:	5/29/2025																																	
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Maximum Applied Water Allowance (MAWA)	Project Type	ETo	ETAF	Special Landscape Area (SLA)	Total Landscape Area including SLA	MAWA (gallyr)																												
	Non-residential	42.7	0.45	-	3,671	43,734																												
MAWA = (ETo) * (0.62) * (ETAF * LA) + ((1-ETAF) * SLA)																																		
Estimated Total Water Use (ETWU)		ETo	(SF * PF) / IE	SLA	ETWU (gallyr)																													
		42.7	1,474	-	39,018																													
ETWU = (ETo) * (0.62) * (PF * SF / IE) + SLA																																		
Difference between MAWA and ETWU						4,716																												
Project meets water budget.																																		
ETWU Calculation (Regular landscape areas)	Zone #	Description	Select Irrigation	Square Feet (SF)	Plant Factor (PF)	Irrigation Efficiency (IE)	(SF * PF) / IE																											
	1	Low Water Use Shrubs/Groundcover	Drip	2,746	0.30	0.81	1,017																											
	2	Trees	Bubbler	925	0.40	0.81	457																											
	3						-																											
	4						-																											
Landscape area (not including SLA)				3,671			1,474																											
ETWU Calculation Special Landscape Areas (SLA)	Description	Square Feet (SF)	Plant Factor / Irrigation Efficiency (PF/IE)	(SF * PF) / IE																														
	Edible planting area		1.0	-																														
	Multi-use and sports field turf area		1.0	-																														
	Area irrigated with recycled water		1.0	-																														
	Pool		1.0	-																														
	Total SLA	0		0																														
Total Landscape Area (including SLA) from ETWU Calculation				3,671																														



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A Planning Application For:  
**MECAH VENTURES**  
 EL CAMINO REAL & E. 4TH AVENUE  
 SAN MATEO, CA 94401

DATE	DESCRIPTION
11.11.2024	SB330 APPLICATION
06.03.2025	1ST PLANNING APPLICATION



**PRELIMINARY IRRIGATION PLAN**

**L0.7**

PROJECT NO. 246148

