



City of San Mateo Building Intensity Plan

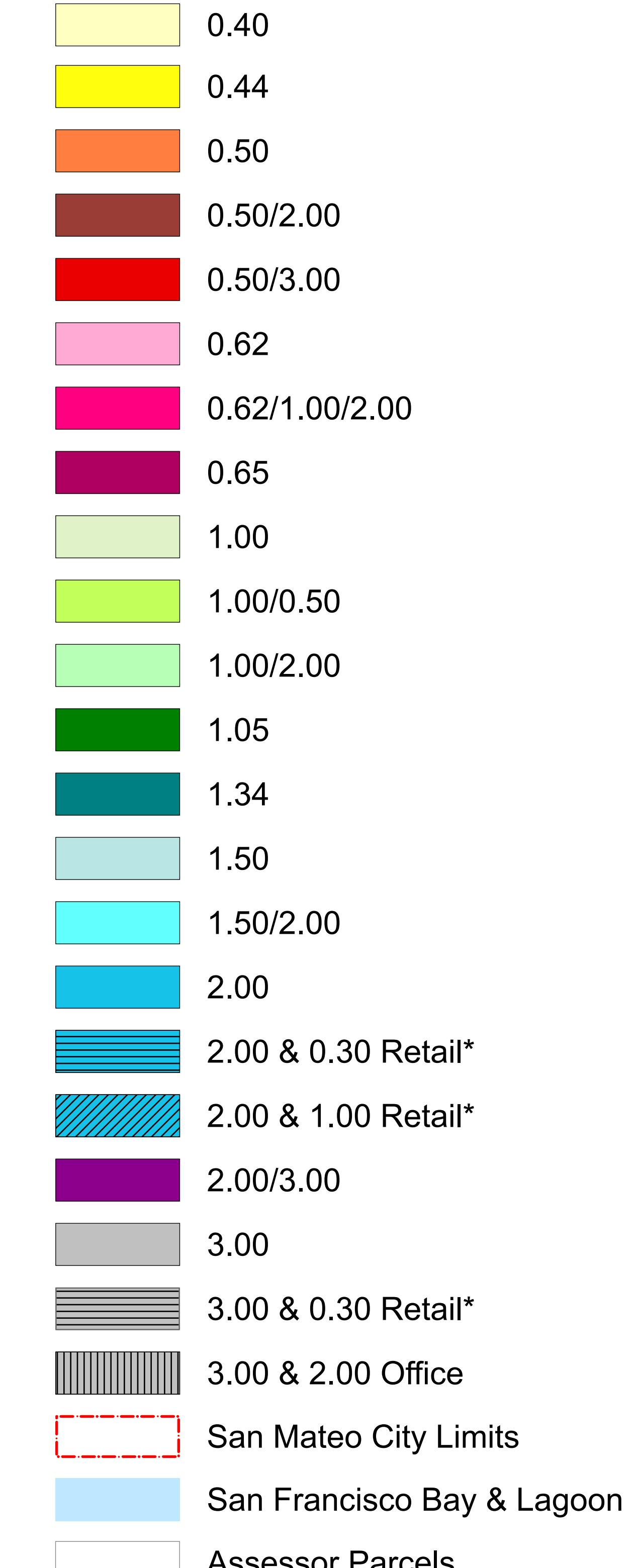
Figure LU-5

LEGEND

Building Intensity Zones

Maximum Floor Area Ratio
Expressed as Base FAR/Max.
FAR with Residential Bonus

Example: 1.0/2.0



* Hatched areas along 17th Avenue, Leslie Street, Concar Drive, and 19th Avenue within the Corridor Plan Study Area are permitted to have ground floor retail uses adjacent to the street frontage, but those uses are limited to an FAR of 0.3 (with the exception of 19th Avenue that has an FAR of 1.0).

Note: The precise length and width of the area adjacent to the Delaware Street extension and relocated station area with an FAR of 3.0 will depend on the future alignment of the Delaware Street extension.

Disclaimer:
These maps are provided for planning and reference purposes only. Accuracy of boundary information contained is not guaranteed. The official records should be consulted for exact information.

For readability, only commercial, industrial, manufacturing, office, and mixed use development intensities are shown.

SCALE
1" = 1,000'



Ordinance # / Other	Effective Date
Updated Assessor Parcel Layer	March, 2009

2010-9	July 21, 2010
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Administrative Cleanup - p.chan	February 16, 2017
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Prepared by
Planning Division

