



# City of San Mateo Building Intensity Plan Figure LU-5

## LEGEND

Building Intensity Zones  
Maximum Floor Area Ratio  
Expressed as Base FAR/Max.  
FAR with Residential Bonus  
Example: 1.0/2.0

- 0.40
- 0.44
- 0.50
- 0.50/2.00
- 0.50/3.00
- 0.62
- 0.62/1.00/2.00
- 0.65
- 1.00
- 1.00/0.50
- 1.00/2.00
- 1.05
- 1.34
- 1.50
- 1.50/2.00
- 2.00
- 2.00 & 0.30 Retail\*
- 2.00 & 1.00 Retail\*
- 2.00/3.00
- 3.00
- 3.00 & 0.30 Retail\*
- 3.00 & 2.00 Office
- San Mateo City Limits
- San Francisco Bay & Lagoon
- Assessor Parcels

\* Hatched areas along 17th Avenue, Leslie Street, Concar Drive, and 19th Avenue within the Corridor Plan Study Area are permitted to have ground floor retail uses adjacent to the street frontage, but those uses are limited to an FAR of 0.3 (with the exception of 19th Avenue that has an FAR of 1.0).

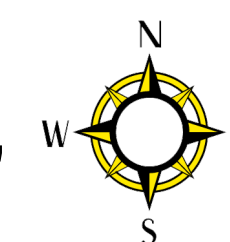
Note: The precise length and width of the area adjacent to the Delaware Street extension and relocated station area with an FAR of 3.0 will depend on the future alignment of the Delaware Street extension.

### Disclaimer:

These maps are provided for planning and reference purposes only. Accuracy of boundary information contained is not guaranteed. The official records should be consulted for exact information.

For readability, only commercial, industrial, manufacturing, office, and mixed use development intensities are shown.

SCALE  
1" = 1,000'



Prepared by  
Planning Division

| Ordinance # / Other                | Effective Date    |
|------------------------------------|-------------------|
| Updated Assessor Parcel Layer      | March, 2009       |
| 2010-9                             | July 21, 2010     |
| Administrative Cleanup<br>- p.chan | February 16, 2017 |