

A Planning Application For:
BLOCK 20
S CLAREMONT ST. & E 4TH AVENUE
SAN MATEO, CA 94401

SAN MATEO APPL. No PA-2024-xxx



RENDERING - S. DELAWARE STREET & E. 4TH AVENUE INTERSECTION

PROJECT DATA												
Unit Type	Unit Type	Unit Area (S.F.)	Bathrooms (S.F.)	Unit Area w/Bathrooms (S.F.)	# Unit Level 4	# Unit Level 5	# Unit Level 6	Total # Units	Density Bonus Parking Req'd	Short Term Bike Pkg Req'd	Long Term Bike Pkg Req'd	Unit Mix
A1.0 (Studio)	475	excluded	475	4	4	4	12	0.00	0.00	1.00	5,700	excluded
A1.1 (Studio)	584	208	792	4	0	0	4	0.00	0.00	1.00	2,336	832
A1.1A (Studio)	601	310	911	1	0	0	1	0.00	0.00	1.00	601	310
A1.1B (Studio)	601	60	661	0	1	1	2	0.00	0.00	1.00	1,202	120
A1.2 (Studio)	584	138	722	1	0	0	1	0.00	0.00	1.00	584	138
A1.5 (Studio)	564	excluded	564	4	4	4	12	0.00	0.00	1.00	6,768	excluded
A1.6 (Studio)	564	excluded	564	2	2	2	6	0.00	0.00	1.00	3,384	excluded
A1.7A (Studio)	584	excluded	584	0	5	5	10	0.00	0.00	1.00	5,840	excluded
B1.0 (1BR/1BA Unit)	732	130	862	1	1	1	3	0.00	0.00	1.00	2,196	360
B1.1 (1BR/1BA Unit)	800	131	931	1	0	0	1	0.00	0.00	1.00	800	131
B1.2 (1BR/1BA Unit)	800	60	860	0	1	1	2	0.00	0.00	1.00	1,600	120
B1.3 (1BR/1BA Unit)	910	excluded	910	1	1	1	3	0.00	0.00	1.00	2,730	excluded
C1.0 (2BR/2BA Unit)	998	excluded	998	1	0	0	1	0.00	0.10	1.25	998	excluded
C1.1 (2BR/2BA Unit)	929	273	1,202	1	0	0	1	0.00	0.10	1.25	929	273
C1.2 (2BR/2BA Unit)	993	131	1,124	1	0	0	1	0.00	0.10	1.25	993	131
C1.3 (2BR/2BA Unit)	987	139	1,126	1	0	0	1	0.00	0.10	1.25	987	139
C1.4 (2BR/2BA Unit)	981	141	1,122	1	0	0	1	0.00	0.10	1.25	981	141
C1.5 (2BR/2BA Unit)	998	60	1,058	0	1	1	2	0.00	0.10	1.25	1,996	120
C1.6 (2BR/2BA Unit)	929	60	989	0	1	1	2	0.00	0.10	1.25	1,858	120
C1.7 (2BR/2BA Unit)	993	60	1,053	0	1	1	2	0.00	0.10	1.25	1,986	120
C1.8 (2BR/2BA Unit)	987	60	1,047	0	1	1	2	0.00	0.10	1.25	1,974	120
C1.9 (2BR/2BA Unit)	981	60	1,041	0	1	1	2	0.00	0.10	1.25	1,962	120
Total # dwelling units					24	24	24	72			48,405	3,325

Use	Level 1	Level 2	Level 3	Level 4	Level 5	Level 6	Level 7	Total Area
Residential Area	2,184				19,588	19,638		61,008
Common Area Per Floor				3,408	3,465	3,465		10,386
Office Area	26,013	27,756	25,974					18,974
Total FAR Floor Area								98,717

Use	Level 1	Level 2	Level 3	Level 4	Level 5	Level 6	Level 7	Total Area
Private Residential Open Space (Level 4/ Level 5 & Level 6) (S.F.) - Provided								2,783
Common Residential Open Space at Level 4 (S.F.) - Provided								1,519
Total open space private + common (residential) - Provided								4,302
Common Office Open Space at Level 3 (S.F.) - Provided								1,534
Common Office Open Space at Level 7 (S.F.) - Provided								3,514
Total Common Office Open Space (S.F.) - Required (1% of total office area OR 0.01 x 98,717 S.F.)								987
Total Common Office Open Space (S.F.) - Provided								5,148

Use	Short Term Bike	Long Term Bike	Bike Total	Compact	Standard (Tandem)	Compact (Tandem)	ADA Standard	Standard Accessible Level 2 EVCS	Standard Accessible Level 3 EV Ready	Van Accessible	Van Accessible Level 2 EVCS	Standard Level 2 EVCS	Standard Level 2 EV Capable	Compact Level 2 EV Capable	Compact Level 2 EVCS	Compact Level 2 EV Ready	Parking Provided
Level 1 - Residential	6		6														
Level 1 - Office	6		6														
Level P1 - Office		10	10	2	9	21	1			1		11	14	17	3		79
Level P2 - Office				4	9	21	2	1			1	1	1	1	9		50
Level P2 - Residential									1	15						10	31
Levels 4, 5 & 6 - Residential		80	80														
Total Parking Provided	12	90	102														160

PROJECT DESCRIPTION

THIS IS A NEW 170,163 S.F. 7 STORY BUILDING WHICH INCLUDES 4 STORY OFFICE AND 3 STORY RESIDENTIAL BUILDING (72 DWELLING UNITS) WITH BELOW GRADE 2 LEVEL PARKING STRUCTURE ON A 33,790 S.F. LOT. SCOPE OF WORK INCLUDES THE CONSTRUCTION OF THE BUILDING CORE AND SHELL, COMPLETE BUILD OUT OF RESIDENTIAL, DWELLING UNITS AS WELL AS SITE IMPROVEMENTS SUCH AS SIDEWALKS, CURBSIDE, CURBSIDE, BICYCLE RACKS, STREET TREES, ETC. THE PROJECT PROPOSES TO EXPORT APPROXIMATELY XX,XXX CY OF SOIL TO CONSTRUCT THIS PROJECT.

PROJECT TEAM

OWNER:	MECAH VENTURES 1205 E Camino Real, Unit #181 Menlo Park, CA 94025	ARCHITECT:	ARC TEC INC. 1701 Technology Drive, Suite 750 San Jose, CA 95119 PHONE: 408.996.0676 CONTACT: Even Sokolatsky EMAIL: even@arctecinc.com
LANDSCAPE ARCHITECT:	KLA, INC. 151 N. Wolfe Street San Jose, CA 95130 PHONE: 209.332.28.56 CONTACT: Tom Holloway EMAIL: tom@krota.com	CIVIL ENGINEER:	BKF 150 California Street, Suite 600 San Francisco, CA 94111 PHONE: 415.330.7004 CONTACT: Ayana Jacobson EMAIL: ajacobson@bkf.com

PROJECT DATA

OWNER NAME:	MECAH VENTURES	BUILDING AREA, OFFICE:	170,163 S.F.
PROJECT ADDRESS:	S CLAREMONT ST. & E 4TH AVENUE SAN MATEO, CA 94401	TOTAL RESIDENTIAL UNITS:	72 UNITS
		NUMBER OF STORES:	7
		CONSTRUCTION TYPE:	SEE TABLE
		FIRE SPRINKLERS:	YES
		OCCUPANCY TYPE:	B, B2, B2.2
		BUILDING TOP OF PLATE:	85' +/-

APPLICABLE CODES

2022 CALIFORNIA BUILDING CODE (CCR TITLE 24, PART 2)
2022 CALIFORNIA ELECTRIC CODE (CCR TITLE 24, PART 3)
2022 CALIFORNIA MECHANICAL CODE (CCR TITLE 24, PART 4)
2022 CALIFORNIA PLUMBING CODE (CCR TITLE 24, PART 5)
2022 CALIFORNIA ENERGY CODE (CCR TITLE 24, PART 6)
2022 CALIFORNIA FIRE CODE (CCR TITLE 24, PART 7)
2022 CALIFORNIA GREEN BUILDING STANDARDS CODE (CCR TITLE 24, PART 11)
ALL CODES ARE SUBJECT TO LOCAL GOVERNMENT AMENDMENTS PER CALIFORNIA BUILDING STANDARDS COMMISSION BULLETIN 10-03.
OFFICE (B) LEVEL 7, II/A
RESIDENTIAL (R-2) LEVEL 6, II/A
RESIDENTIAL (R-3) LEVEL 5, II/A
OFFICE (B) LEVEL 4, II/A
OFFICE (B) LEVEL 3, II/A
OFFICE (B) LEVEL 2, II/A
OFFICE (B) LEVEL 1, II/A
PARKING GARAGE (S2) BELOW GRADE P2: TYPE I/A
PARKING GARAGE (S2) BELOW GRADE P1: TYPE I/A

CONSTRUCTION TYPES

Open Space	Private Residential Open Space (Level 4/ Level 5 & Level 6) (S.F.) - Provided	2,783
	Common Residential Open Space at Level 4 (S.F.) - Provided	1,519
	Total open space private + common (residential) - Provided	4,302
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Level 1 - Residential	6		6														
Level 1 - Office	6		6														
Level P1 - Office		10	10	2	9	21	1			1		11	14	17	3		79
Level P2 - Office				4	9	21	2	1			1	1	1	1	9		50
Level P2 - Residential									1	15						10	31
Levels 4, 5 & 6 - Residential		80	80														
Total Parking Provided	12	90	102														160

DRAWING INDEX AND ISSUE DATES

- PRELIMINARY OR PRICING PLANS
- FIRST FORMAL SUBMITTAL OR NO CHANGES
- SINCE PREVIOUS ISSUE
- MODIFICATIONS SINCE PREVIOUS ISSUE

ISSUE DATES AND DESCRIPTIONS

02.22.22	PRELIM PA SUBMITTAL
03.15.22	1ST PA SUBMITTAL
04.15.22	2ND PA SUBMITTAL
05.15.22	3RD PA SUBMITTAL
06.15.22	4TH PA SUBMITTAL
07.15.22	5TH PA SUBMITTAL
08.15.22	6TH PA SUBMITTAL
09.15.22	7TH PA SUBMITTAL
10.15.22	8TH PA SUBMITTAL
11.15.22	9TH PA SUBMITTAL
12.15.22	10TH PA SUBMITTAL
01.15.23	11TH PA SUBMITTAL
02.15.23	12TH PA SUBMITTAL
03.15.23	13TH PA SUBMITTAL
04.15.23	14TH PA SUBMITTAL
05.15.23	15TH PA SUBMITTAL
06.15.23	16TH PA SUBMITTAL
07.15.23	17TH PA SUBMITTAL
08.15.23	18TH PA SUBMITTAL
09.15.23	19TH PA SUBMITTAL
10.15.23	20TH PA SUBMITTAL
11.15.23	21TH PA SUBMITTAL
12.15.23	22TH PA SUBMITTAL
01.15.24	23TH PA SUBMITTAL
02.15.24	24TH PA SUBMITTAL
03.15.24	25TH PA SUBMITTAL
04.15.24	26TH PA SUBMITTAL
05.15.24	27TH PA SUBMITTAL
06.15.24	28TH PA SUBMITTAL
07.15.24	29TH PA SUBMITTAL
08.15.24	30TH PA SUBMITTAL
09.15.24	31TH PA SUBMITTAL
10.15.24	32TH PA SUBMITTAL
11.15.24	33TH PA SUBMITTAL
12.15.24	34TH PA SUBMITTAL
01.15.25	35TH PA SUBMITTAL
02.15.25	36TH PA SUBMITTAL
03.15.25	37TH PA SUBMITTAL
04.15.25	38TH PA SUBMITTAL
05.15.25	39TH PA SUBMITTAL
06.15.25	40TH PA SUBMITTAL
07.15.25	41TH PA SUBMITTAL
08.15.25	42TH PA SUBMITTAL
09.15.25	43TH PA SUBMITTAL
10.15.25	44TH PA SUBMITTAL
11.15.25	45TH PA SUBMITTAL
12.15.25	46TH PA SUBMITTAL
01.15.26	47TH PA SUBMITTAL
02.15.26	48TH PA SUBMITTAL
03.15.26	49TH PA SUBMITTAL
04.15.26	50TH PA SUBMITTAL
05.15.26	51TH PA SUBMITTAL
06.15.26	52TH PA SUBMITTAL
07.15.26	53TH PA SUBMITTAL
08.15.26	54TH PA SUBMITTAL
09.15.26	55TH PA SUBMITTAL
10.15.26	56TH PA SUBMITTAL
11.15.26	57TH PA SUBMITTAL
12.15.26	58TH PA SUBMITTAL
01.15.27	59TH PA SUBMITTAL
02.15.27	60TH PA SUBMITTAL
03.15.27	61TH PA SUBMITTAL
04.15.27	62TH PA SUBMITTAL
05.15.27	63TH PA SUBMITTAL
06.15.27	64TH PA SUBMITTAL
07.15.27	65TH PA SUBMITTAL
08.15.27	66TH PA SUBMITTAL
09.15.27	67TH PA SUBMITTAL
10.15.27	68TH PA SUBMITTAL
11.15.27	69TH PA SUBMITTAL
12.15.27	70TH PA SUBMITTAL
01.15.28	71TH PA SUBMITTAL
02.15.28	72TH PA SUBMITTAL
03.15.28	73TH PA SUBMITTAL
04.15.28	74TH PA SUBMITTAL
05.15.28	75TH PA SUBMITTAL
06.15.28	76TH PA SUBMITTAL
07.15.28	77TH PA SUBMITTAL
08.15.28	78TH PA SUBMITTAL
09.15.28	79TH PA SUBMITTAL
10.15.28	80TH PA SUBMITTAL
11.15.28	81TH PA SUBMITTAL
12.15.28	82TH PA SUBMITTAL
01.15.29	83TH PA SUBMITTAL
02.15.29	84TH PA SUBMITTAL
03.15.29	85TH PA SUBMITTAL
04.15.29	86TH PA SUBMITTAL
05.15.29	87TH PA SUBMITTAL
06.15.29	88TH PA SUBMITTAL
07.15.29	89TH PA SUBMITTAL
08.15.29	90TH PA SUBMITTAL
09.15.29	91TH PA SUBMITTAL
10.15.29	92TH PA SUBMITTAL
11.15.29	93TH PA SUBMITTAL
12.15.29	94TH PA SUBMITTAL
01.15.30	95TH PA SUBMITTAL
02.15.30	96TH PA SUBMITTAL
03.15.30	97TH PA SUBMITTAL
04.15.30	98TH PA SUBMITTAL
05.15.30	99TH PA SUBMITTAL
06.15.30	100TH PA SUBMITTAL

COVER SHEET

ARCHITECTURAL	A 0.01 3D RENDERING	
A 0.02 3D RENDERING		
A 0.03 3D RENDERING		
A 0.04 3D RENDERING		
A 0.05 3D RENDERING		
A 0.06 3D RENDERING		
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A 3.16 ENLARGED UNIT PLANS		
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A 3.18 ENLARGED UNIT PLANS		
A 3.19 ENLARGED UNIT PLANS		
A 3.20 ENLARGED UNIT PLANS		
A 3.21 ENLARGED UNIT PLANS		
A 3.22 ENLARGED UNIT PLANS		
A 3.23 ENLARGED UNIT PLANS		
A 3.24 ENLARGED UNIT PLANS		

[illegible]

PLANNING APPLICATION FOR:
MECAH VENTURES
BLOCK 20
SAN MATEO, CA 94401

DATE	DESCRIPTION
08.22.2002	ZONING PRE-APPLICATION
01.13.2002	FIRST PLANNING SUBMITTAL
04.14.2003	SECOND PLANNING SUBMITTAL
07.14.2003	THIRD PLANNING SUBMITTAL
11.15.2003	FOURTH PLANNING SUBMITTAL
05.12.2004	FIFTH PLANNING SUBMITTAL

PA-2023-003

RENDERING

A 0,01

PROJECT NO: 215513





DATE	DESCRIPTION
08.22.2022	ZONING PRE-APPLICATION
01.13.2022	FIRST PLANNING SUBMITTAL
04.14.2023	SECOND PLANNING SUBMITTAL
07.14.2023	THIRD PLANNING SUBMITTAL
11.15.2023	FOURTH PLANNING SUBMITTAL
03.18.2024	FIFTH PLANNING SUBMITTAL

PROJECT NO: 215513

[illegible]

DATE	DESCRIPTION
08.22.2002	ZONING PRE-APPLICATION
01.13.2002	FIRST PLANNING SUBMITTA
04.14.2003	SECOND PLANNING SUBMITTA
07.14.2003	THIRD PLANNING SUBMITTA
11.15.2003	FOURTH PLANNING SUBMITTA
03.18.2004	FIFTH PLANNING SUBMITTA

PA-2023-003
RENDERING

A 0.04

PROJECT NO: 215513



EXTERIOR RENDERING - VIEW FROM E. 4TH AVENUE

PLANNING APPLICATION FOR:
MECAH VENTURES
BLOCK 20
SAN MATEO, CA 94401

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06.22.2022	ZONING PRE-APPLICATION
01.13.2023	FIRST PLANNING SUBMITTAL
04.14.2023	SECOND PLANNING SUBMITTAL
07.14.2023	THIRD PLANNING SUBMITTAL
11.15.2023	FOURTH PLANNING SUBMITTAL
03.16.2024	FIFTH PLANNING SUBMITTAL

[illegible]

PLANNING APPLICATION FOR:
MECAH VENTURES
BLOCK 20
SAN MATEO, CA 94401

DATE	DESCRIPTION
08.22.2022	ZONING PRE-APPLICATION
01.13.2022	FIRST PLANNING SUBMITTA
04.14.2023	SECOND PLANNING SUBMITTA
07.14.2023	THIRD PLANNING SUBMITTA
11.15.2023	FOURTH PLANNING SUBMITTA
03.18.2024	FIFTH PLANNING SUBMITTA

PA-2023-003

RENDERING

A 0.06

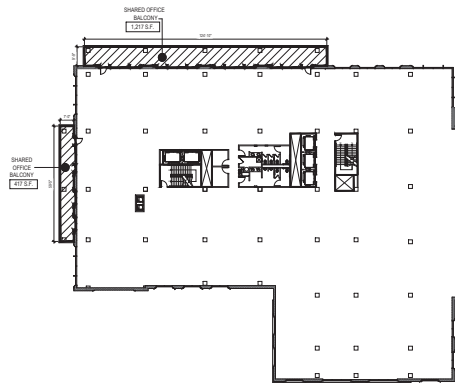
PROJECT NO: 215513

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04.14.2003	SECOND PLANNING SUBMITTA
07.14.2003	THIRD PLANNING SUBMITTA
11.15.2003	FOURTH PLANNING SUBMITTA
03.18.2004	FIFTH PLANNING SUBMITTA

A 0.07

PROJECT NO: 215513



THIRD LEVEL OPEN SPACE

Third Level Open Space	Office Common Open Space (S.F.) - Provided	1,634
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USABLE OPEN SPACE PER FLOOR - RESIDENTIAL

Fourth Level Open Space	Private Open Space (Balconies) (S.F.) - Provided	1,683 S.F.
Fifth Level Open Space	Common Open Space at Level 4 (S.F.) - Provided	1,519 S.F.
	Private Open Space (Balconies) (S.F.) - Provided	550 S.F.
Sixth Level Open Space	Private Open Space (Balconies) (S.F.) - Provided	550 S.F.
TOTAL OPEN SPACE		4,302 S.F.

Third Level Open Space	Office Open Space (S.F.) - Provided	1,634 S.F.
Seventh Level Open Space	Office Open Space (S.F.) - Provided	3,514 S.F.
TOTAL OPEN SPACE		5,148 S.F.

DATE	DESCRIPTION
22.2022	ZONING PRE-APPLICATION
13.2022	FIRST PLANNING SUBMITTAL
14.2023	SECOND PLANNING SUBMITTAL
14.2023	THIRD PLANNING SUBMITTAL
15.2023	FOURTH PLANNING SUBMITTAL
18.2024	FIFTH PLANNING SUBMITTAL

TABLE OPEN SPACE DIAGRAMS

PROJECT NO: 215513

SCALE: 1/32" = 1'-0"

Open Space	Private Residential Open Space (Level 4 (S.F.) & Level 6 (S.F.) - Provided	2,793
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BUILDING ELEMENT	TYPE I		TYPE II		TYPE III		TYPE IV		TYPE V		TYPE V		
	IA	IB	IIA ^a	IIIB	IIIA ^a	IIIB	IVA	IVB	A	B	C	HT	VB
Primary Structural Frame (See Section 2024)	3	2	1 ^{a,1}	1	0 ^a	0	0	0	3	2	2	HT	1 ^a 0
Bearing Walls	3	2	1	0	0	0	0	0	0	0	0	HT	1
Exterior "I"	2 ^a	2 ^a	1	0	0	0	0	0	0	0	0	1	0
Nonbearing Walls And Partitions - Exterior	See Table 705.5												
Nonbearing Walls And Partitions - Interior ^a	0	0	0	0	0	0	0	0	0	0	0	0	0
Floor Construction and Associated Secondary Members (see Section 202)	2	2	1	0	1	0	0	0	0	0	0	HT	1
Roof Construction and Associated Secondary Members (see Section 202)	1 1/2 ^a	1 1/2 ^a	1 ^a	0	1 ^a	0	0	0	0	0	0	HT	1 ^a 0

R **Roofs:** Fire-resistance ratings of primary structural frame and bearing walls are permitted to be reduced by 1 hour and 1 hour respectively for the following:

- 1. **E** **Existing:** **E** **1**, **F** **1**, **H** **1**, **L** **1**, **R** **1**, **R** **2**, **R** **2** and **S** 1-5 occupancies, high-rise buildings, and other applications listed in Section 111 regulated by the Office of the State Fire Marshal, the prediction of structural members in non-structure shall not be required.
- 2. **F** **For New:** **F** **1**, **H** **1**, **L** **1**, **R** **1**, **R** **2**, **R** **2** and **S** 1-5 occupancies, high-rise buildings, and other applications listed in Section 111 regulated by the Office of the State Fire Marshal, the prediction of structural members in non-structure shall not be required.

20 feet or more above any floor immediately below. Fire-retardant treated wood members shall be allowed to be used for such unprotected members.

2. **F** **For New:** **E** **1**, **F** **1**, **H** **1**, **R** **2**, and **R** **2** 1 occupancies, high-rise buildings, and other applications listed in Section 111 regulated by the Office of the State Fire Marshal, the prediction of structural members above the primary structural frame shall not be required, including protection of roof framing and decking where every part of the roof construction is 20 feet or more above any floor immediately below. Fire-retardant treated wood members shall be allowed to be used for such unprotected members.

3. **E** **One-story portions of Group A and S assemblies** occupies the roof framing system of Type I or Type II construction may be unprotected construction for the following:

- 1. **E** **In occupancy:** Heavy timber construction, Section 2004.1 that is allowed for non-structure including primary structural frame and decking, 1 hour or more fire-resistance rating is required.
- 2. **E** **Not less than** the fire-resistance rating required by the sections of this code.
- 3. **E** **Not less than** the fire-resistance rating required by the sections of this code, except that the minimum is 75 minutes.
- 4. **E** **Not less than** the fire-resistance ratings as referenced in Section 704.10.

5. **E** **Heavy timber buildings** supporting more than two floors or more than one floor and a roof that has a fire-resistance rating of less than 1 hour.

- a. Load-bearing exterior walls shall also comply with the fire-resistance rating requirements of Table 601.1.
- b. For Section 708.1.1 for party walls.
- c. Open parking garages complying with Section 405 shall not be required to have a fire-resistance rating.
- d. The fire-resistance rating of an exterior wall is determined based upon the fire separation distance of the exterior wall and the story in which the exterior wall is located.
- e. For special requirements for Group I occupancies, see Section 415.6.
- f. For special requirements for Group G aircraft hangars, see Section 412.3.1.
- g. For Group I-2 occupancies, where the fire separation distance is less than 10 feet and unprotected openings, the required fire-resistance rating for the exterior walls shall be 1 hour.
- h. For Group I-2 occupancies where Group U occupancy private garage or carport, the exterior wall shall not be required to have a fire-resistance rating where the fire separation distance is 15 feet (5231 mm) or greater or where equipped throughout with an automatic sprinkler system in accordance with Section 903.3 the fire-resistance rating shall not be required where the fire separation distance is less than 10 feet.
- i. For a Group R-3 building of Type II or of V construction, the exterior wall shall not be required to have a fire-resistance rating where the fire separation distance is 15 feet (5231 mm) or greater or where equipped throughout with an automatic sprinkler system in accordance with Section 903.3 the fire-resistance rating shall not be required where the fire separation distance is less than 10 feet.

- a. For requirements for occupancies in Group I-2 and I-2.1, see Sections 407.2 and 407.3.
- b. For a reduction in the fire-resistance rating for occupancies in Group I-3, see Section 408.8.
- c. Buildings equipped throughout with an automatic sprinkler system in accordance with Section 903.3.1.1 or 903.3.1.2 where allowed.

Section R-3 and R-4 buildings equipped throughout with an automatic sprinkler system in accordance with section 903.3.1.3. See Section 903.2.8 for occupancies where automatic sprinkler systems are permitted in accordance with section 903.3.1.3.

LEVEL 01 FLOOR (OFFICE)				LEVEL 07 FLOOR (OFFICE)			
B OCCUPANCY NET AREA: 26,013 S.F. 26,013 S.F. / 150 S.F. PER PERSON = 173.42 PERSONS; ROUND UP TO 174 PERSONS OR 87 MEN & 87 WOMEN				B OCCUPANCY NET AREA: 18,974 S.F. 18,974 S.F. / 150 S.F. PER OCCUPANT = 126.49 OCCUPANTS; ROUND UP TO 127 OCCUPANTS OR 63 MEN & 64 WOMEN			
MEN'S FIXTURES		REQUIRED:		MEN'S FIXTURES		REQUIRED:	
WATER CLOSETS:		87 OCCUPANTS ÷ 2		WATER CLOSETS:		63 OCCUPANTS ÷ 2	
URINALS:		87 OCCUPANTS ÷ 1		WATER CLOSETS:		63 OCCUPANTS ÷ 1	
LAVATORIES:		87 OCCUPANTS ÷ 2		LAVATORIES:		64 OCCUPANTS ÷ 2	

B OCCUPANCY NET AREA: 18,974 S.F.

18,974 S.F. / 150 S.F. PER OCCUPANT = 126.49 OCCUPANTS, ROUND UP TO 127 OCCUPANTS
OR 63 MEN & 64 WOMEN

MEN'S FIXTURES	REQUIRED:	WOMEN'S FIXTURES	REQUIRED:
WATER CLOSETS:	63 OCCUPANTS or 2	WATER CLOSETS:	64 OCCUPANTS or 4
URINALS:	63 OCCUPANTS or 1		

MEN'S FIXTURES	REQUIRED:	WOMEN'S FIXTURES	REQUIRED:
WATER CLOSETS:	2	WATER CLOSETS:	4
URINALS:	1		
LAVATORIES:	2	LAVATORIES:	2
HI-LOW DRINKING FOUNTAIN	1		
SERVICE SINK	1		
MEN'S FIXTURES	PROVIDED:	WOMEN'S FIXTURES	PROVIDED:
WATER CLOSETS:	2	WATER CLOSETS:	4
URINALS:	1		
LAVATORIES:	2	LAVATORIES:	2
HI-LOW DRINKING FOUNTAIN	1		
SERVICE SINK	1		

B OCCUPANCY NET AREA-27,756 S.F.

27,756 S.F. / 150 S.F. PER OCCUPANT = 185.04 OCCUPANTS; ROUND UP TO 185 OCCUPANTS
OR 92 MEN & 93 WOMEN

MEN'S FIXTURES	REQUIRED:	WOMEN'S FIXTURES	REQUIRED:
WATER CLOSETS:	92 OCCUPANTS or 2	WATER CLOSETS:	93 OCCUPANTS or 4
URINALS:	92 OCCUPANTS or 1		

MEN'S FIXTURES	REQUIRED:	WOMEN'S FIXTURES	REQUIRED:
WATER CLOSETS:	2	WATER CLOSETS:	4
URINALS:	2		
LAVATORIES:	1	LAVATORIES:	2
HI-LOW DRINKING FOUNTAIN			
SERVICE SINK	1		
MEN'S FIXTURES	PROVIDED:	WOMEN'S FIXTURES	PROVIDED:
WATER CLOSETS:	2	WATER CLOSETS:	4
URINALS:	2		
LAVATORIES:	2	LAVATORIES:	2

OCCUPANCY NET AREA: 25,974 S.F.

25,974 S.F. / 150 S.F. PER OCCUPANT = 173.16 OCCUPANTS; ROUND UP TO 173 OCCUPANTS
OR 86 MEN & 87 WOMEN

MEN'S FIXTURES	REQUIRED:	WOMEN'S FIXTURES	REQUIRED:
WATER CLOSETS:	86 OCCUPANTS or 2	WATER CLOSETS:	87 OCCUPANTS or 4
URINALS:	86 OCCUPANTS or 1		
LAVATORIES:	86 OCCUPANTS or 2	LAVATORIES:	87 OCCUPANTS or 2

MEN'S FIXTURES	REQUIRED:	WOMEN'S FIXTURES	REQUIRED:
WATER CLOSETS:	2	WATER CLOSETS:	4
URINALS:	1		
LAVATORIES:	2	LAVATORIES:	2
HI-LOW DRINKING FOUNTAIN			
SERVICE SINK	1		
MEN'S FIXTURES	PROVIDED:	WOMEN'S FIXTURES	PROVIDED:
WATER CLOSETS:	2	WATER CLOSETS:	4
URINALS:	2		
LAVATORIES:	2	LAVATORIES:	2
HI-LOW DRINKING FOUNTAIN			
SERVICE SINK	1		

ABOVE-GRADE BUILDING (OFFICE AND RESIDENTIAL)	
AUTOMATIC SPRINKLER CONFIGURATION	
SM BUILDING TWO OR MORE STORES ABOVE GRADE PLANE, EQUIPPED THROUGHOUT WITH AN AUTOMATIC SPRINKLER SYSTEM IN ACCORDANCE WITH SECTION 903.3.1.1)	
BELOW 3RD FLOOR	CONSTRUCTION TYPE: I-A
ABOVE 3RD FLOOR	CONSTRUCTION TYPE: III-A
	OCCUPANCY CLASSIFICATION
	B B-2
MAXIMUM HEIGHT (TABLE 504.2)	85'-0" 85'-0"
MAXIMUM NUMBER OF STORES (TABLE 504.4)	6 5
SM ALLOWABLE AREA FACTOR (TABLE 506.2)	85.00 S.F. 72.00 S.F.
NS AREA FACTOR (TABLE 506.2)	29.50 S.F. 24.00 S.F.
HEIGHT OF PROPOSED BUILDING	75'-0" (TOP OF PLATE PER ELEV.)
NUMBER OF STORES ABOVE GRADE (STARTS AT TOP OF 1A FOOTING PER §10.2)	3 3
PROPOSED AREA PER FLOOR	B B-2
LEVEL 01	26,013 S.F. 2,184 S.F.
LEVEL 02	27,796 S.F. -
LEVEL 03	25,974 S.F. -
LEVEL 04	- 23,566 S.F.
LEVEL 05	- 23,103 S.F.
LEVEL 06	- 23,103 S.F.
LEVEL 07	18,971 S.F. -
TOTAL BUILDING AREA ABOVE GRADE	98,771 S.F. 71,446 S.F.

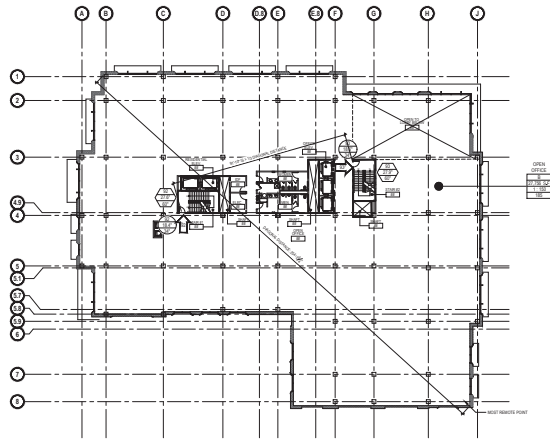
BELOW GRADE BUILDING (PARKING GARAGE)		
CONSTRUCTION TYPE: 1-A		
OCCUPANCY CLASSIFICATION: S-2		
AUTOMATIC SPRINKLER CONFIGURATION:	S1 (BUILDING A MAXIMUM OF ONE STORY ABOVE GRADE PLANE, EQUIPPED THROUGHOUT WITH AN AUTOMATIC SPRINKLER SYSTEM IN ACCORDANCE WITH SECTION 903.3.1.)	
	OCCUPANCY CLASSIFICATION:	
	S-2	
MAXIMUM HEIGHT (TABLE 504.2)	UNLIMITED	
MAXIMUM NUMBER OF STORIES (TABLE 504.4)	UNLIMITED	
S1 ALLOWABLE AREA FACTOR (TABLE 506.2)	UNLIMITED	
NS AREA FACTOR (TABLE 506.2)	UNLIMITED	
PROPOSED AREA PER FLOOR		
BUILDING LEVELS		BUILDING AREA
PARKING LEVEL 2		32,247 S.F.
PARKING LEVEL 1		32,247 S.F.
TOTAL BUILDING AREA BELOW GRADE		64,494 S.F.

ABOVE GRADE OFFICE AND RESIDENTIAL:
TYPE I-A CONSTRUCTION (BUSINESS B OCCUPANCY LEVEL 01 TO LEVEL 03)
TYPE III-A CONSTRUCTION (RESIDENTIAL R-2 OCCUPANCY LEVEL 04 TO LEVEL 06)

- Below grade Parking Structure: Type I-A construction.
- Three-hour rated construction is required for exterior walls and concrete slab separating garage from the office building. Minimum concrete thickness to be 6.2".
- Two-hour rating is required for other floors with minimum concrete thickness of 5".
- All shafts and stairs to be constructed with two-hour partitions.

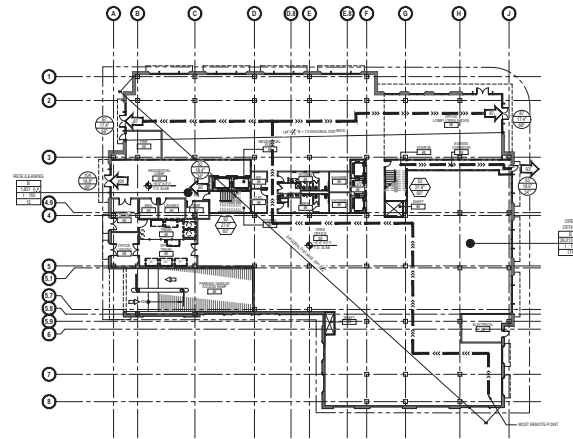
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DATE	DESCRIPTION
22.02.2022	ZONING PRE-APPLICATION
13.03.2022	FIRST PLANNING SUBMITTAL
14.04.2023	SECOND PLANNING SUBMITTAL
14.04.2023	THIRD PLANNING SUBMITTAL
15.05.2023	FOURTH PLANNING SUBMITTAL
18.08.2024	FIFTH PLANNING SUBMITTAL



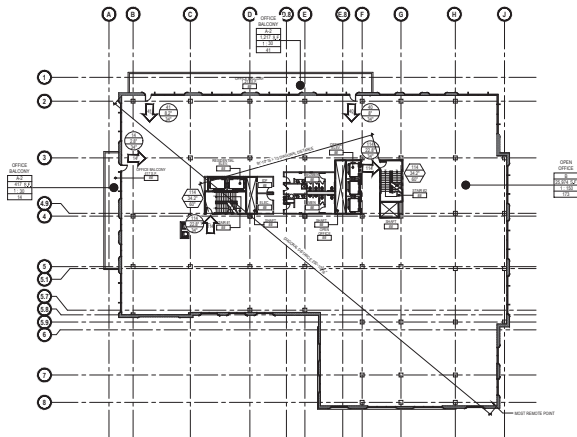
SECOND LEVEL EGRESS PLAN

SCALE: 1/32" = 1'-0"



FIRST LEVEL EGRESS PLAN

SCALE: 1/32" = 1'-0"



THIRD LEVEL EGRESS PLAN

SCALE: 1/32" = 1'-0"

SYMBOL KEY

AREA OCCUPANT LOAD DESIGNATION

ROOM NAME	OCCUPANCY CLASSIFICATION OF THE SPACE
8	17,444 S.F.
1	1,150

STAIRWAY OCCUPANT LOAD DESIGNATION

NUMBER OF OCCUPANTS	STAIR WIDTH REQUIRED (INCHES)
100	30"
50	24"

DIRECTION OF EGRESS/OCCUPANT LOAD DESIGNATION

DIRECTION OF EGRESS	OCCUPANT LOAD
100	100

EXIT SIGNAGE DESIGNATION

SIGN FACE DIRECTION	DIRECTION OF TRAVEL
100	100

DOORWAY OCCUPANT LOAD DESIGNATION

NUMBER OF OCCUPANTS	EXIT WIDTH REQUIRED
100	30"
50	24"

PATH OF TRAVEL DESIGNATION

EXIT IN ONE DIRECTION	EXIT IN BOTH DIRECTIONS
100	100

FIRE EXTINGUISHERS AND FIRE HOSES

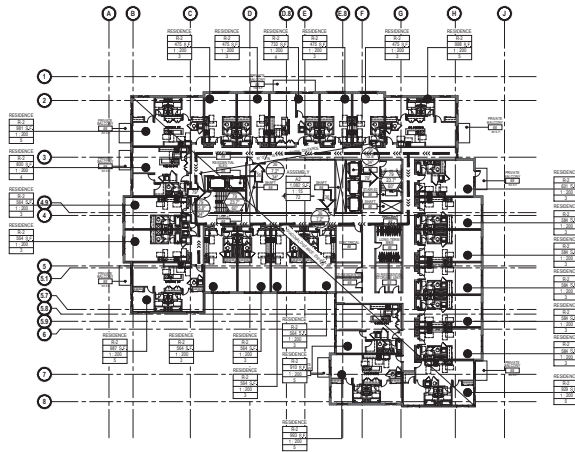
FIRE EXTINGUISHER	FIRE HOSE
100	100

RATED SEPARATION DESIGNATION

1 HOUR RATED FIRE SEPARATION	2 HOUR RATED FIRE SEPARATION
100	100

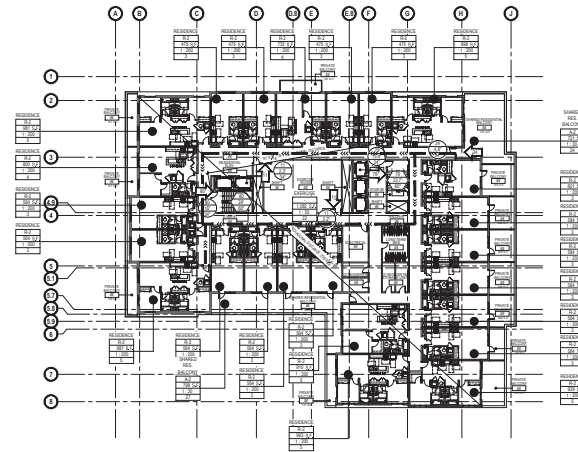
EXITING WIDTH TABULATIONS

THIS BUILDING IS EQUIPPED WITH AUTOMATIC SPRINKLER SYSTEM. EXIT WIDTH REQUIRED IS 0.3" PER PERSON FOR STAIRS AND 0.2" PER DOORS AND OTHER EXIT ELEMENTS, PER CBC SECTION 1005.3.



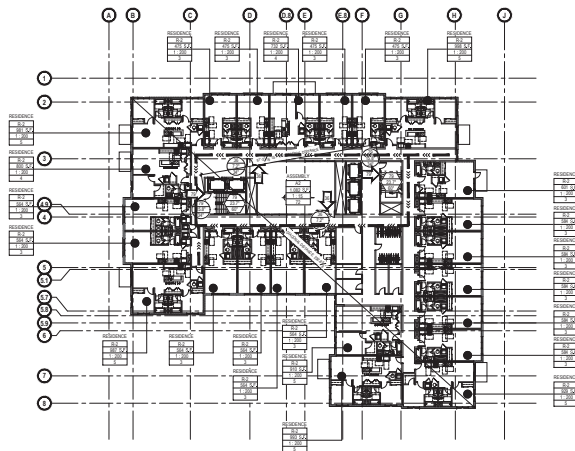
FIFTH LEVEL EGRESS PLAN

SCALE: 1/32" = 1'-0"



FOURTH LEVEL EGRESS PLAN

SCALE: 1/32" = 1'-0"



SIXTH LEVEL EGRESS PLAN

SCALE: 1/32" = 1'-0"

SYMBOL KEY

AREA OCCUPANT LOAD DESIGNATION

ROOM NAME	OCCUPANCY CLASSIFICATION OF THE SPACE
8	8
12, 44, 5, 1	SQUARE FOOTAGE
1, 150	OCCUPANT LOAD FACTOR
	NUMBER OF OCCUPANTS

STAIRWAY OCCUPANT LOAD DESIGNATION

100	NUMBER OF OCCUPANTS
30, 10	STAIR WIDTH REQUIRED (INCHES)
100	STAIR WIDTH PROVIDED (INCHES)

DIRECTION OF EGRESS/OCCUPANT LOAD DESIGNATION

100	DIRECTION OF EGRESS
100	OCCUPANT LOAD

EXIT SIGNAGE DESIGNATION

100	SIGN FACE DIRECTION
100	DIRECTION OF TRAVEL

DOORWAY OCCUPANT LOAD DESIGNATION

100	NUMBER OF OCCUPANTS
20, 10	EXIT WIDTH REQUIRED
30	EXIT WIDTH PROVIDED

PATH OF TRAVEL DESIGNATION

100	EXIT IN ONE DIRECTION
100	EXIT IN BOTH DIRECTIONS

FIRE EXTINGUISHERS AND FIRE HOSES

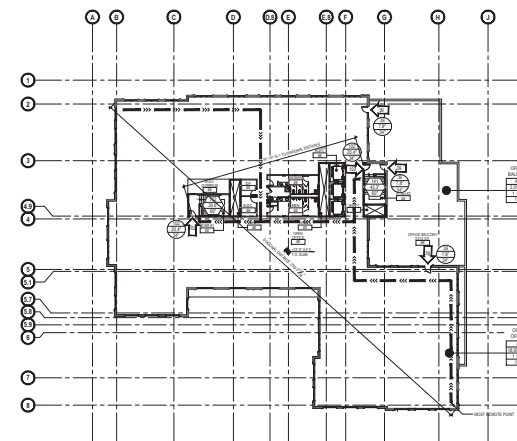
FE	FIRE EXTINGUISHER
FE.C	BRACKET MOUNTED

RATED SEPARATION DESIGNATION

100	1 HOUR RATED FIRE SEPARATION
100	2 HOUR RATED FIRE SEPARATION

EXITING WIDTH TABULATIONS

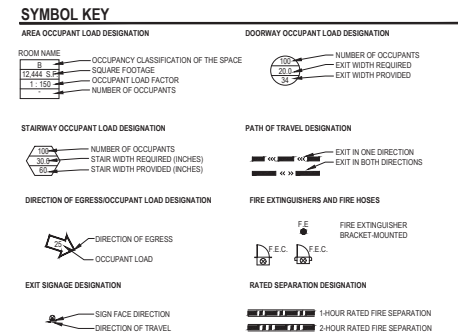
THIS BUILDING IS EQUIPPED WITH AUTOMATIC SPRINKLER SYSTEM. EXIT WIDTH REQUIRED IS 0.2' PER PERSON FOR STAIRS AND 0.2' PER DOORS AND OTHER EXIT ELEMENTS, PER CBC SECTION 1005.3.



SCALE: 1/32" = 1'-0"



SCALE: 1/32" = 1'-0"



SCALE: 1/32" = 1'-0"

THIS BUILDING IS EQUIPPED WITH AUTOMATIC SPRINKLER SYSTEM. EXIT WIDTH REQUIRED IS 0.3' PER PERSON FOR STAIRS AND 0.2' PER DOORS AND OTHER EXIT ELEMENTS, PER CBC SECTION 1005.3.

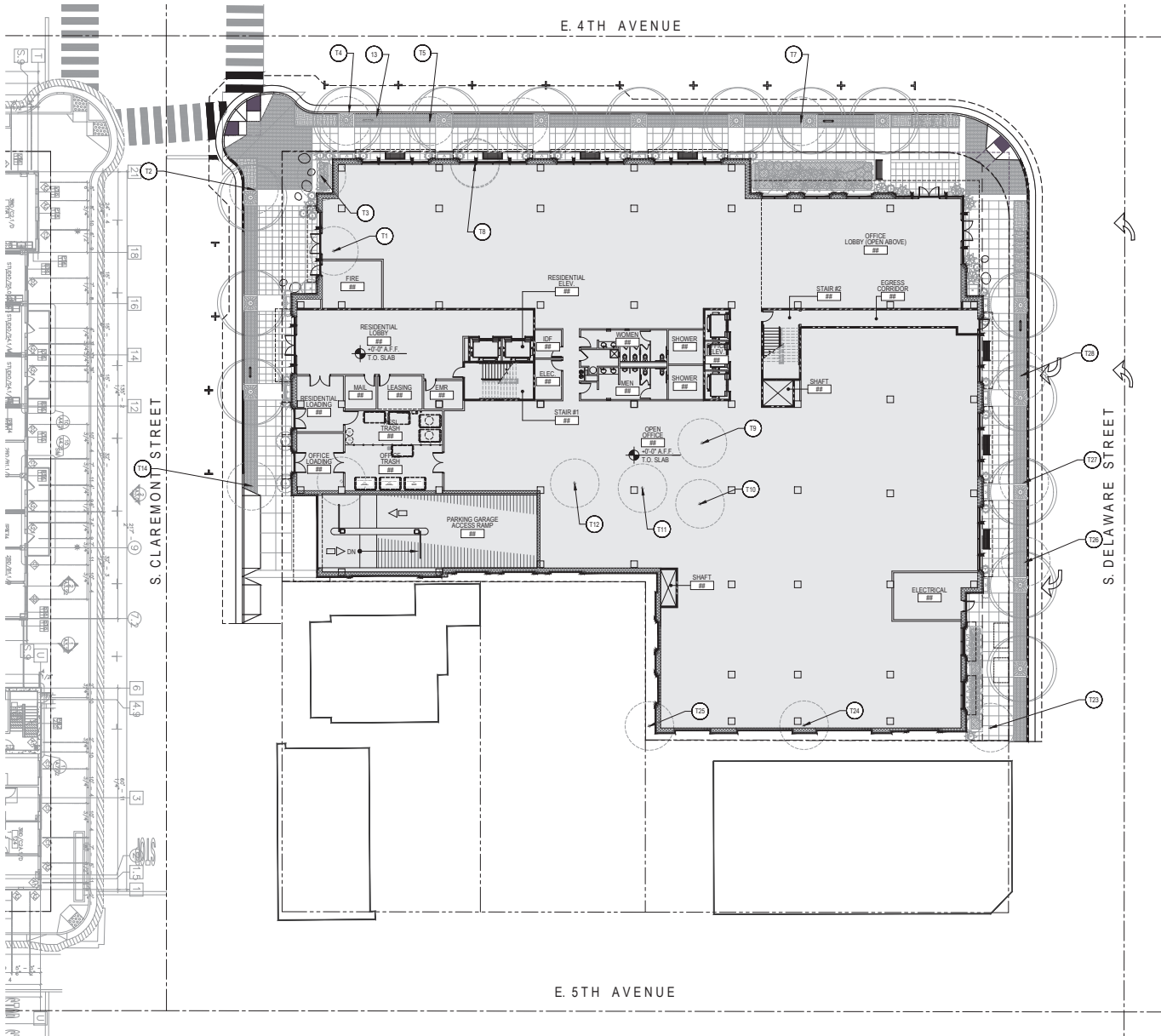
PROJECT NO: 215513

SCALE: 1/16" = 1'-0"

REFER TO SHEET A1.00 FOR EXISTING UTILITIES, OBSTRUCTIONS, ETC.
REFER TO SHEET A1.01A FOR BUILDING CONTEXT AND ADJACENT PROPERTIES
REFER TO SHEET A1.01B FOR EXISTING TREES AND TREE SCHEDULE
REFER TO SHEET A1.01C FOR ON-SITE WASTE MANAGEMENT PLAN

A1.01





TREE EVALUATION PLAN

SCALE: 1/8" = 1'-0"

EXISTING TREE SCHEDULE

TREE T1	CAROL (CERATONIA SILQUA)	REMOVE
TREE T2	GINKGO (GINKGO BILOBA)	REMOVE
TREE T3	MAYTEN (MAYTEN BOARIA)	REMOVE
TREE T4	HACKBERRY (CELTIC OCCIDENTALIS)	REMOVE
TREE T5	HACKBERRY (CELTIC OCCIDENTALIS)	REMOVE
TREE T6	HACKBERRY (CELTIC OCCIDENTALIS)	REMOVE
TREE T7	HACKBERRY (CELTIC OCCIDENTALIS)	REMOVE
TREE T8	OLIVE (OLEA EUROPAEA)	REMOVE
TREE T9	RED IRON BARK EUCALYPTUS (EUCALYPTUS SIDEROXYLON)	REMOVE
TREE T10	RED IRON BARK EUCALYPTUS (EUCALYPTUS SIDEROXYLON)	REMOVE
TREE T11	RED IRON BARK EUCALYPTUS (EUCALYPTUS SIDEROXYLON)	REMOVE
TREE T12	ITALIAN CYPRESS (CUPRESSUS SEMPERVIRENS)	REMOVE
TREE T13	HACKBERRY (CELTIC OCCIDENTALIS)	REMOVE
TREE T14	GINKGO (GINKGO BILOBA)	REMOVE
TREE T15	PHOTINIA (PHOTINIA SERRULATA)	REMOVE
TREE T16	PHOTINIA (PHOTINIA SERRULATA)	REMOVE
TREE T17	AUSTRALIAN WILLOW (GEUERA PARVIFLORA)	REMOVE
TREE T18	AUSTRALIAN WILLOW (GEUERA PARVIFLORA)	REMOVE
TREE T19	AUSTRALIAN WILLOW (GEUERA PARVIFLORA)	REMOVE
TREE T20	AUSTRALIAN WILLOW (GEUERA PARVIFLORA)	REMOVE
TREE T21	AUSTRALIAN WILLOW (GEUERA PARVIFLORA)	REMOVE
TREE T22	AUSTRALIAN WILLOW (GEUERA PARVIFLORA)	REMOVE
TREE T23	AUSTRALIAN WILLOW (GEUERA PARVIFLORA)	REMOVE
TREE T24	AUSTRALIAN WILLOW (GEUERA PARVIFLORA)	REMOVE
TREE T25	AUSTRALIAN WILLOW (GEUERA PARVIFLORA)	REMOVE
TREE T26	AUSTRALIAN WILLOW (GEUERA PARVIFLORA)	REMOVE
TREE T27	AUSTRALIAN WILLOW (GEUERA PARVIFLORA)	REMOVE
TREE T28	AUSTRALIAN WILLOW (GEUERA PARVIFLORA)	REMOVE



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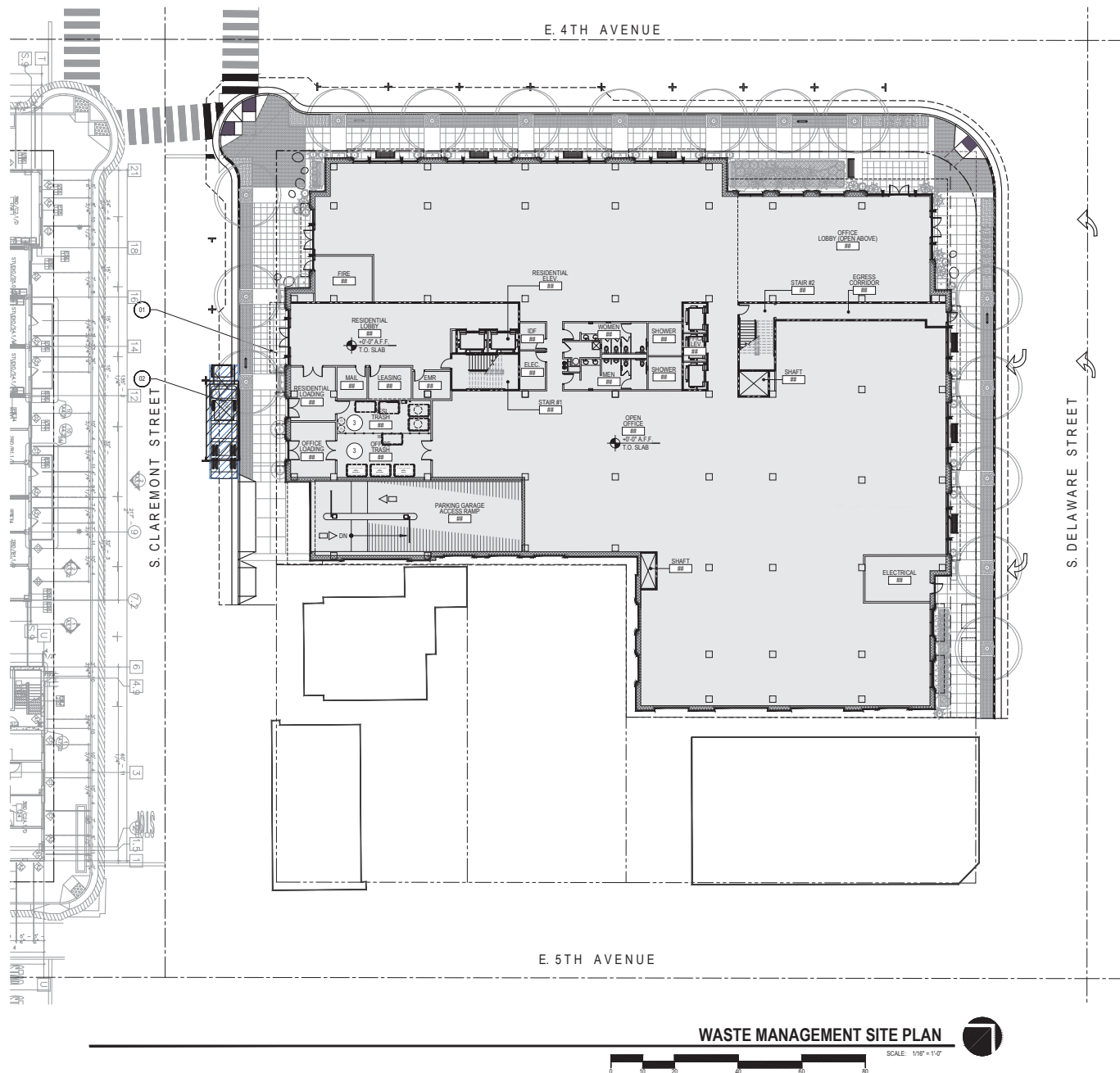
PLANNING APPLICATION FOR:
MECAH VENTURES
BLOCK 20
SAN MATEO, CA 94401

DATE	DESCRIPTION
08.22.2022	ZONING PRE-APPLICATION
01.13.2023	FIRST PLANNING SUBMITTAL
04.14.2023	SECOND PLANNING SUBMITTAL
07.14.2023	THIRD PLANNING SUBMITTAL
11.15.2023	FOURTH PLANNING SUBMITTAL
03.16.2024	FIFTH PLANNING SUBMITTAL

PA-2023-003
TREE EVALUATION PLAN
& EXISTING TREE SCHEDULE

A1.01B

PROJECT NO. 215513



PA-2023-003

WASTE MANAGEMENT
SITE PLAN

A1.01C

PROJECT NO: 215513



SCALE: 1 INCH = 1' 00"



SCALE: 3"=1'-0"

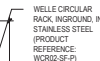
- WALKWAYS CROSSING VEHICULAR WAYS WITH SLOPES BETWEEN 5% (1:20) AND 6.67% (1:15): FULL SURFACE OF THE RAMP SHALL HAVE TRUNCATED DOMES
- WALKWAYS CROSSING VEHICULAR WAYS WITH SLOPES BETWEEN 6.67% (1:15) AND (8.5% 1:12): 3" WIDE X (WIDTH OF SIDEWALK) AREA OF TRUNCATED DOMES
- THE TRUNCATED DOME SURFACE DOES NOT NEED TO BE YELLOW, IT ONLY NEEDS TO CONTRAST VISUALLY WITH ADJACENT SURFACES, AND IT MUST BE INTEGRALLY COLORED.



SCALE: 1/2"=1'-0"



SCALE: 1"=1'-0"



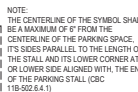
SCALE: 1"=1'-0"



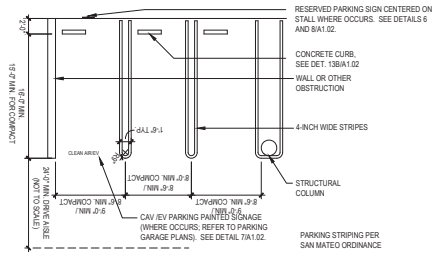
SCALE: 1 1/2"=1'



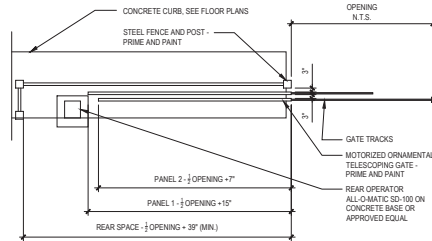
SCALE: 1/8" = 1'-0"



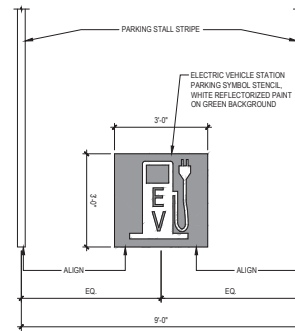
SCALE: N.T.S.



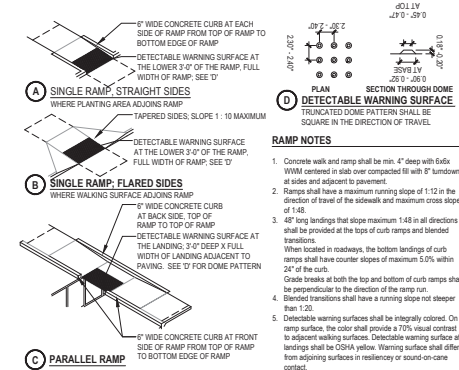
13 PARKING STALL STRIPING
SCALE: 1/8"=1'-0"



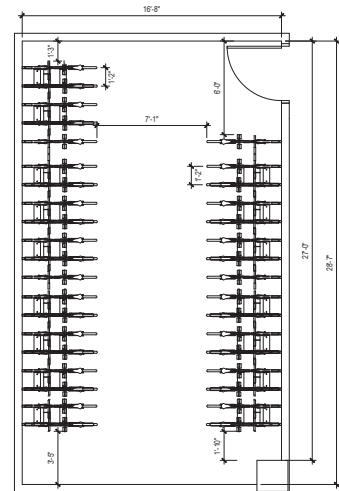
9 ACCESS GATE PLAN
SCALE: 1/12"=1'-0"



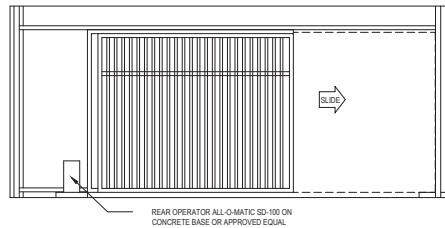
5 EV PARKING STALL SYMBOL
SCALE: 1/2"=1'-0"



1 CURB RAMP CONFIGURATION
SCALE: N.T.S.



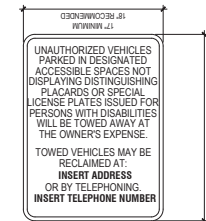
15 LONG-TERM BIKE STORAGE
SCALE: 1/4"=1'-0"



10 ACCESS GATE ELEVATION
SCALE: 1/12"=1'-0"



6 ACCESSIBLE PARKING SIGNAGE & UNAUTHORIZED VEHICLE SIGNAGE
SCALE: 1/12"=1'-0"



UNAUTHORIZED VEHICLE WARNING SIGNAGE SHALL BE POSTED ON SITE

1. IN A CONSPICUOUS PLACE AT EACH ENTRANCE TO AN OFF-STREET PARKING FACILITY.
2. IMMEDIATELY ADJACENT TO ON-SITE ACCESSIBLE PARKING AND VISIBLE FROM EACH PARKING SPACE.

THE PHONE NUMBER OR ADDRESS WHERE TOWED VEHICLES CAN BE RECLAIMED IS POSTED IN THE APPROPRIATE LOCATION ON THE SIGN AND IS A PERMANENT PART OF THE SIGN. LETTERING SHALL BE A MINIMUM OF 1" IN HEIGHT.

PLANNING APPLICATION FOR:
MECAH VENTURES
BLOCK 20
SAN MATEO, CA 94401

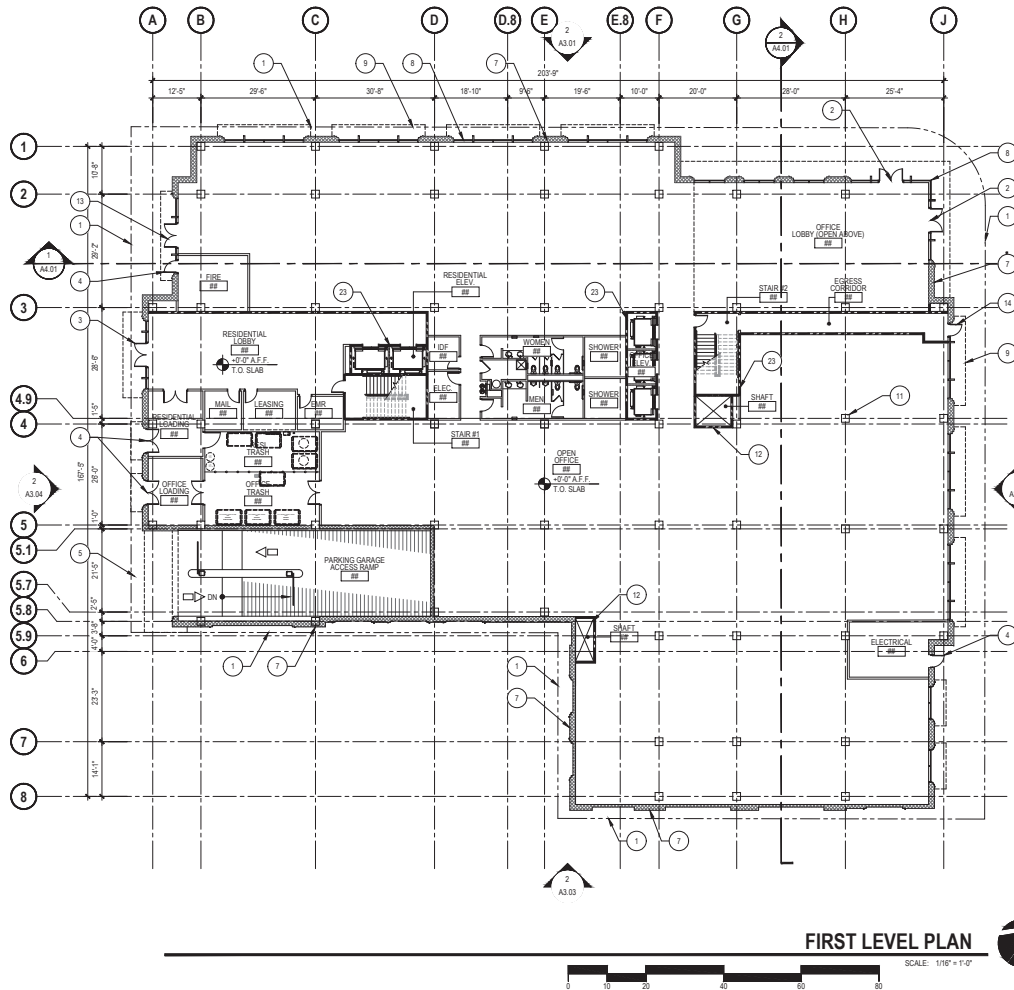
DATE	DESCRIPTION
02.22.2022	ZONING PRE-APPLICATION
01.13.2022	FIRST PLANNING SUBMITTAL
04.14.2023	SECOND PLANNING SUBMITTAL
07.14.2023	THIRD PLANNING SUBMITTAL
11.15.2023	FOURTH PLANNING SUBMITTAL
03.16.2024	FIFTH PLANNING SUBMITTAL

PA-2023-003

SITE DETAILS

A 1.03

PROJECT NO. 215513



PROJECT DATA:												
Unit Type	Unit Area (S.F.)	Balcony Area (S.F.)	Unit Area w/Balcony (S.F.)	# Unit Level 4	# Unit Level 5	# Unit Level 6	Total # Units	Density Bonus Parking Req'd	Short-Term Bike Pkg Req'd	Long-Term Bike Pkg Req'd	Total Unit Area	Unit Mix
A1.0 (Studio)	475	excluded	475	4	4	4	12	0.50	0.05	1.00	5,700	66%
A1.1 (Studio)	584	208	792	4	0	0	4	0.50	0.05	1.00	2,336	832
A1.1A (Studio)	601	310	911	1	0	0	1	0.50	0.05	1.00	601	310
A1.1B (Studio)	601	60	661	0	1	1	2	0.50	0.05	1.00	1,202	120
A1.2 (Studio)	584	138	722	1	0	0	1	0.50	0.05	1.00	584	138
A1.5 (Studio)	584	excluded	584	4	4	4	12	0.50	0.05	1.00	6,768	excluded
A1.6 (Studio)	584	excluded	584	2	2	2	6	0.50	0.05	1.00	3,384	excluded
A1.7A (Studio)	584	excluded	584	0	5	5	10	0.50	0.05	1.00	5,840	excluded
B1.0 (1BR/1BA Unit)	732	130	862	1	1	1	3	0.50	0.05	1.00	2,196	390
B1.1 (1BR/1BA Unit)	800	131	931	1	0	0	1	0.50	0.05	1.00	800	131
B1.2 (1BR/1BA Unit)	800	60	860	0	1	1	2	0.50	0.05	1.00	1,600	130
B1.3 (1BR/1BA Unit)	910	excluded	910	1	1	1	3	0.50	0.05	1.00	2,730	excluded
C1.0 (2BR/2BA Unit)	998	excluded	998	1	0	0	1	0.50	0.10	1.25	998	excluded
C1.1 (2BR/2BA Unit)	929	273	1,202	1	0	0	1	0.50	0.10	1.25	929	273
C1.2 (2BR/2BA Unit)	993	131	1,124	1	0	0	1	0.50	0.10	1.25	993	131
C1.3 (2BR/2BA Unit)	987	139	1,126	1	0	0	1	0.50	0.10	1.25	987	139
C1.4 (2BR/2BA Unit)	981	141	1,122	1	0	0	1	0.50	0.10	1.25	981	141
C1.5 (2BR/2BA Unit)	998	60	1,058	0	1	1	2	0.50	0.10	1.25	1,996	120
C1.6 (2BR/2BA Unit)	929	60	989	0	1	1	2	0.50	0.10	1.25	1,858	120
C1.7 (2BR/2BA Unit)	993	60	1,053	0	1	1	2	0.50	0.10	1.25	1,986	120
C1.8 (2BR/2BA Unit)	987	60	1,047	0	1	1	2	0.50	0.10	1.25	1,874	120
C1.9 (2BR/2BA Unit)	981	60	1,041	0	1	1	2	0.50	0.10	1.25	1,982	120
Total # dwelling units				24	24	24	72				48,405	3,325

Parcel Coverage	Location			% Coverage	Area
	Ground Level Open Parcel				33,790
	Subtotal				
	Open Parcel Required				
Open Space	Private Residential Open Space (Level 4/ Level 5 & Level 6) (S.F.) - Provided				2,783
	Common Residential Open Space at Level 4 (S.F.) - Provided				1,519
	Total open space private + common (residential) - Provided				4,302
	Common Office Open Space at Level 3 (S.F.) - Provided				1,834
	Common Office Open Space at Level 7 (S.F.) - Provided				3,514
	Total Common Office Open Space (S.F.) - Required (1% of total office area OR 0.01 x 98,717 S.F.)				987
	Total Common Office Open Space (S.F.) - Provided				5,148

KEYNOTES - FLOOR PLAN

NOTE: NOT ALL KEYNOTES LISTED MAY APPLY TO THIS DRAWING.

- | | | | |
|----|--|----|--|
| 1 | EXISTING PROPERTY LINE | 14 | EGRESS DOOR |
| 2 | PRIMARY OFFICE ENTRANCE | 15 | EXTERIOR ALUM / GLASS STOREFRONT WINDOW SYSTEM WITH 1HR FIRE RATED INTERIOR WALL |
| 3 | PRIMARY RESIDENTIAL ENTRANCE | 16 | NOT USED |
| 4 | SERVICE DOOR | 17 | 42"H AFF PARAPET WALL |
| 5 | ACCESS RAMP TO BELOW GRADE PARKING STRUCTURE W/ TRANSITION SLOPE TOP BOTTOM SIDEWALK | 18 | 66"H PRIVACY SCREEN |
| 6 | 2HR FIRE RATED WALLS AT TRASH CHUTE | 19 | PRIVATE BALCONY ABOVE (SHOWN DASHED) |
| 7 | EXTERIOR WALLS - REFER TO EXTERIOR ELEVATIONS | 20 | EXTERIOR SLIDING GLASS DOOR |
| 8 | EXTERIOR ALUM / GLASS STOREFRONT WINDOW SYSTEM | 21 | 1HR FIRE RATED DEMISING WALL AT DWELLING UNIT |
| 9 | CANOPY ABOVE (SHOWN DASHED) | 22 | 1HR FIRE RATED WALL AT HALLWAY |
| 10 | CANOPY BELOW | 23 | 2HR FIRE RATED WALL AT STAIRS, ELEVATORS AND TRASH CHUTE |
| 11 | STRUCTURAL COLUMN | 24 | PRIVATE BALCONY WITH 42" H. GUARDRAIL |
| 12 | 2HR MECHANICAL SHAFT | 25 | 42" H. GUARDRAIL |
| 13 | SECONDARY OFFICE ENTRANCE | 26 | ELEVATOR OVERRUN |

PLANNING APPLICATION FOR:
MECAH VENTURES
BLOCK 20
SAN MATEO, CA 94401

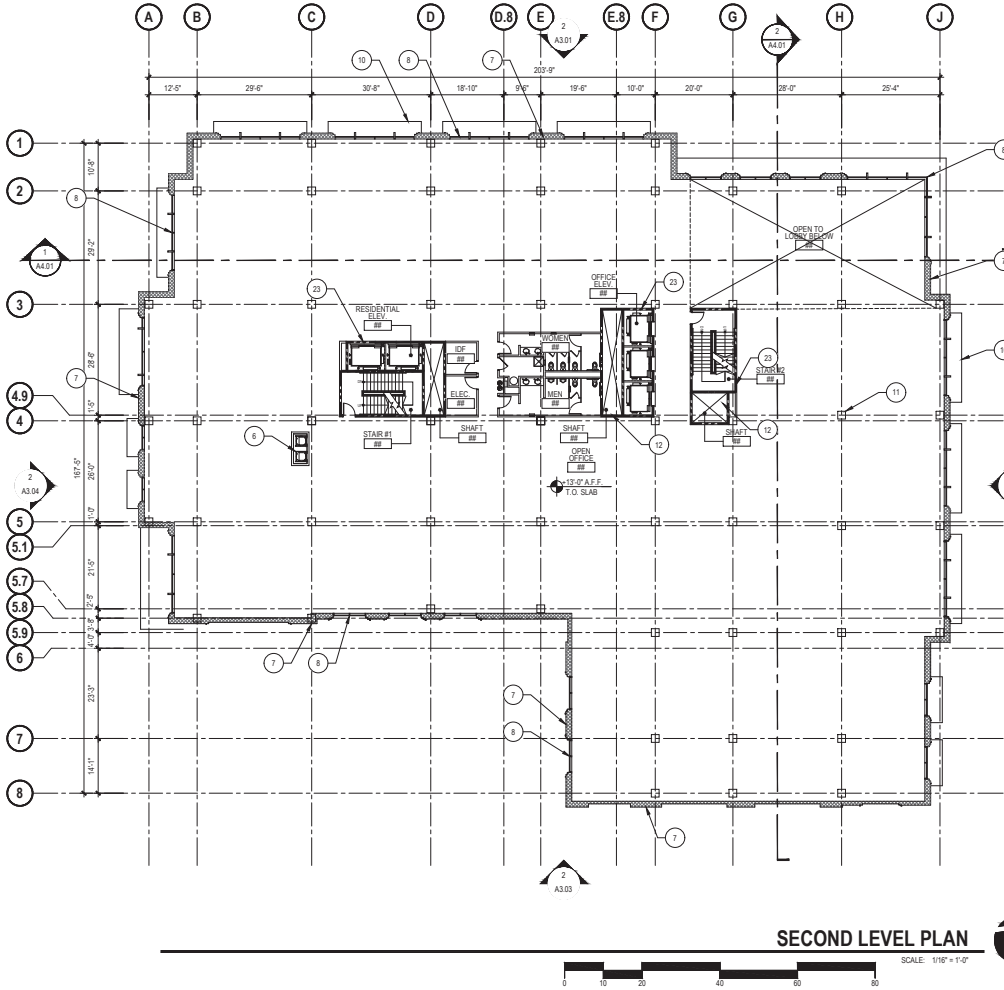
DATE	DESCRIPTION
08.22.2022	ZONING PRE-APPLICATION
01.12.2023	FIRST PLANNING SUBMITTAL
04.14.2023	SECOND PLANNING SUBMITTAL
07.14.2023	THIRD PLANNING SUBMITTAL
11.15.2023	FOURTH PLANNING SUBMITTAL
03.10.2024	FIFTH PLANNING SUBMITTAL

PA-2023-003

FIRST LEVEL PLAN
& NOTES

A 2.01

PROJECT NO: 215513



SECOND LEVEL PLAN

SCALE: 1/16" = 1'-0"

PROJECT DATA:

Unit Type	Unit Area (S.F.)	Battery Area (S.F.)	Unit Area w/Battery (S.F.)	# Unit Level 4	# Unit Level 5	# Unit Level 6	Total # Units	Density Bonus Parking Req'd	Short-Term Bike Pkg Req'd	Long-Term Bike Pkg Req'd	Total Unit Area	Total Battery Area	Unit Mix
A1.0 (Studio)	475	excluded	475	4	4	4	12	0.00	0.00	1.00	5,700	excluded	66%
A1.1 (Studio)	584	298	792	4	0	0	4	0.00	0.00	1.00	2,336	832	
A1.1A (Studio)	601	310	911	1	0	0	1	0.00	0.00	1.00	601	310	
A1.1B (Studio)	601	60	661	0	1	1	2	0.00	0.00	1.00	1,202	120	
A1.2 (Studio)	584	138	722	1	0	0	1	0.00	0.00	1.00	584	138	
A1.5 (Studio)	564	excluded	564	4	4	4	12	0.00	0.00	1.00	6,768	excluded	
A1.6 (Studio)	564	excluded	564	2	2	2	6	0.00	0.00	1.00	3,384	excluded	
A1.7A (Studio)	584	excluded	584	0	5	5	10	0.00	0.00	1.00	5,840	excluded	
B1.0 (1BR/1BA Unit)	732	130	862	1	1	1	3	0.50	0.00	1.00	2,196	390	
B1.1 (1BR/1BA Unit)	800	131	931	1	0	0	1	0.50	0.00	1.00	800	131	
B1.2 (1BR/1BA Unit)	800	60	860	0	1	1	2	0.50	0.00	1.00	1,600	120	
B1.3 (1BR/1BA Unit)	910	excluded	910	1	1	1	3	0.50	0.00	1.00	2,730	excluded	
C1.0 (2BR/2BA Unit)	998	excluded	998	1	0	0	1	0.50	0.10	1.25	998	excluded	
C1.1 (2BR/2BA Unit)	929	273	1,202	1	0	0	1	0.50	0.10	1.25	929	273	
C1.2 (2BR/2BA Unit)	993	131	1,124	1	0	0	1	0.50	0.10	1.25	993	131	
C1.3 (2BR/2BA Unit)	987	139	1,126	1	0	0	1	0.50	0.10	1.25	987	139	
C1.4 (2BR/2BA Unit)	981	141	1,122	1	0	0	1	0.50	0.10	1.25	981	141	
C1.5 (2BR/2BA Unit)	990	60	1,050	0	1	1	2	0.50	0.10	1.25	1,980	120	
C1.6 (2BR/2BA Unit)	929	60	989	0	1	1	2	0.50	0.10	1.25	1,858	120	
C1.7 (2BR/2BA Unit)	993	60	1,053	0	1	1	2	0.50	0.10	1.25	1,986	120	
C1.8 (2BR/2BA Unit)	987	60	1,047	0	1	1	2	0.50	0.10	1.25	1,974	120	
C1.9 (2BR/2BA Unit)	981	60	1,041	0	1	1	2	0.50	0.10	1.25	1,962	120	
Total # dwelling units				24	24	24	72				48,405	3,305	

Location	% Coverage	Area
Ground Level Open Parcel		33,790
Open Parcel Required		
Private Residential Open Space (Level 4/ Level 5 & Level 6) (S.F.) - Provided		2,783
Common Residential Open Space at Level 4 (S.F.) - Provided		1,519
Total open space private + common (residential) - Provided		4,302
Common Office Open Space at Level 3 (S.F.) - Provided		1,634
Common Office Open Space at Level 7 (S.F.) - Provided		3,514
Total Common Office Open Space (S.F.) - Required (1% of total office area OR 0.01 x 98,717 S.F.)		987
Total Common Office Open Space (S.F.) - Provided		5,148

KEYNOTES - FLOOR PLAN

NOTE: NOT ALL KEYNOTES LISTED MAY APPLY TO THIS DRAWING.

- EXISTING PROPERTY LINE
- PRIMARY OFFICE ENTRANCE
- PRIMARY RESIDENTIAL ENTRANCE
- SERVICE DOOR
- ACCESS RAMP TO BELOW GRADE PARKING STRUCTURE W/ TRANSITION SLOPE
- TOP BOTTOM SIDEWALK
- 24HR FIRE RATED WALLS AT TRASH CHUTE
- EXTERIOR WALLS - REFER TO EXTERIOR ELEVATIONS
- EXTERIOR ALUM./ GLASS STOREFRONT WINDOW SYSTEM
- CANOPY ABOVE (SHOWN DASHED)
- CANOPY BELOW
- STRUCTURAL COLUMN
- 2HR MECHANICAL SHAFT
- SECONDARY OFFICE ENTRANCE
- EGRESS DOOR
- EXTERIOR ALUM./ GLASS STOREFRONT WINDOW SYSTEM WITH 1HR FIRE RATED INTERIOR WALL
- NOT USED
- 42" AFF. PARAPET WALL
- 66" H. PRIVACY SCREEN
- PRIVATE BALCONY ABOVE (SHOWN DASHED)
- EXTERIOR SLIDING GLASS DOOR
- 1HR FIRE RATED DEMISING WALL AT DWELLING UNIT
- 1HR FIRE RATED WALL AT HALLWAY
- 2HR FIRE RATED WALL AT STAIRS, ELEVATORS AND TRASH CHUTE
- PRIVATE BALCONY WITH 42" H. GUARDRAIL
- 42" H. GUARDRAIL
- ELEVATOR OVERRUN

PLANNING APPLICATION FOR:
MECAH VENTURES
BLOCK 20
SAN MATEO, CA 94401

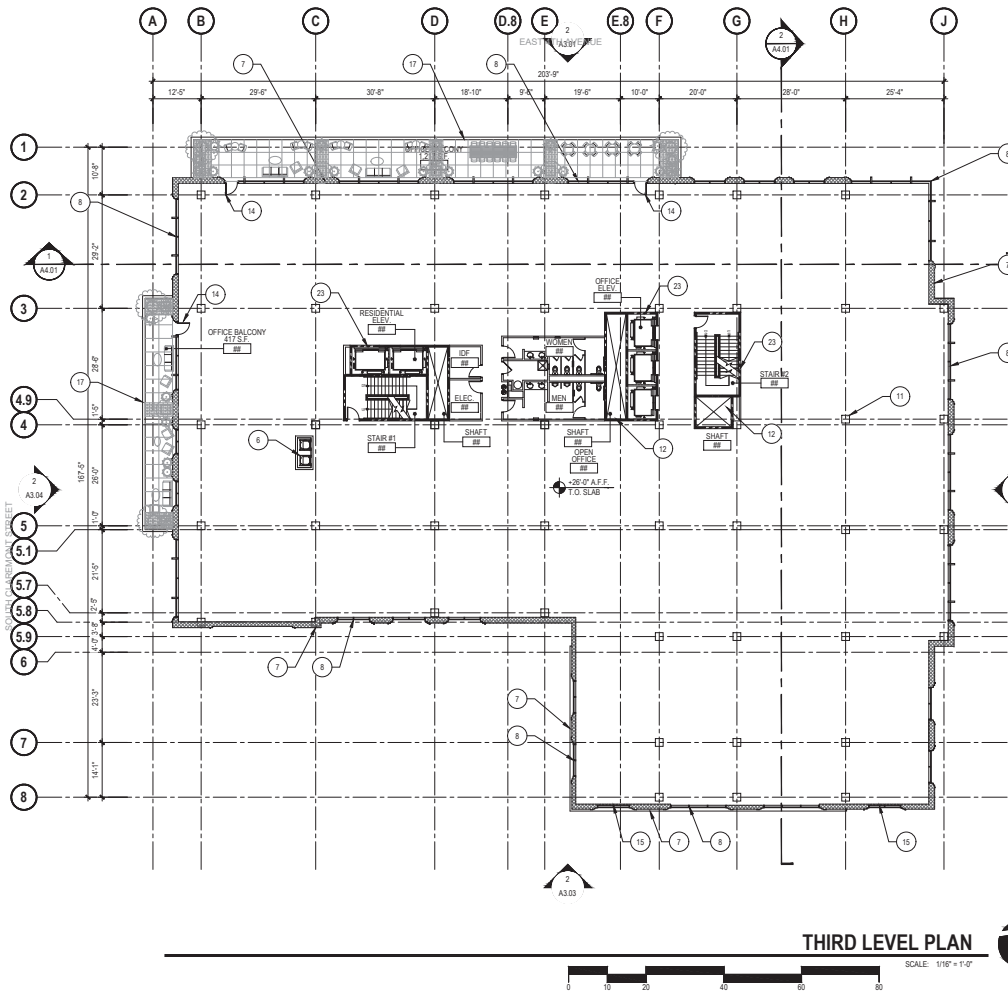
DATE DESCRIPTION
06.22.2022 ZONING PRE-APPLICATION
01.13.2023 FIRST PLANNING SUBMITTAL
04.14.2023 SECOND PLANNING SUBMITTAL
07.14.2023 THIRD PLANNING SUBMITTAL
11.15.2023 FOURTH PLANNING SUBMITTAL
03.16.2024 FIFTH PLANNING SUBMITTAL

PA-2023-003

SECOND LEVEL PLAN
& NOTES

A 2.02

PROJECT NO. 215513



PROJECT DATA:														
	Unit Type	Unit Area (S.F.)	Balcony Area (S.F.)	Unit Area w/Balcony (S.F.)	# Unit Level 4	# Unit Level 5	# Unit Level 6	Total # Units	Density Bonus Parking Req'd	Short-Term Bike Pkg Req'd	Long-Term Bike Pkg Req'd	Total Unit Area	Total Balcony Area	Unit Mix
Residential Units	A1.0 (Studio)	475	excluded	475	4	4	4	12	0.00	0.00	1.00	5,700	excluded	66%
	A1.1 (Studio)	584	208	792	4	0	0	4	0.00	0.00	1.00	2,336	832	
	A1.1A (Studio)	601	310	911	1	0	0	1	0.00	0.00	1.00	601	310	
	A1.1B (Studio)	601	60	661	0	1	1	2	0.00	0.00	1.00	1,202	120	
	A1.2 (Studio)	584	138	722	1	0	0	1	0.00	0.00	1.00	584	138	
	A1.5 (Studio)	564	excluded	564	4	4	4	12	0.00	0.00	1.00	6,768	excluded	
	A1.6 (Studio)	564	excluded	564	2	2	2	6	0.00	0.00	1.00	3,384	excluded	
	A1.7A (Studio)	584	excluded	584	0	5	5	10	0.00	0.00	1.00	5,840	excluded	
	B1.0 (1BR/1BA Unit)	732	130	862	1	1	1	3	0.50	0.00	1.00	2,196	390	
	B1.1 (1BR/1BA Unit)	800	131	931	1	0	0	1	0.50	0.00	1.00	800	131	
	B1.2 (1BR/1BA Unit)	800	60	860	0	1	1	2	0.50	0.00	1.00	1,600	120	
	B1.3 (1BR/1BA Unit)	910	excluded	910	1	1	1	3	0.50	0.00	1.00	2,730	excluded	
	C1.0 (2BR/2BA Unit)	998	excluded	998	1	0	0	1	0.50	0.10	1.25	998	excluded	
	C1.1 (2BR/2BA Unit)	929	273	1,202	1	0	0	1	0.50	0.10	1.25	929	273	
	C1.2 (2BR/2BA Unit)	993	131	1,124	1	0	0	1	0.50	0.10	1.25	993	131	
	C1.3 (2BR/2BA Unit)	987	139	1,126	1	0	0	1	0.50	0.10	1.25	987	139	
	C1.4 (2BR/2BA Unit)	981	141	1,122	1	0	0	1	0.50	0.10	1.25	981	141	
	C1.5 (2BR/2BA Unit)	998	60	1,058	0	1	1	2	0.50	0.10	1.25	1,996	120	
	C1.6 (2BR/2BA Unit)	929	60	989	0	1	1	2	0.50	0.10	1.25	1,858	120	
	C1.7 (2BR/2BA Unit)	993	60	1,053	0	1	1	2	0.50	0.10	1.25	1,986	120	
C1.8 (2BR/2BA Unit)	987	60	1,047	0	1	1	2	0.50	0.10	1.25	1,974	120		
C1.9 (2BR/2BA Unit)	981	60	1,041	0	1	1	2	0.50	0.10	1.25	1,962	120		
Total # dwelling units					24	24	24	72				48,405	3,325	

Parcel Coverage		Location				% Coverage	Area
Ground Level Open Parcel							33,790
Subtotal							
Open Space		Private Residential Open Space (Level 4/ Level 5 & Level 6) (S.F.) - Provided					2,783
		Common Residential Open Space at Level 4 (S.F.) - Provided					1,519
		Total open space private + common (residential) - Provided					4,302
		Common Office Open Space at Level 3 (S.F.) - Provided					1,634
		Common Office Open Space at Level 7 (S.F.) - Provided					3,514
		Total Common Office Open Space (S.F.) - Required (1% of total office area OR 0.01 x 98,717 S.F.)					987
		Total Common Office Open Space (S.F.) - Provided					5,148

KEYNOTES - FLOOR PLAN

NOTE: NOT ALL KEYNOTES LISTED MAY APPLY TO THIS DRAWING.

- | | | | |
|----|--|----|--|
| 1 | EXISTING PROPERTY LINE | 14 | EGRESS DOOR |
| 2 | PRIMARY OFFICE ENTRANCE | 15 | EXTERIOR ALUM / GLASS STOREFRONT WINDOW SYSTEM WITH 1HR FIRE RATED INTERIOR WALL |
| 3 | PRIMARY RESIDENTIAL ENTRANCE | 16 | NOT USED |
| 4 | SERVICE DOOR | 17 | 42" AFF PARAPET WALL |
| 5 | ACCESS RAMP TO BELOW GRADE PARKING STRUCTURE W/ TRANSITION SLOPE TOP BOTTOM SIDEWALK | 18 | 66" PRIVACY SCREEN |
| 6 | 24HR FIRE RATED WALL AT TRASH CHUTE | 19 | PRIVATE BALCONY ABOVE (SHOWN DASHED) |
| 7 | EXTERIOR WALLS - REFER TO EXTERIOR ELEVATIONS | 20 | EXTERIOR SLIDING GLASS DOOR |
| 8 | EXTERIOR ALUM / GLASS STOREFRONT WINDOW SYSTEM | 21 | 1HR FIRE RATED DEMISING WALL AT DWELLING UNIT |
| 9 | CANOPY ABOVE (SHOWN DASHED) | 22 | 1HR FIRE RATED WALL AT HALLWAY |
| 10 | CANOPY BELOW | 23 | 2HR FIRE RATED WALL AT STAIRS, ELEVATORS AND TRASH CHUTE |
| 11 | STRUCTURAL COLUMN | 24 | PRIVATE BALCONY WITH 42" H GUARDRAIL |
| 12 | 2HR MECHANICAL SHAFT | 25 | 42" H GUARDRAIL |
| 13 | SECONDARY OFFICE ENTRANCE | 26 | ELEVATOR OVERRUN |

PLANNING APPLICATION FOR:
MECAH VENTURES
BLOCK 20
SAN MATEO, CA 94401

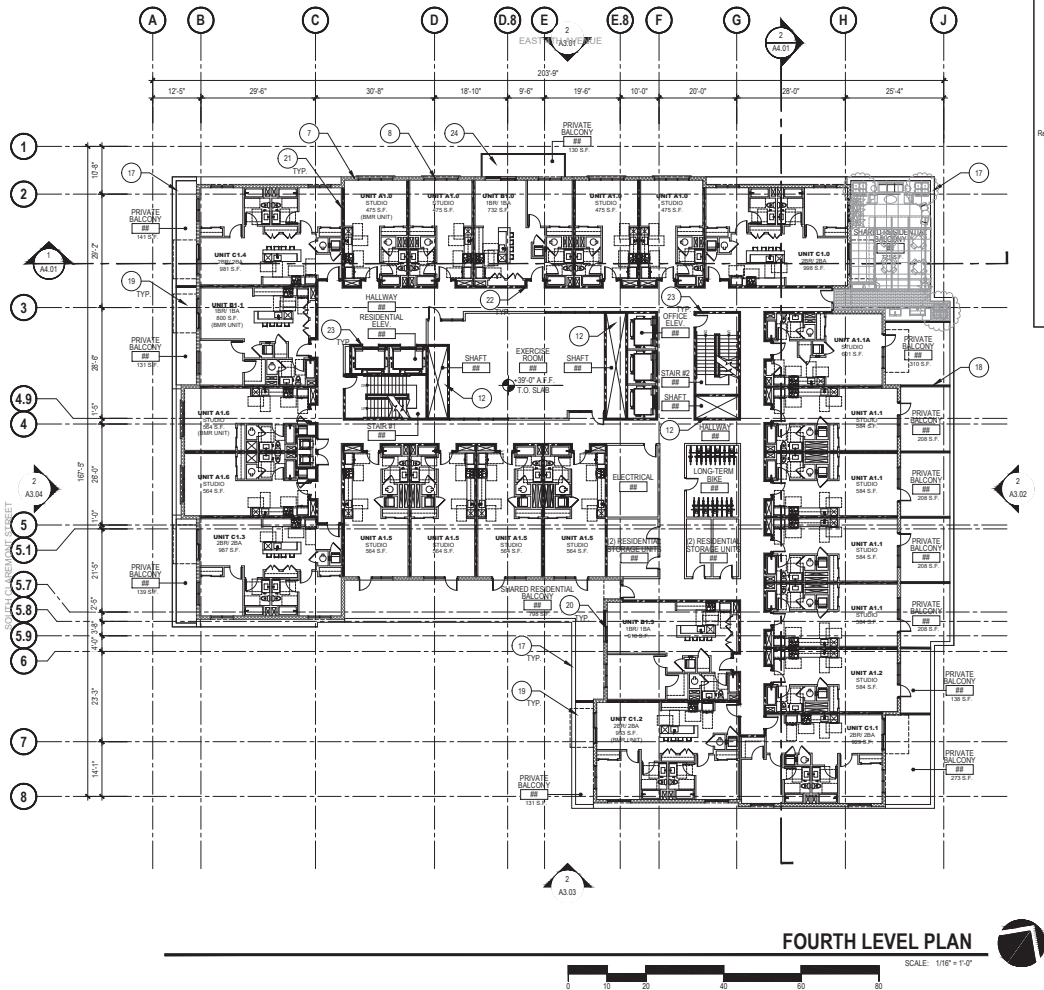
DATE	DESCRIPTION
08.22.2022	JOINING PRE-APPLICATION
01.13.2023	FIRST PLANNING SUBMITTAL
04.14.2023	SECOND PLANNING SUBMITTAL
07.14.2023	THIRD PLANNING SUBMITTAL
11.15.2023	FOURTH PLANNING SUBMITTAL
03.16.2024	FIFTH PLANNING SUBMITTAL

PA-2023-003

THIRD LEVEL PLAN
& NOTES

A 2.03

PROJECT NO. 210513



PROJECT DATA:														
	Unit Type	Unit Area (S.F.)	Balcony Area (S.F.)	Unit Area w/Balcony (S.F.)	# Unit Level 4	# Unit Level 5	# Unit Level 6	Total # Units	Density Bonus Parking Req'd	Short-Term Bike Pig Req'd	Long-Term Bike Pig Req'd	Total Unit Area	Total Balcony Area	Unit Mix
Residential Units	A1.0 (Studio)	475	excluded	475	4	4	4	12	0.50	0.05	1.00	5,700	excluded	66%
	A1.1 (Studio)	584	208	792	4	0	0	4	0.50	0.05	1.00	2,336	832	
	A1.1A (Studio)	601	310	911	1	0	0	1	0.50	0.05	1.00	601	310	
	A1.1B (Studio)	601	60	661	0	1	1	2	0.50	0.05	1.00	1,202	120	
	A1.2 (Studio)	584	138	722	1	0	0	1	0.50	0.05	1.00	584	138	
	A1.5 (Studio)	584	excluded	584	4	4	4	12	0.50	0.05	1.00	6,768	excluded	
	A1.6 (Studio)	584	excluded	584	2	2	2	6	0.50	0.05	1.00	3,384	excluded	
	A1.7A (Studio)	584	excluded	584	0	5	5	10	0.50	0.05	1.00	5,840	excluded	
	B1.0 (1BR/1BA Unit)	732	130	862	1	1	1	3	0.50	0.05	1.00	2,196	390	
	B1.1 (1BR/1BA Unit)	800	131	931	1	0	0	1	0.50	0.05	1.00	800	131	
Residential Units	B1.2 (1BR/1BA Unit)	800	60	860	0	1	1	2	0.50	0.05	1.00	1,600	120	21%
	B1.3 (1BR/1BA Unit)	910	excluded	910	1	1	1	3	0.50	0.05	1.00	2,730	excluded	
	C1.0 (2BR/2BA Unit)	998	excluded	998	1	0	0	1	0.50	0.10	1.25	998	excluded	
	C1.1 (2BR/2BA Unit)	929	273	1,202	1	0	0	1	0.50	0.10	1.25	929	273	
	C1.2 (2BR/2BA Unit)	993	131	1,124	1	0	0	1	0.50	0.10	1.25	993	131	
	C1.3 (2BR/2BA Unit)	987	139	1,126	1	0	0	1	0.50	0.10	1.25	987	139	
	C1.4 (2BR/2BA Unit)	981	141	1,122	1	0	0	1	0.50	0.10	1.25	981	141	
	C1.5 (2BR/2BA Unit)	998	60	1,058	0	1	1	2	0.50	0.10	1.25	1,996	120	
	C1.6 (2BR/2BA Unit)	929	60	989	0	1	1	2	0.50	0.10	1.25	1,858	120	
	C1.7 (2BR/2BA Unit)	993	60	1,053	0	1	1	2	0.50	0.10	1.25	1,986	120	
C1.8 (2BR/2BA Unit)	987	60	1,047	0	1	1	2	0.50	0.10	1.25	1,974	120		
C1.9 (2BR/2BA Unit)	981	60	1,041	0	1	1	2	0.50	0.10	1.25	1,962	120		
Total # dwelling units					24	24	24	72				48,405	3,325	

Parcel Coverage	Location			% Coverage	Area
	Ground Level Open Parcel				33,790
	Subtotal				
	Open Parcel Required				
Open Space	Private Residential Open Space (Level 4/ Level 5 & Level 6) (S.F.) - Provided				2,783
	Common Residential Open Space at Level 4 (S.F.) - Provided				1,519
	Total open space private + common (residential) - Provided				4,302
	Common Office Open Space at Level 3 (S.F.) - Provided				1,634
	Common Office Open Space at Level 7 (S.F.) - Provided				3,514
	Total Common Office Open Space (S.F.) - Required (1% of total office area OR 0.01 x 98,717 S.F.)				987
	Total Common Office Open Space (S.F.) - Provided				5,148

KEYNOTES - FLOOR PLAN

NOTE: NOT ALL KEYNOTES LISTED MAY APPLY TO THIS DRAWING.

- | | | | |
|----|--|----|--|
| 1 | EXISTING PROPERTY LINE | 14 | EGRESS DOOR |
| 2 | PRIMARY OFFICE ENTRANCE | 15 | EXTERIOR ALUM / GLASS STOREFRONT WINDOW SYSTEM WITH 1HR FIRE RATED INTERIOR WALL |
| 3 | PRIMARY RESIDENTIAL ENTRANCE | 16 | NOT USED |
| 4 | SERVICE DOOR | 17 | 42"H AFF PARAPET WALL |
| 5 | ACCESS RAMP TO BELOW GRADE PARKING STRUCTURE W/ TRANSITION SLOPE | 18 | 66% PRIVACY SCREEN |
| 6 | TOP BOTTOM SIDEWALK | 19 | PRIVATE BALCONY ABOVE (SHOWN DASHED) |
| 7 | 2HR FIRE RATED WALLS AT TRASH CHUTE | 20 | EXTERIOR SLIDING GLASS DOOR |
| 8 | EXTERIOR WALLS - REFER TO EXTERIOR ELEVATIONS | 21 | 1HR FIRE RATED DEMISING WALL AT DWELLING UNIT |
| 9 | EXTERIOR ALUM / GLASS STOREFRONT WINDOW SYSTEM | 22 | 1HR FIRE RATED WALL AT HALLWAY |
| 10 | CANOPY ABOVE (SHOWN DASHED) | 23 | 2HR FIRE RATED WALL AT STAIRS, ELEVATORS AND TRASH CHUTE |
| 11 | CANOPY BELOW | 24 | PRIVATE BALCONY WITH 42" H. GUARDRAIL |
| 12 | STRUCTURAL COLUMN | 25 | 42" H. GUARDRAIL |
| 13 | 2HR MECHANICAL SHAFT | 26 | ELEVATOR OVERRUN |

PLANNING APPLICATION FOR:
MECAH VENTURES
BLOCK 20
SAN MATEO, CA 94401

DATE	DESCRIPTION
08.22.2022	ZONING PRE-APPLICATION
01.12.2023	FIRST PLANNING SUBMITTAL
04.14.2023	SECOND PLANNING SUBMITTAL
07.14.2023	THIRD PLANNING SUBMITTAL
11.15.2023	FOURTH PLANNING SUBMITTAL
03.18.2024	FIFTH PLANNING SUBMITTAL

PA-2023-003

FOURTH LEVEL PLAN
& NOTES

A 2.04

PROJECT NO. 215513



ARC TEC
ARCHITECTURAL TECHNOLOGIES
www.artecinc.com

California
7371 Technology Center, Suite 250
San Jose, CA 95131 408.496.1121

Arizona
2405 East McDowell Boulevard, Building 4
Phoenix, AZ 85028 602.953.2355

Florida
10000 N.W. 11th Avenue, Suite 100
Miami, FL 33150 305.444.1121

Illinois
10000 N.W. 11th Avenue, Suite 100
Miami, FL 33150 305.444.1121

Michigan
10000 N.W. 11th Avenue, Suite 100
Miami, FL 33150 305.444.1121

Minnesota
10000 N.W. 11th Avenue, Suite 100
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North Carolina
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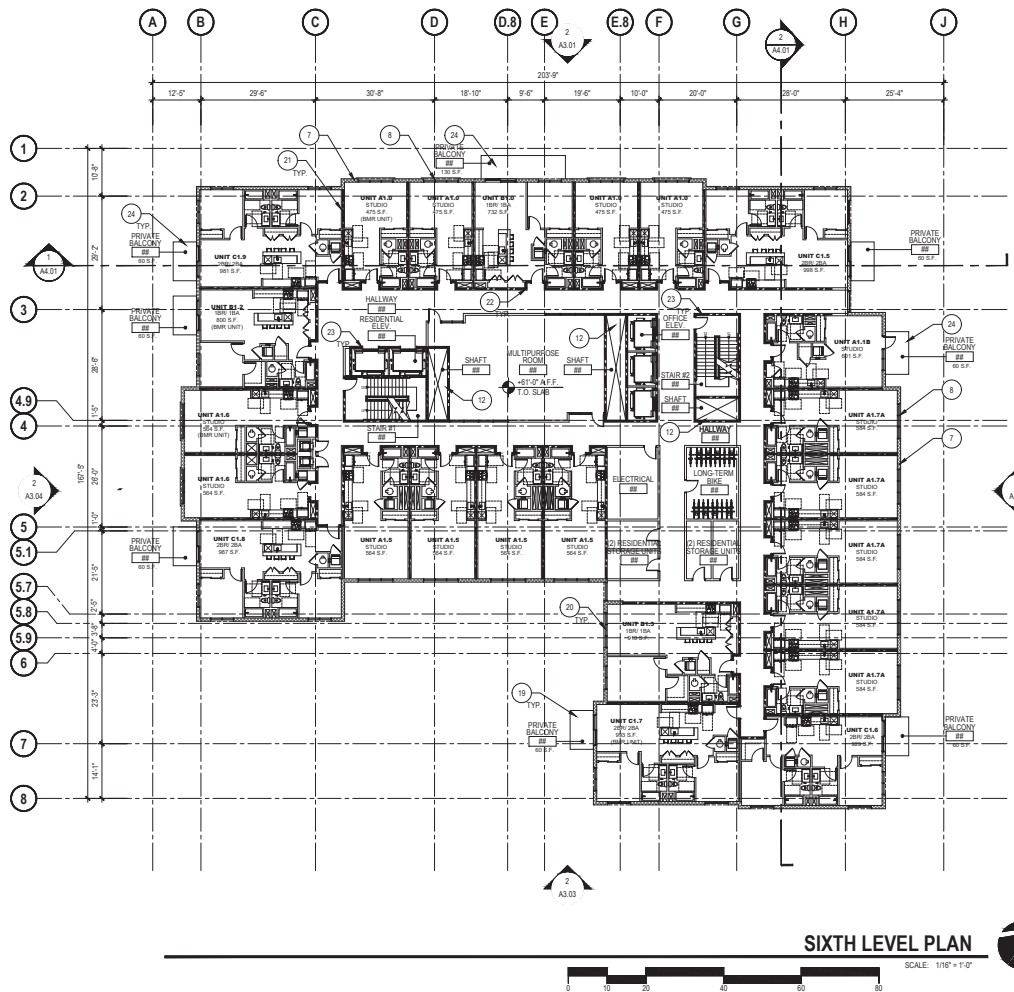
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In Association with:

PLANNING APPLICATION FOR:	
MECAH VENTURES	
BLOCK 20	
SAN MATEO, CA 94401	
DATE	DESCRIPTION
08.22.2022	ZONING FIRE-APPLICATION
01.13.2022	FIRST PLANNING SUBMITTAL
04.14.2023	SECOND PLANNING SUBMITTAL
07.14.2023	THIRD PLANNING SUBMITTAL
11.15.2023	FOURTH PLANNING SUBMITTAL
03.18.2024	FIFTH PLANNING SUBMITTAL

NOTE: NOT ALL KEYNOTES LISTED MAY APPLY TO THIS DRAWING.

- | | |
|----------------------------------|---------------------------|
| PLANNING APPLICATION FOR: | |
| MECAH VENTURES | |
| BLOCK 20 | |
| SAN MATEO, CA 94401 | |
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| 11.15.2023 | FOURTH PLANNING SUBMITTAL |
| 03.18.2024 | FIFTH PLANNING SUBMITTAL |



PROJECT DATA:

Unit Type	Unit Area (S.F.)	Balcony Area (S.F.)	Unit Area w/Balcony (S.F.)	# Unit Level 4	# Unit Level 5	# Unit Level 6	Total # Units	Density Bonus Parking Req'd	Short-Term Bike Pig Req'd	Long-Term Bike Pig Req'd	Total Unit Area	Total Balcony Area	Unit Mix
A1.0 (Studio)	475	excluded	475	4	4	4	12	0.50	0.05	1.00	5,700	excluded	66%
A1.1 (Studio)	584	208	792	4	0	0	4	0.50	0.05	1.00	2,336	832	
A1.1A (Studio)	601	310	911	1	0	0	1	0.50	0.05	1.00	601	310	
A1.1B (Studio)	601	60	661	0	1	1	2	0.50	0.05	1.00	1,202	120	
A1.2 (Studio)	584	138	722	1	0	0	1	0.50	0.05	1.00	584	138	
A1.5 (Studio)	584	excluded	584	4	4	4	12	0.50	0.05	1.00	6,768	excluded	
A1.6 (Studio)	584	excluded	584	2	2	2	6	0.50	0.05	1.00	3,384	excluded	
A1.7A (Studio)	584	excluded	584	0	5	5	10	0.50	0.05	1.00	5,840	excluded	
B1.0 (1BR/1BA Unit)	732	130	862	1	1	1	3	0.50	0.05	1.00	2,196	390	
B1.1 (1BR/1BA Unit)	800	131	931	1	0	0	1	0.50	0.05	1.00	800	131	
B1.2 (1BR/1BA Unit)	800	60	860	0	1	1	2	0.50	0.05	1.00	1,620	120	21%
B1.3 (1BR/1BA Unit)	910	excluded	910	1	1	1	3	0.50	0.05	1.00	2,730	excluded	
C1.0 (2BR/2BA Unit)	998	excluded	998	1	0	0	1	0.50	0.10	1.25	998	excluded	
C1.1 (2BR/2BA Unit)	929	273	1,202	1	0	0	1	0.50	0.10	1.25	929	273	
C1.2 (2BR/2BA Unit)	993	131	1,124	1	0	0	1	0.50	0.10	1.25	993	131	
C1.3 (2BR/2BA Unit)	987	139	1,126	1	0	0	1	0.50	0.10	1.25	987	139	
C1.4 (2BR/2BA Unit)	981	141	1,122	1	0	0	1	0.50	0.10	1.25	981	141	
C1.5 (2BR/2BA Unit)	998	60	1,058	0	1	1	2	0.50	0.10	1.25	1,996	120	
C1.6 (2BR/2BA Unit)	929	60	989	0	1	1	2	0.50	0.10	1.25	1,858	120	
C1.7 (2BR/2BA Unit)	993	60	1,053	0	1	1	2	0.50	0.10	1.25	1,986	120	
C1.8 (2BR/2BA Unit)	987	60	1,047	0	1	1	2	0.50	0.10	1.25	1,874	120	
C1.9 (2BR/2BA Unit)	981	60	1,041	0	1	1	2	0.50	0.10	1.25	1,962	120	
Total # dwelling units				24	24	24	72				48,405	3,325	

Parcel Coverage	Location	% Coverage	Area
Ground Level Open Parcel			33,790
Subtotal			
Open Parcel Required			
Private Residential Open Space (Level 4/ Level 5 & Level 6) (S.F.) - Provided			2,783
Common Residential Open Space at Level 4 (S.F.) - Provided			1,519
Total open space private + common (residential) - Provided			4,302
Common Office Open Space at Level 3 (S.F.) - Provided			1,634
Common Office Open Space (S.F.) - Required (1% of total office area OR 0.01 x 98,717 S.F.)			3,514
Total Common Office Open Space (S.F.) - Provided			987
Total Common Office Open Space (S.F.) - Required			5,148

KEYNOTES - FLOOR PLAN

NOTE: NOT ALL KEYNOTES LISTED MAY APPLY TO THIS DRAWING.

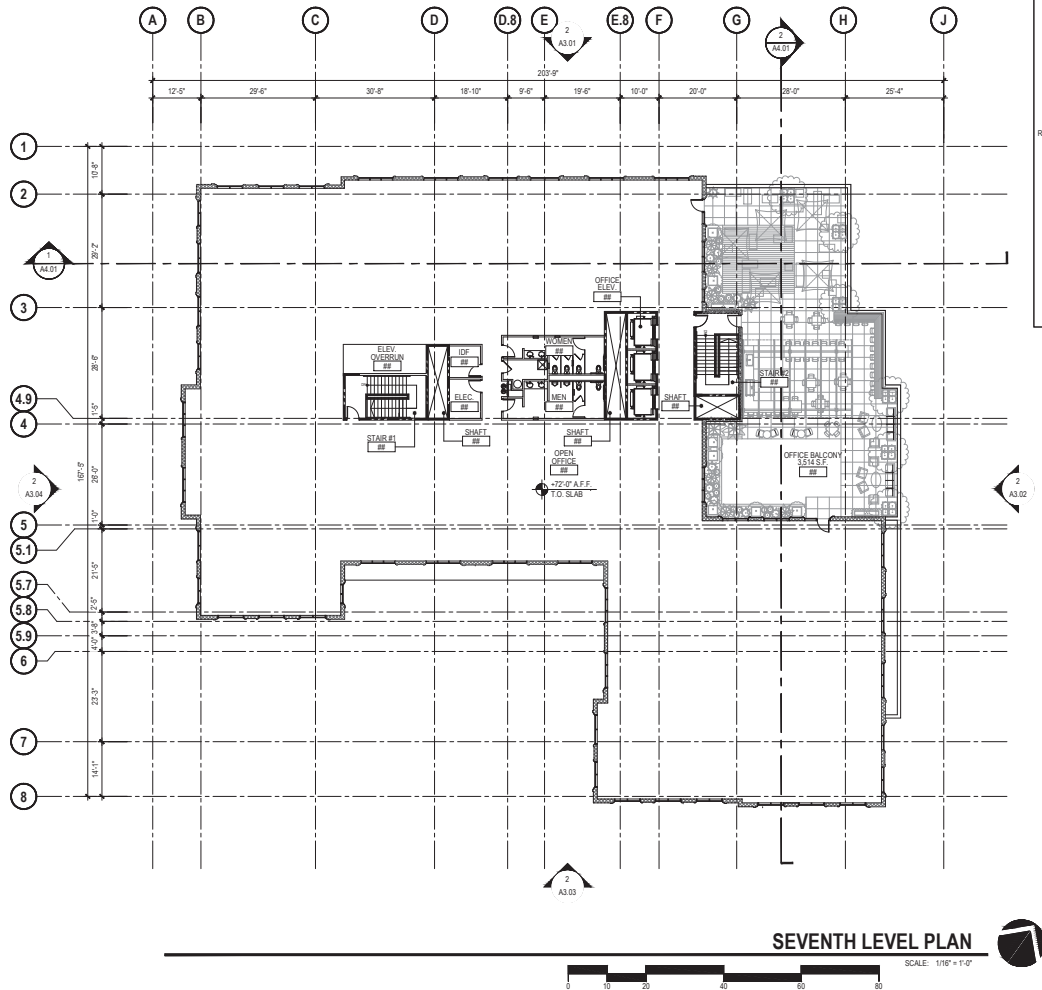
- | | | | |
|----|--|----|--|
| 1 | EXISTING PROPERTY LINE | 14 | EGRESS DOOR |
| 2 | PRIMARY OFFICE ENTRANCE | 15 | EXTERIOR ALUM / GLASS STOREFRONT WINDOW SYSTEM WITH 1HR FIRE RATED INTERIOR WALL |
| 3 | PRIMARY RESIDENTIAL ENTRANCE | 16 | NOT USED |
| 4 | SERVICE DOOR | 17 | 42" AFF PARAPET WALL |
| 5 | ACCESS RAMP TO BELOW GRADE PARKING STRUCTURE W/ TRANSITION SLOPE TOP BOTTOM SIDEWALK | 18 | 66% PRIVACY SCREEN |
| 6 | 2HR FIRE RATED WALLS AT TRASH CHUTE | 19 | PRIVATE BALCONY ABOVE (SHOWN DASHED) |
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| 13 | SECONDARY OFFICE ENTRANCE | 26 | ELEVATOR OVERRUN |



California
 1771 Technology Drive, Suite 750
 San Jose, CA 95131 408.476.1521
 The project is a proposed office building development located at 7900 East Northern Avenue, Building C, Phoenix, AZ 85021. The project is a proposed office building development located at 7900 East Northern Avenue, Building C, Phoenix, AZ 85021. The project is a proposed office building development located at 7900 East Northern Avenue, Building C, Phoenix, AZ 85021.

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11.15.2023	FOURTH PLANNING SUBMITTAL
03.10.2024	FIFTH PLANNING SUBMITTAL



SEVENTH LEVEL PLAN

SCALE: 1/16" = 1'-0"

PROJECT DATA:

Unit Type	Unit Area (S.F.)	Balcony Area (S.F.)	Unit Area w/Balcony (S.F.)	# Unit Level 4	# Unit Level 5	# Unit Level 6	Total # Units	Density Bonus Parking Req'd	Short-Term Bike Pkg Req'd	Long-Term Bike Pkg Req'd	Total Unit Area	Total Balcony Area	Unit Mix
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Common Office Open Space at Level 7 (S.F.) - Required (1% of total office area OR 0.01 x 98,717 S.F.)			3,514
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PLANNING APPLICATION FOR:
MECAH VENTURES
BLOCK 20
SAN MATEO, CA 94401

DATE: 08.22.2023
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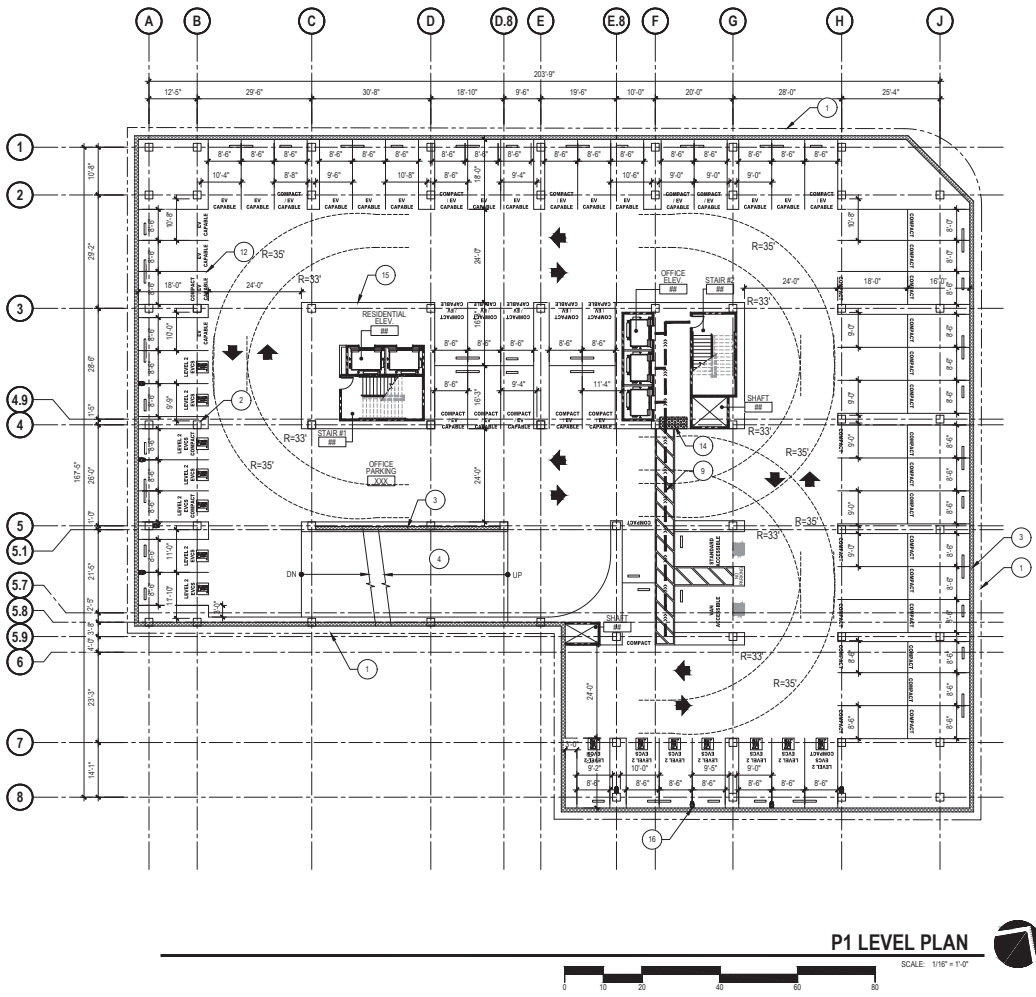
DESCRIPTION:
ZONING PRE-APPLICATION
FIRST PLANNING SUBMITTAL
SECOND PLANNING SUBMITTAL
THIRD PLANNING SUBMITTAL
FOURTH PLANNING SUBMITTAL
FIFTH PLANNING SUBMITTAL

PA-2023-003

SEVENTH LEVEL PLAN
& NOTES

A 2.07

PROJECT NO: 215513



P1 LEVEL PLAN

SCALE: 1/16" = 1'-0"

MINIMUM BICYCLE PARKING STALLS REQUIRED

(PER CITY OF SAN MATEO MUNICIPAL CODE SECTION 27.64.262)

REQUIRED SHORT-TERM - RESIDENTIAL
STUDIO AND ONE-BEDROOM UNIT @ 8-15 SPACES PER UNIT
57 UNITS x 0.05 = 2.85 SPACES
TWO-BEDROOM UNIT @ 8-10 SPACES PER UNIT
15 UNITS x 0.10 = 1.5 SPACES
TOTAL REQUIRED SHORT-TERM - RESIDENTIAL: 4.35 SPACES OR 5 SPACES

REQUIRED LONG-TERM - RESIDENTIAL
STUDIO AND ONE-BEDROOM UNIT @ 15 SPACE PER UNIT
57 UNITS x 0.10 = 5.7 SPACES
TWO-BEDROOM UNIT @ 1.25 SPACES PER UNIT
15 UNITS x 1.25 = 18.75 SPACES
TOTAL REQUIRED LONG-TERM - RESIDENTIAL: 75.75 SPACES OR 76 SPACES

REQUIRED SHORT-TERM - OFFICE (GENERAL)
1 SPACE PER 20,000 S.F. OF OFFICE AREA
98,717 S.F. / 20,000 S.F. = 4.93 SPACES OR 5 SPACES

REQUIRED LONG-TERM - OFFICE (GENERAL)
1 SPACE PER 10,000 S.F. OF OFFICE AREA
98,717 S.F. / 10,000 S.F. = 9.87 SPACES OR 10 SPACES

PROVIDED SHORT-TERM SPACES:
RESIDENTIAL: 6 SPACES
OFFICE: 6 SPACES
TOTAL: 12 SPACES

PROVIDED LONG-TERM SPACES (PROVIDED @ 4TH, 5TH & 6TH FLOOR)
RESIDENTIAL: 80 SPACES
OFFICE: 10 SPACES
TOTAL: 90 SPACES

KEYNOTES

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- 1 PROPERTY LINE
- 2 STRUCTURAL CONCRETE COLUMN
- 3 CAST-IN-PLACE CONCRETE WALL
- 4 CONCRETE RAMP
- 5 LONG-TERM BIKE STORAGE. REFER TO DETAIL 15A1.03
- 6 MOTORIZED SLIDING ENTRY GATE TO RESIDENTIAL PARKING AREA
- 7 METAL FENCE
- 8 DASHED LINE INDICATES RAMP ABOVE
- 9 ACCESSIBLE PATH OF TRAVEL
- 10 VAN ACCESSIBLE/LEVEL 2 EVCS
- 11 STANDARD ACCESSIBLE/LEVEL 2 EVCS
- 12 PARKING STRIPE
- 13 AMBULATORY EVCS
- 14 ADA TRUNCATED DOME PLATE
- 15 CONCRETE CURB
- 16 ELECTRIC VEHICLE CHARGER. REFER TO DETAIL 14A1.02

PROJECT DATA

ASSESSOR'S PARCEL NO.: 084180110, 084180800
ZONING: CBDS - CENTRAL BUSINESS SUPPORT
SITE AREA: 33,790 S.F. OR 0.77 ACRES
BUILDING HEIGHT: 50'-0" MAXIMUM
MAX F.A.R. (FLOOR AREA RATIO): 3.0 OR 101,370 S.F.
MAX RESIDENTIAL UNITS (50 D.U. PER ACRE): 39 UNITS
MAX RESIDENTIAL UNITS WITH 50% STATE DENSITY BONUS: 59 UNITS
MAX RESIDENTIAL UNITS WITH 100% STATE DENSITY BONUS: 79 UNITS

FLOOR AREA (7-STORY BUILDING)
FIRST LEVEL - RESIDENTIAL: 2,184 S.F.
SECOND LEVEL - OFFICE: 20,013 S.F.
THIRD LEVEL - OFFICE: 27,756 S.F.
FOURTH LEVEL - RESIDENTIAL: 23,056 S.F.
FIFTH LEVEL - RESIDENTIAL: 23,103 S.F.
SIXTH LEVEL - RESIDENTIAL: 23,103 S.F.
SEVENTH LEVEL - OFFICE: 18,874 S.F.
TOTAL BUILDING AREA: 170,163 S.F.
TOTAL OFFICE AREA: 98,717 S.F.
TOTAL RESIDENTIAL AREA: 71,396 S.F.
TOTAL F.A.R. (FLOOR AREA RATIO): 170,163 S.F. / 33,790 S.F. = 5.03

DWELLING UNITS PER FLOOR
FOURTH LEVEL: 24 UNITS
FIFTH LEVEL: 24 UNITS
SIXTH LEVEL: 24 UNITS
TOTAL DWELLING UNITS: 72 UNITS

DWELLING UNIT MIX
STUDIO: 48 UNITS OR 60%
ONE-BEDROOM: 9 UNITS OR 13%
TWO-BEDROOM: 15 UNITS OR 21%

PARKING ANALYSIS

PARKING REQUIRED
OFFICE (8.71 S.F. / 1,437,000): 185 SPACES
RESIDENTIAL (0.5 PER DWELLING UNIT - ALL UNIT TYPES) / DEDICATED LEVEL P2: 36 SPACES
TOTAL REQUIRED PARKING: 221 SPACES

PARKING - PROVIDED
LEVEL P1
OFFICE - COMPACT (TANDEM): 2 SPACES
OFFICE - TANDEM: 21 SPACES
OFFICE - ADA STANDARD: 9 SPACES
OFFICE - VAN ACCESSIBLE: 1 SPACE
OFFICE - STANDARD LEVEL 2 EVCS: 11 SPACES
OFFICE - COMPACT LEVEL 2 EVCS: 3 SPACES
OFFICE - STANDARD LEVEL 2 EV CAPABLE: 14 SPACES
OFFICE - COMPACT LEVEL 2 EV CAPABLE: 17 SPACES
TOTAL OFFICE PARKING LEVEL P1 - PROVIDED: 79 SPACES

LEVEL P2
RESIDENTIAL - STANDARD LEVEL 2 EV READY: 15 SPACES
RESIDENTIAL - STANDARD LEVEL 2 EVCS: 4 SPACES
RESIDENTIAL - COMPACT LEVEL 2 EV READY: 10 SPACES
RESIDENTIAL - STANDARD ACCESSIBLE/LEVEL 2 EVCS: 1 SPACE
RESIDENTIAL - VAN ACCESSIBLE/LEVEL 2 EVCS: 1 SPACE
TOTAL RESIDENTIAL PARKING LEVEL P2 - PROVIDED: 31 SPACES

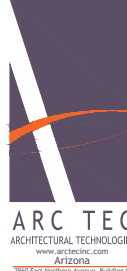
LEVEL P2
OFFICE - COMPACT: 4 SPACES
OFFICE - COMPACT (TANDEM): 21 SPACES
OFFICE - TANDEM: 9 SPACES
OFFICE - ADA STANDARD: 2 SPACES
OFFICE - VAN ACCESSIBLE/LEVEL 2 EVCS: 1 SPACE
OFFICE - STANDARD ACCESSIBLE/LEVEL 2 EVCS: 1 SPACE
OFFICE - STANDARD LEVEL 2 EV CAPABLE: 1 SPACE
OFFICE - COMPACT LEVEL 2 EV CAPABLE: 9 SPACES
TOTAL OFFICE PARKING LEVEL P2 - PROVIDED: 50 SPACES

TOTAL PARKING LEVEL P2 - PROVIDED: 81 SPACES
TOTAL OFFICE PARKING (LEVELS P1 & P2) - PROVIDED: 129 SPACES
TOTAL RESIDENTIAL PARKING (LEVEL P2) - PROVIDED: 31 SPACES

EV PARKING ANALYSIS TABLE - REQUIRED		
OFFICE USE	TOTAL NUMBER OF STALLS	185
	TOTAL NUMBER OF LEVEL 2 EVCS STALLS	20% or 37
	TOTAL NUMBER OF LEVEL 2 EV CAPABLE STALLS	30% or 56
ASSIGNED RESIDENTIAL USE	TOTAL NUMBER OF DEDICATED STALLS	39
	TOTAL NUMBER OF LEVEL 2 EVCS STALLS	15% or 5
	TOTAL NUMBER OF LEVEL 2 EV READY STALLS	85% or 31

EV PARKING ANALYSIS TABLE - PROVIDED		
OFFICE USE	TOTAL NUMBER OF STALLS	129
	TOTAL NUMBER OF LEVEL 2 EVCS STALLS	26
	TOTAL NUMBER OF LEVEL 2 EV CAPABLE STALLS	39
ASSIGNED RESIDENTIAL USE	TOTAL NUMBER OF DEDICATED STALLS	31
	TOTAL NUMBER OF LEVEL 2 EVCS STALLS	5
	TOTAL NUMBER OF LEVEL 2 EV READY STALLS	26

	Use	Short-Term Bike	Long-Term Bike	Bike Total	Compact	Standard (Tandem)	Compact (Tandem)	ADA Standard	Standard Accessible Level 2 EVCS	Standard Accessible Level 2 EV Ready	Van Accessible	Van Accessible Level 2 EVCS	Standard Level 2 EVCS	Compact Level 2 EV Capable	Compact Level 2 EVCS	Compact Level 2 EV Ready	Parking Provided
Parking Provided	Level 1 - Residential	6		6													
	Level 1 - Office	6		6													
	Level P1 - Office		10	10	2	9	21	1			1		11	14	17	3	79
	Level P2 - Office				4	9	21	2	1			1	1	1	9		55
	Level P2 - Residential								1	15		1	4			18	31
	Levels 4, 5 & 6 - Residential																
	Total Parking Provided	12	90	102													180



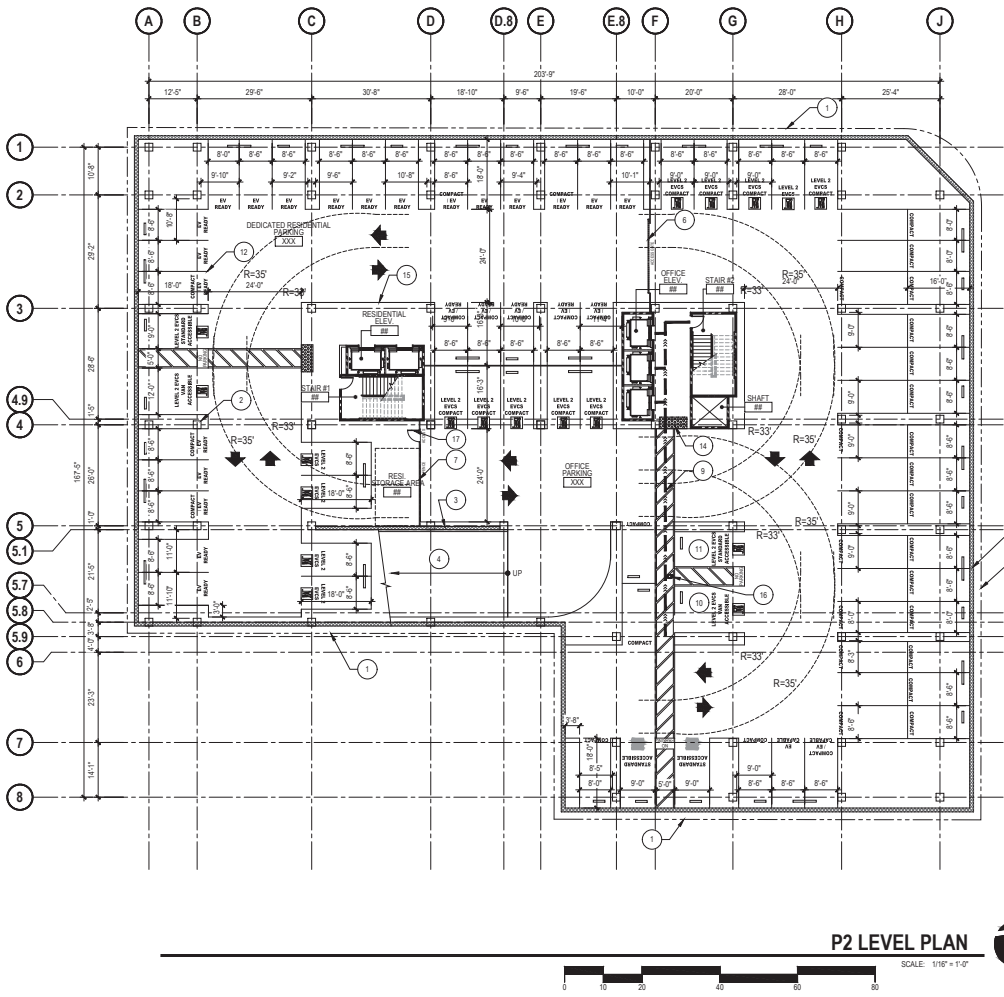
7731 Technology Center, Suite 700
San Jose, CA 95131 408.496.1121
ARC TEC ARCHITECTURAL TECHNOLOGIES
Phoenix, AZ 85028 602.953.2355
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PA-2023-003
P1 LEVEL PLAN & NOTES

AP2.11
PROJECT NO. 215513



P2 LEVEL PLAN

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TWO-BEDROOM UNIT @ 8-10 SPACES PER UNIT
15 UNITS x 0.10 = 1.5 SPACES
TOTAL REQUIRED SHORT-TERM - RESIDENTIAL: 4.35 SPACES OR 5 SPACES

REQUIRED LONG-TERM - RESIDENTIAL
STUDIO AND ONE-BEDROOM UNIT @ 1.0 SPACE PER UNIT
57 UNITS x 1.0 = 57 SPACES
TWO-BEDROOM UNIT @ 1.25 SPACES PER UNIT
15 UNITS x 1.25 = 18.75 SPACES
TOTAL REQUIRED LONG-TERM - RESIDENTIAL: 75.75 SPACES OR 76 SPACES

REQUIRED SHORT-TERM - OFFICE (GENERAL)
1 SPACE PER 20,000 S.F. OF OFFICE AREA
98,717 S.F. / 20,000 S.F. = 4.93 SPACES OR 5 SPACES

REQUIRED LONG-TERM - OFFICE (GENERAL)
1 SPACE PER 10,000 S.F. OF OFFICE AREA
98,717 S.F. / 10,000 S.F. = 9.87 SPACES OR 10 SPACES

PROVIDED SHORT-TERM SPACES:
RESIDENTIAL: 6 SPACES
OFFICE: 6 SPACES
TOTAL: 12 SPACES

PROVIDED LONG-TERM SPACES (PROVIDED @ 4TH, 5TH & 6TH FLOOR)
RESIDENTIAL: 80 SPACES
OFFICE: 10 SPACES
TOTAL: 90 SPACES

KEYNOTES

NOTE: NOT ALL KEYNOTES LISTED MAY APPLY TO THIS DRAWING.

- PROPERTY LINE
- STRUCTURAL CONCRETE COLUMN
- CAST-IN-PLACE CONCRETE WALL
- CONCRETE RAMP
- LONG-TERM BIKE STORAGE. REFER TO DETAIL 15A1.03
- MOTORIZED SLIDING ENTRY GATE TO RESIDENTIAL PARKING AREA
- METAL FENCE
- DASHED LINE INDICATES RAMP ABOVE
- ACCESSIBLE PATH OF TRAVEL
- VAN ACCESSIBLE/LEVEL 2 EVCS
- STANDARD ACCESSIBLE/LEVEL 2 EVCS
- PARKING STRIPE
- AMBULATORY EVCS
- ADA TRUNCATED DOME PLATE
- CONCRETE CURB
- ELECTRIC VEHICLE CHARGER. REFER TO DETAIL 14A1.02
- PEDESTRIAN ACCESS GATE

PROJECT DATA

ASSESSOR'S PARCEL NO.: 02418110, 02418080
ZONING: CBDS - CENTRAL BUSINESS SUPPORT
SITE AREA: 33,790 S.F. OR 0.77 ACRES
BUILDING HEIGHT: 50'-0" MAXIMUM
MAX F.A.R. (FLOOR AREA RATIO): 3.0 OR 101,370 S.F.
MAX RESIDENTIAL UNITS (50 D.U. PER ACRE): 39 UNITS
MAX RESIDENTIAL UNITS WITH 80% STATE DENSITY BONUS: 69 UNITS
MAX RESIDENTIAL UNITS WITH 100% STATE DENSITY BONUS: 78 UNITS

FLOOR AREA (7-STORY BUILDING)
FIRST LEVEL - RESIDENTIAL: 2,184 S.F.
SECOND LEVEL - OFFICE: 20,013 S.F.
THIRD LEVEL - OFFICE: 27,756 S.F.
FOURTH LEVEL - RESIDENTIAL: 23,056 S.F.
FIFTH LEVEL - RESIDENTIAL: 23,103 S.F.
SIXTH LEVEL - RESIDENTIAL: 23,103 S.F.
SEVENTH LEVEL - OFFICE: 18,674 S.F.
TOTAL BUILDING AREA: 176,163 S.F.

TOTAL OFFICE AREA: 98,717 S.F.
TOTAL RESIDENTIAL AREA: 71,396 S.F.
TOTAL F.A.R. (FLOOR AREA RATIO): 176,163 S.F. / 33,790 S.F. = 5.03

DWELLING UNITS PER FLOOR	
FOURTH LEVEL	24 UNITS
FIFTH LEVEL	24 UNITS
SIXTH LEVEL	24 UNITS
TOTAL DWELLING UNITS	
72 UNITS	
DWELLING UNIT MIX	
STUDIO	48 UNITS OR 66%
ONE-BEDROOM	9 UNITS OR 13%
TWO-BEDROOM	15 UNITS OR 21%

PARKING ANALYSIS

PARKING REQUIRED
OFFICE (8.71 S.F. / 1,437,000)
RESIDENTIAL (0.5 PER DWELLING UNIT - ALL UNIT TYPES) / DEDICATED LEVEL P2
TOTAL REQUIRED PARKING: 185 SPACES
36 SPACES
221 SPACES

PARKING - PROVIDED
LEVEL P1
OFFICE - COMPACT (TANDEM): 2 SPACES
OFFICE - TANDEM: 21 SPACES
OFFICE - ADA STANDARD: 9 SPACES
OFFICE - VAN ACCESSIBLE: 1 SPACE
OFFICE - STANDARD LEVEL 2 EVCS: 11 SPACES
OFFICE - COMPACT LEVEL 2 EVCS: 3 SPACES
OFFICE - STANDARD LEVEL 2 EV CAPABLE: 14 SPACES
OFFICE - COMPACT LEVEL 2 EV CAPABLE: 17 SPACES
TOTAL OFFICE PARKING LEVEL P1 - PROVIDED: 79 SPACES

LEVEL P2
RESIDENTIAL - STANDARD LEVEL 2 EV READY: 15 SPACES
RESIDENTIAL - STANDARD LEVEL 2 EVCS: 4 SPACES
RESIDENTIAL - COMPACT LEVEL 2 EV READY: 10 SPACES
RESIDENTIAL - STANDARD ACCESSIBLE/LEVEL 2 EVCS: 1 SPACE
RESIDENTIAL - VAN ACCESSIBLE/LEVEL 2 EVCS: 1 SPACE
TOTAL RESIDENTIAL PARKING LEVEL P2 - PROVIDED: 31 SPACES

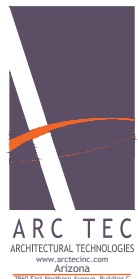
LEVEL P2
OFFICE - COMPACT: 4 SPACES
OFFICE - COMPACT (TANDEM): 21 SPACES
OFFICE - TANDEM: 9 SPACES
OFFICE - ADA STANDARD: 2 SPACES
OFFICE - VAN ACCESSIBLE/LEVEL 2 EVCS: 1 SPACE
OFFICE - STANDARD ACCESSIBLE/LEVEL 2 EVCS: 1 SPACE
OFFICE - STANDARD LEVEL 2 EV CAPABLE: 1 SPACE
OFFICE - COMPACT LEVEL 2 EV CAPABLE: 9 SPACES
TOTAL OFFICE PARKING LEVEL P2 - PROVIDED: 50 SPACES

TOTAL PARKING LEVEL P2 - PROVIDED: 81 SPACES
TOTAL OFFICE PARKING (LEVELS P1 & P2) - PROVIDED: 129 SPACES
TOTAL RESIDENTIAL PARKING (LEVEL P2) - PROVIDED: 31 SPACES

EV PARKING ANALYSIS TABLE - REQUIRED		
OFFICE USE	TOTAL NUMBER OF STALLS	185
	TOTAL NUMBER OF LEVEL 2 EVCS STALLS	20% or 37
	TOTAL NUMBER OF LEVEL 2 EV CAPABLE STALLS	30% or 56
ASSIGNED RESIDENTIAL USE	TOTAL NUMBER OF DEDICATED STALLS	39
	TOTAL NUMBER OF LEVEL 2 EVCS STALLS	15% or 5
	TOTAL NUMBER OF LEVEL 2 EV READY STALLS	85% or 31

EV PARKING ANALYSIS TABLE - PROVIDED		
OFFICE USE	TOTAL NUMBER OF STALLS	129
	TOTAL NUMBER OF LEVEL 2 EVCS STALLS	26
	TOTAL NUMBER OF LEVEL 2 EV CAPABLE STALLS	39
ASSIGNED RESIDENTIAL USE	TOTAL NUMBER OF DEDICATED STALLS	31
	TOTAL NUMBER OF LEVEL 2 EVCS STALLS	5
	TOTAL NUMBER OF LEVEL 2 EV READY STALLS	26

	Use	Short-Term Bike	Long-Term Bike	Bike Total	Compact	Standard (Tandem)	Compact (Tandem)	ADA Standard	Standard Accessible Level 2 EVCS	Standard Accessible Level 2 EV Ready	Van Accessible	Van Accessible Level 2 EVCS	Standard Level 2 EVCS	Standard Level 2 EV Capable	Compact Level 2 EVCS	Compact Level 2 EV Ready	Parking Provided
Parking Provided	Level 1 - Residential	6		6													
	Level 1 - Office	6		6													
	Level P1 - Office		10	10	2	9	21	1			1		11	14	17	3	79
	Level P2 - Office				4	9	21	2	1			1	1	1	9		55
	Level P2 - Residential								1	15		1	4			18	31
	Levels 4, 5 & 6 - Residential		80	80													
Total Parking Provided		12	90	102													180



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ARC TEC ARCHITECTURAL TECHNOLOGIES
1500 East Wacker Drive, Suite 200
Phoenix, AZ 85038 602.953.2355
www.arctec.com

PLANNING APPLICATION FOR:
MECAH VENTURES
BLOCK 20
SAN MATEO, CA 94401

DATE	DESCRIPTION
06.22.2022	ZONING PRE-APPLICATION
09.13.2022	FIRST PLANNING SUBMITTAL
04.14.2023	SECOND PLANNING SUBMITTAL
07.14.2023	THIRD PLANNING SUBMITTAL
11.15.2023	FOURTH PLANNING SUBMITTAL
03.16.2024	FIFTH PLANNING SUBMITTAL

PA-2023-003

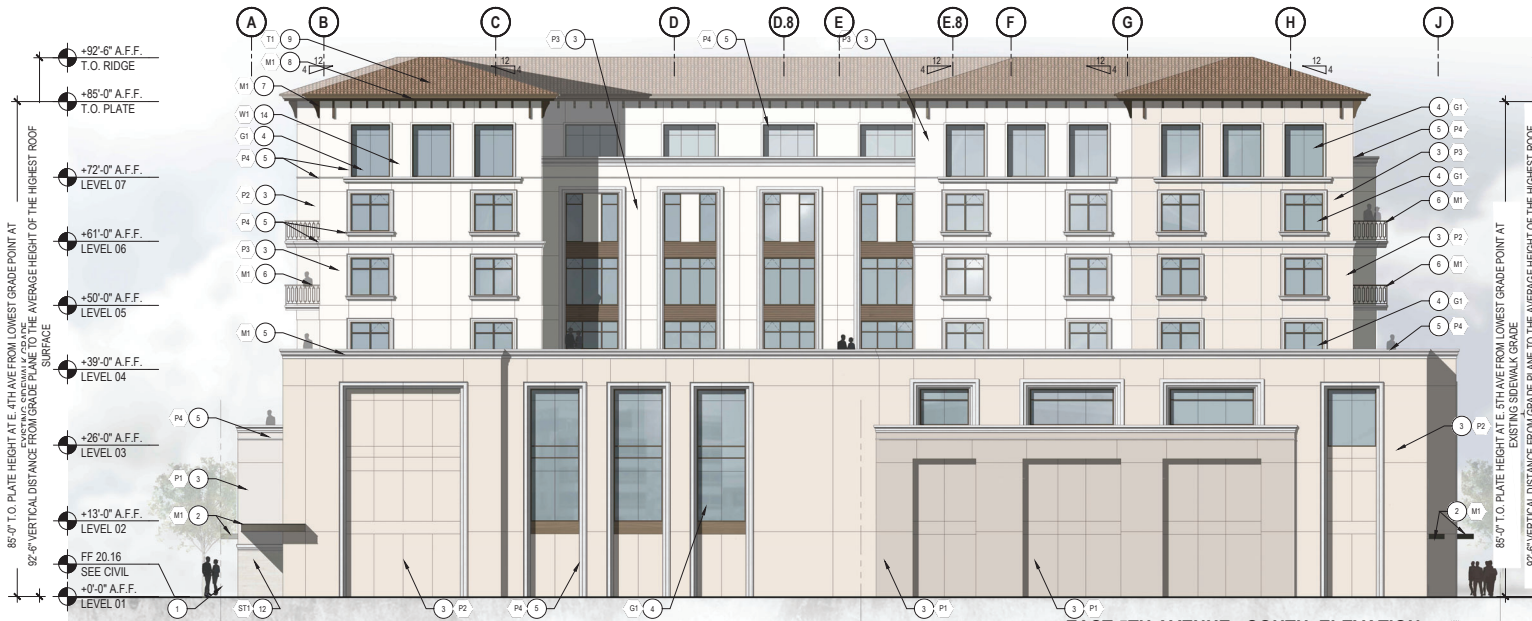
P2 LEVEL PLAN
& NOTES

AP2.12

PROJECT NO. 215513



PROJECT NO: 215513



EAST 5TH AVENUE - SOUTH ELEVATION

SCALE: 3/32" = 1'-0"

1



S. CLAREMONT STREET - WEST ELEVATION

SCALE: 3/32" = 1'-0"

2

KEYNOTES

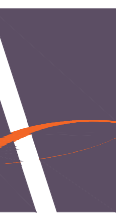
NOTE: NOT ALL KEYNOTES LISTED MAY APPLY TO THIS DRAWING.

- 1 EXISTING PROPERTY LINE
- 2 ALUMINUM COMPOSITE CANOPY SYSTEM
- 3 PAINTED SMOOTH STUCCO OVER DENSE GLASS AND METAL FRAMING
- 4 EXTERIOR GLAZING SYSTEM
- 5 EXTERIOR PAINTED FOAM CROWN MOLDING
- 6 BALCONY RAILING SYSTEM
- 7 CORBEL AND BRACKETS
- 8 ALUMINUM FASCIA AND SIDING TRIM
- 9 CONCRETE ROOF TILE
- 10 EXTERIOR ALUMINUM GLASS STOREFRONT DOOR
- 11 EXPRESSED MULLION
- 12 EXTERIOR STONE CLADDING
- 13 ENTRY TO BELOW GRADE PARKING
- 14 COMPOSITE WOOD CLADDING
- 15 BUILDING SIGNAGE - UNDER SEPARATE PERMIT
- 16 HATCHED AREA INDICATED SPANDREL GLASS LOCATION

MATERIAL PALETTE

*GLAZING SPECIFIED INDICATES GENERAL TONE AND COLOR. FINAL PERCEIVED COLOR AND CLARITY WILL VARY DEPENDING ON 1" INSULATED GLAZING SPECIFICATION TO BE DETERMINED AT TIME OF CONSTRUCTION DOCUMENTATION.

- | | | |
|-----|----------------------------------|--|
| G1 | TYPE:
COLOR:
PRODUCT REF.: | 1" INSULATED EXTERIOR GLAZING
LIGHT BLUE TINT
LOW TINT: VIBRACON® INSULATED
VIRE 1475-07010 (2" CLEAR WITH VIRE 4725 42 - 2" AIRSPACE -
2" CLEAR HS) |
| M1 | TYPE:
COLOR: | ALUMINUM COMPOSITE CANOPY SYSTEM
PPG MOCHA-CCINO RUC105758XL |
| M2 | TYPE:
COLOR: | EXTERIOR WINDOW DOOR FRAMES
PPG MOCHA-CCINO RUC105758XL |
| L1 | TYPE:
COLOR:
PRODUCT REF.: | SURFACE MOUNT LIGHT FIXTURE
GRAY BROWN
DIGITAL LIGHTING (OR APPROVED EQUAL) - TOPX LX |
| P1 | TYPE:
COLOR:
PRODUCT REF.: | EXTERIOR PAINT
PAVILION BEIGE
SHERWIN WILLIAMS - SW7512 |
| P2 | TYPE:
COLOR:
PRODUCT REF.: | EXTERIOR PAINT
BUNGALOW BEIGE
SHERWIN WILLIAMS - SW7511 |
| P3 | TYPE:
COLOR:
PRODUCT REF.: | EXTERIOR PAINT
WHITETAIL
SHERWIN WILLIAMS - SW7103 |
| P4 | TYPE:
COLOR:
PRODUCT REF.: | EXTERIOR PAINT
HIGH REFLECTIVE WHITE
SHERWIN WILLIAMS - SW7757 |
| T1 | TYPE:
COLOR:
PRODUCT REF.: | CONCRETE ROOF TILE
CORONA DEL MAR BLEND
CAPISTRANO RSC825 |
| W1 | TYPE:
COLOR:
PRODUCT REF.: | EXTERIOR WOOD CLADDING
MOJAVE THERMAL DOUGLAS FIR VG ROUGH SAWIN 2.0 WEATHERED
TAIPE
DELTA MILLWORKS 1"x6"xL |
| ST1 | TYPE:
COLOR:
PRODUCT REF.: | EXTERIOR TRAVERTINE WAINSCOT
TORREON STONE: FILLED AND HONED FINISH
ARIZONA TILE 18"x18"x3/8" |



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PLANNING APPLICATION FOR:
MECAH VENTURES
BLOCK 20
SAN MATEO, CA 94401

DATE	DESCRIPTION
08.22.2022	ZONING PRE-APPLICATION
01.13.2023	FIRST PLANNING SUBMITTAL
04.14.2023	SECOND PLANNING SUBMITTAL
07.14.2023	THIRD PLANNING SUBMITTAL
11.15.2023	FOURTH PLANNING SUBMITTAL
03.15.2024	FIFTH PLANNING SUBMITTAL

PA-2023-003

EXTERIOR ELEVATIONS

A 3.02

PROJECT NO. 215513





SCALE: 1/16" = 1'-0"

(4)



SCALE: 1/16" = 1'-0"

(3)



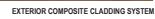
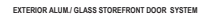
SCALE: 1/16" = 1'-0"

(2)

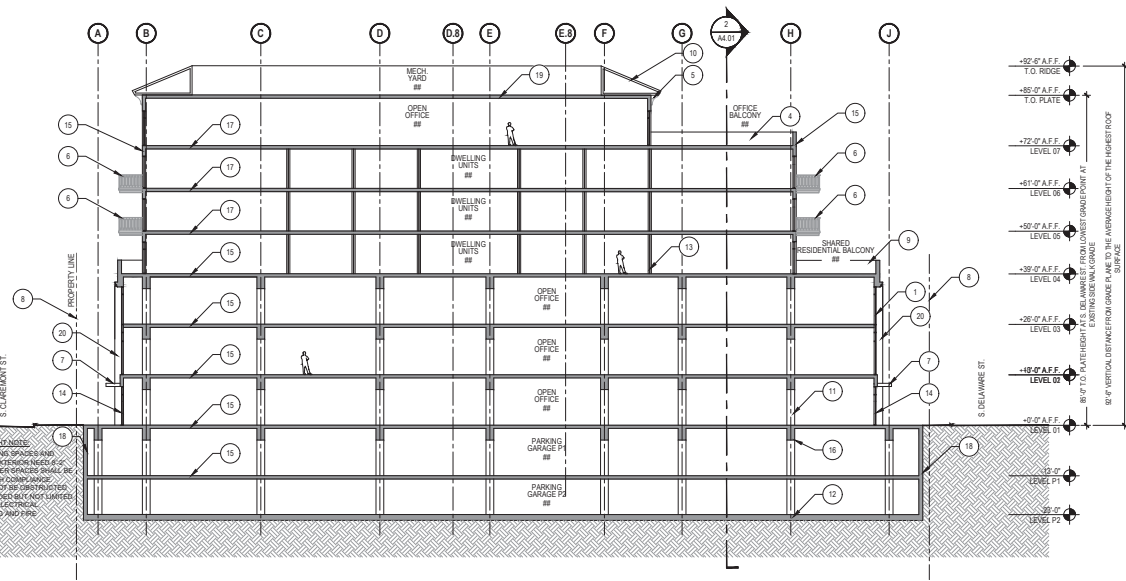


SCALE: 1/16" = 1'-0"

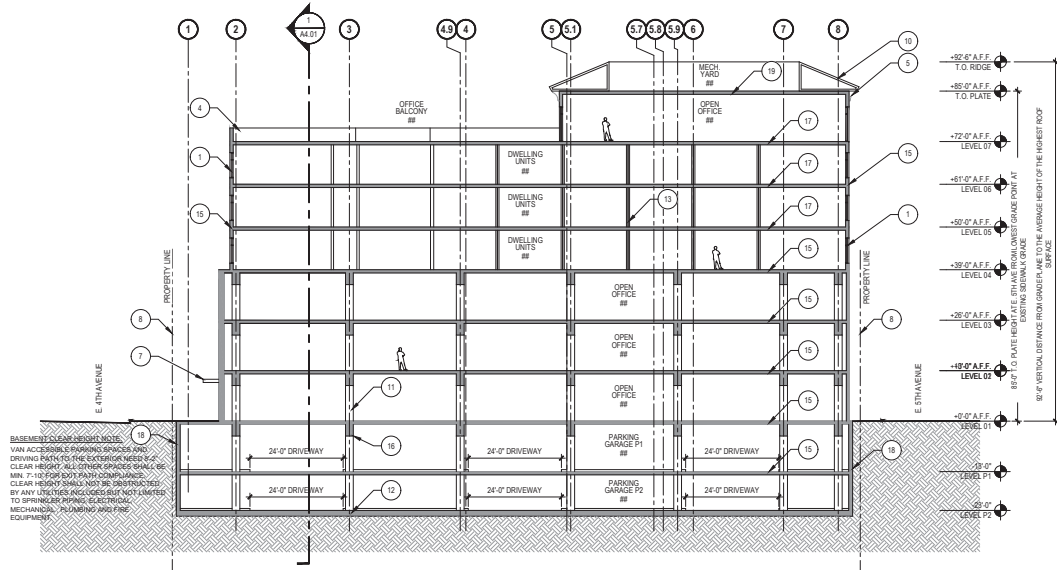
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DATE	DESCRIPTION
08.22.2022	ZONING PRE-APPLICATION
01.13.2022	FIRST PLANNING SUBMITTAL
04.14.2023	SECOND PLANNING SUBMITTAL
07.14.2023	THIRD PLANNING SUBMITTAL
11.15.2023	FOURTH PLANNING SUBMITTAL
03.18.2024	FIFTH PLANNING SUBMITTAL



BUILDING SECTION 1
SCALE: 1/16" = 1'-0"



BUILDING SECTION 2
SCALE: 1/16" = 1'-0"

NET RENTABLE AREA: 475 S.F. (1) BMR UNIT @ LEVEL 4/ LEVEL 5 & LEVEL 6

ENLARGED PLAN - STUDIO UNIT TYPE 'A1.0'

SCALE: 1/4" = 1'-0"

NET RENTABLE AREA: 584 S.F.

ENLARGED PLAN - STUDIO UNIT TYPE 'A1.1'

SCALE: 1/4" = 1'-0"

NET RENTABLE AREA: 601 S.F.

ENLARGED PLAN - STUDIO UNIT TYPE 'A1.1A'

SCALE: 1/4" = 1'-0"

NET RENTABLE AREA: 584 S.F.

ENLARGED PLAN - STUDIO UNIT TYPE 'A1.2'

SCALE: 1/4" = 1'-0"

NET RENTABLE AREA: 564 S.F.

ENLARGED PLAN - STUDIO UNIT TYPE 'A1.5'

SCALE: 1/4" = 1'-0"

NET RENTABLE AREA: 564 S.F. (1) BRM UNIT @ LEVEL 4/ LEVEL 5 & LEVEL 6

ENLARGED PLAN - STUDIO UNIT TYPE 'A1.6'

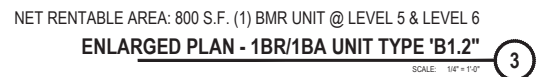
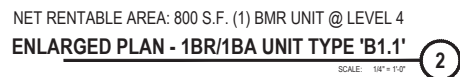
SCALE: 1/4" = 1'-0"

PROJECT DATA:														
	Unit Type	Unit Area (S.F.)	Battery Area (S.F.)	Unit Area w/Battery (S.F.)	# Unit Level 4	# Unit Level 5	# Unit Level 6	Total # Units	Density Bonus Parking Req'd	Short-Term Bike Pkg Req'd	Long-Term Bike Pkg Req'd	Total Unit Area	Total Battery Area	Unit Mix
Residential Units	A1.0 (Studio)	474	excluded	474	4	4	4	12	0.50	0.05	1.00	5,700	excluded	66%
	A1.1 (Studio)	584	208	792	4	0	0	4	0.50	0.05	1.00	2,336	832	
	A1.1A (Studio)	601	310	911	1	0	0	1	0.50	0.05	1.00	601	310	
	A1.1B (Studio)	601	60	661	0	1	1	2	0.50	0.05	1.00	1,202	120	
	A1.2 (Studio)	584	138	722	1	0	0	1	0.50	0.05	1.00	584	138	
	A1.5 (Studio)	564	excluded	564	4	4	4	12	0.50	0.05	1.00	6,768	excluded	
	A1.6 (Studio)	564	excluded	564	2	2	2	6	0.50	0.05	1.00	3,384	excluded	
	A1.7A (Studio)	584	excluded	584	0	5	5	10	0.50	0.05	1.00	5840	excluded	
	B1.0 (1BR/1BA Unit)	732	130	862	1	1	1	3	0.50	0.05	1.00	2,196	360	
	B1.1 (1BR/1BA Unit)	800	131	931	1	0	0	1	0.50	0.05	1.00	800	131	
	B1.2 (1BR/1BA Unit)	800	60	860	0	1	1	2	0.50	0.05	1.00	1,600	120	
	B1.3(1BR/1BA Unit)	910	excluded	910	1	1	1	3	0.50	0.05	1.00	2,730	excluded	
	C1.0 (2BR/2BA Unit)	998	excluded	998	1	0	0	1	0.50	0.10	1.25	998	excluded	
	C1.1 (2BR/2BA Unit)	929	273	1,202	1	0	0	1	0.50	0.10	1.25	929	273	
	C1.2 (2BR/2BA Unit)	993	131	1,124	1	0	0	1	0.50	0.10	1.25	993	131	
	C1.3 (2BR/2BA Unit)	987	139	1,126	1	0	0	1	0.50	0.10	1.25	987	139	
	C1.4 (2BR/2BA Unit)	981	141	1,122	1	0	0	1	0.50	0.10	1.25	981	141	
	C1.5 (2BR/2BA Unit)	986	98	1,084	0	1	1	2	0.50	0.10	1.25	1,996	120	
	C1.6 (2BR/2BA Unit)	920	99	999	0	1	1	2	0.50	0.10	1.25	1,819	120	
	C1.7 (2BR/2BA Unit)	992	99	1,093	0	1	1	2	0.50	0.10	1.25	1,986	120	
C1.8 (2BR/2BA Unit)	960	90	1,047	0	1	1	2	0.50	0.10	1.25	1,974	120		
C1.9 (2BR/2BA Unit)	961	90	1,041	0	1	1	2	0.50	0.10	1.25	1,962	120		
Total # dwelling units					24	24	24	72				48,405	3,325	

BMR UNIT REQUIREMENTS - PER SDB ON BASE DENSITY (39 UNITS)	
50% INCREASE: 15% VERY LOW INCOME	6 UNITS
ADDITIONAL 50%: 15% MODERATE INCOME	6 UNITS
TOTAL (PROVIDED):	12 UNITS

BMR UNIT BREAKDOWN PER FLOOR

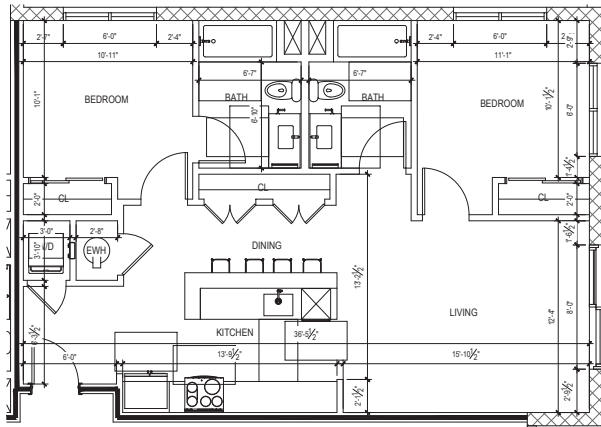
(1) TYPE 1.0 LEVEL 4
(1) TYPE A1.6 LEVEL 4
(1) TYPE B1.1 LEVEL 4
(1) TYPE C1.2 LEVEL 4
(1) TYPE A1.0 LEVEL 5
(1) TYPE A1.6 LEVEL 5
(1) TYPE B1.2 LEVEL 5
(1) TYPE C1.7 LEVEL 5
(1) TYPE A1.0 LEVEL 6
(1) TYPE A1.6 LEVEL 6
(1) TYPE B1.2 LEVEL 6
(1) TYPE C1.7 LEVEL 6
TOTAL: 12 BMR UNITS



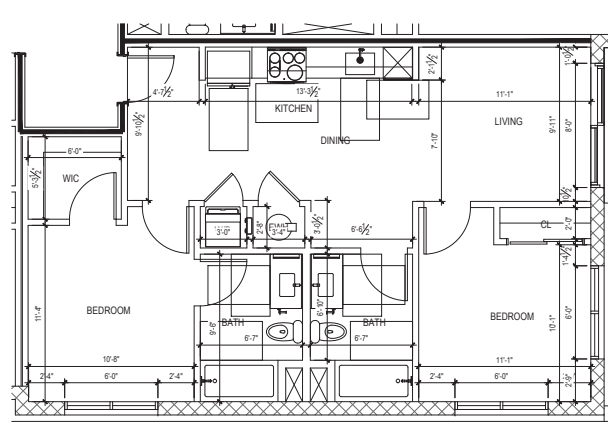
BMR UNIT REQUIREMENTS - PER SDB ON BASE DENSITY (39 UNITS)	
50% INCREASE: 15% VERY LOW INCOME	6 UNITS
ADDITIONAL 50%: 15% MODERATE INCOME	6 UNITS
TOTAL (PROVIDED):	12 UNITS

BMR UNIT BREAKDOWN PER FLOOR

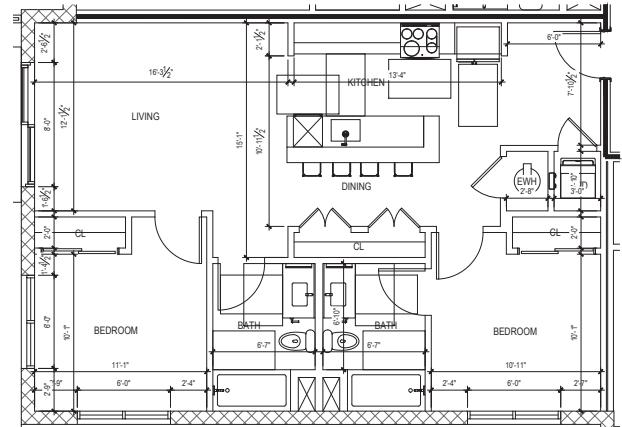
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(1) TYPE A1.6 LEVEL 4
(1) TYPE B1.1 LEVEL 4
(1) TYPE C1.2 LEVEL 4
(1) TYPE A1.0 LEVEL 5
(1) TYPE A1.6 LEVEL 5
(1) TYPE B1.2 LEVEL 5
(1) TYPE C1.7 LEVEL 5
(1) TYPE A1.0 LEVEL 6
(1) TYPE A1.6 LEVEL 6
(1) TYPE B1.2 LEVEL 6
(1) TYPE C1.7 LEVEL 6
TOTAL: 12 BMR UNITS



NET RENTABLE AREA: 998 S.F.
ENLARGED PLAN - 2BR/2BA UNIT TYPE 'C1.0'
 SCALE: 1/4" = 1'-0" **1**



NET RENTABLE AREA: 929 S.F.
ENLARGED PLAN - 2BR/2BA UNIT TYPE 'C1.1'
 SCALE: 1/4" = 1'-0" **2**

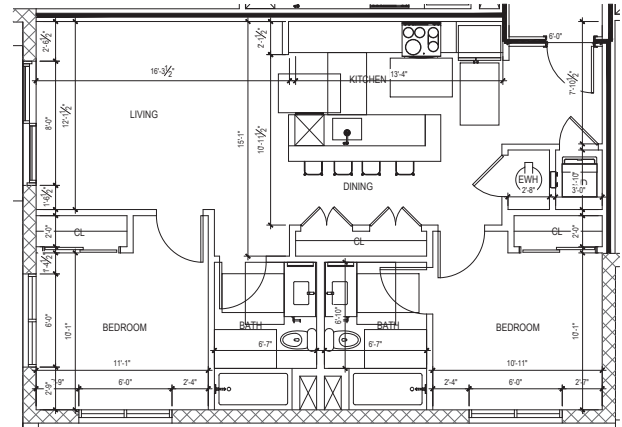


NET RENTABLE AREA: 993 S.F. (1) BMR UNIT @ LEVEL 4
ENLARGED PLAN - 2BR/2BA UNIT TYPE 'C1.2'
 SCALE: 1/4" = 1'-0" **3**

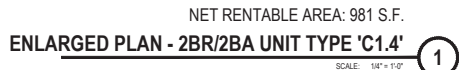
PROJECT DATA:													
	Unit Type	Unit Area (S.F.)	Balcony Area (S.F.)	Unit Area w/Balcony (S.F.)	# Unit Level 4	# Unit Level 5	# Unit Level 6	Total # Units	Density Bonus Parking Req'd	Short-Term Bike Plg Req'd	Long-Term Bike Plg Req'd	Total Unit Area	Unit Mix
Residential Units	A1.0 (Studio)	475	excluded	475	4	4	4	12	0.50	0.05	1.00	5,700	66%
	A1.1 (Studio)	584	208	792	4	0	0	4	0.50	0.05	1.00	2,336	
	A1.1A (Studio)	607	210	817	1	0	0	1	0.50	0.05	1.00	851	
	A1.1B (Studio)	607	60	667	0	1	1	2	0.50	0.05	1.00	1,252	
	A1.2 (Studio)	584	138	722	1	0	0	1	0.50	0.05	1.00	584	
	A1.5 (Studio)	564	excluded	564	4	4	4	12	0.50	0.05	1.00	6,768	
	A1.6 (Studio)	564	excluded	564	2	2	2	6	0.50	0.05	1.00	3,384	
	A1.7A (Studio)	584	excluded	584	0	5	5	10	0.50	0.05	1.00	5,840	
	B1.0 (1BR/1BA Unit)	732	130	862	1	1	1	3	0.50	0.05	1.00	2,196	
	B1.1 (1BR/1BA Unit)	800	131	931	1	0	0	1	0.50	0.05	1.00	800	
	B1.2 (1BR/1BA Unit)	800	60	860	0	1	1	2	0.50	0.05	1.00	1,600	
	B1.3 (1BR/1BA Unit)	910	excluded	910	1	1	1	3	0.50	0.05	1.00	2,730	
	C1.0 (2BR/2BA Unit)	998	excluded	998	1	0	0	1	0.50	0.10	1.25	998	21%
	C1.1 (2BR/2BA Unit)	929	273	1,202	1	0	0	1	0.50	0.10	1.25	929	
	C1.2 (2BR/2BA Unit)	993	131	1,124	1	0	0	1	0.50	0.10	1.25	993	
	C1.3 (2BR/2BA Unit)	987	139	1,126	1	0	0	1	0.50	0.10	1.25	987	
	C1.4 (2BR/2BA Unit)	981	141	1,122	1	0	0	1	0.50	0.10	1.25	981	
	C1.5 (2BR/2BA Unit)	998	60	1,058	0	1	1	2	0.50	0.10	1.25	1,996	
	C1.6 (2BR/2BA Unit)	929	60	989	0	1	1	2	0.50	0.10	1.25	1,898	
	C1.7 (2BR/2BA Unit)	993	60	1,053	0	1	1	2	0.50	0.10	1.25	1,986	
	C1.8 (2BR/2BA Unit)	987	60	1,047	0	1	1	2	0.50	0.10	1.25	1,914	
	C1.9 (2BR/2BA Unit)	981	60	1,041	0	1	1	2	0.50	0.10	1.25	1,962	
	Total # dwelling units				24	24	24	72				48,405	3,325

BMR UNIT REQUIREMENTS - PER SDB ON BASE DENSITY (38 UNITS)		
50% INCREASE: 15% VERY LOW INCOME	9 UNITS	
ADDITIONAL 50%: 15% MODERATE INCOME	6 UNITS	
TOTAL (PROVIDED):	12 UNITS	

BMR UNIT BREAKDOWN PER FLOOR	
(1) TYPE 1.0 LEVEL 4	
(1) TYPE B1.1 LEVEL 4	
(1) TYPE C1.2 LEVEL 4	
(1) TYPE A1.0 LEVEL 5	
(1) TYPE A1.6 LEVEL 5	
(1) TYPE B1.2 LEVEL 5	
(1) TYPE C1.7 LEVEL 5	
(1) TYPE A1.0 LEVEL 6	
(1) TYPE A1.6 LEVEL 6	
(1) TYPE B1.2 LEVEL 6	
(1) TYPE C1.2 LEVEL 6	
TOTAL: 12 BMR UNITS	



NET RENTABLE AREA: 987 S.F.
ENLARGED PLAN - 2BR/2BA UNIT TYPE 'C1.3'
 SCALE: 1/4" = 1'-0" **4**



BMR UNIT REQUIREMENTS - PER SDB ON BASE DENSITY (39 UNITS)	
50% INCREASE: 15% VERY LOW INCOME	6 UNITS
ADDITIONAL 50%: 15% MODERATE INCOME	6 UNITS
TOTAL (PROVIDED):	12 UNITS

BMR UNIT BREAKDOWN PER FLOOR










(1) TYPE 1.0 LEVEL 4
(1) TYPE A1.6 LEVEL 4
(1) TYPE B1.1 LEVEL 4
(1) TYPE C1.2 LEVEL 4
(1) TYPE A1.0 LEVEL 5
(1) TYPE A1.6 LEVEL 5
(1) TYPE B1.2 LEVEL 5
(1) TYPE C1.7 LEVEL 5
(1) TYPE A1.0 LEVEL 6
(1) TYPE A1.6 LEVEL 6
(1) TYPE B1.2 LEVEL 6
(1) TYPE C1.7 LEVEL 6
TOTAL: 12 BMR UNITS

 **DELTAUGHT™**
TOPIX WW A
304 17 02 A









For detailed installation instructions, please consult the manual: [**304_17_02_HAND.pdf**](#)



Delta Light A&F may reserve the information and technical data at any time without notice. Version: 3/19/2023

2 / 6

DELTA LIGHT™	
3004 17 02 A	
FINISH YOUR SPECIFICATION	
LED power supplies	8
 3004A 3004D10 LED POWER CONVERTER 48V DC to 360 mA DC (FISH WHL)	3-7 <input type="checkbox"/>
 3004B 3004D20 LED POWER CONVERTER 48V DC to 360 mA DC (FISH WHS)	2-7 <input type="checkbox"/>
 3004C 3004HDL LED POWER CONVERTER 48V DC to 360 mA DC FISH WHL	3-7 <input type="checkbox"/>
 3004D 3004WDL LED POWER CONVERTER 48V DC to 360 mA DC FISH WHL	3-7 <input type="checkbox"/>
 3004E 3004M LED POWER SUPPLY MULT-POWER DMAT	6-7/10 <input type="checkbox"/>
 3004F 3004DME LED POWER SUPPLY MULT-POWER DMME	1-6 <input type="checkbox"/>
 3004G 3004DMH LED POWER SUPPLY MULT-POWER DMH	1-10/12 <input type="checkbox"/>
 3004H 3004DMT LED POWER SUPPLY MULT-POWER DMAT	2-10/1 <input type="checkbox"/>
 3004I 3004DMC LED POWER CONVERTER 24V DC to MULT-CURRENT 48W DMH	3-7 <input type="checkbox"/>

Delta Light-WW may revise the information and technical data at any time without notice. Version: 3103/2023

DELTA LIGHT™		
TOPIX WW A		
3094 17 02 A		
	2035-0038	LED POWER SUPPLY 1x17mm POWER DIMS
	2035-0040H	LED POWER SUPPLY 1x17mm POWER WDL
	2035-0050H	LED POWER SUPPLY 1x17mm POWER COMPACT WDL
	2035-0028	LED POWER SUPPLY 2x35mm POWER 200-350 / 17W DIMS
	2035-0058H	LED POWER SUPPLY 2x35mm POWER 200-350 / 17W DIMS
	2035-0038H	LED POWER SUPPLY 2x35mm POWER 250-900 / 20W DIMS
	2035-0038	LED POWER SUPPLY 32mmx17mm DIMS
	2035-0036	LED POWER CONVERTER 4Pin DC to 360 mA DC 15W DIMS

<div>  DELTAUGHT™ </div> <div> TOPIX WW A 304 T7 Q2 A </div>	
<div>Concrete boxes</div>	
<div>  300.00.01 CONCRETE BOX 101 </div>	<input type="checkbox"/>
<div>  300.00.02 CONCRETE BOX T9 T04 </div>	<input type="checkbox"/>
<div>Notes</div>	



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[illegible]

PLANNING APPLICATION FOR:

WINDY HILL PROPERTY VENTURES

BLOCK 20

SAN MATEO, CA 94401

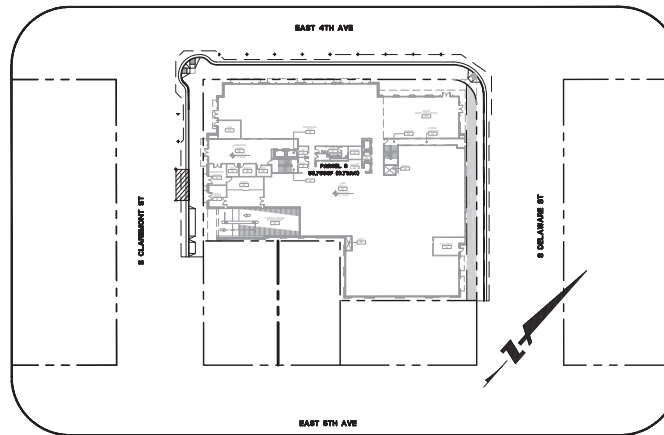


PA-2023-003

LIGHT FIXTURE - CUT SHEETS

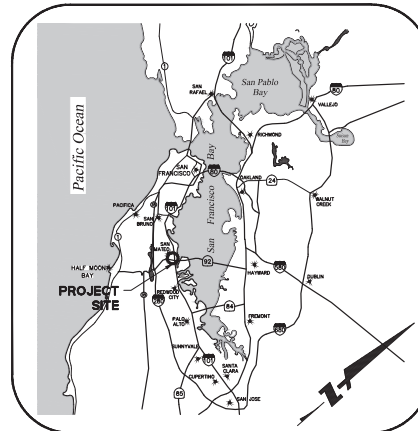
BLOCK 20 VESTING TENTATIVE PARCEL MAP

CITY OF SAN MATEO, SAN MATEO COUNTY, CALIFORNIA



SITE PLAN

SCALE: 1"=50'



LOCATION MAP

NTS

SHEET INDEX

Sheet Number	Sheet Title
C1.01	TITLE SHEET
C1.02	NOTES, LEGEND & ABBREVIATIONS
C2.01	SITE SURVEY
C2.02	EXISTING CONDITIONS AND DEMOLITION PLAN
C2.03	TENTATIVE PARCEL MAP
C3.01	PRELIMINARY HORIZONTAL CONTROL PLAN
C3.02	PRELIMINARY CROSS SECTIONS
C4.01	PRELIMINARY GRADING PLAN
C5.01	PRELIMINARY UTILITY PLAN
C6.01	PRELIMINARY STORMWATER CONTROL PLAN
C6.02	PRELIMINARY STORMWATER CONTROL NOTES AND DETAILS
C6.03	PRELIMINARY STORMWATER CONTROL NOTES AND DETAILS
C7.01	PRELIMINARY FIRE ACCESS PLAN
C8.01	FIRE TRUCK TURNING MOVEMENTS
C8.02	TRASH TRUCK TURNING MOVEMENTS
C8.03	SU-30 TRUCK TURNING MOVEMENTS
C9.01	CONSTRUCTION BMPs

BENCHMARK

A LOCAL SITE BENCHMARK BEING THE MONUMENT FOUND IN S. DELAWARE ST. ON THE SOUTHEASTERLY SIDE OF ITS INTERSECTION WITH E. 4TH AVE. BEING A FOUND CITY MONUMENT IN WELL AT THE APPROXIMATE CENTERLINE OF SAID S. DELAWARE ST. CAN BE USED AS THE SITE BENCHMARK.
ELEVATION = 19.69FT. (NAVD88)

BASIS OF BEARINGS

THE MONUMENTED CENTERLINE OF SOUTH DELAWARE STREET BETWEEN 3RD AVENUE AND 5TH AVENUE AS SHOWN ON PARCEL MAP NO. 324 FILED IN BOOK 64 OF MAPS, PAGE 52 SHOWN AS S 41°28'00".

PROJECT SUMMARY

APPLICANT

MICHAEL FIELD
MECAH VENTURES
530 EMERSON STREET, SUITE 150
PALO ALTO, CA 94301
650.847.1266

ARCHITECT

EVAN SOOKALOSKY
ARCHITECTURAL TECHNOLOGIES
1731 TECHNOLOGY DRIVE, SUITE 750
SAN JOSE, CA 95110
408.496.0676

LANDSCAPE ARCHITECT

TOM HOLLOWAY
KLA INCORPORATED
151 S NORLIN STREET
SONOMA, CA 95370
209.532.2856

CIVIL ENGINEER

ALYSSA JACOBSON, PE
BKF ENGINEERS
150 CALIFORNIA STREET, SUITE 600
SAN FRANCISCO, CA 94111
415.930.7900

OWNER

WINDY HILL PROPERTY VENTURES
530 EMERSON STREET, SUITE 150
PALO ALTO, CA 94301

TOTAL AREA

50,499 SF (1.16 AC)

EXISTING ZONING

CBF/S-CENTRAL BUSINESS SUPPORT

EXISTING LAND USE

DOWNTOWN RETAIL CORE SUPPORT

PROPOSED LAND USE

DOWNTOWN RETAIL CORE SUPPORT
THE PROPOSED PROJECT CONSISTS
OF A 6 STORY MIXED-USE BUILDING
CONSISTING OF 237,083 SF.

UTILITIES

WATER SUPPLY:

CALIFORNIA WATER SERVICE

FIRE PROTECTION:

SAN MATEO CONSOLIDATED FIRE

SEWAGE DISPOSAL:

CITY OF SAN MATEO

STORM DRAIN:

CITY OF SAN MATEO

GAS & ELECTRIC:

PACIFIC GAS & ELECTRIC

TELEPHONE:

COMCAST

CABLE TELEVISION:

COMCAST

APPROVALS

ENGINEER'S STATEMENT

THIS VESTING TENTATIVE PARCEL MAP HAS BEEN PREPARED BY ME OR UNDER MY DIRECTION IN ACCORDANCE WITH STANDARD ENGINEERING PRACTICE.

Allyssa Jacobson
ALYSSA JACOBSON, P.E.
PROJECT MANAGER
BKF ENGINEERS
3/18/2024
DATE

Michael O'Connell
MICHAEL O'CONNELL, P.E.
ASSOCIATE
BKF ENGINEERS
3/18/2024
DATE



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PLANNING APPLICATION FOR:
MECAH VENTURES
BLOCK 20
SAN MATEO, CA 94401

DATE	DESCRIPTION
02/22/2022	ZONING PRE-APPLICATION
01/13/2023	FIRST PLANNING SUBMITTAL
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07/14/2023	THIRD PLANNING SUBMITTAL
11/15/2023	FOURTH PLANNING SUBMITTAL
03/18/2024	FIFTH PLANNING SUBMITTAL

TITLE SHEET

PA-2023-003

C1.01

PROJECT NO. 210513

GENERAL NOTES

1. **SOURCE OF TOPOGRAPHY:** EXISTING TOPOGRAPHY SHOWN IS BASED ON A ALTA/NGPS LAND TITLE SURVEY PREPARED BY BKF ENGINEERS DATED 05/01/2022.
2. **GRADING:** SITE GRADES AND BUILDING/GARAGE FINISHED FLOOR ELEVATIONS ARE SUBJECT TO FINAL ENGINEERING DESIGN AND GEOTECHNICAL ENGINEER'S REVIEW AND APPROVAL.
3. **UTILITIES:** UTILITY SIZING, LOCATIONS, AND GRADES ARE SUBJECT TO FINAL ENGINEERING DESIGN, GEOTECHNICAL ENGINEER AND RESPECTIVE UTILITY AGENCY REVIEW AND APPROVAL.

A. EXISTING UTILITIES SHOWN ARE FROM FIELD OBSERVATIONS AND RECORD DRAWINGS AND ARE NOT MEANT TO BE A FULL CATALOG OF ACTUAL CONDITIONS.

B. EXISTING ON-SITE UTILITIES SHOWN ARE TO BE REMOVED UNLESS OTHERWISE NOTED ON PLANS.

C. THE WATER DISTRIBUTION WILL BE DESIGNED AND CONSTRUCTED PER CALIFORNIA WATER SERVICE STANDARD SPECIFICATIONS AND DETAILS, WHERE APPLICABLE.

D. THE SANITARY SEWER SYSTEM WILL BE DESIGNED AND CONSTRUCTED PER CITY OF SAN MATEO STANDARD SPECIFICATIONS AND DETAILS, WHERE APPLICABLE.

E. THE STORM DRAIN SYSTEM WILL BE DESIGNED AND CONSTRUCTED PER CITY OF SAN MATEO STANDARD SPECIFICATIONS AND DETAILS, WHERE APPLICABLE.

6. **FEMA DESIGNED FLOOD ZONE:** FLOOD ZONE 'X'; OTHER AREAS TO BE DETERMINED TO BE OUTSIDE THE 0.2% CHANCE ANNUAL FLOOD PER FLOOD INSURANCE RATE MAP NUMBER 06081C0154G DATED 04/05/2019.

9. **LANDSCAPE PLAN:** LANDSCAPE PLAN BY KLA INCORPORATED SHALL BE APPROVED AS PART OF FINAL IMPROVEMENT PLANS FOR THE PROJECT.

FIRE DEPARTMENT NOTES

1. A SEPARATE APPLICATION AND PERMIT ARE REQUIRED FOR THE INSTALLATION OF ANY UNDERGROUND FIRE SERVICE LINES. APPLICATION SHALL BE MADE BY A REGISTERED ENGINEER OR BY EITHER A GENERAL ENGINEERING CONTRACTOR OR A LICENSED FIRE SPRINKLER CONTRACTOR, WHO WILL BE PERFORMING THE WORK.

2. IN ACCORDANCE WITH THE MUNICIPAL/ REGIONAL STORM WATER PERMIT, NO FIRE SPRINKLER SYSTEM DRAIN SHALL DISCHARGE INTO ANY STORM DRAIN SYSTEM. THE SYSTEM SHALL DISCHARGE TO EITHER A LANDSCAPE AREA LARGE ENOUGH TO CONTAIN THE OUTFLOW, OR TO THE SANITARY SEWER BY MEANS OF AN INDIRECT CONNECTION. INDICATE THE LOCATION OF THE FIRE SPRINKLER SYSTEM DRAIN ON PLANS SUBMITTED FOR A BUILDING PERMIT.

UNDERGROUND STORAGE TANKS

1. PRIOR TO BUILDING PERMIT ISSUANCE, THE PROJECT MUST BE SUBMITTED TO THE SAN MATEO COUNTY HEALTH DEPARTMENT FOR REVIEW OF THE PROPOSED REMOVAL OF THE EXISTING UNDERGROUND STORAGE TANK ("UST") AND ASSOCIATED PIPING ON SITE.

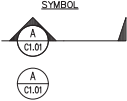
LEGEND

	PROPOSED	EXISTING
SITE BOUNDARY	---	---
COUNTY BOUNDARY	---	---
LOT LINE	---	---
CONTOUR LINE	100	100
FENCE	X	X
STORM DRAIN	---	---
SANITARY SEWER	---	SS
WATER MAIN	W	W
FIRE WATER MAIN	FW	FW
GAS LINE	GAS	GAS
JOINT TRENCH	E	E
SANITARY SEWER CLEAN OUT	CO	CO
SANITARY SEWER MANHOLE	SMH	SMH
STORM DRAIN CURB INLET	DI	DI
STORM DRAIN MANHOLE	DMH	DMH
STORMFILTER	TF	TF
DETECTOR CHECK & METER	DCM	DCM
COMPOUND METER	CM	CM
FIRE DEPARTMENT CONNECTION	FD	FD
FIRE HYDRANT	HY	HY
WATER VALVE	WV	WV
MONUMENT	MO	MO
TRANSFORMER	TR	TR
BIKE RACK	BR	BR
STREET LIGHT	SL	SL
INLET PROTECTION	IP	IP
POLE LIGHT	PL	PL
STORM DRAIN CLEAN OUT	CO	CO
STORM DRAIN AREA DRAIN	AD	AD
STORM DRAIN CATCH BASIN	CB	CB
OVERHEAD WIRES	OH	OH
STREET SIGN	TS	TS
SPOT ELEVATION	TC 8.70	TC 8.70
FRESH AIR INLET	FAI	FAI
WATER METER	WM	WM
BACK FLOW PREVENTER	BFP	BFP
AUXILIARY WATER SUPPLY SYSTEM	AWSS	AWSS
JOINT POLE	JP	JP
TREE	T	T

ABBREVIATIONS

A	DELTA	RW/ROW	RIGHT OF WAY
AB	AGGREGATE BASE	RWC	REDWOOD CITY
AC	ASPHALT CONCRETE	SAN	SLOPE, SOUTH
AD	ASBESTOS CEMENT PIPE	SD	SANITARY
ADJ	ADJACENT	SDCB	STORM DRAIN
APP	APPENDIX	SF	SQUARE FEET
APN	ACCESS POINT NAME	SFDPW	SF DEPARTMENT OF PUBLIC WORKS
AWSS	AUXILIARY WATER SUPPLY SYSTEM	SFPUIC	SF PUBLIC UTILITIES COMMISSION
B/W, BW	BACK OF WALK	S.E.P.	SEE ELECTRICAL PLANS
BC	BEGINNING OF CURVE	S/W	SIDEWALK
BCR	BEGINNING CURB RETURN	S.A.D.	SEE ARCHITECTURAL DRAWINGS
BFP	BACKFLOW PREVENTER	SD	STORM DRAIN
BLD, BLDG	BUILDING	SDAD	STORM DRAIN AREA DRAIN
BTM	BOTTOM	SDCO	STORM DRAIN CLEANOUT
BVCE	BEGIN VERTICAL CURVE ELEVATION	SDOI	STORM DRAIN DROP INLET
BVCS	BEGIN VERTICAL CURVE STATION	SDMH	STORM DRAIN MANHOLE
BSW	BACK OF SIDEWALK	S.F.P.P.	SEE FIRE PROTECTION PLAN
C&G	CURB AND GUTTER	SMGP	SEE JOINT TRENCH PLANS
CS	CATCH BASIN	S.L.T.P.	STREET LIGHT
CCP	CONCRETE CYLINDER PIPE	SLB	STREET LIGHT BOX
CL, &	CENTER LINE	S.L.P.	SEE LANDSCAPE PLANS
CLR	CLEARANCE	S.P.P.	SEE PLUMBING PLANS
CO	CLEANOUT	SS	SANITARY SEWER
COMM	TELECOM	SSCO	SANITARY SEWER CLEANOUT
CONC	CONCRETE	SMH	SANITARY SEWER MANHOLE
COR	CORNER	ST	STREET
CS	COMBINED SEWER	STA	STATION
CSMH	COMBINED SEWER MANHOLE	STD	STANDARD
CATV, CTV	CABLE TELEVISION	T&G	TONGUE AND GROVE
DSDA	DOUBLE CHECK DETECTOR ASSEMBLY	T, TEL, TELE	TELEPHONE
DI	DROP INLET	TO BE DETERMINED	TO BE DETERMINED
DIA	DIAMETER	TC	TOP OF CURB
DMA	DRAINAGE MANAGEMENT AREA	TP	TOP OF PAVEMENT
DOC, DU	DOCUMENT	TRANS	TRANSFORMER
DW	DOMESTIC WATER	TRC	TOP OF RETAINING CURB
DRAWG	DRAWING	TSB	TRAFFIC SIGNAL BOX
DWY	DRIVEWAY	TTC	THEORETICAL TOP OF CURB
E	EAST	TWELL	TREE WELL
E, ELEC	ELECTRIC	TYP	TYPICAL
EASE, ESMT	EASEMENT	VC	VERTICAL CURVE
EB	ELECTRIC BOX	V, VERT	VERTICAL
EC	END OF CURVE	VG	VALLEY GUTTER
ECC	EXTRUDED CONCRETE CURB	UB	UTILITY BOX
ECR	END CURB RETURN	U.C.D.	UNDERGROUND COMMERCIAL DISTRIBUTION
EG	EXISTING GROUND	USA	UNDERGROUND SERVICE ALERT
EL, ELEV	ELEVATION	W	WATER, WEST
EM	ELECTRIC METER	WM	WATER METER
EP	EDGE OF PAVEMENT	WV	WATER VALVE
EVCE	END VERTICAL CURVE ELEVATION	W/	WITH
EVCS	END VERTICAL CURVE STATION		
EX, EXIST	EXISTING		
FC	FACE OF CURB		
FDC	FIRE DEPARTMENT CONNECTION		
FF	FINISHED FLOOR		
FG	FINISHED GRADE		
FI	FIRE HYDRANT		
FL	FLOWLINE		
FNC	FENCE		
FO	FIBER OPTIC CABLE		
FS	FIRE SERVICE		
FT	FEET		
FW	FIRE WATER		
G	GAS		
GB	GRADE BREAK		
GM	GAS METER		
GND	GROUND		
GMF	GALLONS PER MINUT		
GR	GRATE, GRATE ELEVATION		
GV	GATE VALVE		
HASP	HEALTH & SAFETY PLAN		
HCAP	HANDICAPPED		
HC, HCR	HANDICAP RAMP		
HDP	HIGH DENSITY POLYETHYLENE		
HP	HIGH POINT		
H, HORZ	HORIZONTAL		
ID	INNER DIAMETER		
INV	INVERT		
IRR	IRRIGATION		
JP	JOINT POLE		
JT	JOINT TRENCH		
L	LENGTH		
L/C, LS	LANDSCAPE		
LF	LINEAR FEET		
LG	LIP OF GUTTER		
LI	LOW IMPACT DEVELOPMENT		
LOW	LIMIT OF WORK		
LT	LIGHT		
LSOP	LANDSCAPE		
LT	LIGHT		
MAX	MAXIMUM		
MB	MAIL BOX		
MIN	MINIMUM		
MH	MANHOLE		
MPWD	MID-PENINSULA WATER DISTRICT		
N	NORTH		
NTS	NOT TO SCALE		
NO.	NUMBER		
OC	OFF CENTER		
OD	OUTSIDE DIAMETER		
OH	OVERHEAD		
OR, O.R.	OFFICIAL RECORD		
PCC	PORTLAND CEMENT CONCRETE		
PDL	PEDESTAL		
PRC	POINT OF REVERSE CURVATURE		
PCL	PARCEL		
PERF	PERFORATED		
PG&E	PACIFIC GAS & ELECTRIC		
PKG	PARKING		
PL	PROPERTY LINE		
PM	PARKING METER		
POC	POINT OF CONNECTION		
PR	PROPOSED		
PRC	POINT OF COMPOUND CURVE		
PUE	PUBLIC UTILITY EASEMENT		
PVC	POLYVINYL CHLORIDE		
PVI	POINT OF VERTICAL INFLECTION		
R	RADIUS, RIGHT OF ALIGNMENT LINE		
RCP	REINFORCED CONCRETE PIPE		
RM	RELATIVE ELEVATION		
RC	RELATIVE COMPACTION		
RFL	ROOF LEADER		

SYMBOL LEGEND



DESCRIPTION
DETAIL SECTION A ON SHEET C1.01
DETAIL A ON SHEET C1.01



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PLANNING APPLICATION FOR:
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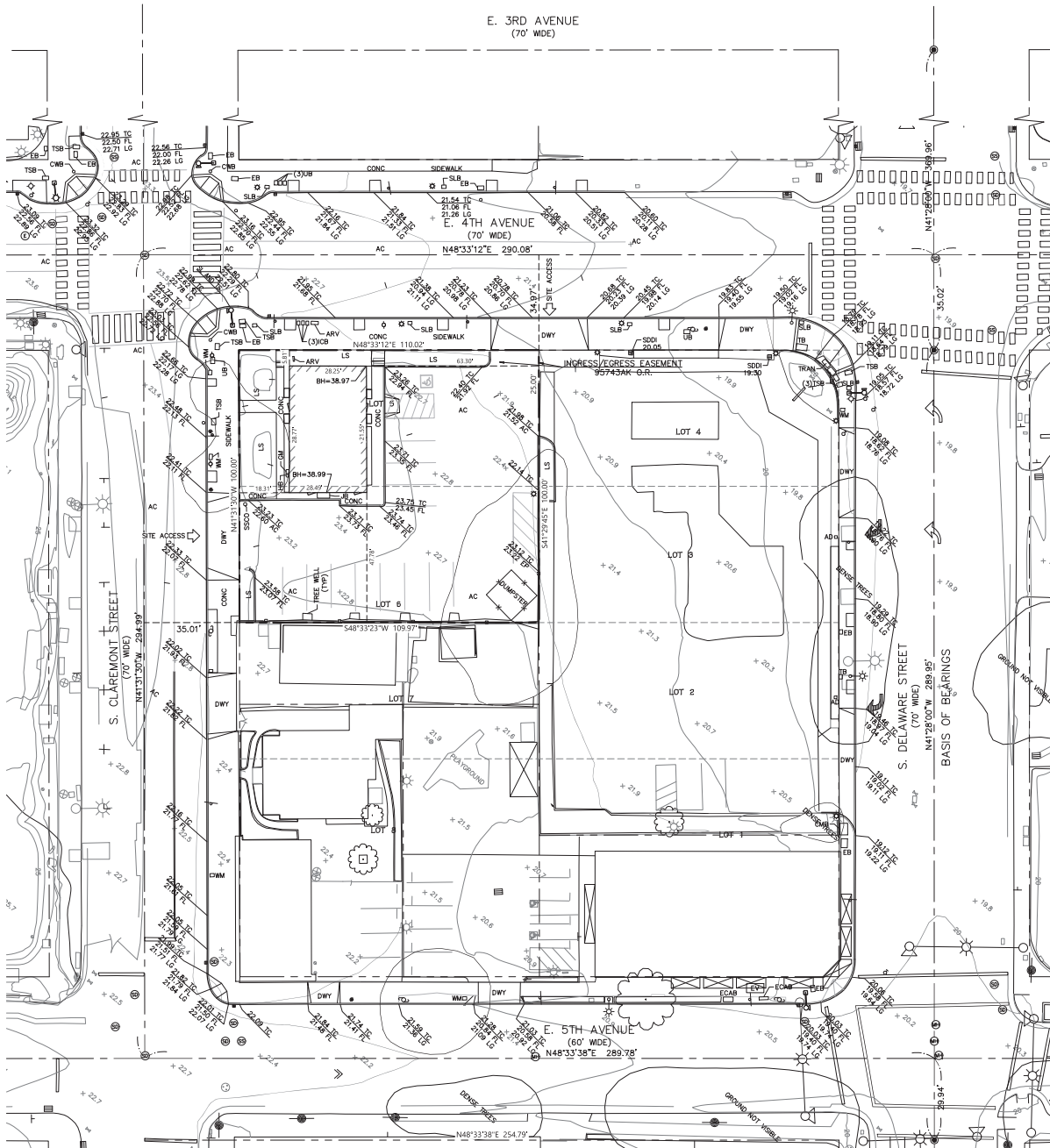
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03/15/2024	FIFTH PLANNING SUBMITTAL

NOTES LEGEND
AND
ABBREVIATIONS

PA-2023-003

C1.02

PROJECT NO. 210513



ABBREVIATIONS

- AC ASPHALT
- AD AREA DRAIN
- APN ASSESSOR'S PARCEL NUMBER
- BFP BACK FLOW PREVENTOR
- BH BUILDING HEIGHT
- BOLD BOLLARD
- CMB COMMUNICATIONS BOX
- CTVB CABLE/TELEVISION BOX
- CONC CONCRETE
- CR CURB RAMP
- DN DOCUMENT NUMBER
- DWY DRIVEWAY
- EB ELECTRICAL BOX
- ECAB ELECTRICAL CABINET
- EV ELECTRICAL VAULT
- EX EXISTING
- PH FIRE HYDRANT
- FL FLOWLINE
- GV GAS VALVE
- JP JOIN POLE
- LG LIP OF GUTTER
- OH OVERHANG
- RP REGULAR PARKING SPOT
- RRT RAILROAD TRACKS
- SSCO SANITARY SEWER CLEAN OUT SQ. FT. SQUARE FEET
- SSCD STORM DRAIN CURB DRAIN
- STR STRUCTURE
- TB TELEPHONE BOX
- TC TOP OF CURB
- TRAN TRANSFORMER
- TSB TRAFFIC SIGNAL BOX
- UB UTILITY BOX
- WB WATER BOX
- WM WATER METER
- WV WATER VALVE

SYMBOLS & LEGEND

- AREA LIGHT
- TRAFFIC SIGNAL
- STREET LIGHT
- CATCH BASIN
- COMMUNICATION MANHOLE
- FIRE HYDRANT
- GULLY ANCHOR
- MONUMENT
- RESER
- STORM DRAIN MANHOLE
- SANITARY SEWER MANHOLE
- MANHOLE
- SIGN
- UTILITY POLE
- VALVE
- BUILDING
- BUILDING OVERHANG
- DIMENSIONAL TIES
- EASEMENT
- FENCE
- LOT LINE
- PROPERTY LINE

BASIS OF BEARING

THE MONUMENTED CENTERLINE OF SOUTH DELAWARE STREET BETWEEN 3RD AVENUE AND 5TH AVENUE AS SHOWN ON PARCEL MAP NO. 324 FILED IN BOOK 64 OF MAPS, PAGE 52 SHOWN AS S 41°28'00" E.

BENCHMARK

ELEVATIONS ARE RELATIVE TO THE NORTH AMERICAN DATUM OF 1988, DERIVED FROM GPS OBSERVATIONS AND BASED ON NAD83(2011), EPOCH 2022.2808

NOTES

ALL DISTANCES AND DIMENSIONS ARE IN FEET AND DECIMALS THEREOF. DATES OF TOPOGRAPHIC SURVEY ARE MAY 1, 2022

SURVEYOR'S STATEMENT

THIS TOPOGRAPHIC SURVEY WAS PREPARED BY ME OR UNDER MY DIRECTION.

DAVIS THRESH
P.L.S. NO. 6868
5/3/2022
DATED



ARC TEC
ARCHITECTURAL TECHNOLOGIES
Arizona
7900 East McDowell Avenue, Suite 700
Phoenix, AZ 85028 602.953.2350
www.arctecaz.com

1771 Technology Drive, Suite 700
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ARC TEC is an ISO 9001:2015 certified company. We are a full-service architectural and engineering firm. We provide a wide range of services including site planning, civil engineering, and landscape architecture. We have a proven track record of successful projects and a commitment to excellence in every aspect of our work.

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(415) 580-7900
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PLANNING APPLICATION FOR:
MECAH VENTURES
BLOCK 20
SAN MATEO, CA 94401

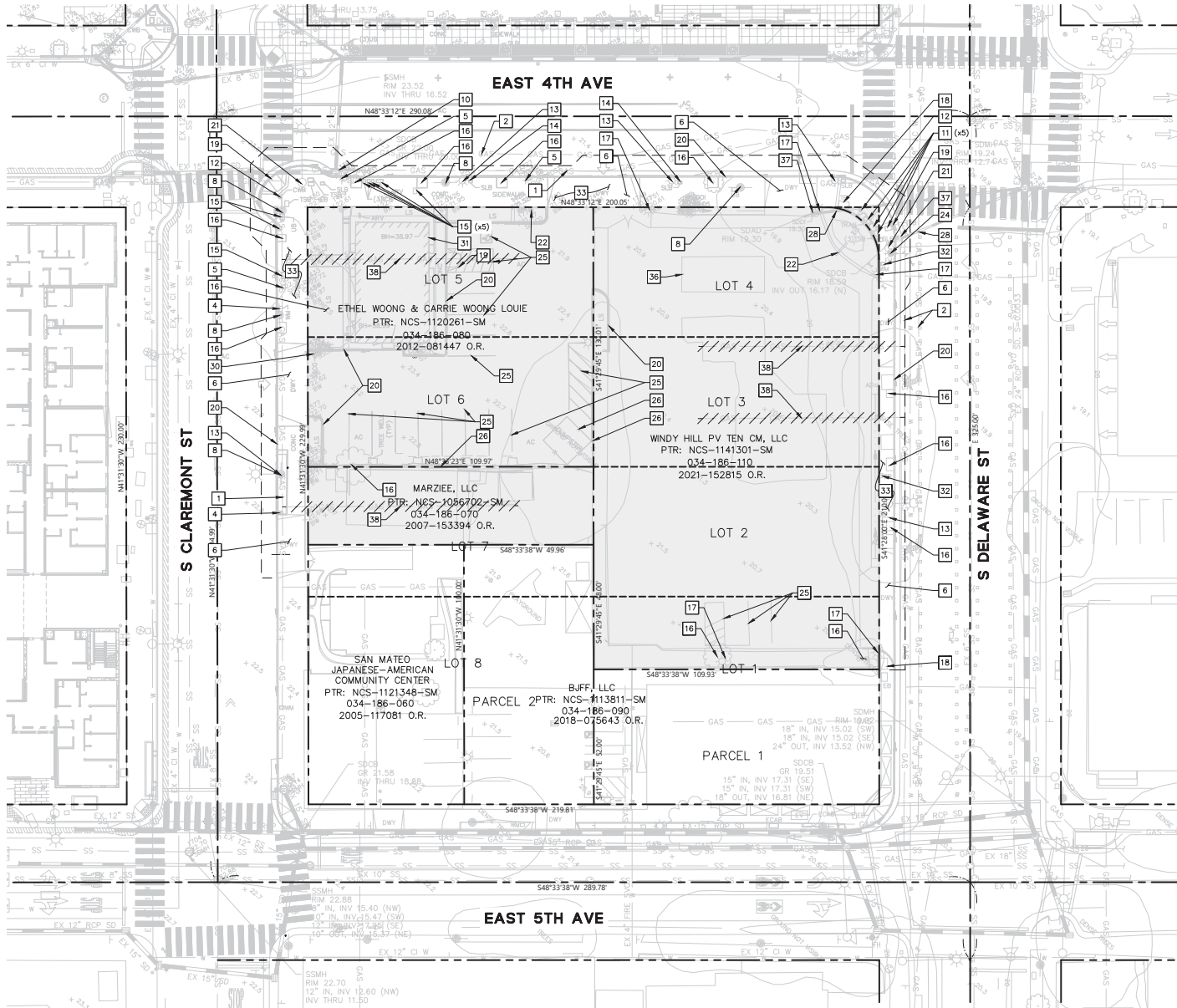
DATE	DESCRIPTION
02/22/2022	ZONING PRE-APPLICATION
01/12/2022	FIRST PLANNING SUBMITTAL
04/14/2023	SECOND PLANNING SUBMITTAL
07/14/2023	THIRD PLANNING SUBMITTAL
11/14/2023	FOURTH PLANNING SUBMITTAL
03/12/2024	FIFTH PLANNING SUBMITTAL

SITE SURVEY

PA-2023-003

C2.01

PROJECT NO. 215513



DEMOLITION LEGEND:

- REMOVE (E) UTILITY
- SAWCUT LINE
- PROPERTY LINE
- LIMITS OF ONSITE IMPROVEMENTS

DEMOLITION KEY NOTES

- 1 GAS MAIN, TO BE PROTECTED IN PLACE
- 2 EXISTING ABANDONED GAS MAIN
- 3 NOT USED
- 4 WATER METER, TO BE REMOVED
- 5 STREET SIGN, TO BE RELOCATED PER CONSTRUCTION DOCUMENTS
- 6 DRIVEWAY, TO BE REMOVED
- 7 NOT USED
- 8 JOINT POLE, TO BE REMOVED, S.J.T.P. FOR DISPOSITION
- 9 NOT USED
- 10 STORM DRAIN CATCH BASIN, TO BE REMOVED AND REPLACED
- 11 ELECTRICAL BOX, TO REMAIN IN PLACE, ADJUST TO FG
- 12 PEDESTRIAN BUTTON, TO REMAIN IN PLACE, ADJUST TO FG
- 13 STREET LIGHT, TO BE RELOCATED, S.J.T.P.
- 14 STREET LIGHT BOX, TO BE RELOCATED, S.J.T.P.
- 15 UTILITY BOX, TO REMAIN, ADJUST TO FG
- 16 TREE, TO BE REMOVED
- 17 STREET LIGHT, TO BE REMOVED
- 18 TELECOM BOX, TO REMAIN, ADJUST TO FG
- 19 CURB RAMP, TO BE REMOVED AND REPLACED
- 20 CURB AND GUTTER, TO BE REMOVED AND REPLACED
- 21 TRAFFIC SIGNAL AND BOX, TO REMAIN IN PLACE, ADJUST TO FG
- 22 BUSINESS SIGN, TO BE REMOVED
- 23 NOT USED
- 24 FIRE HYDRANT, TO REMAIN
- 25 PARKING STRIPING, TO BE REMOVED
- 26 FENCE, TO BE REMOVED
- 27 NOT USED
- 28 STORM DRAIN LATERAL, TO BE CUT AND CAPPED, AND ABANDONED IN PLACE
- 29 NOT USED
- 30 SANITARY LATERAL, TO BE CUT AND CAPPED AT THE MAIN, AND ABANDONED IN PLACE
- 31 BUILDING, TO BE REMOVED
- 32 UTILITY BOX, TO BE REMOVED
- 33 SIDEWALK, TO BE REMOVED TYP
- 34 NOT USED
- 35 NOT USED
- 36 NOT USED
- 37 STORM DRAIN CATCH BASIN, TO BE REMOVED
- 38 GAS LATERAL TO BE CUT, CAPPED, AND REMOVED

NOTES

1. THERE ARE NO EXISTING EASEMENTS WITHIN THE PROJECT PROPERTY.

GRAPHIC SCALE



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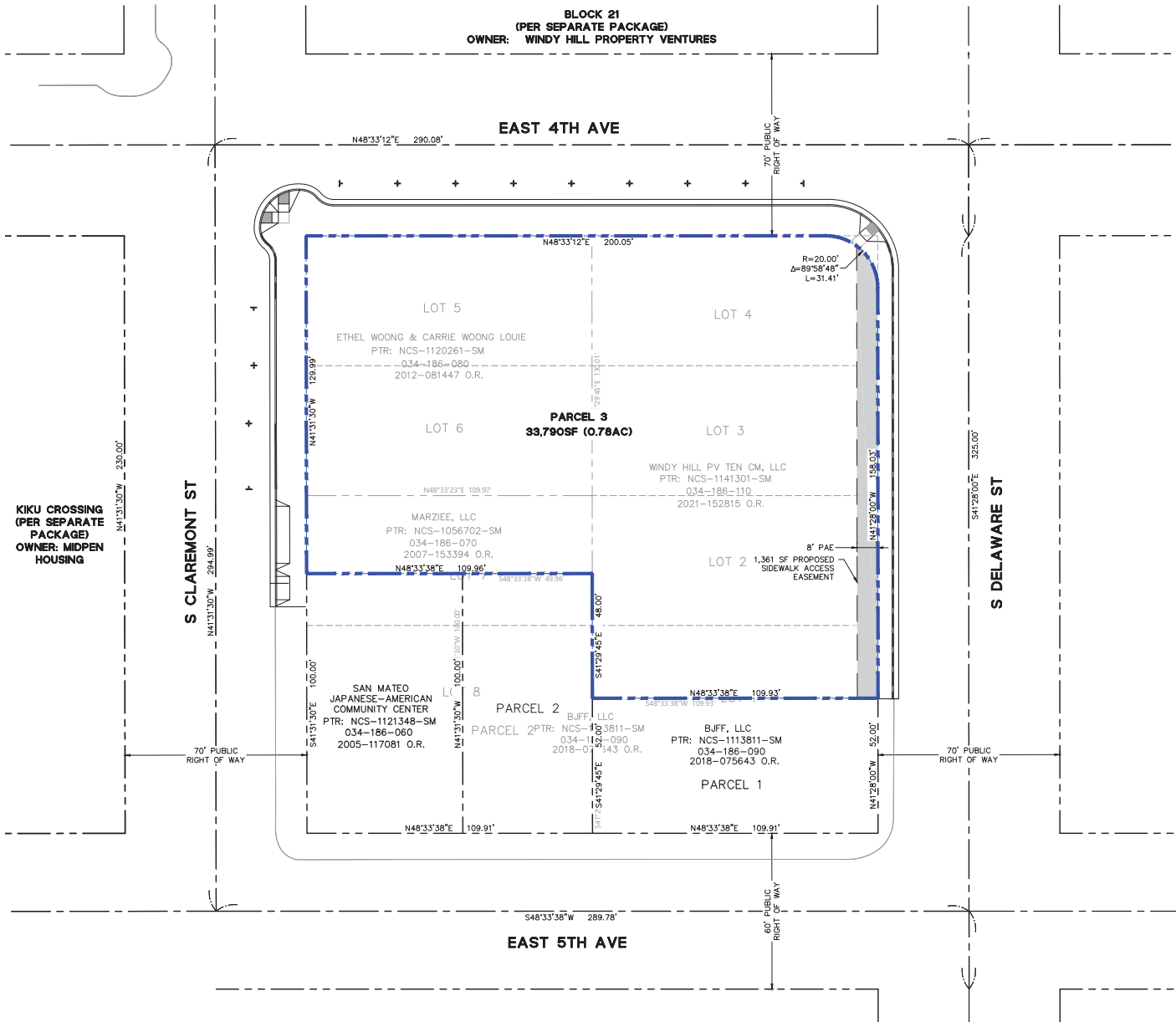
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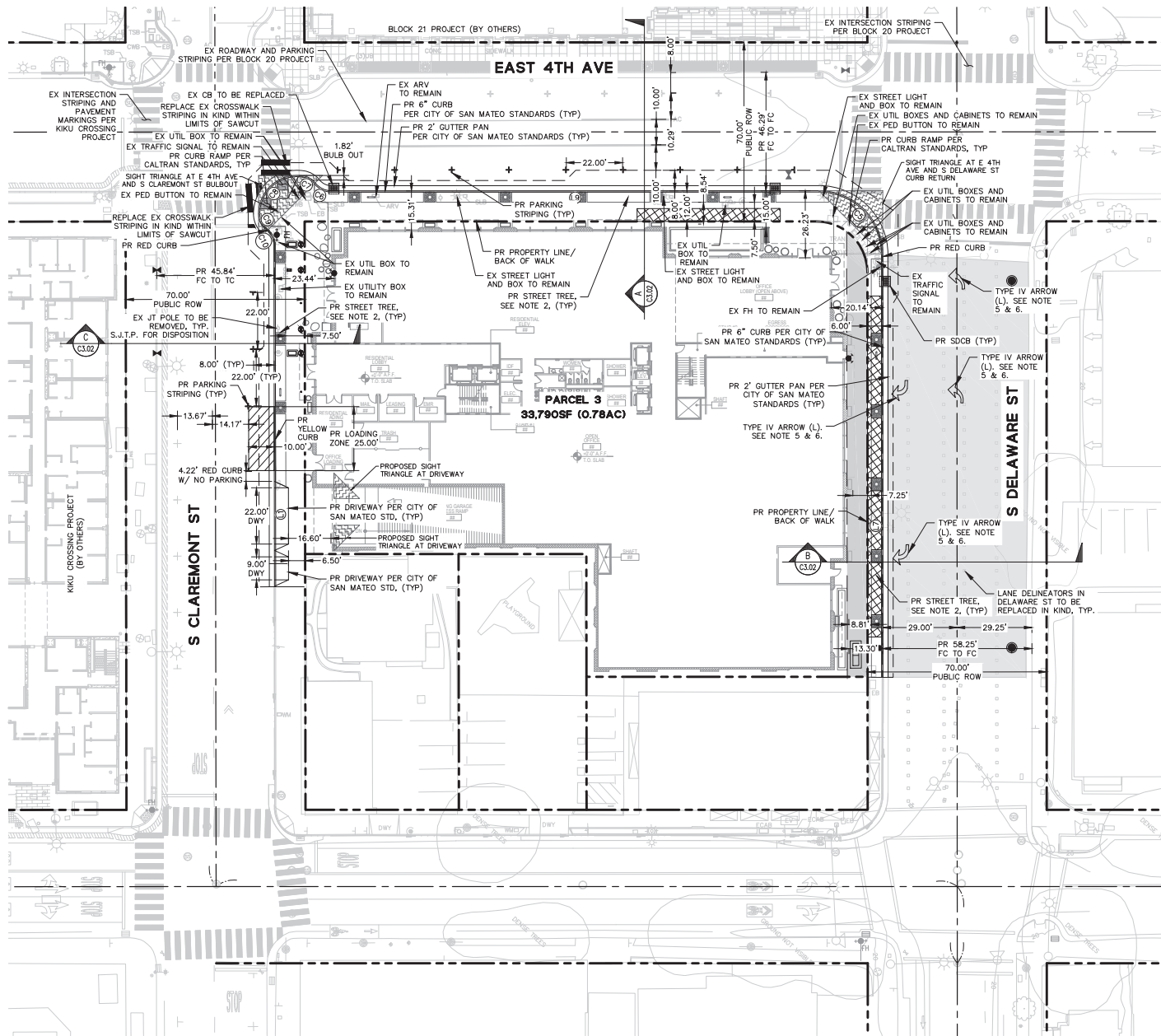
EXISTING CONDITIONS AND DEMOLITION PLAN

PA-2023-003

C2.02

PROJECT NO. 215513





LEGEND

- LIMITS OF GRIND AND OVERLAY TOP 2.5" OF ROADWAY PAVEMENT
- SAWCUT LINE
- PROPOSED SIGHT TRIANGLE (25' FOR INTERSECTIONS, 10' FOR DRIVEWAYS)
- PROPOSED RED CURB
- PROPOSED YELLOW CURB
- PUBLIC ACCESS EASEMENT

NOTES

1. THE 2' MIN STRIP BETWEEN THE SAWCUT AND PROPOSED GUTTER WILL BE REPLACED WITH FULL DEPTH AC LIFT.
2. PROPOSED TREE LOCATIONS ARE SHOWN FOR REFERENCE ONLY. REFER TO LANDSCAPE DRAWINGS FOR TREE SIZE, SPECIES, AND EXACT LOCATION.
3. REFER TO LANDSCAPE AND ARCHITECTURAL DRAWINGS FOR LOCATION OF BICYCLE PARKING AND PUBLIC ART.
4. PAVEMENT RESTORATION OF CLAREMONT STREET BETWEEN 4TH AND 5TH AVE, INCLUDING INTERSECTION TO BE COMPLETED BY THE KIKU CROSSING PROJECT. PAVEMENT RESTORATION OF 4TH AVE BETWEEN CLAREMONT ST AND DELAWARE ST, INCLUDING INTERSECTIONS, TO BE COMPLETED BY BLOCK 21 PROJECT.
5. ALL PAVEMENT MARKINGS WITHIN THE LIMITS OF PAVEMENT RESTORATION SHALL BE REPLACED IN KIND WITH THERMOPLASTIC PER CITY OF SAN MATEO STANDARDS.
6. ALL PAVEMENT MARKINGS SHALL BE INSTALLED IN ACCORDANCE WITH THE LATEST EDITION OF THE CALTRANS STANDARD PLANS AND SPECIFICATIONS.
7. CLAREMONT STREET AND 4TH AVENUE WILL BE UNDER EXCAVATION MORATORIUM PER SMC 17.32 DTD. ONCE THEY ARE REPAVED, IF ANY PORTIONS OF THOSE STREETS ARE EXCAVATED WITHIN THREE YEARS OF BEING REPAVED, THE EXCAVATING ENTITY MUST REPAVE THE BLOCK OF THE STREET IN WHICH THE EXCAVATION IS LOCATED.

LINE TABLE		
LINE NO.	LENGTH	DIRECTION
L1	210.05	S41°31'30"E
L7	212.02	N41°28'00"W
L9	190.53	S48°33'12"W

CURVE TABLE			
CURVE NO.	LENGTH	RADIUS	DELTA
C5	39.26	25.00	089°58'48"
C6	7.11	8.00	050°55'07"
C7	5.85	8.00	041°53'14"
C8	25.99	15.00	099°16'39"
C9	7.14	8.00	051°08'59"
C10	7.17	8.00	051°19'01"

GRAPHIC SCALE



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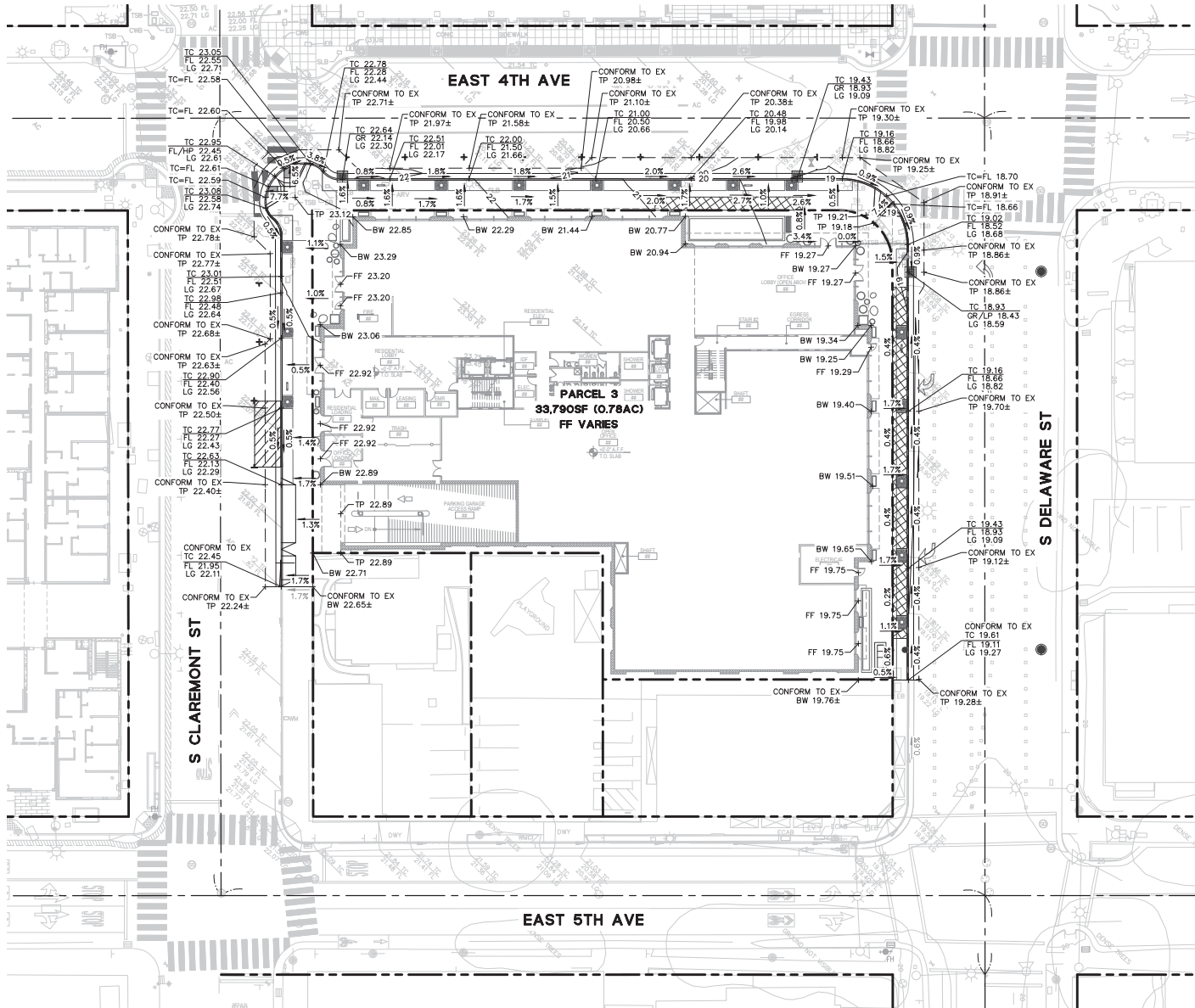
PRELIMINARY
 HORIZONTAL
 CONTROL PLAN
 PA-2023-003

C3.01

PROJECT NO. 215513

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GRADING CUT/FILL VOLUMES FOR EXCAVATION

CUT: (47,278) CY
FILL: 0 CY

NET (CUT): (47,278) CY (TOTAL OFF-HAUL)

NOTES:

1. EARTHWORK VOLUMES ARE IN-PLACE VOLUMES AND DO NOT ACCOUNT FOR SHRINKAGE, SWELLING, FOUNDATION ELEMENTS, TRENCH SPOILS, OR OVER-EXCAVATION.
2. BASEMENT CUT PER SEPARATE EXCAVATION PERMIT.

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03/18/2024	FIFTH PLANNING SUBMITTAL

PRELIMINARY GRADING PLAN

PA-2023-003

C4.01

PROJECT NO. 215513



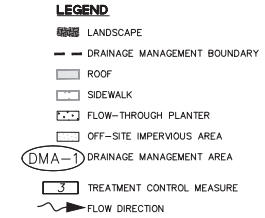
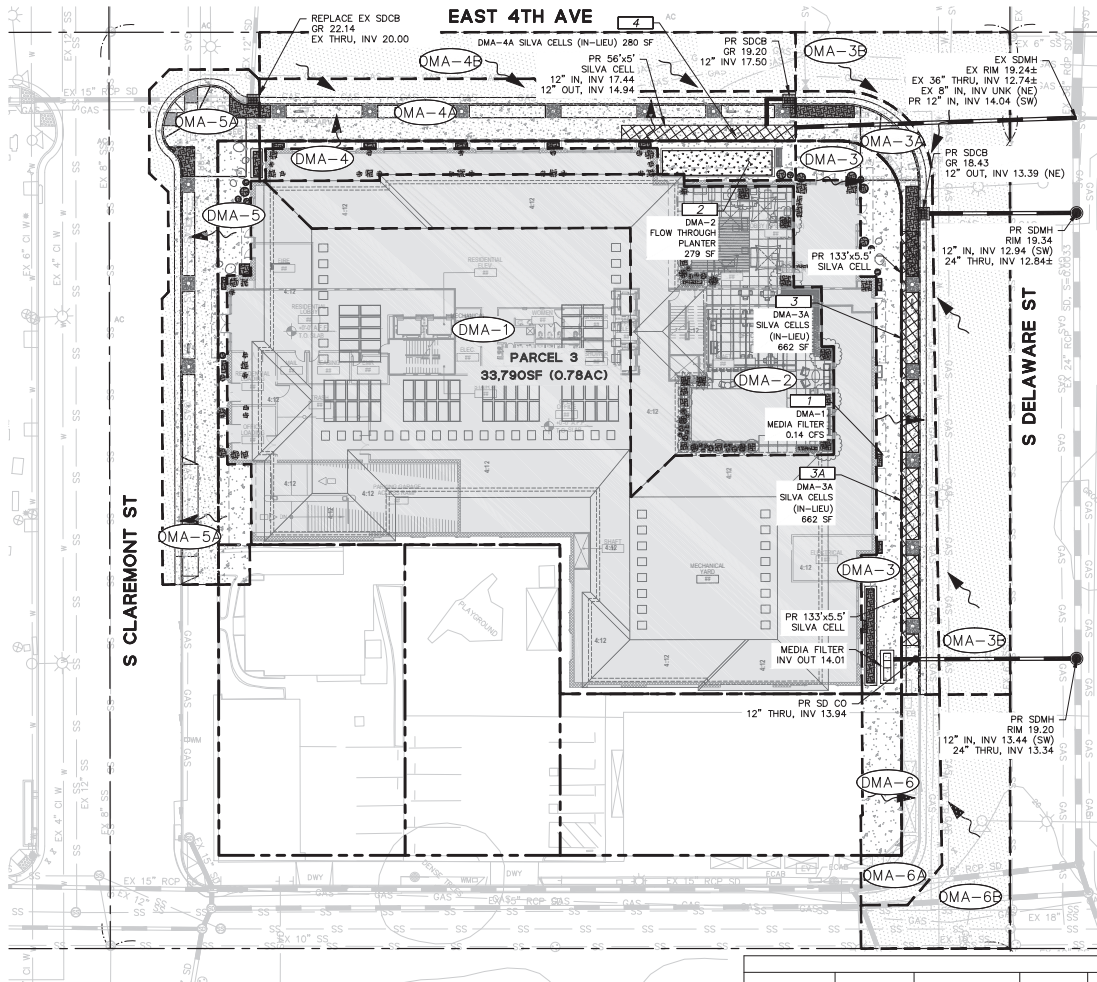
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ON-SITE LID TREATMENT AREA SUMMARY			
TREATMENT TYPE	DRAINAGE MANAGEMENT AREA	TOTAL AREA	PERCENTAGE
NON-LID TREATED DRAINAGE AREA	DMA-1	21,274	63%
LID TREATED DRAINAGE AREA	DMA-2, DMA-3, DMA-4, DMA-5, DMA-6	12,516	37%

ON-SITE DRAINAGE MANAGEMENT AREA TREATMENT CONTROL SIZING													
DRAINAGE MANAGEMENT AREA	TREATMENT CONTROL MEASURE	TREATMENT TYPE	ROOFS (SF)	CONCRETE (SF)	LANDSCAPE (SF)	TREATMENT PLANTER (SF)	TOTAL AREA (SF)	TOTAL IMPERVIOUS AREA (SF)	TOTAL PERVIOUS AREA (SF)	EFFECTIVE IMPERVIOUS AREA* (SF)	TREATMENT AREA REQUIRED** (SF)	TREATMENT AREA PROVIDED (SF)	PONDING DEPTH (INCH)
1	1	Mechanical Treatment	21,108	0	166	0	21,274	21,108	166	21,125	0.10 CFS	0.10 CFS	NA
2	2	Flow-through Planter	7,039	0	203	279	7,521	7,039	482	7,087	279	279	0
3	3	Silva Cells	0	1,914	133	0	2,047	1,914	133	1,927	77	636	NA
4	4	Silva Cells	0	1,074	35	0	1,109	1,074	35	1,078	43	280	NA
5	In-Lieu***	Off-Site In-Lieu	0	1,104	71	0	1,175	1,104	71	1,111	44	SEE IN-LIEU***	NA
6	3	Silva Cells	0	664	0	0	664	664	0	664	27	636	NA
TOTAL			28,147	4,756	608	279	33,790	32,903	887	32,903			
OFF-SITE DRAINAGE MANAGEMENT AREA TREATMENT CONTROL SIZING													
3A	3	Silva Cells	0	2,573	198	0	2,771	2,573	198	2,593	104	SEE TCM 3	NA
4A	4	Silva Cells	0	3,125	0	0	3,125	3,125	0	3,125	125	SEE TCM 4	NA
5A	In-Lieu***	Off-Site In-Lieu	0	3,282	108	0	3,390	3,282	108	3,393	132	SEE IN-LIEU***	NA
6A	3A	Silva Cells	0	998	0	0	998	998	0	998	40	SEE TCM 3	NA
TOTAL			0	9,978	306	0	10,284	9,978	306	9,978			
OFF-SITE IN-LIEU DRAINAGE MANAGEMENT AREA TREATMENT CONTROL SIZING													
3B	3A	Silva Cells	0	6,157	0	0	6,157	6,157	0	6,157	246	SEE TCM 4	NA
4B	4	Silva Cells	0	2,920	0	0	2,920	2,920	0	2,920	117	SEE TCM 5	NA
6B	3A	Silva Cells	0	2,251	0	0	2,251	2,251	0	2,251	90	SEE TCM 4	NA
TOTAL			0	11,328	0	0	11,328	11,328	0	11,328			

* EFFECTIVE IMPERVIOUS AREA IS EQUAL TO THE TOTAL IMPERVIOUS AREA PLUS 10% OF THE TOTAL PERVIOUS AREA PER THE SMCWPPP C 3 REGULATED PROJECTS GUIDE

** TREATMENT AREA REQUIRED IS CALCULATED USING THE SMCWPPP WORKSHEET FOR CALCULATING THE COMBINATION FLOW AND VOLUME METHOD (OR 4% METHOD FOR SILVA CELLS AND IN-LIEU)

*** IN-LIEU TREATMENT IS PROPOSED FOR ON-SITE GROUND LEVEL IMPROVEMENTS (DMA-7) AND IMPROVEMENTS IN THE PUBLIC ROW (DMA-7A)



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PLANNING APPLICATION FOR:
MECAH VENTURES
BLOCK 20
SAN MATEO, CA 94401

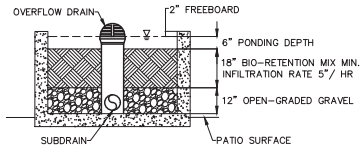
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03/16/2024	FIFTH PLANNING SUBMITTAL

PRELIMINARY STORMWATER CONTROL PLAN

PA-2023-003

C6.01

PROJECT NO. 210513



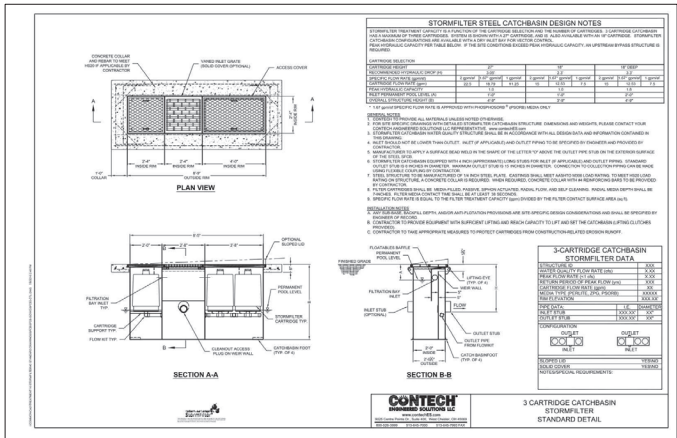
1 TYPICAL FLOW-THROUGH PLANTER ON PODIUM

CONSTRUCTION STORMWATER BMP NOTES

1. PERFORM CLEARING AND EARTH-MOVING ACTIVITIES ONLY DURING DRY WEATHER. MEASURES TO ENSURE ADEQUATE EROSION AND SEDIMENT CONTROL SHALL BE INSTALLED PRIOR TO EARTH-MOVING ACTIVITIES AND CONSTRUCTION.
2. MEASURES TO ENSURE ADEQUATE EROSION AND SEDIMENT CONTROL ARE REQUIRED YEAR-ROUND. STABILIZE ALL DENUDED AREAS AND MAINTAIN EROSION CONTROL MEASURES CONTINUOUSLY BETWEEN OCTOBER 1 AND APRIL 30.
3. STORE, HANDLE, AND DISPOSE OF CONSTRUCTION MATERIALS AND WASTES PROPERLY, SO AS TO PREVENT THEIR CONTACT WITH STORMWATER.
4. CONTROL AND PREVENT THE DISCHARGE OF ALL POTENTIAL POLLUTANTS, INCLUDING PAVEMENT CUTTING WASTES, PAINTS, CONCRETE, PETROLEUM PRODUCTS, CHEMICALS, WASH WATER OR SEDIMENTS, AND NON-STORMWATER DISCHARGES TO STORM DRAINS AND WATERCOURSES.
5. USE SEDIMENT CONTROLS OR FILTRATION TO REMOVE SEDIMENT WHEN DEWATERING 'S' AND OBTAIN REGIONAL WATER QUALITY CONTROL BOARD (RWQCB) PERMIT(S) AS NECESSARY.
6. AVOID CLEANING, FUELING, OR MAINTAINING VEHICLES ON-SITE, EXCEPT IN A DESIGNATED AREA WHERE WASH WATER IS CONTAINED AND TREATED.
7. LIMIT AND TIME APPLICATIONS OF PESTICIDES AND FERTILIZERS TO PREVENT POLLUTED RUNOFF.
8. LIMIT CONSTRUCTION ACCESS ROUTES TO STABILIZED, DESIGNATED ACCESS POINTS.
9. AVOID TRACKING DIRT OR OTHER MATERIALS OFF-SITE; CLEAN OFF-SITE PAVED AREA AND SIDEWALKS USING DRY SWEEPING METHODS.
10. TRAIN AND PROVIDE INSTRUCTION TO ALL EMPLOYEES AND SUBCONTRACTORS REGARDING THE WATERSHED PROTECTION MAINTENANCE STANDARDS AND CONSTRUCTION BEST MANAGEMENT PRACTICES.
11. THE AREAS DELINEATED ON THE PLANS FOR PARKING, GRUBBING, STORAGE, ETC., SHALL NOT BE ENLARGED OR 'RUN OVER.'
12. CONSTRUCTION SITES ARE REQUIRED TO HAVE EROSION CONTROL MATERIALS ON-SITE DURING THE "OFF-SEASON."
13. DUST CONTROL IS REQUIRED YEAR-ROUND.
14. EROSION CONTROL MATERIALS SHALL BE STORED ON-SITE.

SOURCE CONTROL NOTES

1. STORM DRAIN: MARK ON-SITE INLETS WITH THE WORDS 'NO DUMPING! FLOWS TO BAY' OR EQUIVALENT.
2. LANDSCAPING:
 - RETAIN EXISTING VEGETATION AS PRACTICABLE.
 - SELECT DIVERSE SPECIES APPROPRIATE TO THE SITE, INCLUDE PLANTS THAT ARE PEST-AND/OR DISEASE-RESISTANT, DROUGHT-TOLERANT, AND/OR ATTRACT BENEFICIAL INSECTS.
 - MINIMIZE USE OF PESTICIDES AND QUICK-RELEASE FERTILIZERS.
 - USE EFFICIENT IRRIGATION SYSTEM; DESIGN TO MINIMIZE RUNOFF.
3. REFUSE AREAS:
 - PROVIDE A ROOFED AND ENCLOSED AREA FOR DUMPSTERS, RECYCLING CONTAINERS, ETC., DESIGNED TO PREVENT STORMWATER RUN-ON AND RUNOFF.
 - CONNECT ANY DRAINS IN OR BENEATH DUMPSTERS, COMPACTORS, AND TALLOW BIN AREAS SERVING FOOD SERVICE FACILITIES TO THE SANITARY SEWER.
4. FIRE SPRINKLERS: DESIGN FOR DISCHARGE OF FIRE SPRINKLER TEST WATER TO LANDSCAPE OR SANITARY SEWER.
5. MISCELLANEOUS DRAIN OR WASH WATER:
 - DRAIN CONDENSATE OF AIR CONDITIONING UNITS TO LANDSCAPING. LARGE AIR CONDITIONING UNITS MAY CONNECT TO THE SANITARY SEWER.
 - ROOF DRAINS FROM EQUIPMENT DRAIN TO LANDSCAPED AREA WHERE PRACTICABLE.
 - DRAIN BOILER DRAIN LINES, ROOF TOP EQUIPMENT, ALL WASH WATER TO SANITARY SEWER.



2 MEDIA FILTER

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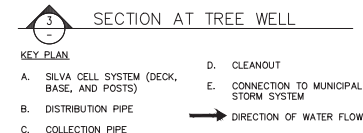
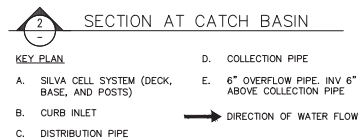
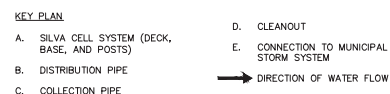
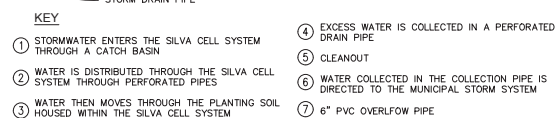
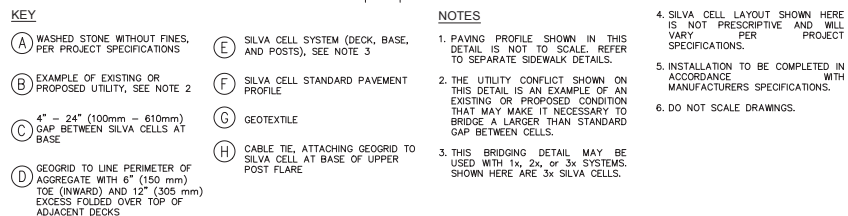
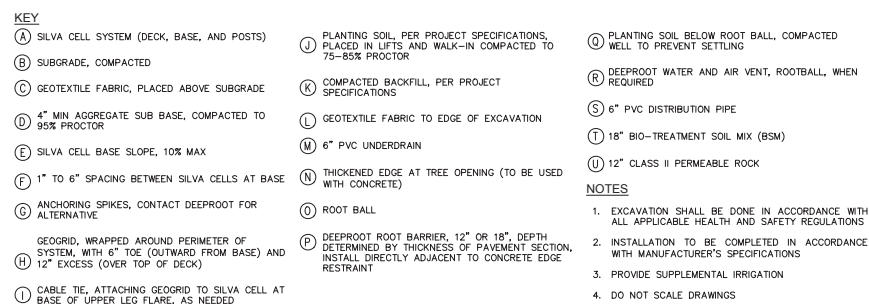
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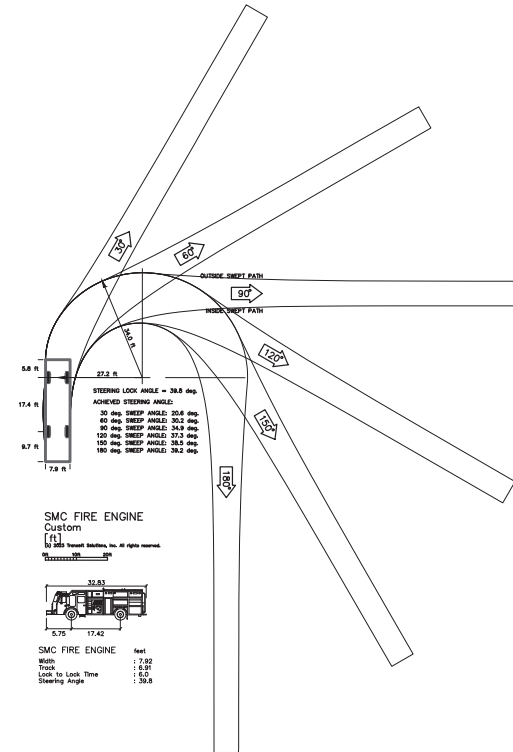
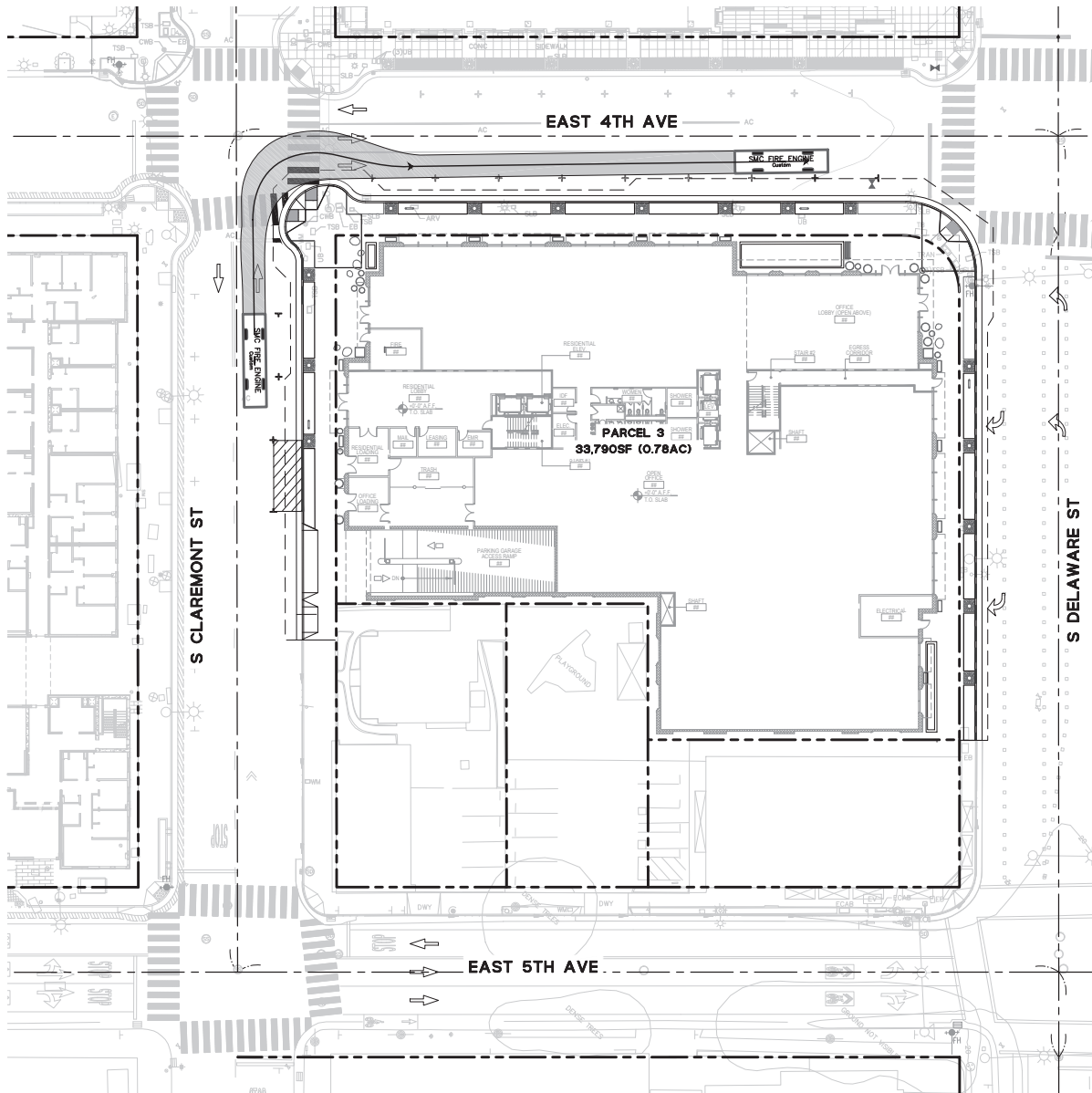
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PRELIMINARY STORMWATER CONTROL NOTES AND DETAILS
PA-2023-003

C6.02







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TRASH TRUCK TURNING MOVEMENTS

C8.02

PROJECT NO: 215513



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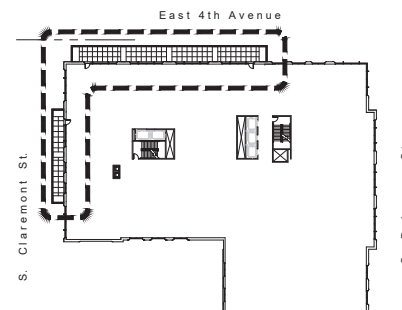
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SU-30 TRUCK
TURNING
MOVEMENTS

PA-2023-003

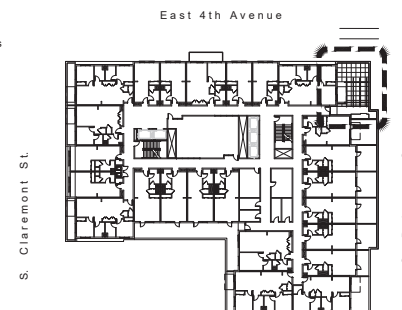
C8.03

PROJECT NO: 215513



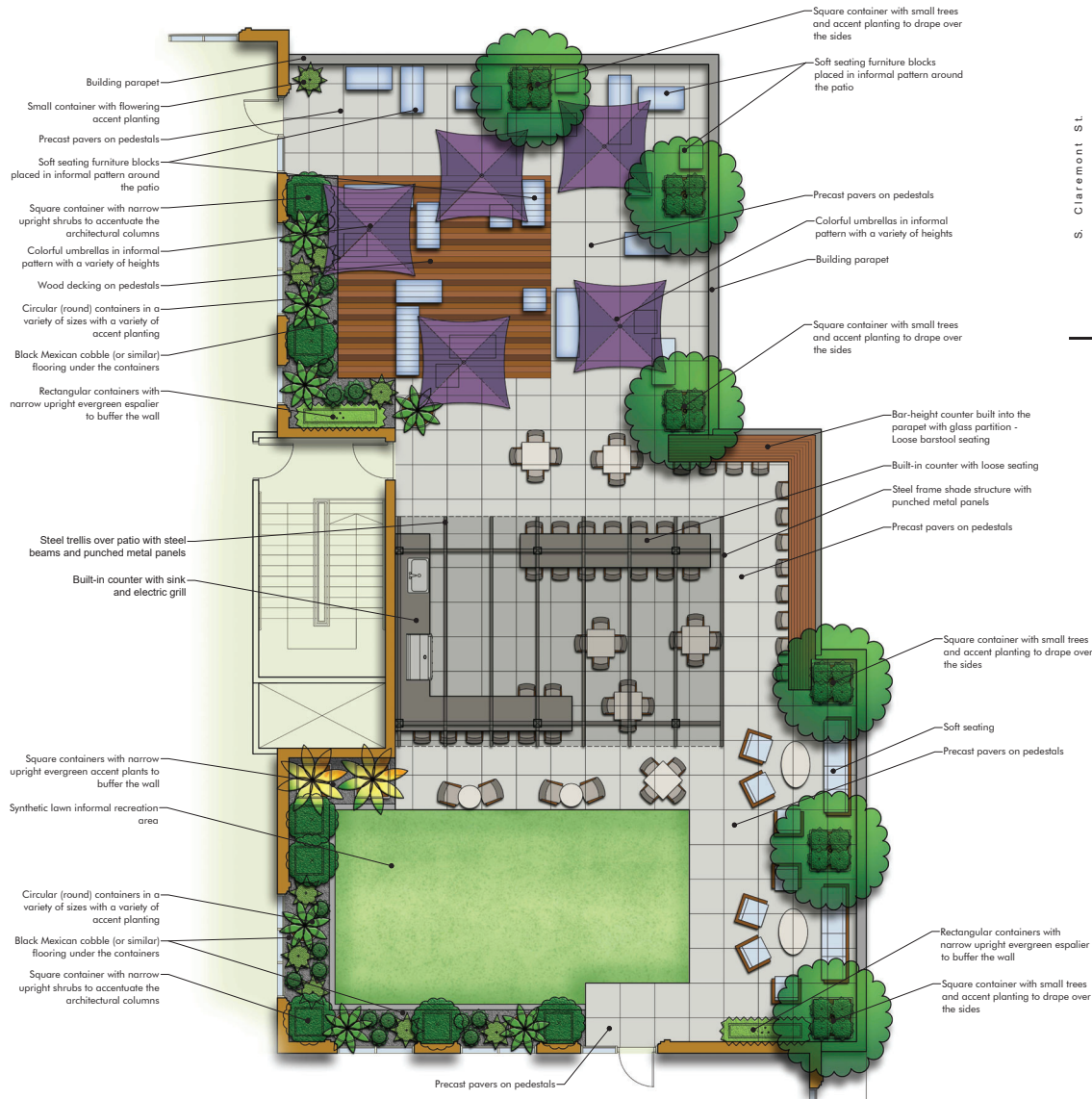
3rd Floor Key Map

SCALE: 1"=40'-0"



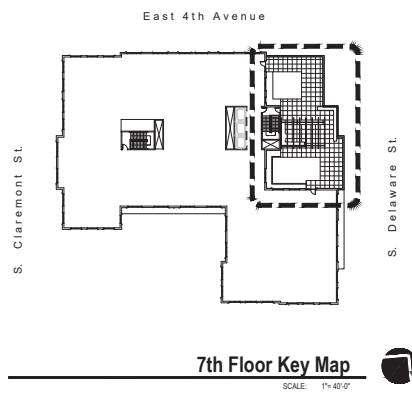
4th Floor Key Map

SCALE: 1"=40'-0"



7th Floor Roof Deck - Office Patio

SCALE: 3/16" = 1'-0"



7th Floor Key Map

SCALE: 1" = 40'-0"

ARC TEC
ARCHITECTURAL TECHNOLOGIES
www.arctec.com
Arizona
7500 East Northern Avenue, Building C
Phoenix, AZ 85038 602.953.2350
California
1731 Technology Center, Suite 750
San Jose, CA 95131 408.496.1121

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PLANNING
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PLANNING APPLICATION FOR:

MECAH VENTURES
BLOCK 20
SAN MATEO, CA 94401

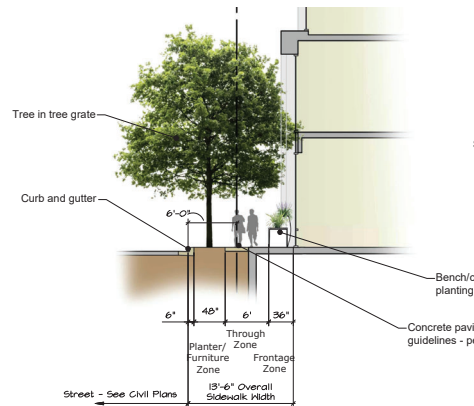
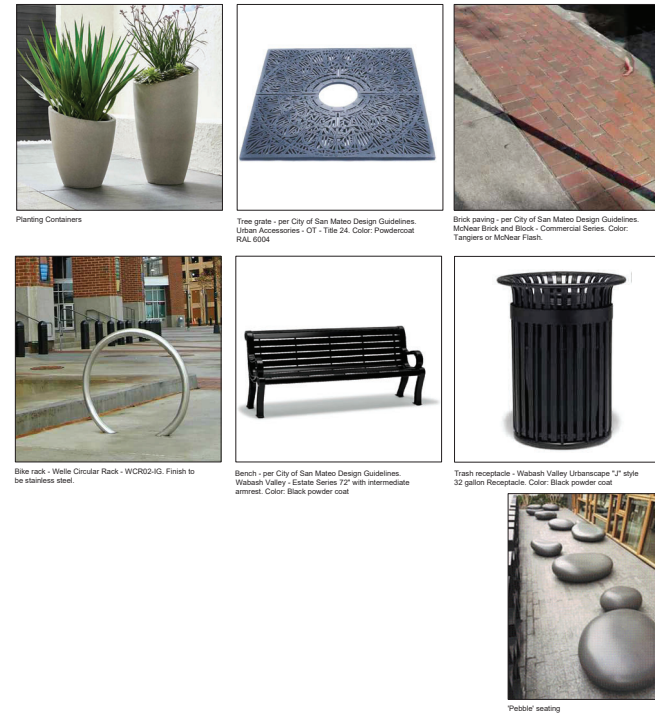
DATE	DESCRIPTION
08.22.2022	JOB PRE-APPLICATION
04.14.2023	SECOND PLANNING SUBMITTAL
07.14.2023	THIRD PLANNING SUBMITTAL
11.15.2023	FOURTH PLANNING SUBMITTAL
03.10.2024	FIFTH PLANNING SUBMITTAL

Preliminary Landscape Plan
L0.4
PROJECT NO. 22-2444

Plant Imagery

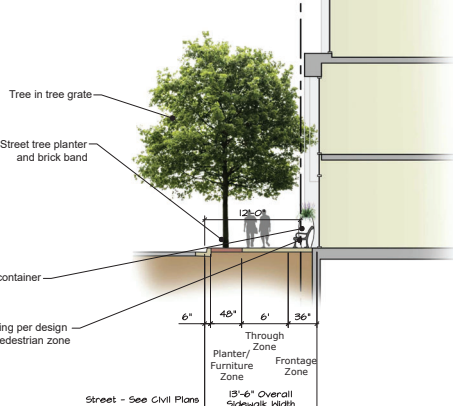


Concept Imagery



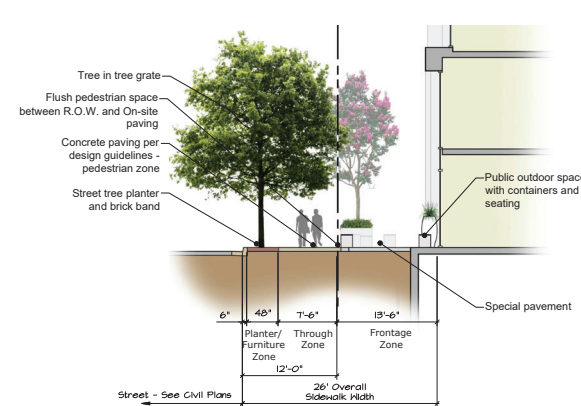
S. Delaware Street Frontage Section

Street Frontage per Design Guidelines Sidewalk Standards SCALE: 1/8" = 1'-0"



S. Claremont Street Frontage Section

Street Frontage per Design Guidelines Sidewalk Standards SCALE: 1/8" = 1'-0"



4th Avenue Frontage Section at Bldg. Entry

Street Frontage per Design Guidelines Sidewalk Standards SCALE: 1/8" = 1'-0"



7902 East Northern Avenue, Building C
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For more information, please contact us at 408.496.1121 or 408.496.1122. We are an ISO 9001 certified company, specializing in the design and construction of landscape architecture. We have a proven track record in the industry, and we are committed to providing the highest quality service to our clients. We are currently seeking qualified individuals for the following positions: Landscape Architect, Project Manager, and Designer. If you are interested in these positions, please send your resume and portfolio to: hr@arctecinc.com. We are an equal opportunity employer. Minorities and women are encouraged to apply. © Copyright ARC TEC, Inc. 2018. All Association with.



PLANNING APPLICATION FOR:
MECAH VENTURES
BLOCK 20
SAN MATEO, CA 94401

DATE	DESCRIPTION
08/22/2022	ZONING PRE-APPLICATION
04/14/2023	SECOND PLANNING SUBMITTAL
07/14/2023	THIRD PLANNING SUBMITTAL
11/15/2023	FOURTH PLANNING SUBMITTAL
03/16/2024	FIFTH PLANNING SUBMITTAL



Preliminary
Landscape Plan

L0.5

PROJECT NO. 22-2444

Tree Valuation Form - On-Site

Required Tree Planting - On-Site associated with Block 20 - This is for all landscape and trees outside of the Right-of-Way Zoning Code, Section 27.71 - Landscape, requires all projects to have a minimum ratio of 1 tree per 400 square feet of landscaped area. Existing trees that are a minimum of 6 inch diameter may count toward this total.

Landscape Area: $374 \times 6 \times 400 = 94$

Number of existing trees from Tree Evaluation Schedule: 0

Landscape Unit (LU) value of trees to be removed from the Tree Evaluation Schedule: 27.67

Minimum LU value to be replaced and/or met through payment of in-lieu fees: 27.67

New Trees:

A "landscape unit" (LU) value equivalent to (d) above, must either be planted on-site, or an "in-lieu" fee paid to the city's street tree planting fund. If the LU value shown at (d) is not equal or greater than (e), then an in-lieu fee must be paid to the City's street tree planting fund at the rate defined annually in the City's Comprehensive Fee Schedule for each deficient LU.

Quantity	Size	LU Value	Total LU Value
0	15 gallon	0	0
0	24 inch box	2	0
0	36 inch box	3	0
0	48 inch box	4	0
Total LU Value of new trees being proposed:			0

*New replacement trees shall be in addition to and not substitute requirements for new street trees, parking lot trees or other required trees.

Fees Owed to the City Street Tree Planting Fund:

If (d) is greater than (e), there will be an LU value deficit calculated as follows:

$(d) - e = 27.67 - 0$ the annually defined \$ per LU value as per Current Comprehensive Fee Schedule = \$ 5,300.02

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(b)		Tree Evaluation Schedule					
Tree Species		Quantity	Size	LU Value	Total LU Value	LU Value	LU Value
Tree Species		Quantity	Size	LU Value	Total LU Value	LU Value	LU Value
1	Oak	Common street	5	20%	40%	100	200
2	Oak	Common street	5	20%	40%	100	200
3	Oak	Common street	5	20%	40%	100	200
4	Oak	Common street	5	20%	40%	100	200
5	Oak	Common street	5	20%	40%	100	200
6	Oak	Common street	5	20%	40%	100	200
7	Oak	Common street	5	20%	40%	100	200
8	Oak	Common street	5	20%	40%	100	200
9	Oak	Common street	5	20%	40%	100	200
10	Oak	Common street	5	20%	40%	100	200
11	Oak	Common street	5	20%	40%	100	200
12	Oak	Common street	5	20%	40%	100	200
13	Oak	Common street	5	20%	40%	100	200
14	Oak	Common street	5	20%	40%	100	200
15	Oak	Common street	5	20%	40%	100	200
16	Oak	Common street	5	20%	40%	100	200
17	Oak	Common street	5	20%	40%	100	200
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21	Oak	Common street	5	20%	40%	100	200
22	Oak	Common street	5	20%	40%	100	200
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29	Oak	Common street	5	20%	40%	100	200
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31	Oak	Common street	5	20%	40%	100	200
32	Oak	Common street	5	20%	40%	100	200
33	Oak	Common street	5	20%	40%	100	200
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45	Oak	Common street	5	20%	40%	100	200
46	Oak	Common street	5	20%	40%	100	200
47	Oak	Common street	5	20%	40%	100	200
48	Oak	Common street	5	20%	40%	100	200
49	Oak	Common street	5	20%	40%	100	200
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96	Oak	Common street	5	20%	40%	100	200
97	Oak	Common street	5	20%	40%	100	200
98	Oak	Common street	5	20%	40%	100	200
99	Oak	Common street	5	20%	40%	100	200
100	Oak	Common street	5	20%	40%	100	200

Total value of LU to be removed =120.29

Trees shaded in blue are On-Site Trees. Trees outside of the City right-of-way per the arborist report.

Tree Valuation Form - Off-Site (City Right-of-Way)

Required Tree Planting - Street Trees Associated with Block 20 - This is for all landscape and trees in the Right-of-Way Zoning Code, Section 27.71 - Landscape, requires all projects to have a minimum ratio of 1 tree per 400 square feet of landscaped area. Existing trees that are a minimum of 6 inch diameter may count toward this total.

Landscape Area: $374 \times 6 \times 400 = 94$

Number of existing trees from Tree Evaluation Schedule: 0

Landscape Unit (LU) value of trees to be removed from the Tree Evaluation Schedule: 47.73

Minimum LU value to be replaced and/or met through payment of in-lieu fees: 47.73

New Trees:

A "landscape unit" (LU) value equivalent to (d) above, must either be planted on-site, or an "in-lieu" fee paid to the city's street tree planting fund. If the LU value shown at (d) is not equal or greater than (e), then an in-lieu fee must be paid to the City's street tree planting fund at the rate defined annually in the City's Comprehensive Fee Schedule for each deficient LU.

Quantity	Size	LU Value	Total LU Value
0	15 gallon	0	0
0	24 inch box	2	0
0	36 inch box	3	0
0	48 inch box	4	0
Total LU Value of new trees being proposed:			0

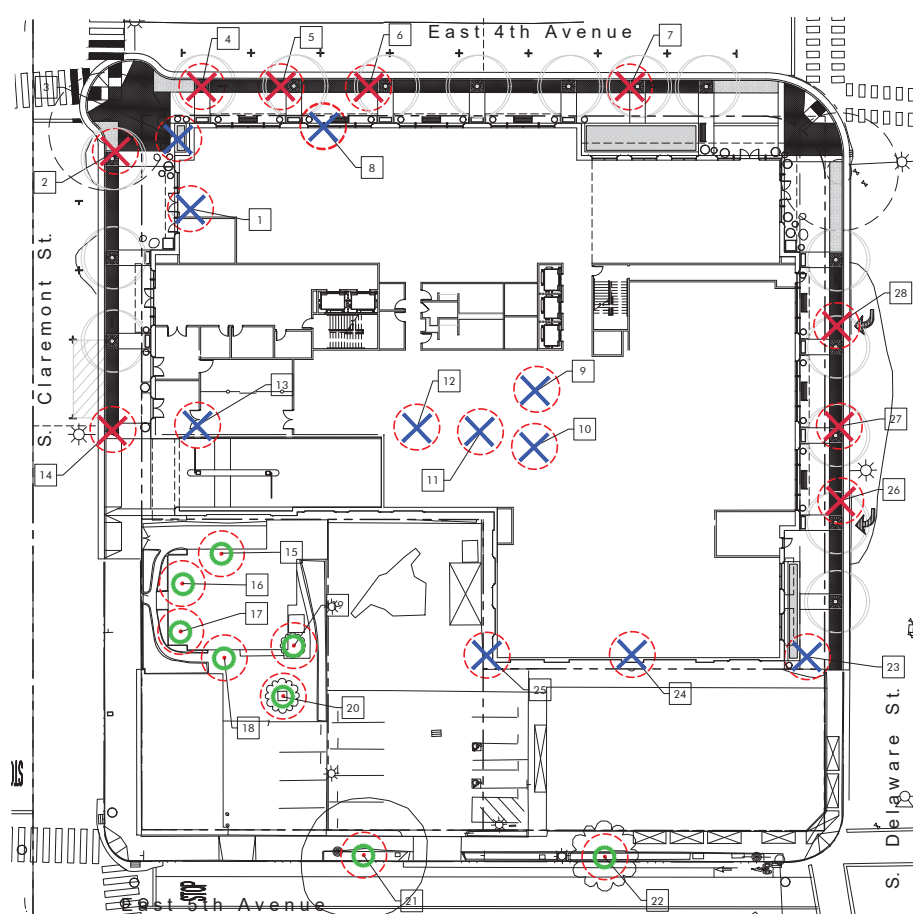
*New replacement trees shall be in addition to and not substitute requirements for new street trees, parking lot trees or other required trees.

Fees Owed to the City Street Tree Planting Fund:

If (d) is greater than (e), there will be an LU value deficit calculated as follows:

$(d) - e = 47.73 - 0$ the annually defined \$ per LU value as per Current Comprehensive Fee Schedule = \$ 9,199.63

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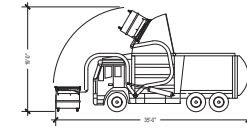
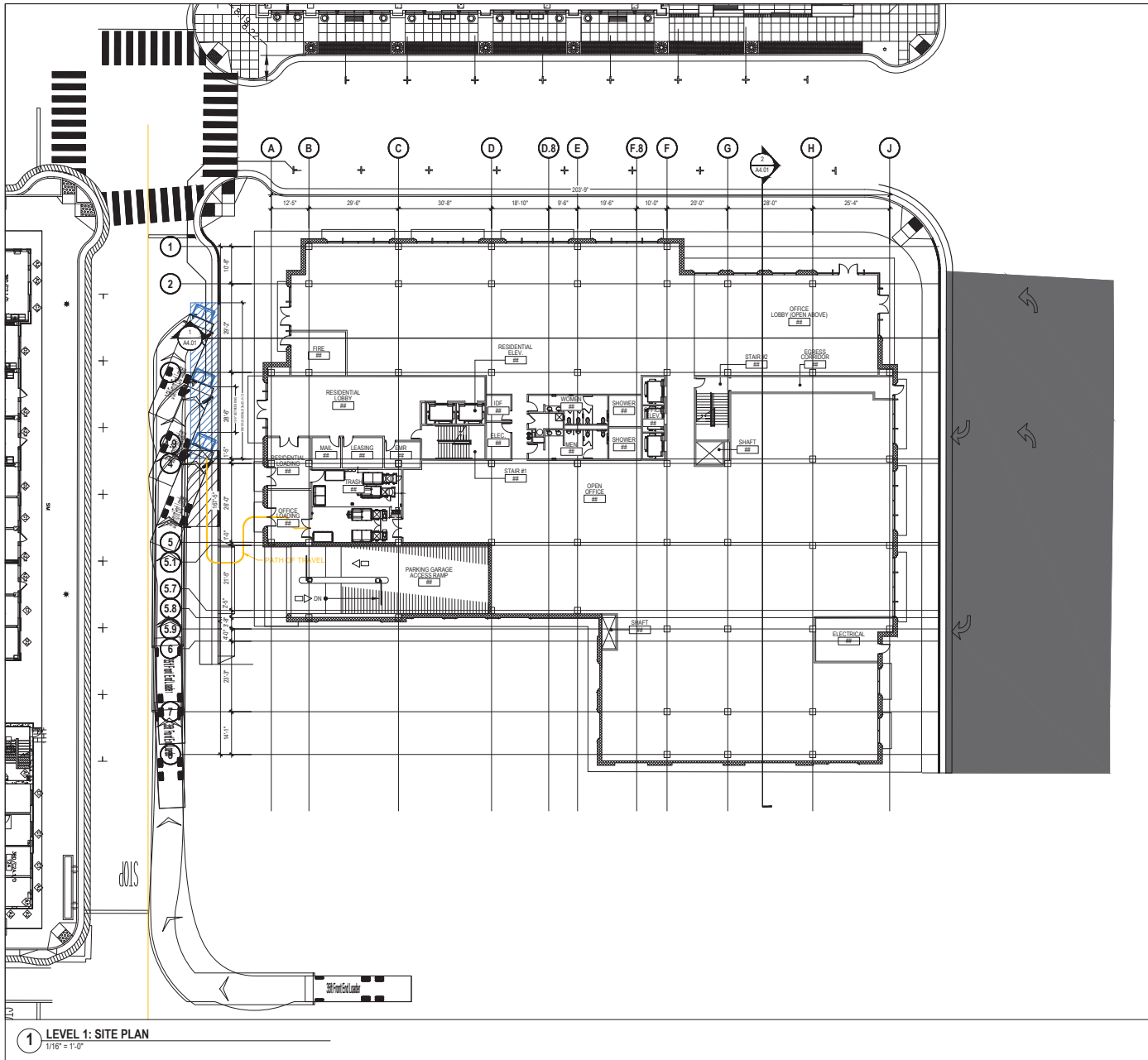
Block 20		(5)						
		Tree Evaluation Schedule						
Ref	Species Name	Botanical Name	Trunk/Canopy	Condition	Location	Latent	Notes	LU
1	Oak	Quercus	Trunk	Good	15 gallon	0	0	0
2	Oak	Quercus	Trunk	Good	24 inch box	2	0	0
3	Oak	Quercus	Trunk	Good	36 inch box	3	0	0
4	Oak	Quercus	Trunk	Good	48 inch box	4	0	0
5	Oak	Quercus	Trunk	Good	15 gallon	0	0	0
6	Oak	Quercus	Trunk	Good	24 inch box	2	0	0
7	Oak	Quercus	Trunk	Good	36 inch box	3	0	0
8	Oak	Quercus	Trunk	Good	48 inch box	4	0	0
9	Oak	Quercus	Trunk	Good	15 gallon	0	0	0
10	Oak	Quercus	Trunk	Good	24 inch box	2	0	0
11	Oak	Quercus	Trunk	Good	36 inch box	3	0	0
12	Oak	Quercus	Trunk	Good	48 inch box	4	0	0
13	Oak	Quercus	Trunk	Good	15 gallon	0	0	0
14	Oak	Quercus	Trunk	Good	24 inch box	2	0	0
15	Oak	Quercus	Trunk	Good	36 inch box	3	0	0
16	Oak	Quercus	Trunk	Good	48 inch box	4	0	0
17	Oak	Quercus	Trunk	Good	15 gallon	0	0	0
18	Oak	Quercus	Trunk	Good	24 inch box	2	0	0
19	Oak	Quercus	Trunk	Good	36 inch box	3	0	0
20	Oak	Quercus	Trunk	Good	48 inch box	4	0	0
21	Oak	Quercus	Trunk	Good	15 gallon	0	0	0
22	Oak	Quercus	Trunk	Good	24 inch box	2	0	0
23	Oak	Quercus	Trunk	Good	36 inch box	3	0	0
24	Oak	Quercus	Trunk	Good	48 inch box	4	0	0
25	Oak	Quercus	Trunk	Good	15 gallon	0	0	0
26	Oak	Quercus	Trunk	Good	24 inch box	2	0	0
27	Oak	Quercus	Trunk	Good	36 inch box	3	0	0
28	Oak	Quercus	Trunk	Good	48 inch box	4	0	0
29	Oak	Quercus	Trunk	Good	15 gallon	0	0	0
30	Oak	Quercus	Trunk	Good	24 inch box	2	0	0
31	Oak	Quercus	Trunk	Good	36 inch box	3	0	0
32	Oak	Quercus	Trunk	Good	48 inch box	4	0	0
33	Oak	Quercus	Trunk	Good	15 gallon	0	0	0
34	Oak	Quercus	Trunk	Good	24 inch box	2	0	0
35	Oak	Quercus	Trunk	Good	36 inch box	3	0	0
36	Oak	Quercus	Trunk	Good	48 inch box	4	0	0
37	Oak	Quercus	Trunk	Good	15 gallon	0	0	0
38	Oak	Quercus	Trunk	Good	24 inch box	2	0	0
39	Oak	Quercus	Trunk	Good	36 inch box	3	0	0
40	Oak	Quercus	Trunk	Good	48 inch box	4	0	0
41	Oak	Quercus	Trunk	Good	15 gallon	0	0	0
42	Oak	Quercus	Trunk	Good	24 inch box	2	0	0
43	Oak	Quercus	Trunk	Good	36 inch box	3	0	0
44	Oak	Quercus	Trunk	Good	48 inch box	4	0	0
45	Oak	Quercus	Trunk	Good	15 gallon	0	0	0
46	Oak	Quercus	Trunk	Good	24 inch box	2	0	0
47	Oak	Quercus	Trunk	Good	36 inch box	3	0	0
48	Oak	Quercus	Trunk	Good	48 inch box	4	0	0
49	Oak	Quercus	Trunk	Good	15 gallon	0	0	0
50	Oak	Quercus	Trunk	Good	24 inch box	2	0	0
51	Oak	Quercus	Trunk	Good	36 inch box	3	0	0
52	Oak	Quercus	Trunk	Good	48 inch box	4	0	0
53	Oak	Quercus	Trunk	Good	15 gallon	0	0	0
54	Oak	Quercus	Trunk	Good	24 inch box	2	0	0
55	Oak	Quercus	Trunk	Good	36 inch box	3	0	0
56	Oak	Quercus	Trunk	Good	48 inch box	4	0	0
57	Oak	Quercus	Trunk	Good	15 gallon	0	0	0
58	Oak	Quercus	Trunk	Good	24 inch box	2	0	0
59	Oak	Quercus	Trunk	Good	36 inch box	3	0	0
60	Oak	Quercus	Trunk	Good	48 inch box	4	0	0
61	Oak	Quercus	Trunk	Good	15 gallon	0	0	0
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63	Oak	Quercus	Trunk	Good	36 inch box	3	0	0
64	Oak	Quercus	Trunk	Good	48 inch box	4	0	0
65	Oak	Quercus	Trunk	Good	15 gallon	0	0	0
66	Oak	Quercus	Trunk	Good	24 inch box	2	0	0
67	Oak	Quercus	Trunk	Good	36 inch box	3	0	0
68	Oak	Quercus	Trunk	Good	48 inch box	4	0	0
69	Oak	Quercus	Trunk	Good	15 gallon	0	0	0
70	Oak	Quercus	Trunk	Good	24 inch box	2	0	0
71	Oak	Quercus	Trunk	Good	36 inch box	3	0	0
72	Oak	Quercus	Trunk	Good	48 inch box	4	0	0
73	Oak	Quercus	Trunk	Good	15 gallon	0	0	0
74	Oak	Quercus	Trunk	Good	24 inch box	2	0	0
75	Oak	Quercus	Trunk	Good	36 inch box	3	0	0
76	Oak	Quercus	Trunk	Good	48 inch box	4	0	0
77	Oak	Quercus	Trunk	Good	15 gallon	0	0	0
78	Oak	Quercus	Trunk	Good	24 inch box	2	0	0
79	Oak	Quercus	Trunk	Good	36 inch box	3	0	0
80	Oak	Quercus	Trunk	Good	48 inch box	4	0	0
81	Oak	Quercus	Trunk	Good	15 gallon	0	0	0
82	Oak	Quercus	Trunk	Good	24 inch box	2	0	0
83	Oak	Quercus	Trunk	Good	36 inch box	3	0	0
84	Oak	Quercus	Trunk	Good	48 inch box	4	0	0
85	Oak	Quercus	Trunk	Good	15 gallon	0	0	0
86	Oak	Quercus	Trunk	Good	24 inch box	2	0	0
87	Oak	Quercus	Trunk	Good	36 inch box	3	0	0
88	Oak	Quercus	Trunk	Good	48 inch box	4	0	0
89	Oak	Quercus	Trunk	Good	15 gallon	0	0	0
90	Oak	Quercus	Trunk	Good	24 inch box	2	0	0
91	Oak	Quercus	Trunk	Good	36 inch box	3	0	0
92	Oak	Quercus	Trunk	Good	48 inch box	4	0	0
93	Oak	Quercus	Trunk	Good	15 gallon	0	0	0
94	Oak	Quercus	Trunk	Good	24 inch box	2	0	0
95	Oak	Quercus	Trunk	Good	36 inch box	3	0	0
96	Oak	Quercus	Trunk	Good	48 inch box	4	0	0
97	Oak	Quercus	Trunk	Good	15 gallon	0	0	0
98	Oak	Quercus	Trunk	Good	24 inch box	2	0	0
99	Oak	Quercus	Trunk	Good	36 inch box	3	0	0
100	Oak	Quercus	Trunk	Good	48 inch box	4	0	0

Total value of LU to be removed =120.29

Trees shaded in red are Off-Site Trees. Trees outside of the City right-of-way per the arborist report.

Tree Evaluation Schedule

Block 20		(1)		(2)	
	Tree Species	Quantity	Size	LU Value	Total LU Value
1	Oak	1	20 2" x 4"	0	Good, vigor, fair structure, considerable crown spread.
2	Oak	1	24 2" x 4"	0	Good, vigor, fair structure, considerable crown spread.
3	Gingko	10.4	6.5	2532	Good, vigor, fair structure, street trees, utilitarian.
4	Maple (acer sp.)	5.0	5.0	125	Fair vigor, fair structure, suppressed.
5	Hackberry	6.4	4.5	2012	Fair vigor, poor structure, topped limbs, street trees.
6	Hackberry	6.2	4.5	2012	Fair vigor, poor structure, topped limbs, street trees.
7	Hackberry	8.4	4.5	2012	Fair vigor, poor structure, topped limbs, street trees.
8	Hackberry	8.1	6.0	2013	DEAD.
9	Alfalfa (alfalfa)	12.5	5.0	1010	Good vigor, poor structure, topiary form, considerable 4' spread, limb dead.
10	Hackberry	23.2	4.0	2012	Fair vigor, poor structure, topped at 20'.
11	Red Elm	13.8	3.5	2638	Fair vigor, poor structure, topped at 20'.
12	Red Elm	13.8	3.5	2638	Fair vigor, poor structure, topped at 20'.
13	Red Elm	13.8	3.5	2638	Fair vigor, poor structure, topped at 20'.
14	Red Elm	13.8	3.5	2638	Fair vigor, poor structure, topped at 20'.
15	Red Elm	13.8	3.5	2638	Fair vigor, poor structure, topped at 20'.
16	Red Elm	13.8	3.5	2638	Fair vigor, poor structure, topped at 20'.
17	Red Elm	13.8	3.5	2638	Fair vigor, poor structure, topped at 20'.
18	Red Elm	13.8	3.5	2638	Fair vigor, poor structure, topped at 20'.
19	Red Elm	13.8	3.5	2638	Fair vigor, poor structure, topped at 20'.
20	Red Elm	13.8	3.5	2638	Fair vigor, poor structure, topped at 20'.
21	Red Elm	13.8	3.5	2638	Fair vigor, poor structure, topped at 20'.
22	Red Elm	13.8	3.5	2638	Fair vigor, poor structure, topped at 20'.
23	Red Elm	13.8	3.5	2638	Fair vigor, poor structure, topped at 20'.
24	Red Elm	13.8	3.5	2638	Fair vigor, poor structure, topped at 20'.
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30	Red Elm	13.8	3.5	2638	Fair vigor, poor structure, topped at 20'.
31	Red Elm	13.8	3.5	2638	Fair vigor, poor structure, topped at 20'.
32	Red Elm	13.8	3.5	2638	Fair vigor, poor structure, topped at 20'.
33	Red Elm	13.8	3.5	2638	Fair vigor, poor structure, topped at 20'.
34	Red Elm	13.8	3.5	2638	Fair vigor, poor structure, topped at 20'.
35	Red Elm	13.8	3.5	2638	Fair vigor, poor structure, topped at 20'.
36	Red Elm	13.8	3.5	2638	Fair vigor, poor structure, topped at 20'.
37	Red Elm	13.8	3.5	2638	Fair vigor, poor structure, topped at 20'.
38	Red Elm	13.8	3.5	2638	Fair vigor, poor structure, topped at 20'.
39	Red Elm	13.8	3.5	2638	Fair vigor, poor structure, topped at 20'.
40	Red Elm	13.8	3.5	2638	Fair vigor, poor structure, topped at 20'.
41	Red Elm	13.8	3.5	2638	Fair vigor, poor structure, topped at 20'.
42	Red Elm	13.8	3.5	2638	Fair vigor, poor structure, topped at 20'.
43	Red Elm	13.8	3.5	2638	Fair vigor, poor structure, topped at 20'.
44	Red Elm	13.8	3.5	2638	Fair vigor, poor structure, topped at 20'.
45	Red Elm	13.8	3.5	2638	Fair vigor, poor structure, topped at 20'.
46	Red Elm	13.8	3.5	2638	Fair vigor, poor structure, topped at 20'.
47	Red Elm	13.8	3.5	2638	Fair vigor, poor structure, topped at 20'.
48	Red Elm	13.8	3.5	2638	Fair vigor, poor structure, topped at 20'.
49	Red Elm	13.8	3.5	2638	Fair vigor, poor structure, topped at 20'.
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53	Red Elm	13.8	3.5	2638	Fair vigor, poor structure, topped at 20'.
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61	Red Elm	13.8	3.5	2638	Fair vigor, poor structure, topped at 20'.
62	Red Elm	13.8	3.5	2638	Fair vigor, poor structure, topped at 20'.
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66	Red Elm	13.8	3.5	2638	Fair vigor, poor structure, topped at 20'.
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69	Red Elm	13.8	3.5	2638	Fair vigor, poor structure, topped at 20'.
70	Red Elm	13.8	3.5	2638	Fair vigor, poor structure, topped at 20'.
71	Red Elm	13.8	3.5	2638	Fair vigor, poor structure, topped at 20'.
72	Red Elm	13.8	3.5	2638	Fair vigor, poor structure, topped at 20'.
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75	Red Elm	13.8	3.5	2638	Fair vigor, poor structure, topped at 20'.
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77	Red Elm	13.8	3.5	2638	Fair vigor, poor structure, topped at 20'.
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80	Red Elm	13.8	3.5	2638	Fair vigor, poor structure, topped at 20'.
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91	Red Elm	13.8	3.5	2638	Fair vigor, poor structure, topped at 20'.
92	Red Elm	13.8	3.5	2638	Fair vigor, poor structure, topped at 20'.
93	Red Elm	13.8	3.5	2638	Fair vigor, poor structure, topped at 20'.
94	Red Elm	13.8	3.5	2638	Fair vigor, poor structure, topped at 20'.
95	Red Elm	13.8	3.5	2638	Fair vigor, poor structure, topped at 20'.
96	Red Elm	13.8	3.5	2638	Fair vigor, poor structure, topped at 20'.
97	Red Elm	13.8	3.5	2638	Fair vigor, poor structure, topped at 20'.
98	Red Elm	13.8	3.5	2638	Fair vigor, poor structure, topped at 20'.
99	Red Elm	13.8	3.5	2638	Fair vigor, poor structure, topped at 20'.
100	Red Elm	13.8	3.5	2638	Fair vigor, poor structure, topped at 20'.



35ft Front End Loader
Overall Length 35.00ft
Overall Width 8.33ft
Overall Body Height 1.40ft
Min Body Ground Clearance 1.40ft
Track Width 8.00ft
Lock-to-lock time 4.00s
Curb to Curb Turning Radius 32.00ft



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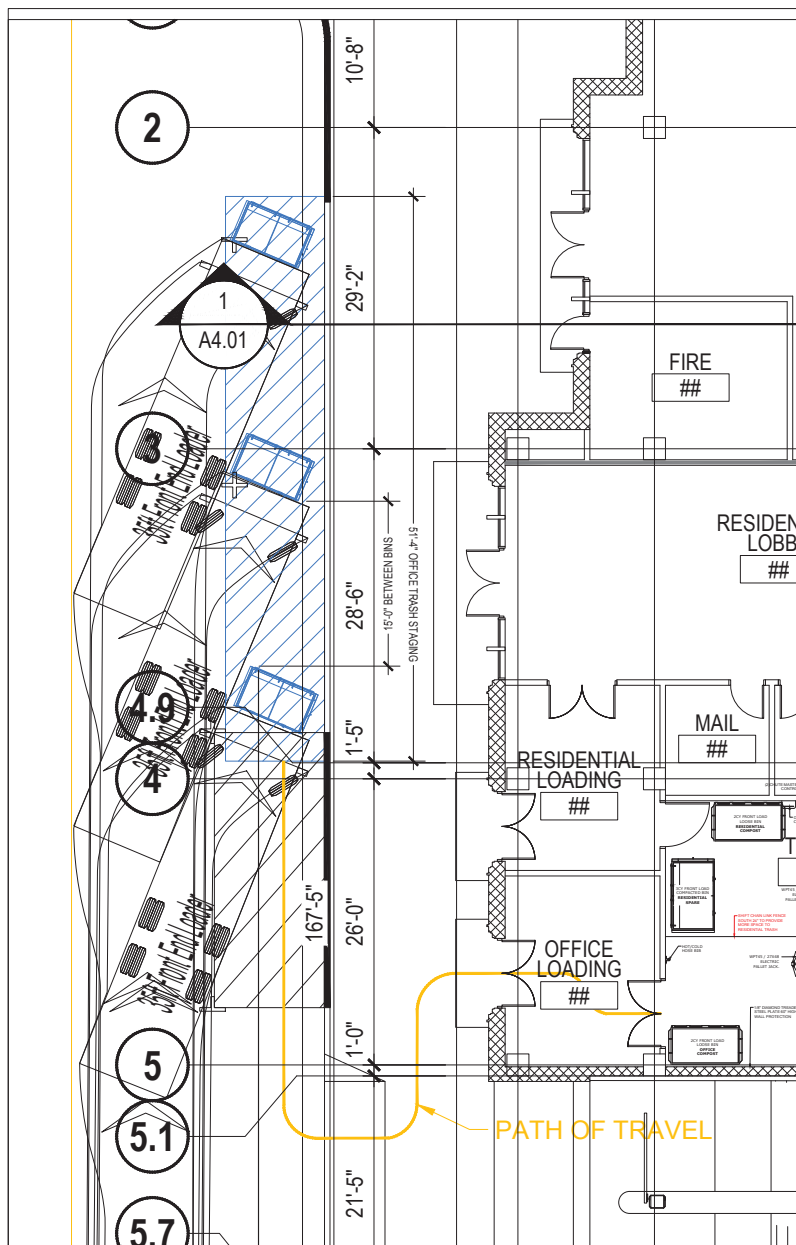
PLANNING APPLICATION FOR:
WINDY HILL PROPERTY VENTURES
BLOCK 20
SAN MATEO, CA 94401

DATE DESCRIPTION
08.03.2020 ZONING PRE-APPLICATION
01.13.2021 FIRST PLANNING SUBMITTAL
03.18.2024 FIFTH PLANNING SUBMITTAL

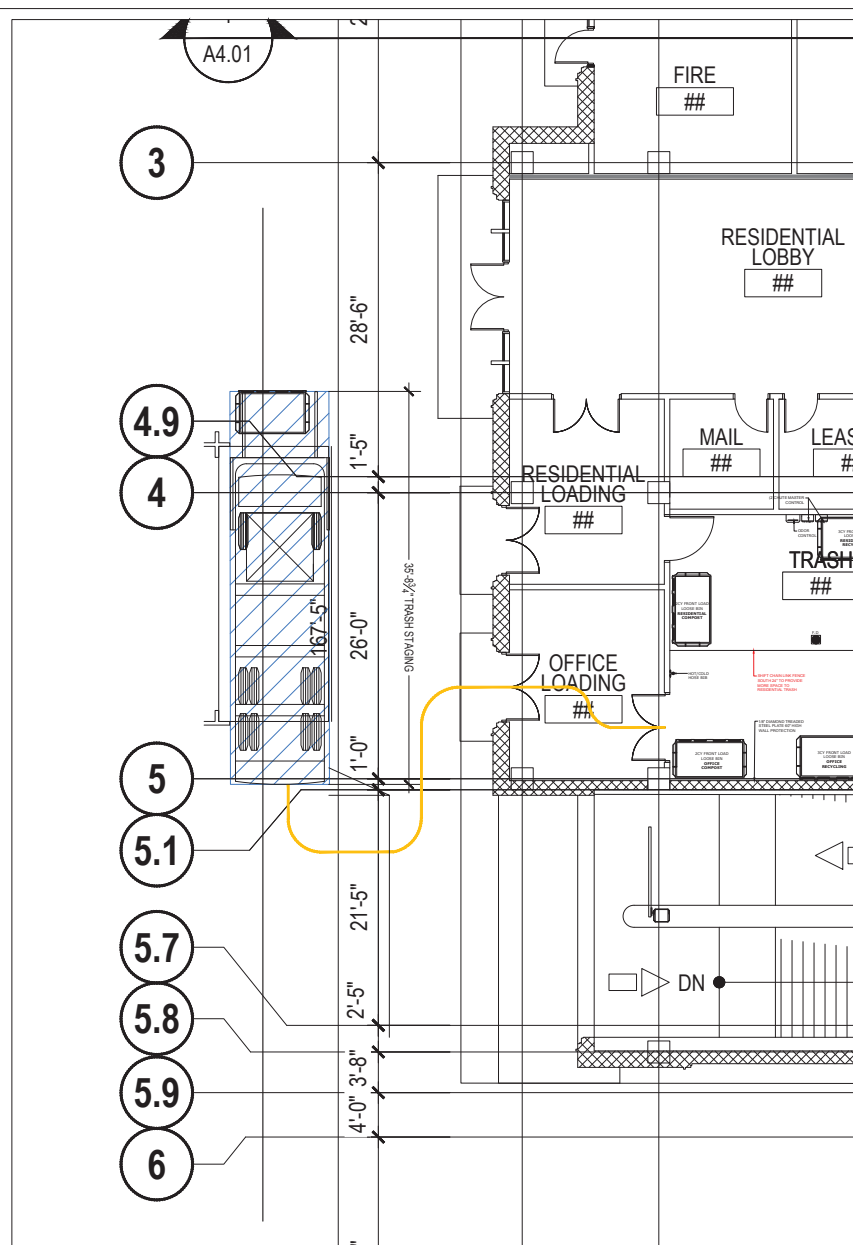
LEVEL 1
SITE PLAN

TR0.1

PROJECT NO. 215515



1 LEVEL 1: SITE PLAN - COMPACTED SERVICE
1/16" = 1'-0"



2 LEVEL 1: SITE PLAN - LOOSE SERVICE W/ PULLOUT SERVICE
1/16" = 1'-0"



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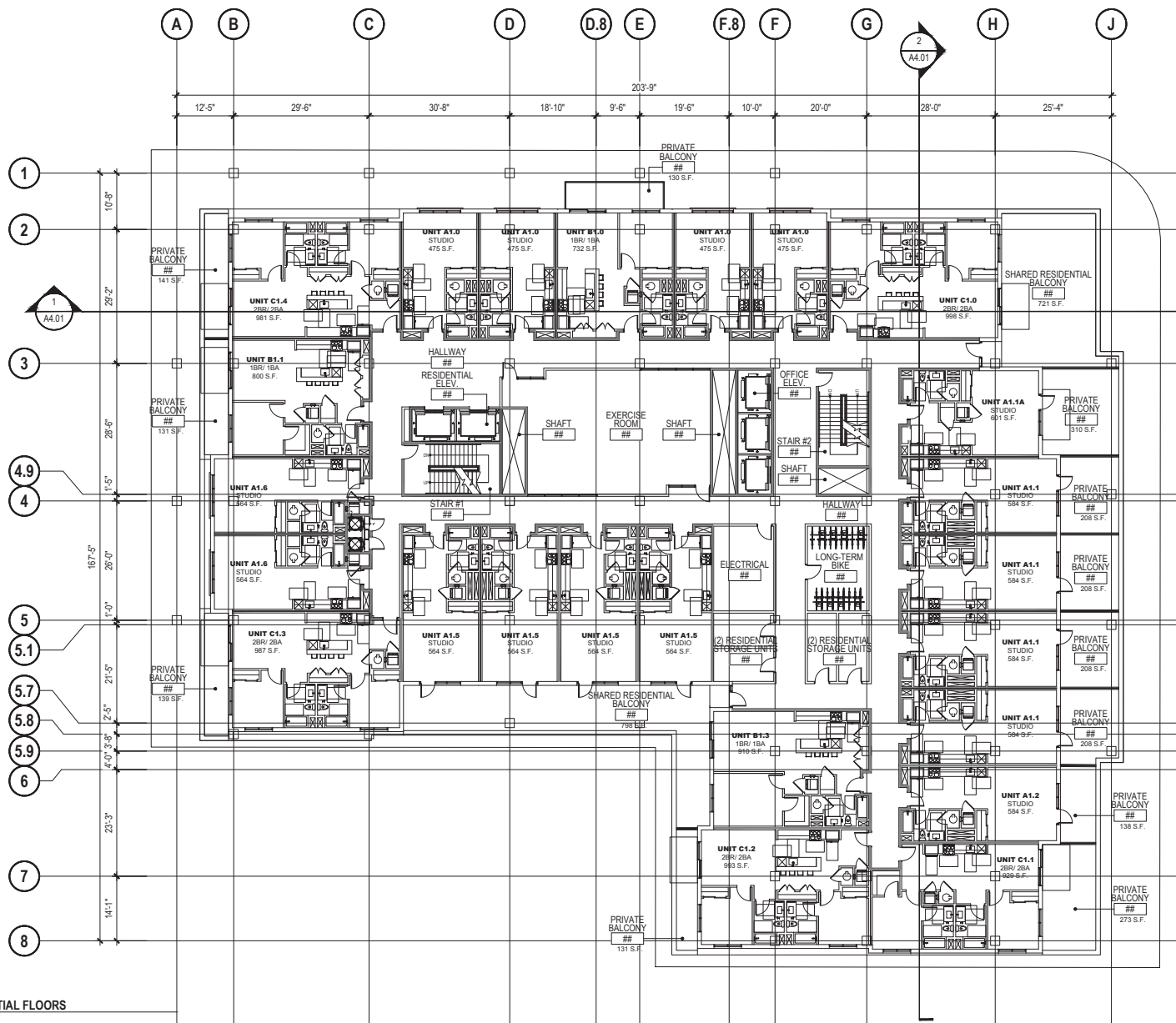
PLANNING APPLICATION FOR:
WINDY HILL PROPERTY VENTURES
BLOCK 20
SAN MATEO, CA 94401

DATE	DESCRIPTION
08.22.2020	20% PRE-APPLICATION
01.13.2021	FIRST PLANNING SUBMITTAL
03.18.2024	FIFTH PLANNING SUBMITTAL

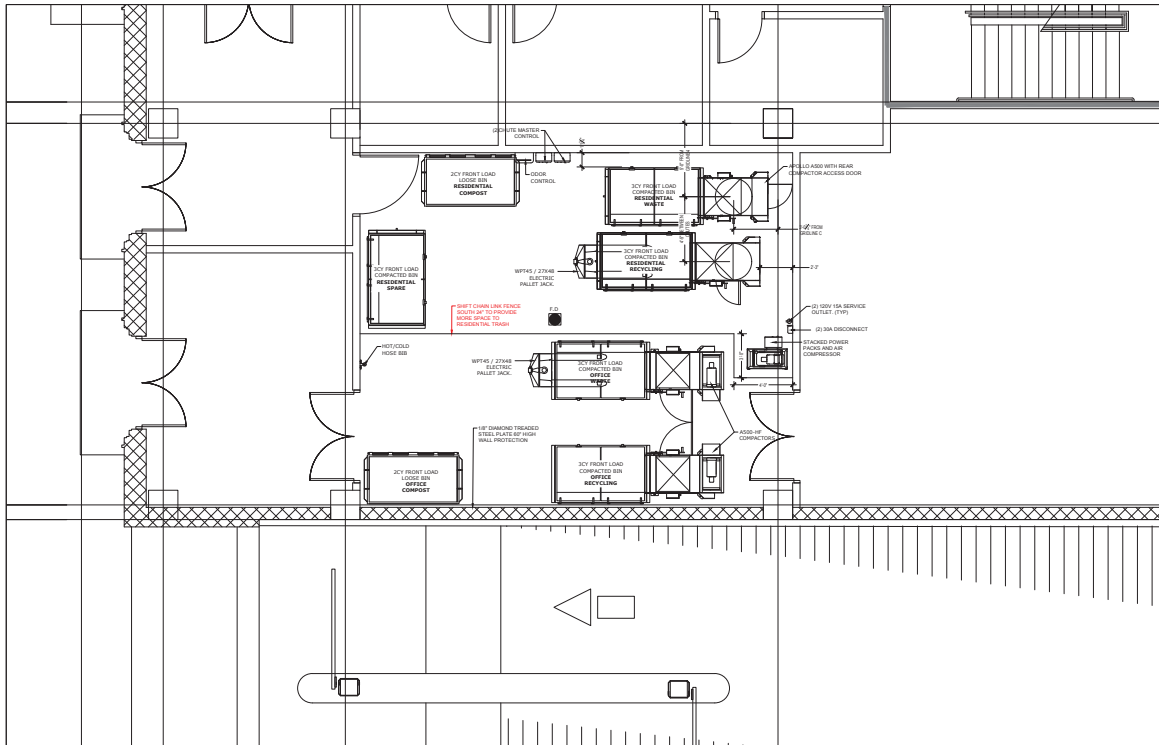
RESIDENTIAL
FLOORS

TR0.2

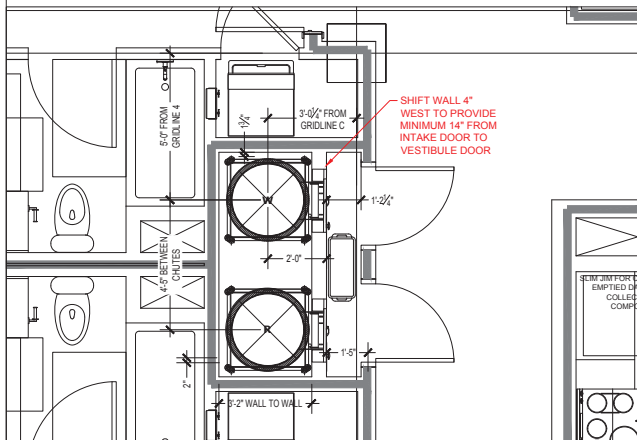
PROJECT NO. 215515



1 LEVEL 4-6: RESIDENTIAL FLOORS
3/32" = 1'-0"



1 LEVEL 1: SHARED TRASH ROOM (COMPACTED OPTION)
1/4" = 1'-0"



2 LEVELS 4-6: RESIDENTIAL TRASH VESTIBULE (TYP)
1/2" = 1'-0"

SHEET NOTES:

COMBINED TRASH TERMINATION ROOM: COMPACTED OPTION

- TRASH COLLECTION ROOM IS PART OF 2HR FIRE-RATED TRASH CHUTE SHAFT - RESTRICTED ACCESS.
- FLOOR SHALL BE FINISHED WITH WATERPROOF DECK COATING. FLOOR TO HAVE MINIMAL SLOPE (1" MAX) AND FLOOR DRAIN. FLOOR LEVEL UNDER COMPACTOR.
- WALLS SHALL BE FINISHED WITH WASHABLE WATERPROOF SURFACE SUCH AS FRP OR HIGH-GLOSS ENAMEL PAINT, 8'-0" AFF.
- INSTALL WALL PROTECTION: STEEL DIAMOND TREAD BACKING ALONG WALLS FOR PROTECTION, 1/8" THICK PLATE REQUIRED (INCLUDES EXTRUDED DIAMOND TREAD). DO NOT INSTALL THE CURB AROUND THE COMPACTORS/BISORTER OR POWER PACKS.
- ROOM SHALL BE MECHANICALLY VENTILATED WITH (1) CFMFT PER 2019 CBC.
- (2) 30"Ø GRAVITY CHUTE WITH A500 COMPACTORS FOR RESIDENTIAL WASTE & RECYCLING. PROVIDE 3CY FL COMPACTOR CONTAINERS FOR WASTE & RECYCLING. WASTE COMPACTOR MUST HAVE A REAR ACCESS DOOR. CHUTES SHALL TERMINATE AT 5'-2" AFF.
- (2) APOLLO A500-HF COMPACTORS WITH 3CY FL COMPACTOR CONTAINERS FOR OFFICE WASTE & RECYCLING.
- (2) 2CY FL LOOSE CONTAINERS FOR RESIDENTIAL AND OFFICE COMPOST COLLECTION.
- PP: STACKED COMPACTOR POWER PACKS SHALL BE FLOOR-MOUNTED. (2) SHP 3-PHASE, 208/230/460V, 30A DISCONNECTS 60" AFF.
- MCP: CHUTE MASTER CONTROL PANEL (1 PER CHUTE) SHALL BE WALL-MOUNTED 60" AFF. MUST ALLOW LOCK DOWN OF CHUTE INTAKES FOR EXCHANGING CONTAINERS AND WASHING CHUTES. REQUIRES 120V 15A DEDICATED SERVICE.
- AIR COMPRESSOR (OIL LESS) 4610AC WITH AUTOMATIC TANK DRAIN VALVE. 2 HP PEAK. TWIN TANK CAPACITY 4.6 GALLONS, VOLTAGE @ 60 HZ 110 VOLTS, CURRENT 8.5 AMPS TO POWER THE CHUTE INTAKE DOORS.
- OC: ODOR CONTROL UNIT SHALL BE WALL-MOUNTED 60" AFF. REQUIRES 120V 15A SERVICE OUTLETS.
- HB: HOT AND COLD HOSE BIB SHALL BE WALL-MOUNTED 60" AFF.
- PROVIDE ELECTRIC PALLET TRUCK FOR TRANSFERRING CONTAINERS. 4000lb CAPACITY; TURNING RADIUS: 45". REQUIRES 120V 15A SERVICE OUTLETS.
- CHUTE DISCHARGE DOOR: TYPE-A, HORIZONTALLY ROLLING SHUTTER TYPE DOOR, HELD OPEN BY 165" F FUSIBLE LINK.
- (1) UNDEDICATED 120V 15A SERVICE OUTLET REQUIRED FOR STAFF MAINTENANCE PURPOSE.

CHUTE INTAKE VESTIBULES:

- CHUTE INTAKE VESTIBULES SHALL BE 2HR FIRE-RATED (NFPA-82 6.2.5.1.1) WITH 1.5HR FIRE-RATED DOOR(S) (NFPA-82 6.2.3.1.3); 5'-0" MIN REQUIRED PER ADA STANDARDS - RESIDENTIAL ACCESS. PROVIDE (2) SELF CLOSING, 15x18 BOTTOM HINGED, ELECTRICALLY INTERLOCKED, AUTOMATIC OPENING DOORS TO DISPOSE TRASH AND RECYCLING INTO COMPACTORS PER CBC 713.13.1.1. POWER TO INTAKE DOORS SUPPLIED BY MCP. SEE DETAIL TR2.0.
- CHUTE SHAFT SHALL NOT BE ERECTED UNTIL CHUTE HAS BEEN INSTALLED. FOR SOUND PROOFING PURPOSES, DOUBLE STUD-WALLS ARE REQUIRED ADJACENT TO OCCUPIED SPACES. INTERIOR OF SHAFT SHALL BE TAPED TO PREVENT ODOROUS AIR LEAKING INTO OCCUPIED SPACES (BY OTHERS).
- PROVIDE ROUND FLOOR OPENINGS AT CONCRETE FLOORS AND SQUARED FLOOR OPENINGS AT WOOD-FRAME CONSTRUCTION. INSTALL FLOOR SUPPORT FRAME AT EACH FLOOR PENETRATION TO SECURE CHUTE. SEE DETAIL 9TR2.0 FOR ANCHORING AND MASON BREADED SOUND ISOLATION PAD ASSEMBLY. POUR RINGS WILL VARY BASED ON THICKNESS OF FLOOR SLAB AND SHALL BE PROVIDED BY MANUFACTURER.

GENERAL NOTES:

- ANY DESIGNS OR DESIGN SOLUTIONS PRESENTED IN THIS DRAWING OR SPECIFICATION, WHICH ARE DIRECT OR IMPLIED, INCLUDING NARRATIVES, DRAWINGS, OR DIAGRAMS, ARE HEREBY CLARIFIED AS EXAMPLES AND SHALL NOT BE CONSIDERED COMPLETE DESIGNS OR DESIGNS SUITABLE FOR CONSTRUCTION.
- OMISSIONS FROM DRAWINGS OR SPECIFICATIONS, OR THE INACCURATE DESCRIPTION OF DETAILS OF WORK, WHICH ARE MANIFESTLY NECESSARY TO CARRY OUT THE INTENT OF THE DRAWINGS AND SPECIFICATIONS, OR WHICH ARE CUSTOMARILY PERFORMED, SHALL NOT RELIEVE THE CONTRACTOR FROM PERFORMING SUCH OMITTED OR INACCURATELY DESCRIBED DETAILS OF THE WORK. WORK SHALL BE PERFORMED AS IF FULLY AND CORRECTLY SET FORTH AND DESCRIBED IN THE DRAWINGS AND SPECIFICATIONS.
- CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS AND CONDITIONS PRIOR TO START OF CONSTRUCTION. THE ARCHITECT SHALL BE NOTIFIED IMMEDIATELY OF ALL EXISTING FIELD CONDITIONS AND ANY DISCREPANCIES OR INCONSISTENCIES.

RESIDENTIAL: PROJECTED COLLECTION SCHEDULE

SERVICE	M	T	W	TH	F	S
3CY FRONT LOAD COMPACTED BIN WASTE	1					
3CY FRONT LOAD COMPACTED BIN RECYCLING		1			1	
2CY FRONT LOAD LOOSE BIN COMPOST	1			1		

OFFICE: PROJECTED COLLECTION SCHEDULE

SERVICE	M	T	W	TH	F	S
3CY FRONT LOAD COMPACTED BIN WASTE	1			1		
3CY FRONT LOAD COMPACTED BIN RECYCLING		1			1	
2CY FRONT LOAD LOOSE BIN COMPOST		1			1	
TOTAL STAGING	3	3	0	2	3	0



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