

A Planning Application For:
BLOCK 20
 S CLAREMONT ST. & E 4TH AVENUE
 SAN MATEO, CA 94401

SAN MATEO APPL. No PA-2024-xxx



RENDERING - S. DELAWARE STREET & E. 4TH AVENUE INTERSECTION

PROJECT DATA:	Unit Type	Unit Area (S.F.)	Balkony Area (S.F.)	Unit Area w/Balkony (S.F.)	# Unit Level 4	# Unit Level 5	# Unit Level 6	Total # Units	Density Bonus Parking Req'd.	Short Term Bike Pkg Req'd	Long Term Bike Pkg Req'd	Total Unit Area	Total Balkony Area	Unit Mix
	A1.0 (Studio)	475	excluded	475	4	4	4	12	0.00	0.05	1.00	5,700	excluded	
	A1.1 (Studio)	584	208	792	4	0	0	4	0.50	0.05	1.00	2,336	832	
	A1.1A (Studio)	601	310	911	1	0	0	1	0.50	0.05	1.00	601	310	
	A1.1B (Studio)	601	60	661	0	1	1	2	0.50	0.05	1.00	1,202	120	66%
	A1.2 (Studio)	584	138	722	1	0	0	1	0.50	0.05	1.00	584	138	
	A1.5 (Studio)	564	excluded	564	4	4	4	12	0.50	0.05	1.00	6,768	excluded	
	A1.6 (Studio)	564	excluded	564	2	2	2	6	0.50	0.05	1.00	3,384	excluded	
	A1.7A (Studio)	584	excluded	584	0	5	5	10	0.50	0.05	1.00	5,840	excluded	
	B1.0 (1BR/1BA Unit)	732	130	862	1	1	1	3	0.50	0.05	1.00	2,196	390	
Residential Units	B1.1 (1BR/1BA Unit)	800	131	931	1	0	0	1	0.50	0.05	1.00	800	131	
	B1.2 (1BR/1BA Unit)	800	60	860	0	1	1	2	0.50	0.05	1.00	1,600	120	
	B1.3 (1BR/1BA Unit)	910	excluded	910	1	1	1	3	0.50	0.05	1.00	2,730	excluded	
	C1.0 (2BR/2BA Unit)	998	excluded	998	1	0	0	1	0.50	0.10	1.25	998	excluded	
	C1.1 (2BR/2BA Unit)	929	273	1,202	1	0	0	1	0.50	0.10	1.25	929	273	
	C1.2 (2BR/2BA Unit)	993	131	1,124	1	0	0	1	0.50	0.10	1.25	993	131	
	C1.3 (2BR/2BA Unit)	987	139	1,126	1	0	0	1	0.50	0.10	1.25	987	139	
	C1.4 (2BR/2BA Unit)	981	141	1,122	1	0	0	1	0.50	0.10	1.25	981	141	
	C1.5 (2BR/2BA Unit)	998	60	1,058	0	1	1	2	0.50	0.10	1.25	1,996	120	21%
	C1.6 (2BR/2BA Unit)	929	60	989	0	1	1	2	0.50	0.10	1.25	1,859	120	
C1.7 (2BR/2BA Unit)	923	60	983	0	1	1	2	0.50	0.10	1.25	1,866	120		
C1.8 (2BR/2BA Unit)	987	60	1,047	0	1	1	2	0.50	0.10	1.25	1,974	120		
C1.9 (2BR/2BA Unit)	981	60	1,041	0	1	1	2	0.50	0.10	1.25	1,962	120		
	Total # dwelling units				24	24	24	72				48,405	3,325	

Use	Level 1	Level 2	Level 3	Level 4	Level 5	Level 6	Level 7	Total Area	# DWELLING UNITS PER FLOOR
Residential Area	2,184				19,598	19,638	19,638	61,058	24 UNITS
Common Area Per Floor					3,458	3,465	3,465	10,388	24 UNITS
Office Area	26,013	27,756	25,974				18,974	98,717	24 UNITS
Total FAR Floor Area								170,163	72 UNITS

Private Residential Open Space (Level 4/ Level 5 & Level 6) (S.F.) - Provided	2,783
Common Residential Open Space at Level 4 (S.F.) - Provided	1,519
Total open space private + common (residential) - Provided	4,302
Common Office Open Space at Level 3 (S.F.) - Provided	1,838
Common Office Open Space at Level 7 (S.F.) - Provided	3,514
Total Common Office Open Space (S.F.) - Provided (1% of total office area OR 0.01 x 98,717 S.F.)	987
Total Common Office Open Space (S.F.) - Provided	5,148

Use	Short Term Bike	Long Term Bike	Bike Total	Compact	Standard (Tandem)	Compact (Tandem)	ADA Standard	Standard Accessible Level 2 EVCS	Standard Accessible Level 2 EV Capacity	Van Accessible	Van Accessible Level 2 EVCS	Standard Level 2 EVCS	Standard Level 2 EV Capacity	Compact Level 2 EV Capacity	Compact Level 2 EVCS	Compact Level 2 EV Capacity	Parking Provided
Level 1 - Residential	6		6														
Level 1 - Office	6		6														
Level P1 - Office		10	10	2	9	21	1			1	11			14	17	3	79
Level P2 - Office				4	9	21	2	1		1	1	1	1	1	9	50	
Level P2 - Residential									1	15						10	31
Levels 4, 5 & 6 - Residential				80	80												
Total Parking Provided	12	90	102														160

PROJECT DESCRIPTION

THIS IS A NEW 170,163 S.F. 7-STORY BUILDING WHICH INCLUDES 4-STORY OFFICE AND 3-STORY RESIDENTIAL BUILDING (72 DWELLING UNITS) WITH BELOW GRADE 2 LEVEL PARKING STRUCTURE ON A 33,790 S.F. LOT. SCOPE OF WORK INCLUDES THE CONSTRUCTION OF THE BUILDING CORE AND SHELL, COMPLETE BUILD OUT OF RESIDENTIAL, DWELLING UNITS AS WELL AS SITE IMPROVEMENTS SUCH AS SIDEWALKS, CURBOUTLETS, BICYCLE RACKS, STREET TREES, ETC. THE PROJECT PROPOSES TO EXPORT APPROXIMATELY XXXXXX CY OF SOIL TO CONSTRUCT THIS PROJECT.

PROJECT TEAM

OWNER:	MECAH VENTURES 1205 El Cerrito Road, Unit #181 Menlo Park, CA 94025	ARCHITECT:	ARC TEC INC. 1701 Technology Drive, Suite 750 San Jose, CA 95119 PHONE: 408.986.0670 CONTACT: Even Sokolatsky EMAIL: evan@arctec.com
LANDSCAPE ARCHITECT:	KLA, INC. 151 N. Marin Street Sunnyvale, CA 95370 PHONE: 209.332.2856 CONTACT: Tom Holloway EMAIL: tom@krota.com	CIVIL ENGINEER:	BKF 150 California Street, Suite 600 San Francisco, CA 94111 PHONE: 415.330.7004 CONTACT: Alyssa Jacobson EMAIL: ajacobson@bkf.com

PROJECT DATA

OWNER NAME:	MECAH VENTURES	BUILDING AREA, OFFICE:	170,163 S.F.
PROJECT ADDRESS:	S CLAREMONT ST. & E 4TH AVENUE SAN MATEO, CA 94401	TOTAL RESIDENTIAL UNITS:	72 UNITS
		NUMBER OF STORES:	7
		CONSTRUCTION TYPE:	SEE TABLE
		FIRE SPRINKLERS:	YES
		OCCUPANCY TYPE:	B, B-2, S-2
		BUILDING TOP OF PLATE:	85' 0"

APPLICABLE CODES

- 2022 CALIFORNIA BUILDING CODE (CCR TITLE 24, PART 2)
- 2022 CALIFORNIA ELECTRIC CODE (CCR TITLE 24, PART 3)
- 2022 CALIFORNIA MECHANICAL CODE (CCR TITLE 24, PART 4)
- 2022 CALIFORNIA PLUMBING CODE (CCR TITLE 24, PART 5)
- 2022 CALIFORNIA ENERGY CODE (CCR TITLE 24, PART 6)
- 2022 CALIFORNIA FIRE CODE (CCR TITLE 24, PART 9)
- 2022 CALIFORNIA GREEN BUILDING STANDARDS CODE (CCR TITLE 24, PART 11)
- ALL CODES ARE SUBJECT TO LOCAL GOVERNMENT AMENDMENTS PER CALIFORNIA BUILDING STANDARDS COMMISSION BULLETIN 10-03.

CONSTRUCTION TYPES

- OFFICE (B) LEVEL 7, IIIA
- RESIDENTIAL (R-2) LEVEL 6, IIIA
- RESIDENTIAL (R-2) LEVEL 5, IIIA
- RESIDENTIAL (R-2) LEVEL 4, IIIA
- OFFICE (B) LEVEL 3, IA
- OFFICE (B) LEVEL 2, IA
- OFFICE (B) LEVEL 1, IA
- PARKING GARAGE (S2) BELOW GRADE P2: TYPE IA
- PARKING GARAGE (S2) BELOW GRADE P1: TYPE IA

DRAWING INDEX AND ISSUE DATES

- PRELIMINARY OR PRICING PLANS
- FIRST FORMAL SUBMITTAL OR NO CHANGES
- SINCE PREVIOUS ISSUE
- MODIFICATIONS SINCE PREVIOUS ISSUE

COVER SHEET

DATE	ISSUE DATES AND DESCRIPTIONS
03.22.22	PRELIMINARY SUBMITTAL
05.14.22	1ST FORMAL SUBMITTAL
06.16.22	2ND FORMAL SUBMITTAL
07.27.22	3RD FORMAL SUBMITTAL
08.11.22	4TH FORMAL SUBMITTAL
11.16.2023	5TH FORMAL SUBMITTAL
03.16.2024	6TH FORMAL SUBMITTAL

ARCHITECTURAL	NEIGHBORHOOD CONTEXT	DEMOLITION SITE PLAN	CIVIL
A.0.01 3D RENDERING	A.0.15 NEIGHBORHOOD CONTEXT	A.1.00 DEMOLITION SITE PLAN	C1.01 TITLE SHEET
A.0.02 3D RENDERING	A.0.17 PROPERTY IMAGERY	A.1.01 ARCHITECTURAL SITE PLAN	C1.02 NOTES, LEGENDS & ABBREVIATIONS
A.0.03 3D RENDERING	A.0.21 PLANNING DEPARTMENT AREA CALCULATIONS	A.1.01A BUILDING CONTEXT AND ADJACENT PROPERTIES	C2.01 SITE SURVEY
A.0.04 3D RENDERING	A.0.22 PLANNING DEPARTMENT AREA CALCULATIONS	A.1.01B TREE EVALUATION PLAN AND EXISTING TREE SCHEDULE	C2.02 EXISTING CONDITIONS AND DEMOLITION PLAN
A.0.05 3D RENDERING	A.0.23 COMMERCIAL OPEN SPACE DIAGRAM - FIRST FLOOR	A.1.01C WASTE MANAGEMENT SITE PLAN	C2.03 TENTATIVE PARCEL MAP
A.0.06 3D RENDERING	A.0.24 USABLE OPEN SPACE DIAGRAMS	A.1.02 SITE DETAILS	C3.01 PRELIMINARY HORIZONTAL CONTROL PLAN
A.0.08 3D RENDERING	A.0.25 USABLE OPEN SPACE DIAGRAMS	A.1.03 SITE DETAILS	C3.02 PRELIMINARY CROSS SECTIONS
A.0.07 3D RENDERING	A.0.26 USABLE OPEN SPACE DIAGRAMS	A.1.03 SOLAR SHADOW STUDY	C3.03 PRELIMINARY GRADING PLAN
	A.0.27 BUILDING CROSS PROJECT DATA		C4.01 PRELIMINARY UTILITY PLAN
	A.0.28 EGRESS DIAGRAMS		C5.01 PRELIMINARY STORMWATER CONTROL PLAN
	A.0.29 EGRESS DIAGRAMS		C6.01 PRELIMINARY STORMWATER CONTROL NOTES AND DETAILS
	A.0.30 EGRESS DIAGRAMS		C6.02 PRELIMINARY FIRE ACCESS PLAN
	A.0.31 EGRESS DIAGRAMS		C8.01 FIRE TRUCK TURNING MOVEMENTS
	A.0.32 EGRESS DIAGRAMS		C8.02 TRASH TRUCK TURNING MOVEMENTS
	A.0.33 EGRESS DIAGRAMS		C8.03 SU-30 TRUCK TURNING MOVEMENTS
	A.0.34 EGRESS DIAGRAMS		C8.01 CONSTRUCTION BMPs
	A.1.00		
	A.1.01		
	A.1.01A		
	A.1.02		
	A.1.02A		
	A.1.03		
	A.1.03A		
	A.2.01		
	A.2.02		
	A.2.03		
	A.2.04		
	A.2.05		
	A.2.06		
	A.2.07		
	A.2.11		
	A.2.11		
	A.2.12		
	A.3.01		
	A.3.02		
	A.3.03		
	A.3.04		
	A.3.05		
	A.3.06		
	A.3.07		
	A.3.08		
	A.4.01		
	A.5.01		
	A.5.02		
	A.5.03		
	A.5.04		

VICINITY MAP



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EXTERIOR RENDERING - RESIDENTIAL & PARKING GARAGE ENTRANCES ALONG S. CLAREMONT ST.



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11.15.2023	FOURTH PLANNING SUBMITTAL
03.18.2024	FIFTH PLANNING SUBMITTAL

PA-2023-003

RENDERING

A 0.03

PROJECT NO. 215513

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REFERENCE SITE PLAN

SCALE: NTS



5 COMMERCIAL



1 RESIDENCE BUILDING



6 COMMERCIAL



2 RESIDENCE BUILDING



11 COMMERCIAL



9 COMMERCIAL



7 COMMERCIAL



3 RESIDENCE BUILDING



12 COMMERCIAL



10 COMMERCIAL



8 OFFICE/RESIDENTIAL



4 COMMERCIAL



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07.14.2023	THIRD PLANNING SUBMITTAL
11.15.2023	FOURTH PLANNING SUBMITTAL
03.16.2024	FIFTH PLANNING SUBMITTAL

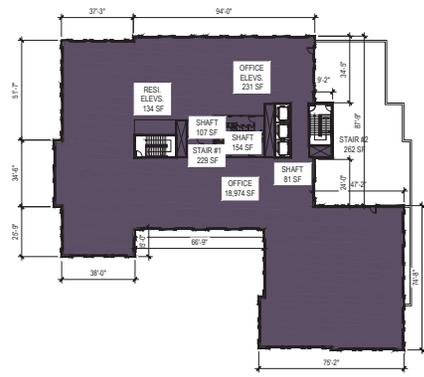
PA-2023-003

NEIGHBORHOOD CONTEXT

A 0.16

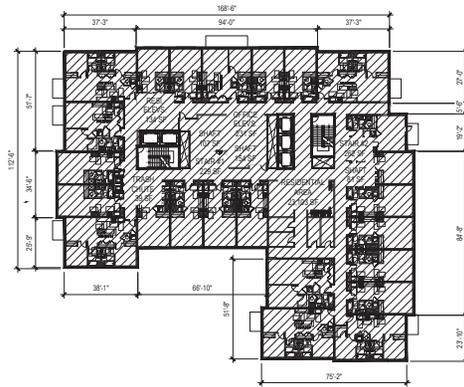
PROJECT NO. 215613

PHOTO: COURTESY OF THE CITY OF SAN MATEO, CALIFORNIA



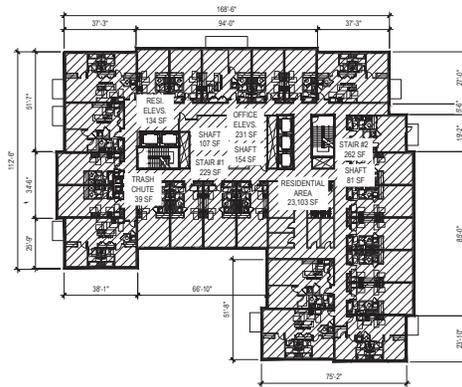
SEVENTH LEVEL AREA PLAN

SCALE: 1/32" = 1'-0"



SIXTH LEVEL AREA PLAN

SCALE: 1/32" = 1'-0"



FIFTH LEVEL AREA PLAN

SCALE: 1/32" = 1'-0"

PARKING ORDINANCE AREA CALCULATIONS

FIRST LEVEL	
OFFICE SPACE	25,258 SQ. FT.
STAIR #2	524 SQ. FT.
OFFICE ELEVATORS	23,130 SQ. FT.
TOTAL:	26,013 SQ. FT.
SECOND LEVEL	
OFFICE AREA	27,717 SQ. FT.
TRASH CHUTE	39 SQ. FT.
TOTAL:	27,756 SQ. FT.
THIRD LEVEL	
OFFICE AREA	25,935 SQ. FT.
TRASH CHUTE	39 SQ. FT.
TOTAL:	25,974 SQ. FT.
SEVENTH LEVEL	
OFFICE AREA	18,974 SQ. FT.
TOTAL:	18,974 SQ. FT.

FAR AREA DESIGNATION



MINIMUM BICYCLE PARKING STALLS REQUIRED

(PER CITY OF SAN MATEO MUNICIPAL CODE SECTION 27.04.202)

REQUIRED SHORT-TERM - RESIDENTIAL	
STUDIO AND ONE-BEDROOM UNIT @ 0.05 SPACES PER UNIT	57 UNITS x 0.05 = 2.85 SPACES
TWO-BEDROOM UNIT @ 0.10 SPACES PER UNIT	15 UNITS x 0.10 = 1.5 SPACES
TOTAL REQUIRED SHORT-TERM - RESIDENTIAL:	4.35 SPACES OR 5 SPACES
REQUIRED SHORT-TERM - OFFICE (GENERAL)	
1 SPACE PER 20,000 S.F. OF OFFICE AREA	98,717 S.F. / 20,000 S.F. = 4.93 SPACES OR 5 SPACES
REQUIRED LONG-TERM - RESIDENTIAL	
STUDIO AND ONE-BEDROOM UNIT @ 1.0 SPACE PER UNIT	57 UNITS x 1.0 = 57 SPACES
TWO-BEDROOM UNIT @ 1.25 SPACES PER UNIT	15 UNITS x 1.25 = 18.75 SPACES
TOTAL REQUIRED LONG-TERM - RESIDENTIAL:	75.75 SPACES OR 76 SPACES
REQUIRED LONG-TERM - OFFICE (GENERAL)	
1 SPACE PER 10,000 S.F. OF OFFICE AREA	98,717 S.F. / 10,000 S.F. = 9.87 SPACES OR 10 SPACES
PROVIDED SHORT-TERM SPACES:	
RESIDENTIAL:	6 SPACES
OFFICE:	8 SPACES
TOTAL:	12 SPACES
PROVIDED LONG-TERM SPACES:	
RESIDENTIAL:	80 SPACES
OFFICE:	10 SPACES
TOTAL:	90 SPACES

FAR AREA CALCULATIONS

FIRST LEVEL	
RESIDENTIAL LOBBY	1,821 SQ. FT.
RESIDENTIAL STAIR #1	229 SQ. FT.
RESIDENTIAL ELEVATORS	134 SQ. FT.
OFFICE SPACE	25,258 SQ. FT.
STAIR #2	524 SQ. FT.
OFFICE ELEVATORS	23,130 SQ. FT.
FLOOR AREA RESIDENTIAL*:	2,144 SQ. FT.
FLOOR AREA OFFICE*:	26,013 SQ. FT.
SECOND LEVEL	
OFFICE AREA	27,756 SQ. FT.
FLOOR AREA OFFICE*:	27,756 SQ. FT.
THIRD LEVEL	
OFFICE AREA	25,974 SQ. FT.
FLOOR AREA OFFICE*:	25,974 SQ. FT.
FOURTH LEVEL	
RESIDENTIAL AREA	23,056 SQ. FT.
FLOOR AREA RESIDENTIAL*:	23,056 SQ. FT.
FIFTH LEVEL	
RESIDENTIAL AREA	23,103 SQ. FT.
FLOOR AREA RESIDENTIAL*:	23,103 SQ. FT.
SIXTH LEVEL	
RESIDENTIAL AREA	23,103 SQ. FT.
FLOOR AREA RESIDENTIAL*:	23,103 SQ. FT.
SEVENTH LEVEL	
OFFICE AREA	18,974 SQ. FT.
FLOOR AREA OFFICE*:	18,974 SQ. FT.

TOTAL FAR FLOOR AREA RESIDENTIAL: 71,446 SQ. FT.
TOTAL FAR FLOOR AREA OFFICE : 98,717 SQ. FT.

Floor Area	Use	Level 1	Level 2	Level 3	Level 4	Level 5	Level 6	Level 7	Total Area	Project FAR
Residential Area	Residential Area	2,184				19,598	19,638	19,638	61,458	61,458
	Common Area Per Floor					3,458	3,465	3,465	10,386	10,386
Office Area	Office Area	28,013	27,756	25,974					18,974	98,717
Total FAR Floor Area									170,163	5.83

*PER San Mateo Municipal Code 27.04.200 (b) Measurement, other than single-family dwellings in F zoning districts.
 (1) Floor area is measured from the exterior facade of the building's wall planes, from the centerline of party walls, or from a line three feet from the edge of an awning, whichever produces the largest floor area. Stories exceeding 15 feet in height shall be counted as additional floor area, with the exception that ground floor retail may be up to 18 feet in height measured from first finish floor to second finish floor before being counted as additional floor area. Floor area also includes all accessory structures on the site and basements that meet the definition in subsection (c)(3).
 (2) Exclusions. The following are not counted as floor area:
 (A) Covered or open courts, and atriums, on the ground floor, provided that the area is not used as dwelling, office, retailing, or required access;
 (B) In multiple-level buildings, covered courts, if the retailing uses are open to the public. Multiple-level stairwells and elevators shall be counted only as ground floor area;
 (C) Covered walkways and balconies;
 (D) First floors, mechanical areas, penthouse, and top floors are counted only once as floor area, regardless of height;
 (E) Bicycle parking facilities;
 (F) Floor area designated for day care centers accessory to and intended to serve a multi-family, commercial, office or manufacturing use. Such floor area may be located within the primary structure or may be in a freestanding structure accessory to the primary structure;
 (G) Covered parking for office use shall not be counted as floor area in areas delineated for exclusion within an adopted plan, such as the Mariner's Island Specific Plan or the Bay Meadows Specific Plan.

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PA-2023-003
 PLANNING DEPARTMENT AREA CALCULATIONS
A0.22
 PROJECT NO. 215613

FIRE-RESISTANCE CODE SUMMARY

FIRE-RESISTANCE RATING REQUIREMENTS FOR BUILDING ELEMENTS (HOURS)													
BUILDING ELEMENT	(TABLE 601)												
	TYPE I A	TYPE I B	TYPE I C	TYPE I D	TYPE I E	TYPE I F	TYPE I G	TYPE I H	TYPE I I	TYPE I J	TYPE I K	TYPE I L	TYPE I M
Primary Structural Frame (See Section 200)	3 ^{1/2}	2 ^{1/2}											
Bearing Walls, Exterior	3	2	1	0	2	2	2	2	2	2	2	2	2
Bearing Walls, Interior	3 ^{1/2}	2 ^{1/2}											
Nonbearing Walls And Partitions - Exterior	See Table 705.5												
Nonbearing Walls And Partitions - Interior	0	0	0	0	0	0	0	0	0	0	0	0	0
Floor Construction and Associated Secondary Members (See Section 202)	2	2	1	0	1	0	0	0	0	0	0	0	0
Roof Construction and Associated Secondary Members (See Section 202)	1 1/2	1 1/2	1 1/2	0 1/2	0 1/2	0	0	0	0	0	0	0	0

- For S1: 1 foot = 304.8 mm.
- Roof supports: Fire-resistance ratings of primary structural frame and bearing walls are permitted to be reduced by 1 hour where supporting a roof only.
 - Except in Group A, E, F, I, J, L, M, R, R-1, R-2, R-2.1 and S-1 occupancies, high-rise buildings, and other applications listed in Section 1.11 regulated by the Office of the State Fire Marshal, fire protection of structural members in roof construction shall not be required, including protection of primary structural frame members, roof framing and decking where every part of the roof construction is 20 feet or more above any floor immediately below. Fire-retardant-treated wood members shall be allowed to be used for such unprotected members.
 - For Group A, E, F, I, J, L, M, R, R-1, R-2, and R-2.1 occupancies, high-rise buildings, and other applications listed in Section 1.11 regulated by the Office of the State Fire Marshal, fire protection of structural members other than the primary structural frame shall not be required, including protection of roof framing and decking where every part of the roof construction is 20 feet or more above any floor immediately below. Fire-retardant-treated wood members shall be allowed to be used for such unprotected members.
 - One-story portions of Group A and E assembly occupancies the roof-framing system is open to the assembly area and does not contain concealed spaces.
 - In all occupancies, heavy timber complying with Section 2034.1 shall be allowed for roof construction including primary structural frame members where a 1-hour or less fire-resistance rating is required.
 - Not less than the fire-resistance rating required by other sections of this code.
 - Not less than the fire-resistance rating based on fire separation distance (see Table 705.5).
 - Not less than the fire-resistance rating as referenced in Section 706.10.
 - Heavy timber bearing walls supporting more than two floors or more than a floor and a roof shall have a fire-resistance rating of not less than 1 hour.

FIRE-RESISTANCE RATING FOR EXTERIOR WALLS BASED ON FIRE SEPARATION DISTANCE (TABLE 705.5) ^{11,12}					
FIRE SEPARATION DISTANCE - X (FEET)	TYPE OF CONSTRUCTION	OCCUPANCY GROUP H, L	OCCUPANCY GROUP F-1, M, S-1	OCCUPANCY GROUP A, B, E, F-2, L, R ¹ , S-2, U ¹	OCCUPANCY GROUP
x < 5'	All	3	2	1	1
5 ≤ x < 10	IA, IVA	3	2	1	1
	Others	2	1	1	1
10 ≤ x < 30	IA, IB, IVA, IVB	2	1	1 ^{1/2}	1
	IIB, IVB	1	0	0	0
	Others	1	1	1 ^{1/2}	1
x ≥ 30	All	0	0	0	0

- For S1: 1 foot = 304.8 mm.
- Load-bearing exterior walls shall also comply with the fire-resistance rating requirements of Table 601.
 - See Section 706.1.1 for party walls.
 - Open parking garages complying with Section 406 shall not be required to have a fire-resistance rating.
 - The fire-resistance rating of an exterior wall is determined based upon the fire separation distance of the exterior wall and the story in which the wall is located.
 - For special requirements for Group I occupancies, see Section 415.6.
 - For special requirements for Group S aircraft hangars, see Section 412.3.1.
 - When Table 705.5 permits nonbearing exterior walls with unmitigated area of unprotected openings, the required fire-resistance rating for the exterior walls is 0 hours.
 - For a building containing only a Group U occupancy private garage or carport, the exterior wall shall not be required to have a fire-resistance rating where the fire separation distance is 5 feet (1523 mm) or greater or where equipped throughout with an automatic sprinkler system in accordance with Section 903.3 the fire-resistance rating shall not be required where the fire separation distance is 3 feet or greater.
 - For a Group R-3 building of Type II-B or Type V-B construction, the exterior wall shall not be required to have a fire-resistance rating where the fire separation distance is 5 feet (1523 mm) or greater or where equipped throughout with an automatic sprinkler system in accordance with Section 903.3 the fire-resistance rating shall not be required where the fire separation distance is 3 feet or greater.

CORRIDOR FIRE-RESISTANCE RATING (Table 1020.2)			
Occupancy	Occupant Load Served by Corridor	Required Fire-Resistance Rating (hours)	
		Without Sprinkler System	With Sprinkler System
H-1, H-2, H-3	All	Not Permitted	1 ^{1/2}
H-4, H-5, L	Greater Than 50	Not Permitted	1 ^{1/2}
A, B, E, F, M, S, U	Greater Than 30	1	0
R-1, R-2, R-3, R-3.1, R-4	Greater Than 10	1 ^{1/2}	1
I-2, I-3.1	Greater Than 5	Not Permitted	1
I-3, R-2.1	Greater Than 5	Not Permitted	1 ^{1/2}
H-4	All	1	0
E	Greater Than 10	1	0

- For requirements for occupancies in Group I-2 and I-3.1, see Sections 407.2 and 407.3.
- For a reduction in the fire-resistance rating for occupancies in Group I-3, see Section 408.2.
- Buildings equipped throughout with an automatic sprinkler system in accordance with Section 903.3.1.1 or 903.3.1.2 where allowed.
- Group R-3 and R-4 buildings equipped throughout with an automatic sprinkler system in accordance with section 903.3.1.3. See Section 903.2.3 for occupancies where automatic sprinkler systems are permitted in accordance with section 903.3.1.3.

PLUMBING FIXTURE TABULATIONS

LEVEL 01 FLOOR (OFFICE)			
B OCCUPANCY NET AREA: 20,013 S.F.			
20,013 S.F. / 150 S.F. PER OCCUPANT = 133.42 PERSONS; ROUND UP TO 174 PERSONS OR 87 MEN & 87 WOMEN			
MEN'S FIXTURES	REQUIRED:	WOMEN'S FIXTURES	REQUIRED:
WATER CLOSETS	87 OCCUPANTS or 2	WATER CLOSETS	87 OCCUPANTS or 4
URINALS:	87 OCCUPANTS or 1	LAVATORIES:	87 OCCUPANTS or 2
LAVATORIES:	87 OCCUPANTS or 2		

RESTROOM FIXTURE REQUIREMENTS AND PROVIDED TOTALS FOR LEVEL 01 FLOOR OFFICE			
PER CBC SECTION 422.1: WHERE APPLYING THE FIXTURE RATIOS IN TABLE 422.1 RESULTS IN FRACTIONAL NUMBERS, SUCH NUMBERS SHALL BE ROUNDED TO THE NEXT WHOLE NUMBER. FOR MULTIPLE OCCUPANCIES, FRACTIONAL NUMBERS SHALL BE FIRST SUMMED AND THEN ROUNDED TO THE NEXT WHOLE NUMBER.			
MEN'S FIXTURES	REQUIRED:	WOMEN'S FIXTURES	REQUIRED:
WATER CLOSETS:	2	WATER CLOSETS:	4
URINALS:	1	LAVATORIES:	2
LAVATORIES:	2		
HIGH DRINKING FOUNTAIN SERVICE SINK	1		
MEN'S FIXTURES	PROVIDED:	WOMEN'S FIXTURES	PROVIDED:
WATER CLOSETS:	2	WATER CLOSETS:	4
URINALS:	2	LAVATORIES:	2
LAVATORIES:	2		
HIGH DRINKING FOUNTAIN SERVICE SINK	1		

LEVEL 02 FLOOR (OFFICE)			
B OCCUPANCY NET AREA: 47,736 S.F.			
27,736 S.F. / 150 S.F. PER OCCUPANT = 184.91 OCCUPANTS; ROUND UP TO 185 OCCUPANTS OR 92 MEN & 93 WOMEN			
MEN'S FIXTURES	REQUIRED:	WOMEN'S FIXTURES	REQUIRED:
WATER CLOSETS	92 OCCUPANTS or 2	WATER CLOSETS:	93 OCCUPANTS or 4
URINALS:	92 OCCUPANTS or 1	LAVATORIES:	93 OCCUPANTS or 2
LAVATORIES:	92 OCCUPANTS or 2		
HIGH DRINKING FOUNTAIN SERVICE SINK	1		
MEN'S FIXTURES	PROVIDED:	WOMEN'S FIXTURES	PROVIDED:
WATER CLOSETS:	2	WATER CLOSETS:	4
URINALS:	2	LAVATORIES:	2
LAVATORIES:	2		
HIGH DRINKING FOUNTAIN SERVICE SINK	1		

LEVEL 03 FLOOR (OFFICE)			
B OCCUPANCY NET AREA: 25,974 S.F.			
25,974 S.F. / 150 S.F. PER OCCUPANT = 173.16 OCCUPANTS; ROUND UP TO 173 OCCUPANTS OR 86 MEN & 87 WOMEN			
MEN'S FIXTURES	REQUIRED:	WOMEN'S FIXTURES	REQUIRED:
WATER CLOSETS:	86 OCCUPANTS or 2	WATER CLOSETS:	87 OCCUPANTS or 4
URINALS:	86 OCCUPANTS or 1	LAVATORIES:	87 OCCUPANTS or 2
LAVATORIES:	86 OCCUPANTS or 2		
HIGH DRINKING FOUNTAIN SERVICE SINK	1		
MEN'S FIXTURES	PROVIDED:	WOMEN'S FIXTURES	PROVIDED:
WATER CLOSETS:	2	WATER CLOSETS:	4
URINALS:	2	LAVATORIES:	2
LAVATORIES:	2		
HIGH DRINKING FOUNTAIN SERVICE SINK	1		

LEVEL 04 FLOOR (OFFICE)			
B OCCUPANCY NET AREA: 18,974 S.F.			
18,974 S.F. / 150 S.F. PER OCCUPANT = 126.49 OCCUPANTS; ROUND UP TO 127 OCCUPANTS OR 63 MEN & 64 WOMEN			
MEN'S FIXTURES	REQUIRED:	WOMEN'S FIXTURES	REQUIRED:
WATER CLOSETS:	63 OCCUPANTS or 2	WATER CLOSETS:	64 OCCUPANTS or 4
URINALS:	63 OCCUPANTS or 1	LAVATORIES:	64 OCCUPANTS or 2
LAVATORIES:	63 OCCUPANTS or 2		
HIGH DRINKING FOUNTAIN SERVICE SINK	1		
MEN'S FIXTURES	PROVIDED:	WOMEN'S FIXTURES	PROVIDED:
WATER CLOSETS:	2	WATER CLOSETS:	4
URINALS:	1	LAVATORIES:	2
LAVATORIES:	2		
HIGH DRINKING FOUNTAIN SERVICE SINK	1		

LEVEL 07 FLOOR (OFFICE)			
B OCCUPANCY NET AREA: 18,974 S.F.			
18,974 S.F. / 150 S.F. PER OCCUPANT = 126.49 OCCUPANTS; ROUND UP TO 127 OCCUPANTS OR 63 MEN & 64 WOMEN			
MEN'S FIXTURES	REQUIRED:	WOMEN'S FIXTURES	REQUIRED:
WATER CLOSETS:	63 OCCUPANTS or 2	WATER CLOSETS:	64 OCCUPANTS or 4
URINALS:	63 OCCUPANTS or 1	LAVATORIES:	64 OCCUPANTS or 2
LAVATORIES:	63 OCCUPANTS or 2		
HIGH DRINKING FOUNTAIN SERVICE SINK	1		
MEN'S FIXTURES	PROVIDED:	WOMEN'S FIXTURES	PROVIDED:
WATER CLOSETS:	2	WATER CLOSETS:	4
URINALS:	2	LAVATORIES:	2
LAVATORIES:	2		
HIGH DRINKING FOUNTAIN SERVICE SINK	1		

LEVEL 07 FLOOR (OFFICE)			
B OCCUPANCY NET AREA: 18,974 S.F.			
18,974 S.F. / 150 S.F. PER OCCUPANT = 126.49 OCCUPANTS; ROUND UP TO 127 OCCUPANTS OR 63 MEN & 64 WOMEN			
MEN'S FIXTURES	REQUIRED:	WOMEN'S FIXTURES	REQUIRED:
WATER CLOSETS:	63 OCCUPANTS or 2	WATER CLOSETS:	64 OCCUPANTS or 4
URINALS:	63 OCCUPANTS or 1	LAVATORIES:	64 OCCUPANTS or 2
LAVATORIES:	63 OCCUPANTS or 2		
HIGH DRINKING FOUNTAIN SERVICE SINK	1		
MEN'S FIXTURES	PROVIDED:	WOMEN'S FIXTURES	PROVIDED:
WATER CLOSETS:	2	WATER CLOSETS:	4
URINALS:	1	LAVATORIES:	2
LAVATORIES:	2		
HIGH DRINKING FOUNTAIN SERVICE SINK	1		

RESTROOM FIXTURE REQUIREMENTS AND PROVIDED TOTALS FOR LEVEL 07 FLOOR			
MEN'S FIXTURES	REQUIRED:	WOMEN'S FIXTURES	REQUIRED:
WATER CLOSETS:	2	WATER CLOSETS:	4
URINALS:	1	LAVATORIES:	2
LAVATORIES:	2		
HIGH DRINKING FOUNTAIN SERVICE SINK	1		
MEN'S FIXTURES	PROVIDED:	WOMEN'S FIXTURES	PROVIDED:
WATER CLOSETS:	2	WATER CLOSETS:	4
URINALS:	2	LAVATORIES:	2
LAVATORIES:	2		
HIGH DRINKING FOUNTAIN SERVICE SINK	1		

LEVEL 07 FLOOR (OFFICE)			
B OCCUPANCY NET AREA: 18,974 S.F.			
18,974 S.F. / 150 S.F. PER OCCUPANT = 126.49 OCCUPANTS; ROUND UP TO 127 OCCUPANTS OR 63 MEN & 64 WOMEN			
MEN'S FIXTURES	REQUIRED:	WOMEN'S FIXTURES	REQUIRED:
WATER CLOSETS:	63 OCCUPANTS or 2	WATER CLOSETS:	64 OCCUPANTS or 4
URINALS:	63 OCCUPANTS or 1	LAVATORIES:	64 OCCUPANTS or 2
LAVATORIES:	63 OCCUPANTS or 2		
HIGH DRINKING FOUNTAIN SERVICE SINK	1		
MEN'S FIXTURES	PROVIDED:	WOMEN'S FIXTURES	PROVIDED:
WATER CLOSETS:	2	WATER CLOSETS:	4
URINALS:	2	LAVATORIES:	2
LAVATORIES:	2		
HIGH DRINKING FOUNTAIN SERVICE SINK	1		

ALLOWABLE BUILDING AREA

ABOVE-GRADE BUILDING (OFFICE AND RESIDENTIAL)			
AUTOMATIC SPRINKLER CONFIGURATION:		SM (BUILDING TWO OR MORE STORES ABOVE GRADE PLANE, EQUIPPED THROUGHOUT WITH AN AUTOMATIC SPRINKLER SYSTEM IN ACCORDANCE WITH SECTION 903.3.1.1)	
BELOW 3RD FLOOR	CONSTRUCTION TYPE: I-A		
ABOVE 3RD FLOOR	CONSTRUCTION TYPE: III-A		
OCCUPANCY CLASSIFICATION			
		B	R-2
MAXIMUM HEIGHT (TABLE 504.2)		85'-0"	85'-0"
MAXIMUM NUMBER OF STORES (TABLE 504.4)		6	5
SM ALLOWABLE AREA FACTOR (TABLE 506.2)		85.50 S.F.	72.000 S.F.
NS AREA FACTOR (TABLE 506.2)		28.500 S.F.	24.000 S.F.
HEIGHT OF PROPOSED BUILDING: 75'-0" (TOP OF PLATE PER ELEV.)			
NUMBER OF STORES ABOVE GRADE (STARTS AT TOP OF LA PODIUM PER 510.2)		3	3
PROPOSED AREA PER FLOOR			
		B	R-2
LEVEL 01		26,013 S.F.	2,184 S.F.
LEVEL 02		27,736 S.F.	-
LEVEL 03		25,974 S.F.	-
LEVEL 04		-	23,096 S.F.
LEVEL 05		-	23,103 S.F.
LEVEL 06		-	23,103 S.F.
LEVEL 07		18,974 S.F.	-
TOTAL BUILDING AREA ABOVE GRADE		98,717 S.F.	71,446 S.F.

BELOW GRADE BUILDING (PARKING GARAGE)			
CONSTRUCTION TYPE: I-A			
OCCUPANCY CLASSIFICATION: S-2			
AUTOMATIC SPRINKLER CONFIGURATION:		S1 (BUILDING A MAXIMUM OF ONE STORY ABOVE GRADE PLANE, EQUIPPED THROUGHOUT WITH AN AUTOMATIC SPRINKLER SYSTEM IN ACCORDANCE WITH SECTION 903.3.1.1)	
OCCUPANCY CLASSIFICATION			
		S-2	
MAXIMUM HEIGHT (TABLE 504.2)		UNLIMITED	
MAXIMUM NUMBER OF STORES (TABLE 504.4)		UNLIMITED	
S1 ALLOWABLE AREA FACTOR (TABLE 506.2)		UNLIMITED	
NS AREA FACTOR (TABLE 506.2)		UNLIMITED	
PROPOSED AREA PER FLOOR			
BUILDING LEVEL		BUILDING AREA	
PARKING LEVEL -2		32,247 S.F.	
PARKING LEVEL -1		32,247 S.F.	
TOTAL BUILDING AREA BELOW GRADE		64,494 S.F.	

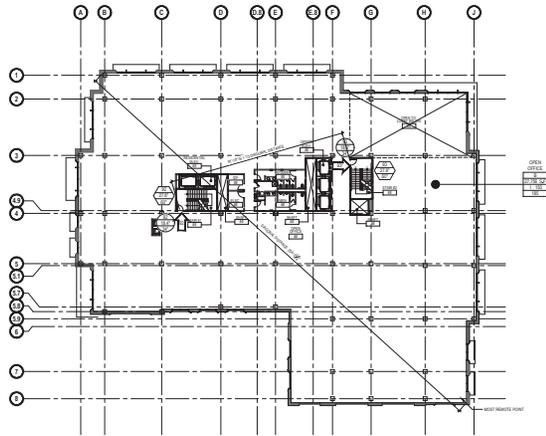
- SUMMARY:
- ABOVE-GRADE OFFICE AND RESIDENTIAL:
- TYPE I-A CONSTRUCTION (BUSINESS) OCCUPANCY LEVEL 01 TO LEVEL 03
 - TYPE II-A CONSTRUCTION (RESIDENTIAL) OCCUPANCY LEVEL 04 TO LEVEL 06
- BELOW GRADE PARKING STRUCTURE:
- TYPE I-A CONSTRUCTION
- Below grade Parking Structure: Type I-A construction.
 - Three-hour rated construction is required for exterior walls and concrete slab separating garage from the office building.
 - Minimum concrete thickness to be 6".
 - Two-hour rating is required for other floors with minimum concrete thickness of 5".
 - All shafts and stairs to be constructed with two-hour partitions.

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PLANNING APPLICATION FOR:
MECAH VENTURES
BLOCK 20
SAN MATEO, CA 94401

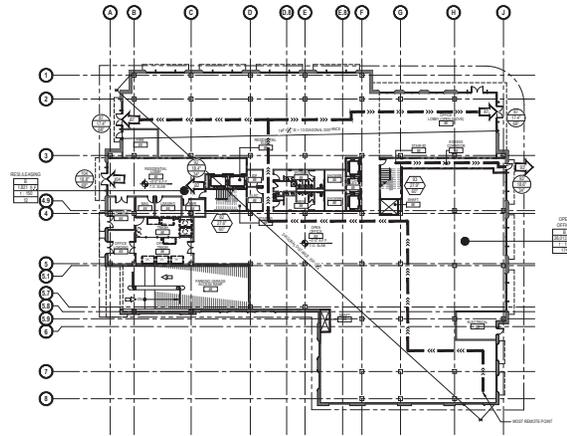
DATE	DESCRIPTION
08.22.2022	ZONING PRE-APPLICATION
01.13.2023	FIRST PLANNING SUBMITTAL
04.14.2023	SECOND PLANNING SUBMITTAL
07.14.2023	THIRD PLANNING SUBMITTAL
11.15.2023	FOURTH PLANNING SUBMITTAL
03.16.2024	FIFTH PLANNING SUBMITTAL





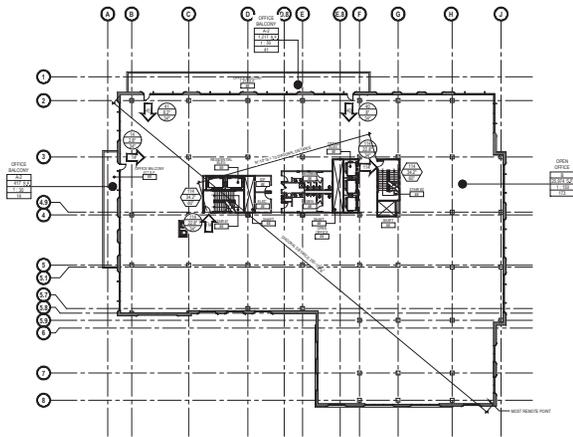
SECOND LEVEL EGRESS PLAN

SCALE: 1/32" = 1'-0"



FIRST LEVEL EGRESS PLAN

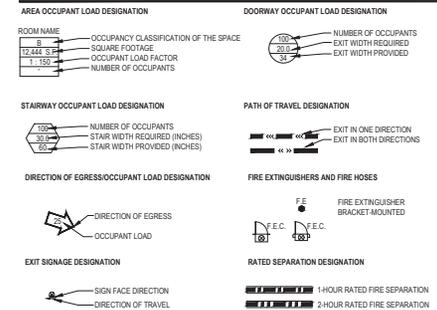
SCALE: 1/32" = 1'-0"



THIRD LEVEL EGRESS PLAN

SCALE: 1/32" = 1'-0"

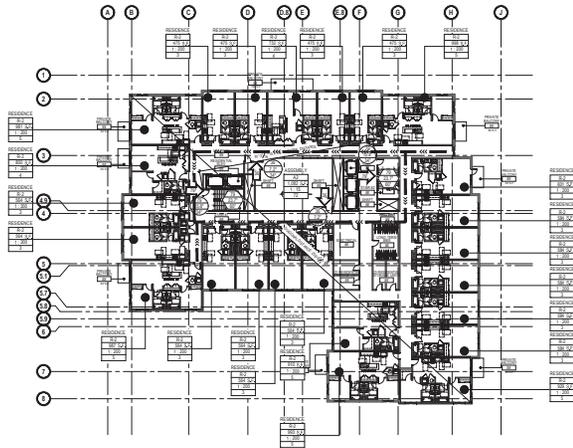
SYMBOL KEY



EXITING WIDTH TABULATIONS

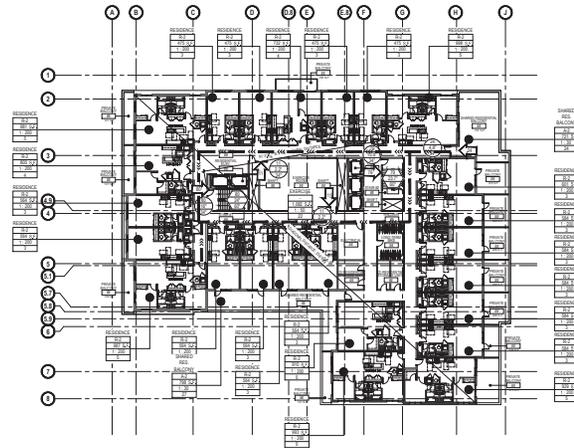
THIS BUILDING IS EQUIPPED WITH AUTOMATIC SPRINKLER SYSTEM. EXIT WIDTH REQUIRED IS 0.3' PER PERSON FOR STAIRS AND 0.2' PER DOORS AND OTHER EXIT ELEMENTS, PER CBC SECTION 1005.3.

DATE	DESCRIPTION
06.22.2022	ZONING PRE-APPLICATION
01.13.2023	FIRST PLANNING SUBMITTAL
04.14.2023	SECOND PLANNING SUBMITTAL
07.14.2023	THIRD PLANNING SUBMITTAL
11.15.2023	FOURTH PLANNING SUBMITTAL
03.16.2024	FIFTH PLANNING SUBMITTAL



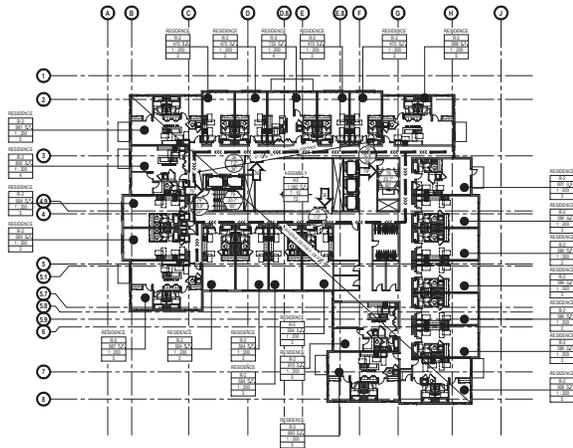
FIFTH LEVEL EGRESS PLAN

SCALE: 1/32" = 1'-0"



FOURTH LEVEL EGRESS PLAN

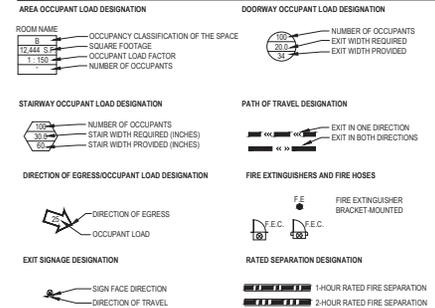
SCALE: 1/32" = 1'-0"



SIXTH LEVEL EGRESS PLAN

SCALE: 1/32" = 1'-0"

SYMBOL KEY



EXITING WIDTH TABULATIONS

THIS BUILDING IS EQUIPPED WITH AUTOMATIC SPRINKLER SYSTEM. EXIT WIDTH REQUIRED IS 0.2' PER PERSON FOR STAIRS AND 0.2' PER DOORS AND OTHER EXIT ELEMENTS, PER CBC SECTION 1006.3



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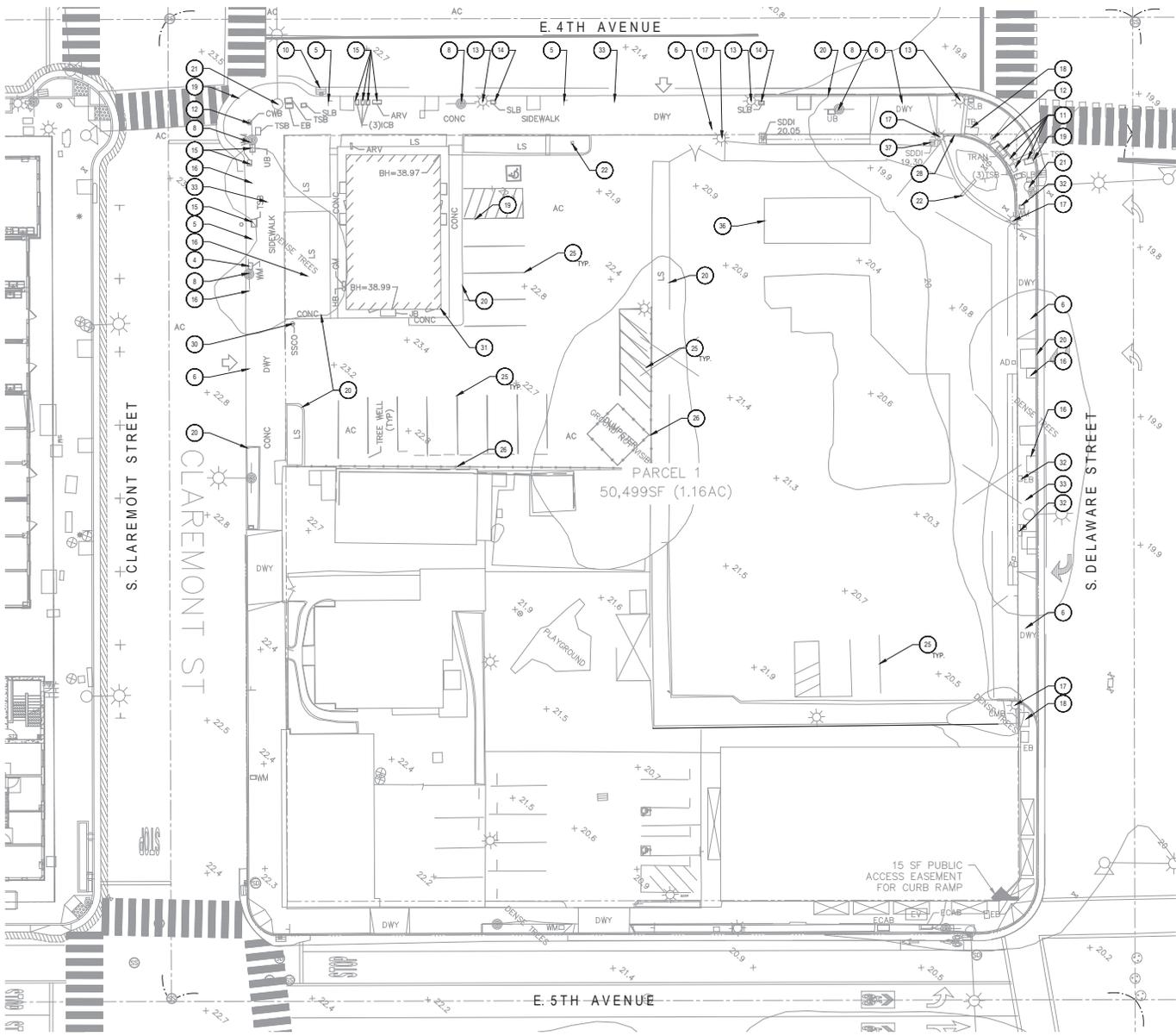
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04.14.2023	SECOND PLANNING SUBMITTAL
07.14.2023	THIRD PLANNING SUBMITTAL
11.15.2023	FOURTH PLANNING SUBMITTAL
03.16.2024	FIFTH PLANNING SUBMITTAL

PA-2023-003

EGRESS DIAGRAMS

A 0.33

PROJECT NO. 215613



KEY NOTES - EXISTING/ DEMOLITION

- | | |
|---|--|
| 1 NOT USED | 22 BUSINESS SIGN TO BE REMOVED |
| 2 NOT USED | 23 NOT USED |
| 3 NOT USED | 24 NOT USED |
| 4 NOT USED | 25 PARKING STRIPPING TO BE REMOVED |
| 5 STREET SIGN TO BE RELOCATED | 26 FENCE TO BE REMOVED |
| 6 DRIVEWAY TO BE REMOVED | 27 NOT USED |
| 7 NOT USED | 28 STORM DRAIN LATERAL TO BE CUT, CAPPED AND ABANDONED |
| 8 JOINT POLE TO BE REMOVED | 29 NOT USED |
| 9 NOT USED | 30 NOT USED |
| 10 STORM DRAIN CATCH BASIN TO BE REMOVED AND REPLACED | 31 BUILDING STRUCTURE TO BE REMOVED |
| 11 ELECTRICAL BOX TO REMAIN | 32 UTILITY BOX TO BE REMOVED |
| 12 PEDESTRIAN BUTTON TO REMAIN | 33 SIDEWALK TO BE REMOVED (TYP.) |
| 13 STREET LIGHT TO BE RELOCATED | 34 NOT USED |
| 14 STREET LIGHT BOX TO BE RELOCATED | 35 NOT USED |
| 15 UTILITY BOX TO REMAIN | 36 GAS STATION OVERHANG TO BE REMOVED |
| 16 TREE TO BE REMOVED | 37 STORM DRAIN CATCH BASIN TO BE REMOVED |
| 17 STREET LIGHT TO BE REMOVED | |
| 18 TELECOM BOX TO REMAIN | |
| 19 CURB RAMP TO BE REMOVED AND REPLACED | |
| 20 CURB AND GUTTER TO BE REMOVED AND REPLACED | |
| 21 TRAFFIC SIGNAL AND BOX TO REMAIN | |

DEMOLITION SITE PLAN

SCALE: 1/8" = 1'-0"



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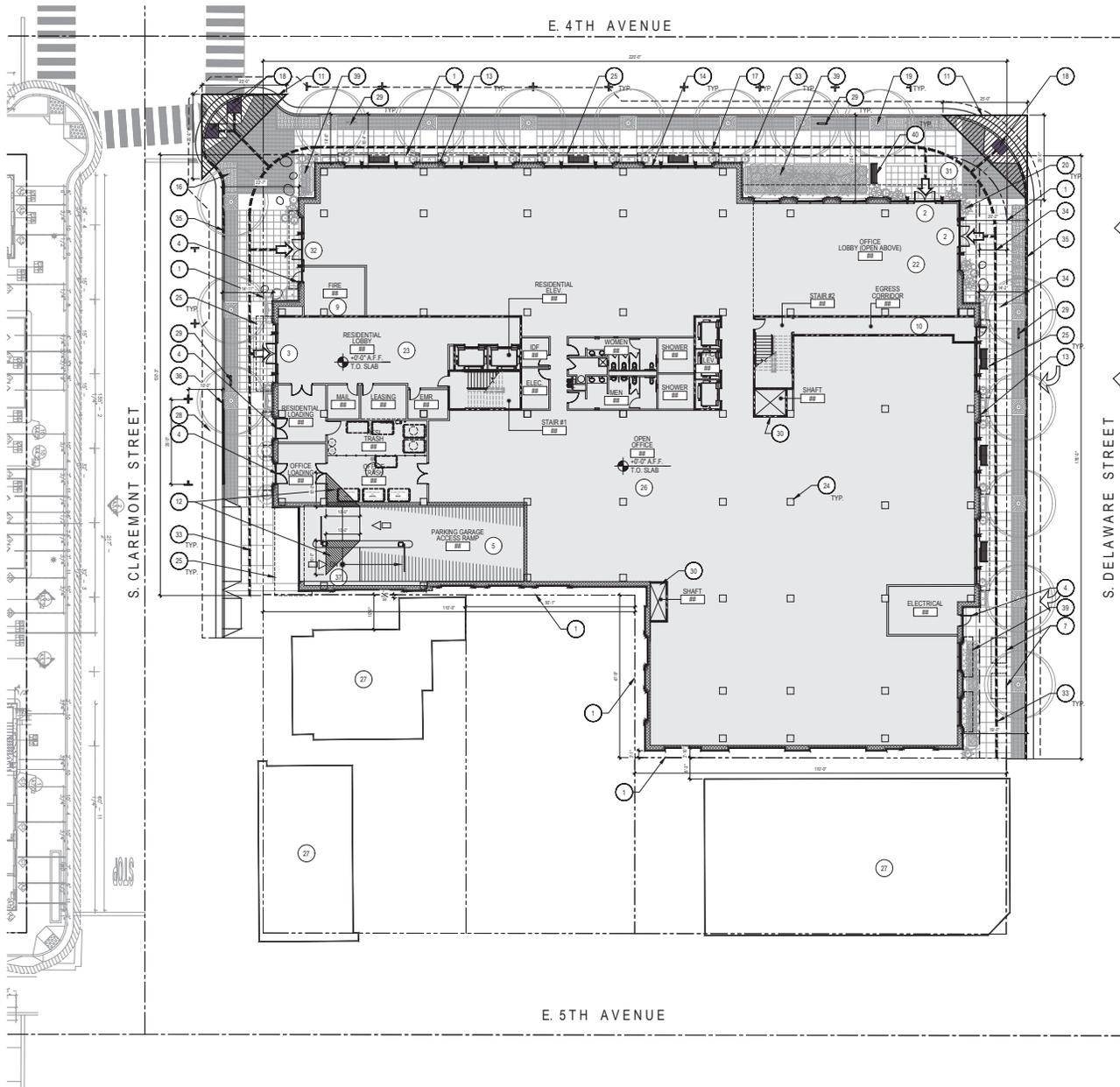
PLANNING APPLICATION FOR:
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DATE	DESCRIPTION
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01.11.2023	FIRST PLANNING SUBMITTAL
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07.14.2023	THIRD PLANNING SUBMITTAL
11.15.2023	FOURTH PLANNING SUBMITTAL
03.19.2024	FIFTH PLANNING SUBMITTAL

PA-2023-003
DEMOLITION SITE PLAN

A1.00

PROJECT NO: 215513



PROJECT DATA

ASSESSOR'S PARCEL NO.:	034186110, 034186080
ZONING:	CBDS - CENTRAL BUSINESS SUPPORT
SITE AREA:	33,790 S.F. OR 0.77 ACRES
BUILDING HEIGHT:	50'-0" MAXIMUM
MAX F.A.R. (FLOOR AREA RATIO):	3.0 OR 101,370 S.F.
MAX RESIDENTIAL UNITS (50 D.U. PER ACRE):	58 UNITS
MAX RESIDENTIAL UNITS WITH 50% STATE DENSITY BONUS:	58 UNITS
MAX RESIDENTIAL UNITS WITH 100% STATE DENSITY BONUS:	116 UNITS
FLOOR AREA (7-STORY BUILDING):	
FIRST LEVEL - RESIDENTIAL:	2,184 S.F.
SECOND LEVEL - OFFICE:	26,013 S.F.
THIRD LEVEL - OFFICE:	27,758 S.F.
FOURTH LEVEL - RESIDENTIAL:	25,974 S.F.
FIFTH LEVEL - RESIDENTIAL:	23,056 S.F.
SIXTH LEVEL - RESIDENTIAL:	23,103 S.F.
SEVENTH LEVEL - OFFICE:	23,103 S.F.
TOTAL BUILDING AREA:	178,163 S.F.
TOTAL OFFICE AREA:	98,717 S.F.
TOTAL RESIDENTIAL AREA:	71,366 S.F.
TOTAL F.A.R. (FLOOR AREA RATIO):	5.03
COMMON OFFICE OPEN SPACE AT LEVEL 3:	1,634 S.F.
COMMON OFFICE OPEN SPACE AT LEVEL 7:	3,514 S.F.
TOTAL COMMON OFFICE SPACE:	5,148 S.F.
# DWELLING UNITS PER FLOOR	
FOURTH LEVEL:	24 UNITS
FIFTH LEVEL:	24 UNITS
SIXTH LEVEL:	24 UNITS
TOTAL # DWELLING UNITS:	72 UNITS (OR 94 DUB AC)
DWELLING UNIT MIX	
STUDIO:	48 UNITS OR 66%
ONE BEDROOM:	9 UNITS OR 13%
TWO BEDROOM:	15 UNITS OR 21%
BMU UNIT REQUIREMENTS - PER SOB ON BASE DENSITY (29 UNITS)	
50% INCREASE - 19% VERY LOW INCOME:	8 UNITS
ADDITIONAL 50% - 10% MODERATE INCOME:	8 UNITS
TOTAL (PROVIDED):	12 UNITS

MINIMUM BICYCLE PARKING STALLS REQUIRED

(PER CITY OF SAN MATEO MUNICIPAL CODE SECTION 27.64.302)

REQUIRED SHORT-TERM - RESIDENTIAL	REQUIRED SHORT-TERM - OFFICE (GENERAL)
STUDIO AND ONE-BEDROOM UNIT @ 0.15 SPACES PER UNIT	1 SPACE PER 20,000 S.F. OF OFFICE AREA
57 UNITS x 0.05 = 2.85 SPACES	98,717 S.F. / 20,000 S.F. = 4.93 SPACES OR 5 SPACES
TWO-BEDROOM UNIT @ 0.10 SPACES PER UNIT	REQUIRED LONG-TERM - OFFICE (GENERAL)
15 UNITS x 0.10 = 1.5 SPACES	1 SPACE PER 10,000 S.F. OF OFFICE AREA
TOTAL REQUIRED SHORT-TERM - RESIDENTIAL: 4.35 SPACES OR 5 SPACES	98,717 S.F. / 10,000 S.F. = 9.87 SPACES OR 10 SPACES
REQUIRED LONG-TERM - RESIDENTIAL	PROVIDED SHORT-TERM SPACES:
STUDIO AND ONE-BEDROOM UNIT @ 1.0 SPACE PER UNIT	RESIDENTIAL: 6 SPACES
57 UNITS x 1.0 = 57 SPACES	OFFICE: 12 SPACES
TWO-BEDROOM UNIT @ 1.25 SPACES PER UNIT	PROVIDED LONG-TERM SPACES (PROVIDED @ 4TH, 5TH & 6TH FLOOR)
15 UNITS x 1.25 = 18.75 SPACES	RESIDENTIAL: 80 SPACES
TOTAL REQUIRED LONG-TERM - RESIDENTIAL: 75.75 SPACES OR 76 SPACES	OFFICE: 20 SPACES
	TOTAL: 96 SPACES

KEY NOTES

- | | |
|---|--|
| 1 EXISTING PROPERTY LINE | 19 STREET TREES IN TREE GRATES AND ACCENT PAVING BAND |
| 2 PRIMARY OFFICE ENTRANCE | 20 PLANTED CONTAINERS |
| 3 PRIMARY RESIDENTIAL ENTRANCE | 21 EGRESS DOOR |
| 4 SERVICE DOOR | 22 OFFICE LOBBY |
| 5 ACCESS RAMP TO BELOW GRADE PARKING STRUCTURE W/ TRANSITION SLOPE TOP BOTTOM SIDEWALK | 23 RESIDENTIAL LOBBY |
| 6 RESIDENTIAL TRANSFORMER ROOM | 24 STRUCTURAL COLUMN |
| 7 UNDERGROUND TRANSFORMERS | 25 CANOPY ABOVE (SHOWN DASHED) |
| 8 TRASH ROOM | 26 OPEN OFFICE |
| 9 FIRE PUMP ROOM | 27 EXISTING BUILDING STRUCTURE TO REMAIN |
| 10 EGRESS CORRIDOR | 28 ON STREET LOADING ZONE |
| 11 25'-0" X 35'-0" VISIBILITY TRIANGLE | 29 SHORT-TERM BIKE RACK |
| 12 10'-0" X 10'-0" VISION TRIANGLE | 30 MECHANICAL SHAFT (2HR FIRE RATED) |
| 13 EXTERIOR WALLS - REFER TO EXTERIOR ELEVATIONS | 31 PROPOSED PUBLIC ART LOCATION |
| 14 EXTERIOR ALUM. GLASS STOREFRONT WINDOW SYSTEM | 32 SECONDARY OFFICE ENTRANCE |
| 15 SHORT-TERM BIKE RACK INSTALLED IN BRICK BANDING AT SIDEWALK FURNITURE ZONE | 33 ACCESSIBLE PATH OF TRAVEL (SHOWN DASHED) |
| 16 LOW GRASSES OR ACCENT PLANTS COLORED CONCRETE ACCENT PAVING AT PRIMARY ENTRANCES TO THE BUILDING | 34 PROPOSED SIDEWALK ACCESS EASEMENT |
| 17 TYPICAL FRONTAGE CONCRETE SIDEWALK | 35 PAINTED RED CURB |
| 18 ADA RAMP AND TRUNCATED DOMES | 36 PAINTED YELLOW CURB AT LOADING AREA |
| | 37 ACCESS TO BELOW GRADE PARKING WITH VISUAL AND AUDIBLE ALARMS FOR PEDESTRIAN SAFETY RESTAURANT ENTRANCE DOOR |
| | 38 RAISED PLANTER |
| | 39 SEATING AREA. REFER TO LANDSCAPE PLAN |
| | 40 |

REFER TO SHEET A1.00 FOR EXISTING UTILITIES, OBSTRUCTIONS, ETC.
 REFER TO SHEET A1.01A FOR BUILDING CONTEXT AND ADJACENT PROPERTIES
 REFER TO SHEET A1.01B FOR EXISTING TREES AND TREE SCHEDULE
 REFER TO SHEET A1.01C FOR ON-SITE WASTE MANAGEMENT PLAN

ARCHITECTURAL SITE PLAN

SCALE: 1/16" = 1'-0"



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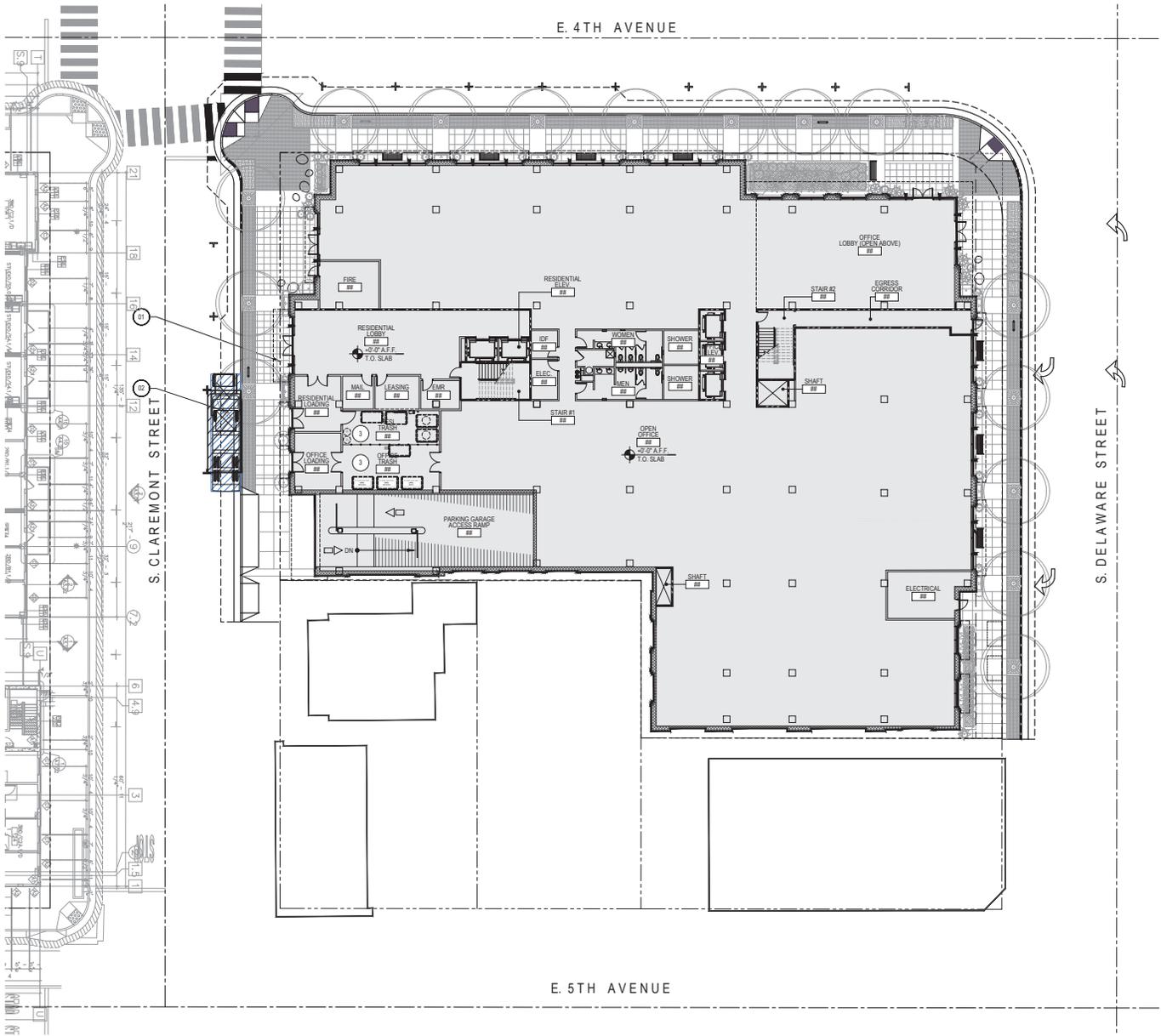
PLANNING APPLICATION FOR:
MECAH VENTURES
BLOCK 20
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DATE	DESCRIPTION
06.22.2022	ZONING PRE-APPLICATION
01.13.2023	FIRST PLANNING SUBMITTAL
04.14.2023	SECOND PLANNING SUBMITTAL
07.14.2023	THIRD PLANNING SUBMITTAL
11.03.2023	FOURTH PLANNING SUBMITTAL
03.18.2024	FIFTH PLANNING SUBMITTAL

PA-2023-003
 ARCHITECTURAL SITE PLAN

A1.01

PROJECT NO. 215513



KEY NOTES

- 1 EXISTING PROPERTY LINE
- 2 RECOLOGY WASTE STAGING AREA/ ON STREET LOADING ZONE
- 3 PROPOSED OFFICE AND RESIDENTIAL TRASHY ROOM LOCATION
- 4 PROPOSED SEVEN-STORY MIXED USE BUILDING



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03.16.2024	FIFTH PLANNING SUBMITTAL

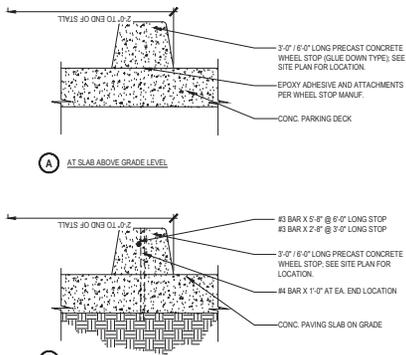
WASTE MANAGEMENT SITE PLAN



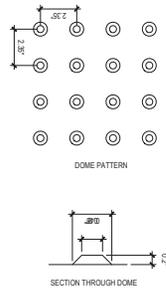
PA-2023-003
 WASTE MANAGEMENT
 SITE PLAN

A1.01C

PROJECT NO. 215613



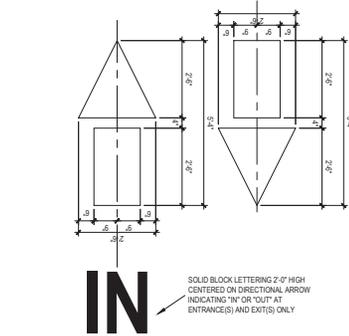
13 CONCRETE CURB
SCALE: 1/12"=1'-0"



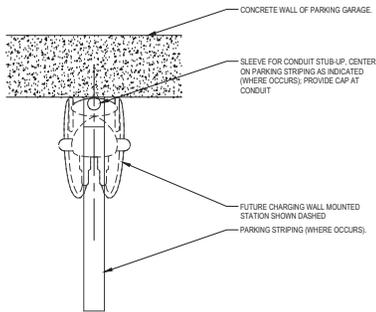
9 TRUNCATED DOMES
SCALE: 3/4"=1'-0"

TRUNCATED DOME SURFACES ARE REQUIRED IN THE FOLLOWING LOCATIONS:

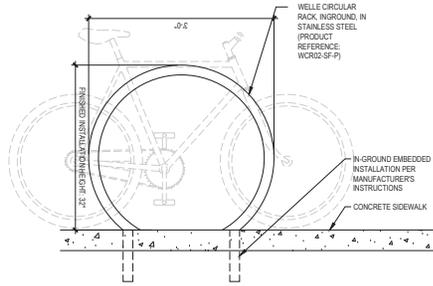
- WALKWAYS CROSSING VEHICULAR WAYS WITH SLOPES BETWEEN 3% (1:20) AND 6.67% (1:15). FULL SURFACE OF THE RAMP SHALL HAVE TRUNCATED DOMES.
- WALKWAYS CROSSING VEHICULAR WAYS WITH SLOPES BETWEEN 6.67% (1:15) AND 16.67% (1:12). 3' WIDE X (WIDTH OF SIDEWALK) AREA OF TRUNCATED DOMES.
- THE TRUNCATED DOME SURFACE DOES NOT NEED TO BE YELLOW, IT ONLY NEEDS TO CONTRAST VISUALLY WITH ADJACENT SURFACES, AND IT MUST BE INTEGRALLY COLORED.



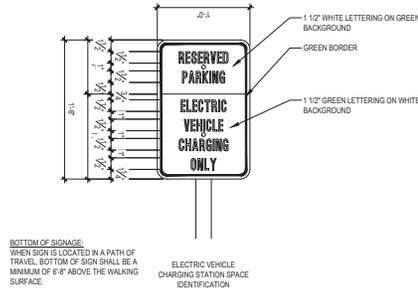
5 DIRECTIONAL ARROW
SCALE: 1/2"=1'-0"



14 FUTURE EV CHARGING STUB OUT
SCALE: 1/4"=1'-0"

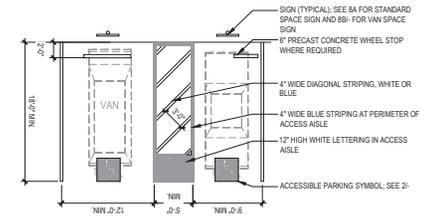


10 SHORT-TERM BIKE RACK
SCALE: 1/4"=1'-0"

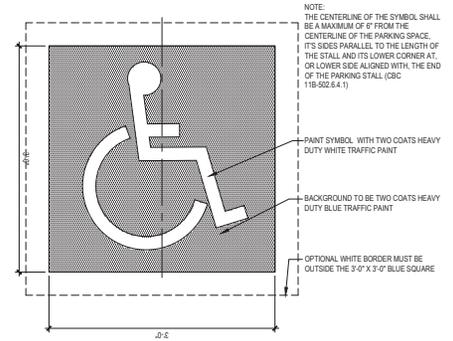


6 ELECTRIC VEHICLE CHARGING STATION SIGNAGE
SCALE: 1/12"=1'-0"

- ALL PARKING SPACES AND ACCESS AISLE SHALL HAVE A MAXIMUM SLOPE IN ALL DIRECTIONS OF 1:48.
- PEDESTRIAN WAYS WHICH ARE ACCESSIBLE TO PERSONS WITH DISABILITIES SHALL BE PROVIDED FROM EACH ACCESSIBLE SPACE TO RELATED FACILITIES. REFER TO SITE PLAN FOR LOCATION OF ACCESSIBLE PATH OF TRAVEL, LINKING ACCESSIBLE TO RELATED FACILITIES.
- ACCESS AISLE MAY BE SHARED BY TANDEM SPACES. IF ONE SPACE IS VAN ACCESSIBLE, THE ACCESS AISLE MUST BE ON THE PASSENGER SIDE OF SPACE.
- VAN PARKING CONFIGURATION A1 SHALL BE PERMITTED TO BE 10'6" (9'-0") WIDE MINIMUM WHERE THE ACCESS AISLE IS 9'6" (8'-0") WIDE MINIMUM. ACCESS AISLE FOR VAN ACCESSIBLE PARKING SHALL BE ON THE PASSENGER SIDE.
- WHEN NO CURB OR BARRIER IS PROVIDED AT THE FRONT OF STALL AND THERE IS A WALKWAY IN FRONT OF THE STALL A WHEEL STOP IS REQUIRED WHICH WILL PREVENT ENCRoACHMENT OF CARS OVER WALKWAYS.



1 ACCESSIBLE PARKING SPACES
SCALE: 1/8"=1'-0"



2 ACCESSIBILITY PARKING SYMBOL
SCALE: N.T.S.



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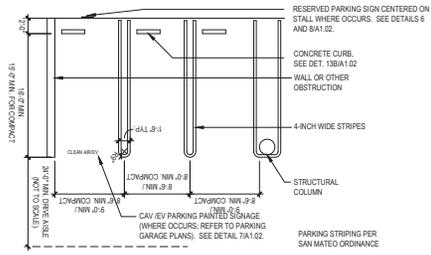
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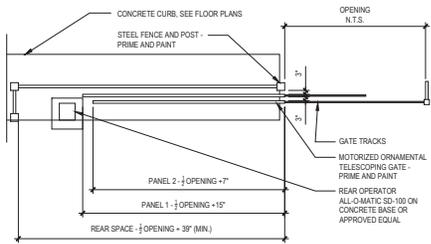
SITE DETAILS

A 1.02

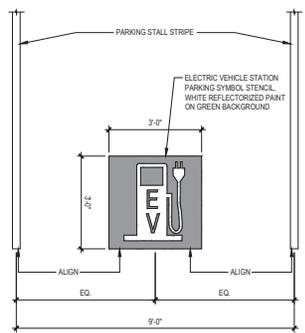
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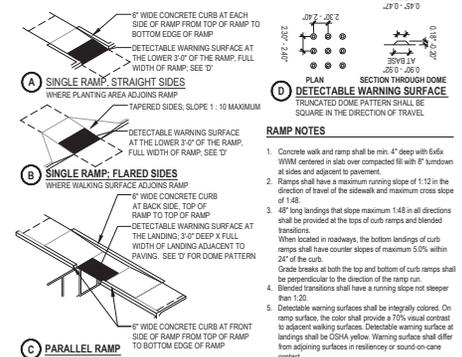
13 PARKING STALL STRIPING
SCALE: 1/8"=1'-0"



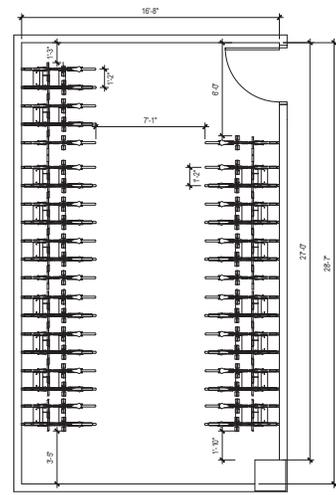
9 ACCESS GATE PLAN
SCALE: 1/12"=1'-0"



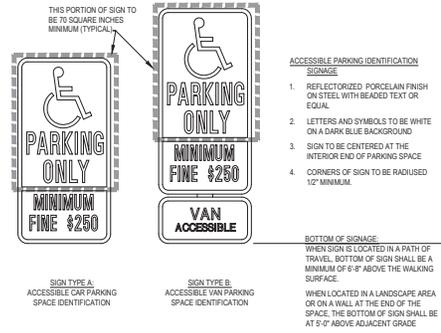
5 EV PARKING STALL SYMBOL
SCALE: 1/2"=1'-0"



1 CURB RAMP CONFIGURATION
SCALE: N.T.S.



10 ACCESS GATE ELEVATION
SCALE: 1/12"=1'-0"



6 ACCESSIBLE PARKING SIGNAGE & UNAUTHORIZED VEHICLE SIGNAGE
SCALE: 1/12"=1'-0"



15 LONG-TERM BIKE STORAGE
SCALE: 1/4"=1'-0"

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WINTER SOLSTICE - 9 AM

SCALE: N.T.S.

13



AUTUMN EQUINOX - 9 AM

SCALE: N.T.S.

9



SUMMER SOLSTICE - 9 AM

SCALE: N.T.S.

5



SPRING EQUINOX - 9 AM

SCALE: N.T.S.

1



WINTER SOLSTICE - 12 PM

SCALE: N.T.S.

14



AUTUMN EQUINOX - 12 PM

SCALE: N.T.S.

10



SUMMER SOLSTICE - 12 PM

SCALE: N.T.S.

6



SPRING EQUINOX - 12 PM

SCALE: N.T.S.

2



AUTUMN EQUINOX - 2 PM

SCALE: N.T.S.

11



SPRING EQUINOX - 2 PM

SCALE: N.T.S.

3



WINTER SOLSTICE - 4 PM

SCALE: N.T.S.

16



AUTUMN EQUINOX - 4 PM

SCALE: N.T.S.

12



SUMMER SOLSTICE - 4 PM

SCALE: N.T.S.

8



SPRING EQUINOX - 4 PM

SCALE: N.T.S.

4



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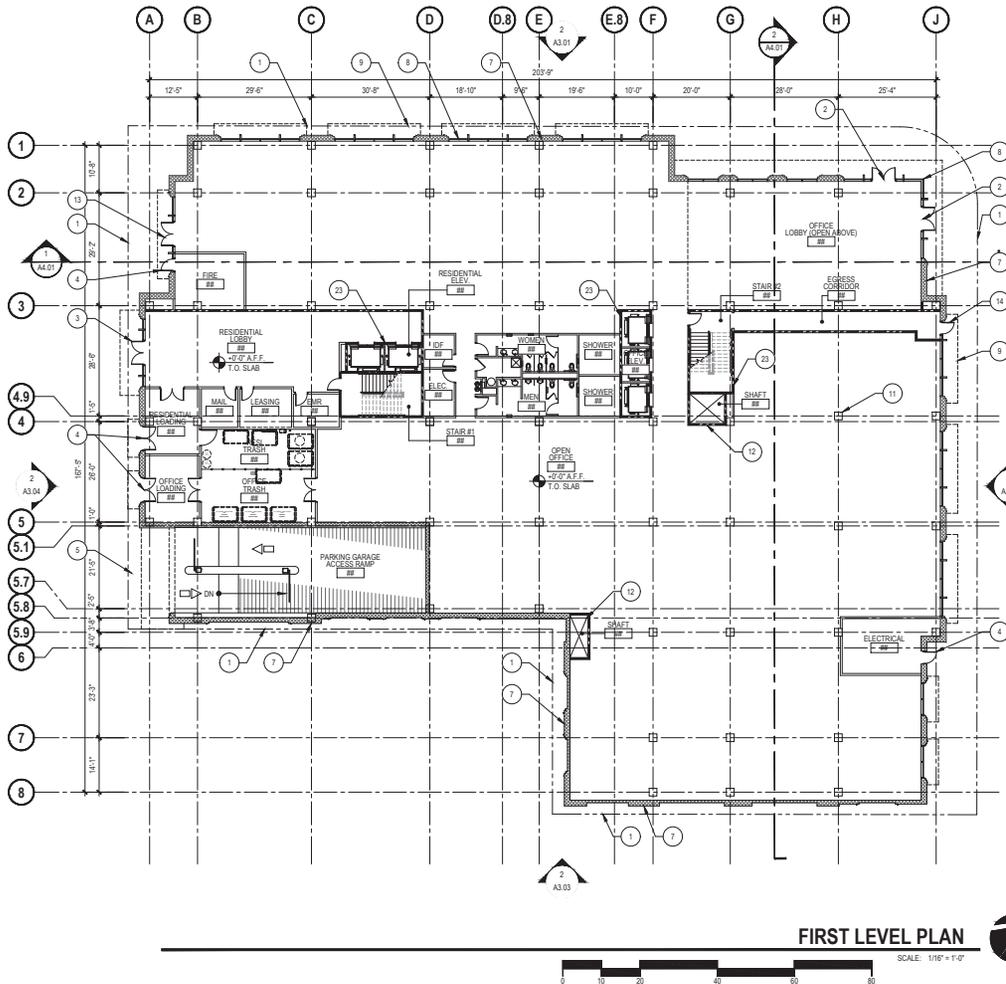
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SOLAR SHADOW STUDY

A 1.11

PROJECT NO. 215513

ARC TEC ARCHITECTURAL TECHNOLOGIES 1731 TECHNOLOGY DRIVE, SUITE 750 SAN JOSE, CA 95131



FIRST LEVEL PLAN

SCALE: 1/16" = 1'-0"

PROJECT DATA:

Unit Type	Unit Area (S.F.)	Balcony Area (S.F.)	Unit Area w/Balcony (S.F.)	# Unit Level 4	# Unit Level 5	# Unit Level 6	Total # Units	Density Bonus Parking Req'd	Short-Term Bike Pkg Req'd	Long-Term Bike Pkg Req'd	Total Unit Area	Total Balcony Area	Unit Mix
A1.0 (Studio)	475	excluded	475	4	4	4	12	0.50	0.05	1.00	5,700	excluded	66%
A1.1 (Studio)	584	208	792	4	0	0	4	0.50	0.05	1.00	2,338	832	
A1.1A (Studio)	601	310	911	1	0	0	1	0.50	0.05	1.00	601	310	
A1.1B (Studio)	601	60	661	0	1	1	2	0.50	0.05	1.00	1,202	120	
A1.2 (Studio)	584	138	722	1	0	0	1	0.50	0.05	1.00	584	138	
A1.5 (Studio)	564	excluded	564	4	4	4	12	0.50	0.05	1.00	6,768	excluded	
A1.6 (Studio)	564	excluded	564	2	2	2	6	0.50	0.05	1.00	3,364	excluded	
A1.7A (Studio)	584	excluded	584	0	5	5	10	0.50	0.05	1.00	5,840	excluded	
B1.0 (1BR/1BA Unit)	732	130	862	1	1	1	3	0.50	0.05	1.00	2,126	390	
B1.1 (1BR/1BA Unit)	800	131	931	1	0	0	1	0.50	0.05	1.00	800	131	
B1.2 (1BR/1BA Unit)	900	60	960	0	1	1	2	0.50	0.05	1.00	1,600	130	
B1.3 (1BR/1BA Unit)	910	excluded	910	1	1	1	3	0.50	0.05	1.00	2,730	excluded	
C1.0 (2BR/2BA Unit)	998	excluded	998	1	0	0	1	0.50	0.10	1.25	998	excluded	
C1.1 (2BR/2BA Unit)	929	273	1,202	1	0	0	1	0.50	0.10	1.25	929	273	
C1.2 (2BR/2BA Unit)	993	131	1,124	1	0	0	1	0.50	0.10	1.25	993	131	
C1.3 (2BR/2BA Unit)	987	139	1,126	1	0	0	1	0.50	0.10	1.25	987	139	
C1.4 (2BR/2BA Unit)	981	141	1,122	1	0	0	1	0.50	0.10	1.25	981	141	
C1.5 (2BR/2BA Unit)	998	60	1,058	0	1	1	2	0.50	0.10	1.25	1,996	120	
C1.6 (2BR/2BA Unit)	929	60	989	0	1	1	2	0.50	0.10	1.25	1,858	120	
C1.7 (2BR/2BA Unit)	993	60	1,053	0	1	1	2	0.50	0.10	1.25	1,986	120	
C1.8 (2BR/2BA Unit)	987	60	1,047	0	1	1	2	0.50	0.10	1.25	1,974	120	
C1.9 (2BR/2BA Unit)	981	60	1,041	0	1	1	2	0.50	0.10	1.25	1,962	120	
Total # dwelling units				24	24	24	72				48,405	3,325	21%

Parcel Coverage	Location	% Coverage	Area
Ground Level Open Parcel			33,790
Subtotal			
Open Parcel Required			
Private Residential Open Space (Level 4/ Level 5 & Level 6) (S.F.) - Provided			2,783
Common Residential Open Space at Level 4 (S.F.) - Provided			1,519
Total open space private + common (residential) - Provided			4,302
Common Office Open Space at Level 5 (S.F.) - Provided			1,634
Common Office Open Space at Level 7 (S.F.) - Provided			3,514
Total Common Office Open Space (S.F.) - Required (1% of total office area OR 0.01 x 98,717 S.F.)			987
Total Common Office Open Space (S.F.) - Provided			5,148

KEYNOTES - FLOOR PLAN

NOTE: NOT ALL KEYNOTES LISTED MAY APPLY TO THIS DRAWING.

- 1 EXISTING PROPERTY LINE
- 14 EGRESS DOOR
- 2 PRIMARY OFFICE ENTRANCE
- 15 EXTERIOR ALUM / GLASS STOREFRONT WINDOW SYSTEM WITH 1HR FIRE RATED INTERIOR WALL
- 3 PRIMARY RESIDENTIAL ENTRANCE
- 16 NOT USED
- 4 SERVICE DOOR
- 17 42" AFF PARAPET WALL
- 5 ACCESS RAMP TO BELOW GRADE PARKING STRUCTURE W/ TRANSITION SLOPE TOP BOTTOM SIDEWALK
- 18 66" PRIVACY SCREEN
- 6 2HR FIRE RATED WALLS AT TRASH CHUTE
- 19 PRIVATE BALCONY ABOVE (SHOWN DASHED)
- 7 EXTERIOR WALLS - REFER TO EXTERIOR ELEVATIONS
- 20 EXTERIOR SLIDING GLASS DOOR
- 8 EXTERIOR ALUM / GLASS STOREFRONT WINDOW SYSTEM
- 21 1HR FIRE RATED DEMISING WALL AT DWELLING UNIT
- 9 CANOPY ABOVE (SHOWN DASHED)
- 22 1HR FIRE RATED WALL AT HALLWAY
- 10 CANOPY BELOW
- 23 2HR FIRE RATED WALL AT STAIRS, ELEVATORS AND TRASH CHUTE
- 11 STRUCTURAL COLUMN
- 24 PRIVATE BALCONY WITH 42" H. GUARDRAIL
- 12 2HR MECHANICAL SHAFT
- 25 42" H. GUARDRAIL
- 13 SECONDARY OFFICE ENTRANCE
- 26 ELEVATOR OVERRUN



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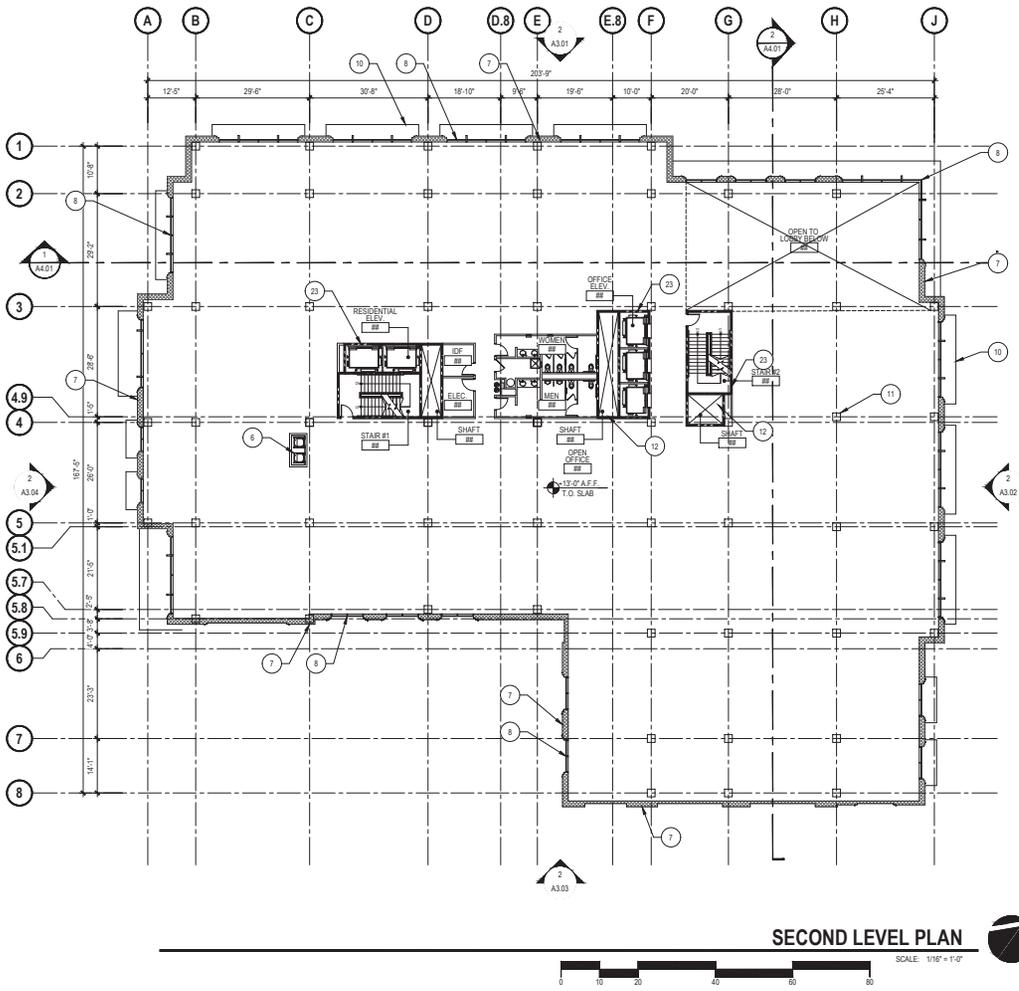
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03.18.2024	FIFTH PLANNING SUBMITTAL

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FIRST LEVEL PLAN & NOTES

A 2.01

PROJECT NO. 215513



SECOND LEVEL PLAN

SCALE: 1/8" = 1'-0"

PROJECT DATA:

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A1.1A (Studio)	601	310	911	1	0	0	1	0.50	0.05	1.00	601	310	
A1.1B (Studio)	601	60	661	0	1	1	2	0.50	0.05	1.00	1,202	120	
A1.2 (Studio)	584	138	722	1	0	0	1	0.50	0.05	1.00	584	138	
A1.5 (Studio)	564	excluded	564	4	4	4	12	0.50	0.05	1.00	6,768	excluded	
A1.6 (Studio)	564	excluded	564	2	2	2	6	0.50	0.05	1.00	3,384	excluded	
A1.7A (Studio)	584	excluded	584	0	5	5	10	0.50	0.05	1.00	5,840	excluded	
B1.0 (1BR/1BA Unit)	732	130	862	1	1	1	3	0.50	0.05	1.00	2,196	390	
B1.1 (1BR/1BA Unit)	800	131	931	1	0	0	1	0.50	0.05	1.00	800	131	
B1.2 (1BR/1BA Unit)	800	60	860	0	1	1	2	0.50	0.05	1.00	1,600	120	
B1.3 (1BR/1BA Unit)	910	excluded	910	1	1	1	3	0.50	0.05	1.00	2,730	excluded	
C1.0 (2BR/2BA Unit)	998	excluded	998	1	0	0	1	0.50	0.10	1.25	998	excluded	
C1.1 (2BR/2BA Unit)	929	273	1,202	1	0	0	1	0.50	0.10	1.25	929	273	
C1.2 (2BR/2BA Unit)	993	131	1,124	1	0	0	1	0.50	0.10	1.25	993	131	
C1.3 (2BR/2BA Unit)	987	139	1,126	1	0	0	1	0.50	0.10	1.25	987	139	
C1.4 (2BR/2BA Unit)	981	141	1,122	1	0	0	1	0.50	0.10	1.25	981	141	
C1.5 (2BR/2BA Unit)	998	60	1,058	0	1	1	2	0.50	0.10	1.25	1,996	120	
C1.6 (2BR/2BA Unit)	929	60	989	0	1	1	2	0.50	0.10	1.25	1,858	120	
C1.7 (2BR/2BA Unit)	993	60	1,053	0	1	1	2	0.50	0.10	1.25	1,986	120	
C1.8 (2BR/2BA Unit)	987	60	1,047	0	1	1	2	0.50	0.10	1.25	1,974	120	
C1.9 (2BR/2BA Unit)	981	60	1,041	0	1	1	2	0.50	0.10	1.25	1,962	120	
Total # dwelling units				24	24	24	72				49,405	3,305	21%

Location	% Coverage	Area
Ground Level Open Parcel		33,750
Subtotal		
Open Parcel Required		
Private Residential Open Space (Level 4/ Level 5 & Level 6) (S.F.) - Provided		2,783
Common Residential Open Space at Level 4 (S.F.) - Provided		1,519
Total open space private + common (residential) - Provided		4,302
Common Office Open Space at Level 3 (S.F.) - Provided		1,634
Common Office Open Space at Level 7 (S.F.) - Provided		3,514
Total Common Office Open Space (S.F.) - Required (1% of total office area DR 0.01 x 98,717 S.F.)		987
Total Common Office Open Space (S.F.) - Provided		5,148

KEYNOTES - FLOOR PLAN

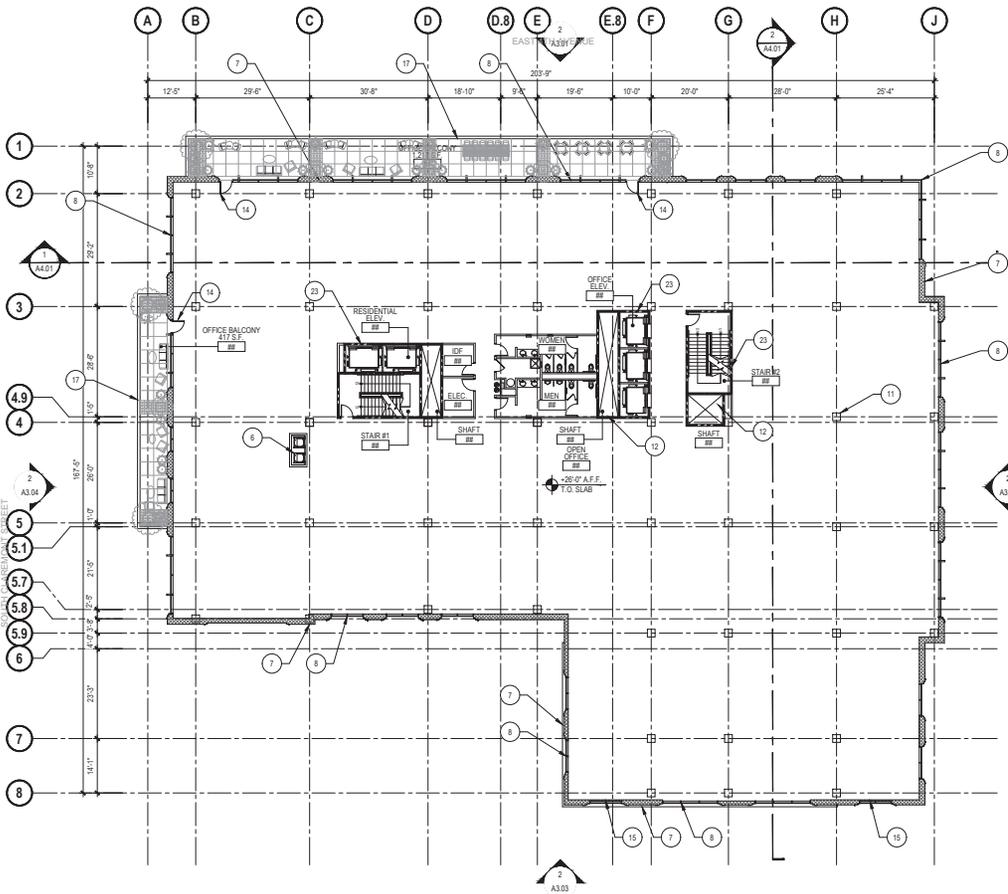
NOTE: NOT ALL KEYNOTES LISTED MAY APPLY TO THIS DRAWING.

- 1 EXISTING PROPERTY LINE
- 2 PRIMARY OFFICE ENTRANCE
- 3 PRIMARY RESIDENTIAL ENTRANCE
- 4 SERVICE DOOR
- 5 ACCESS RAMP TO BELOW GRADE PARKING STRUCTURE W/ TRANSITION SLOPE TOP BOTTOM SIDEWALK
- 6 24HR FIRE RATED WALLS AT TRASH CHUTE
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- 8 EXTERIOR ALUM./ GLASS STOREFRONT WINDOW SYSTEM
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- 12 2HR MECHANICAL SHAFT
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PLANNING APPLICATION FOR:
MECAH VENTURES
BLOCK 20
SAN MATEO, CA 94401

DATE	DESCRIPTION
06.22.2022	ZONING PRE-APPLICATION
01.13.2023	FIRST PLANNING SUBMITTAL
04.14.2023	SECOND PLANNING SUBMITTAL
07.14.2023	THIRD PLANNING SUBMITTAL
11.15.2023	FOURTH PLANNING SUBMITTAL
03.16.2024	FIFTH PLANNING SUBMITTAL



THIRD LEVEL PLAN

SCALE: 1/8" = 1'-0"



PROJECT DATA:

Unit Type	Unit Area (S.F.)	Balcony Area (S.F.)	Unit Area w/Balcony (S.F.)	# Unit Level 4	# Unit Level 5	# Unit Level 6	Total # Units	Density Bonus Parking Req'd	Short Term Bike Pkg Req'd	Long Term Bike Pkg Req'd	Total Unit Area	Total Balcony Area	Unit Mix
A1.0 (Studio)	475	excluded	475	4	4	4	12	0.50	0.05	1.00	5,700	excluded	66%
A1.1 (Studio)	584	208	792	4	0	0	4	0.50	0.05	1.00	2,336	832	
A1.1A (Studio)	601	310	911	1	0	0	1	0.50	0.05	1.00	601	310	
A1.1B (Studio)	601	60	661	0	1	1	2	0.50	0.05	1.00	1,202	120	
A1.2 (Studio)	584	138	722	1	0	0	1	0.50	0.05	1.00	584	138	
A1.5 (Studio)	564	excluded	564	4	4	4	12	0.50	0.05	1.00	6,768	excluded	
A1.6 (Studio)	564	excluded	564	2	2	2	6	0.50	0.05	1.00	3,384	excluded	
A1.7A (Studio)	584	excluded	584	0	5	5	10	0.50	0.05	1.00	5,840	excluded	
B1.0 (1BR/1BA Unit)	732	130	862	1	1	1	3	0.50	0.05	1.00	2,196	390	
B1.1 (1BR/1BA Unit)	800	131	931	1	0	0	1	0.50	0.05	1.00	800	131	
B1.2 (1BR/1BA Unit)	800	60	860	0	1	1	2	0.50	0.05	1.00	1,600	120	
B1.3 (1BR/1BA Unit)	910	excluded	910	1	1	1	3	0.50	0.05	1.00	2,730	excluded	
C1.0 (2BR/2BA Unit)	998	excluded	998	1	0	0	1	0.50	0.10	1.25	998	excluded	
C1.1 (2BR/2BA Unit)	929	273	1,202	1	0	0	1	0.50	0.10	1.25	929	273	
C1.2 (2BR/2BA Unit)	993	131	1,124	1	0	0	1	0.50	0.10	1.25	993	131	
C1.3 (2BR/2BA Unit)	987	139	1,126	1	0	0	1	0.50	0.10	1.25	987	139	
C1.4 (2BR/2BA Unit)	981	141	1,122	1	0	0	1	0.50	0.10	1.25	981	141	
C1.5 (2BR/2BA Unit)	998	60	1,058	0	1	1	2	0.50	0.10	1.25	1,996	120	
C1.6 (2BR/2BA Unit)	929	60	989	0	1	1	2	0.50	0.10	1.25	1,858	120	
C1.7 (2BR/2BA Unit)	993	60	1,053	0	1	1	2	0.50	0.10	1.25	1,986	120	
C1.8 (2BR/2BA Unit)	987	60	1,047	0	1	1	2	0.50	0.10	1.25	1,974	120	
C1.9 (2BR/2BA Unit)	981	60	1,041	0	1	1	2	0.50	0.10	1.25	1,962	120	
Total # dwelling units				24	24	24	72				49,405	3,305	21%

Parcel Coverage	Location	% Coverage	Area
Ground Level Open Parcel			33,750
Subtotal			
Open Parcel Required			

Open Space	Description	% Coverage	Area
Private Residential Open Space (Level 4, Level 5 & Level 6) (S.F.) - Provided			2,783
Common Residential Open Space at Level 4 (S.F.) - Provided			1,519
Total open space private - common (residential) - Provided			4,302
Common Office Open Space at Level 3 (S.F.) - Provided			1,634
Common Office Open Space at Level 7 (S.F.) - Provided			3,514
Total Common Office Open Space (S.F.) - Required (1% of total office area DR 0.01 x 98,717 S.F.)			987
Total Common Office Open Space (S.F.) - Provided			5,148

KEYNOTES - FLOOR PLAN

NOTE: NOT ALL KEYNOTES LISTED MAY APPLY TO THIS DRAWING.

- | | |
|--|--|
| 1 EXISTING PROPERTY LINE | 14 EGRESS DOOR |
| 2 PRIMARY OFFICE ENTRANCE | 15 EXTERIOR ALUM./GLASS STOREFRONT WINDOW SYSTEM WITH 1HR FIRE RATED INTERIOR WALL |
| 3 PRIMARY RESIDENTIAL ENTRANCE | 16 NOT USED |
| 4 SERVICE DOOR | 17 42" H. AFF. PARAPET WALL |
| 5 ACCESS RAMP TO BELOW GRADE PARKING STRUCTURE W/ TRANSITION SLOPE TOP BOTTOM SIDEWALK | 18 60" H. PRIVACY SCREEN |
| 6 24" H. FIRE RATED WALLS AT TRASH CHUTE | 19 PRIVATE BALCONY ABOVE (SHOWN DASHED) |
| 7 EXTERIOR WALLS - REFER TO EXTERIOR ELEVATIONS | 20 EXTERIOR SLIDING GLASS DOOR |
| 8 EXTERIOR ALUM./GLASS STOREFRONT WINDOW SYSTEM | 21 1HR FIRE RATED DEMISING WALL AT DWELLING UNIT |
| 9 CANOPY ABOVE (SHOWN DASHED) | 22 1HR FIRE RATED WALL AT HALLWAY |
| 10 CANOPY BELOW | 23 2HR FIRE RATED WALL AT STAIRS, ELEVATORS AND TRASH CHUTE |
| 11 STRUCTURAL COLUMN | 24 PRIVATE BALCONY WITH 42" H. GUARDRAIL |
| 12 2HR MECHANICAL SHAFT | 25 42" H. GUARDRAIL |
| 13 SECONDARY OFFICE ENTRANCE | 26 ELEVATOR OVERRUN |

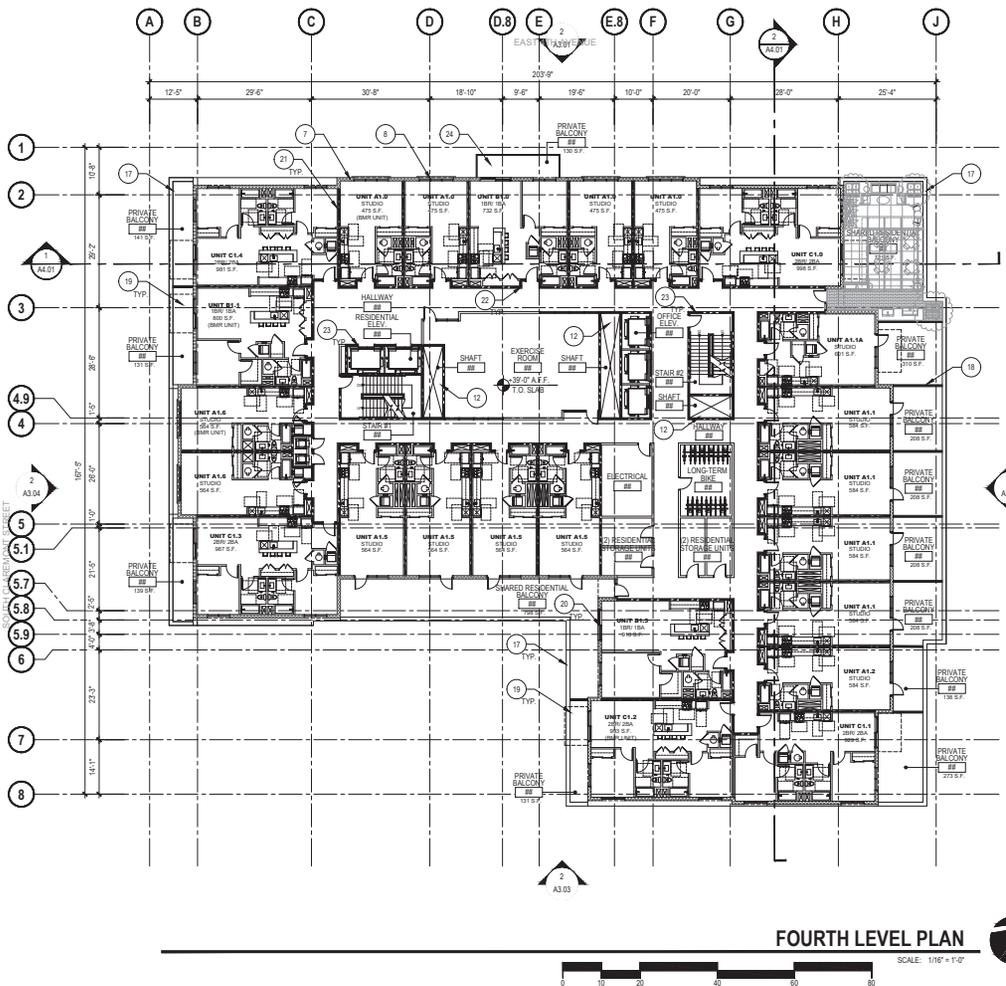


ARC TEC
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PLANNING APPLICATION FOR:
MECAH VENTURES
BLOCK 20
SAN MATEO, CA 94401

DATE	DESCRIPTION
06.22.2022	ZONING PRE-APPLICATION
01.13.2023	FIRST PLANNING SUBMITTAL
04.14.2023	SECOND PLANNING SUBMITTAL
07.14.2023	THIRD PLANNING SUBMITTAL
11.15.2023	FOURTH PLANNING SUBMITTAL
03.16.2024	FIFTH PLANNING SUBMITTAL



FOURTH LEVEL PLAN

SCALE: 1/16" = 1'-0"

PROJECT DATA:

Unit Type	Unit Area (S.F.)	Balcony Area (S.F.)	Unit Area w/Balcony (S.F.)	# Unit Level 4	# Unit Level 5	# Unit Level 6	Total # Units	Density Bonus Parking Req'd	Short-Term Bike Pkg Req'd	Long-Term Bike Pkg Req'd	Total Unit Area	Total Balcony Area	Unit Mix
A1.0 (Studio)	475	excluded	475	4	4	4	12	0.50	0.05	1.00	5,700	excluded	66%
A1.1 (Studio)	384	208	792	4	0	0	4	0.50	0.05	1.00	2,338	832	
A1.1A (Studio)	601	310	911	1	0	0	1	0.50	0.05	1.00	601	310	
A1.1B (Studio)	601	60	661	0	1	1	2	0.50	0.05	1.00	1,202	120	
A1.2 (Studio)	584	138	722	1	0	0	1	0.50	0.05	1.00	584	138	
A1.5 (Studio)	564	excluded	564	4	4	4	12	0.50	0.05	1.00	6,708	excluded	
A1.6 (Studio)	564	excluded	564	2	2	2	6	0.50	0.05	1.00	3,384	excluded	
A1.7A (Studio)	584	excluded	584	0	5	5	10	0.50	0.05	1.00	5,840	excluded	
B1.0 (1BR/1BA Unit)	732	130	862	1	1	1	3	0.50	0.05	1.00	2,126	390	
B1.1 (1BR/1BA Unit)	800	131	931	1	0	0	1	0.50	0.05	1.00	800	131	
B1.2 (1BR/1BA Unit)	900	60	960	0	1	1	2	0.50	0.05	1.00	1,800	120	
B1.3 (1BR/1BA Unit)	910	excluded	910	1	1	1	3	0.50	0.05	1.00	2,730	excluded	
C1.0 (2BR/2BA Unit)	998	excluded	998	1	0	0	1	0.50	0.10	1.25	998	excluded	
C1.1 (2BR/2BA Unit)	929	273	1,202	1	0	0	1	0.50	0.10	1.25	929	273	
C1.2 (2BR/2BA Unit)	993	131	1,124	1	0	0	1	0.50	0.10	1.25	993	131	
C1.3 (2BR/2BA Unit)	987	139	1,126	1	0	0	1	0.50	0.10	1.25	987	139	
C1.4 (2BR/2BA Unit)	981	141	1,122	1	0	0	1	0.50	0.10	1.25	981	141	
C1.5 (2BR/2BA Unit)	998	60	1,058	0	1	1	2	0.50	0.10	1.25	1,996	120	
C1.6 (2BR/2BA Unit)	929	60	989	0	1	1	2	0.50	0.10	1.25	1,858	120	
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C1.8 (2BR/2BA Unit)	987	60	1,047	0	1	1	2	0.50	0.10	1.25	1,974	120	
C1.9 (2BR/2BA Unit)	981	60	1,041	0	1	1	2	0.50	0.10	1.25	1,962	120	
Total # dwelling units				24	24	24	72				48,405	3,325	21%

Parcel Coverage	Location	% Coverage	Area
Parcel Coverage	Ground Level Open Parcel		33,790
	Subtotal		
	Open Parcel Required		
Open Space	Private Residential Open Space (Level 4/ Level 5 & Level 6) (S.F.) - Provided		2,783
	Common Residential Open Space at Level 4 (S.F.) - Provided		1,519
	Total open space private + common (residential) - Provided		4,302
	Common Office Open Space at Level 5 (S.F.) - Provided		1,634
	Common Office Open Space at Level 7 (S.F.) - Provided		3,514
	Total Common Office Open Space (S.F.) - Required (1% of total office area OR 0.01 x 98,717 S.F.)		987
Total Common Office Open Space (S.F.) - Provided		5,148	

KEYNOTES - FLOOR PLAN

NOTE: NOT ALL KEYNOTES LISTED MAY APPLY TO THIS DRAWING.

- 1 EXISTING PROPERTY LINE
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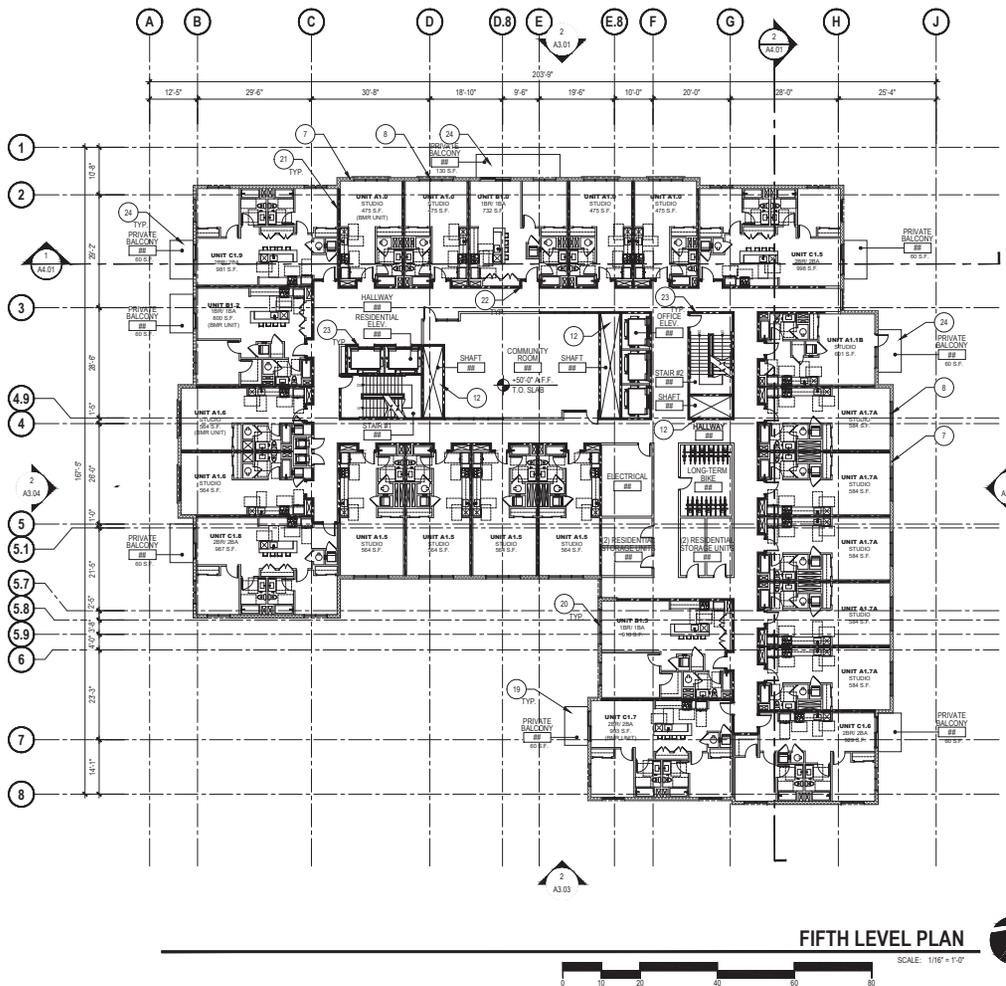
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**PLANNING APPLICATION FOR:
MECAH VENTURES
BLOCK 20
SAN MATEO, CA 94401**

DATE	DESCRIPTION
08.22.2022	ZONING PRE-APPLICATION
01.13.2023	FIRST PLANNING SUBMITTAL
04.18.2023	SECOND PLANNING SUBMITTAL
07.14.2023	THIRD PLANNING SUBMITTAL
11.03.2023	FOURTH PLANNING SUBMITTAL
03.18.2024	FIFTH PLANNING SUBMITTAL

PA-2023-003
FOURTH LEVEL PLAN
& NOTES

A 2.04
PROJECT NO. 215513



FIFTH LEVEL PLAN

SCALE: 1/16" = 1'-0"



PROJECT DATA:

Unit Type	Unit Area (S.F.)	Balcony Area (S.F.)	Unit Area w/Balcony (S.F.)	# Unit Level 4	# Unit Level 5	# Unit Level 6	Total # Units	Density Bonus Parking Req'd	Short-Term Bike Pkg Req'd	Long-Term Bike Pkg Req'd	Total Unit Area	Total Balcony Area	Unit Mix
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A1.1A (Studio)	601	310	911	1	0	0	1	0.50	0.05	1.00	601	310	
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A1.6 (Studio)	564	excluded	564	2	2	2	6	0.50	0.05	1.00	3,384	excluded	
A1.7A (Studio)	384	excluded	384	0	5	5	10	0.50	0.05	1.00	3,840	excluded	
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B1.1 (1BR/1BA Unit)	800	131	931	1	0	1	1	0.50	0.05	1.00	800	131	
B1.2 (1BR/1BA Unit)	900	60	960	0	1	1	2	0.50	0.05	1.00	1,800	120	
B1.3 (1BR/1BA Unit)	910	excluded	910	1	1	1	3	0.50	0.05	1.00	2,730	excluded	
C1.0 (2BR/2BA Unit)	998	excluded	998	0	0	1	1	0.50	0.10	1.25	998	excluded	
C1.1 (2BR/2BA Unit)	929	273	1,202	1	0	0	1	0.50	0.10	1.25	929	273	
C1.2 (2BR/2BA Unit)	993	131	1,124	1	0	0	1	0.50	0.10	1.25	993	131	
C1.3 (2BR/2BA Unit)	987	139	1,126	1	0	0	1	0.50	0.10	1.25	987	139	
C1.4 (2BR/2BA Unit)	981	141	1,122	1	0	0	1	0.50	0.10	1.25	981	141	
C1.5 (2BR/2BA Unit)	998	60	1,058	0	1	1	2	0.50	0.10	1.25	1,996	120	
C1.6 (2BR/2BA Unit)	929	60	989	0	1	1	2	0.50	0.10	1.25	1,858	120	
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C1.8 (2BR/2BA Unit)	987	60	1,047	0	1	1	2	0.50	0.10	1.25	1,974	120	
C1.9 (2BR/2BA Unit)	981	60	1,041	0	1	1	2	0.50	0.10	1.25	1,962	120	
Total # dwelling units				24	24	24	72				48,405	3,325	21%

Parcel Coverage	Location	% Coverage	Area
Parcel Coverage	Ground Level Open Parcel		33,790
	Subtotal		
	Open Parcel Required		
Open Space	Private Residential Open Space (Level 4/ Level 5 & Level 6) (S.F.) - Provided		2,783
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- 16 NOT USED
- 17 42" AFF PARAPET WALL
- 18 66" H. PRIVACY SCREEN
- 19 PRIVATE BALCONY ABOVE (SHOWN DASHED)
- 20 EXTERIOR SLIDING GLASS DOOR
- 21 1HR FIRE RATED DEMISING WALL AT DWELLING UNIT
- 22 1HR FIRE RATED WALL AT HALLWAY
- 23 2HR FIRE RATED WALL AT STAIRS, ELEVATORS AND TRASH CHUTE
- 24 PRIVATE BALCONY WITH 42" H. GUARDRAIL
- 25 42" H. GUARDRAIL
- 26 ELEVATOR OVERRUN



ARC TEC
ARCHITECTURAL TECHNOLOGIES
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PLANNING APPLICATION FOR:
MECAH VENTURES
BLOCK 20
SAN MATEO, CA 94401

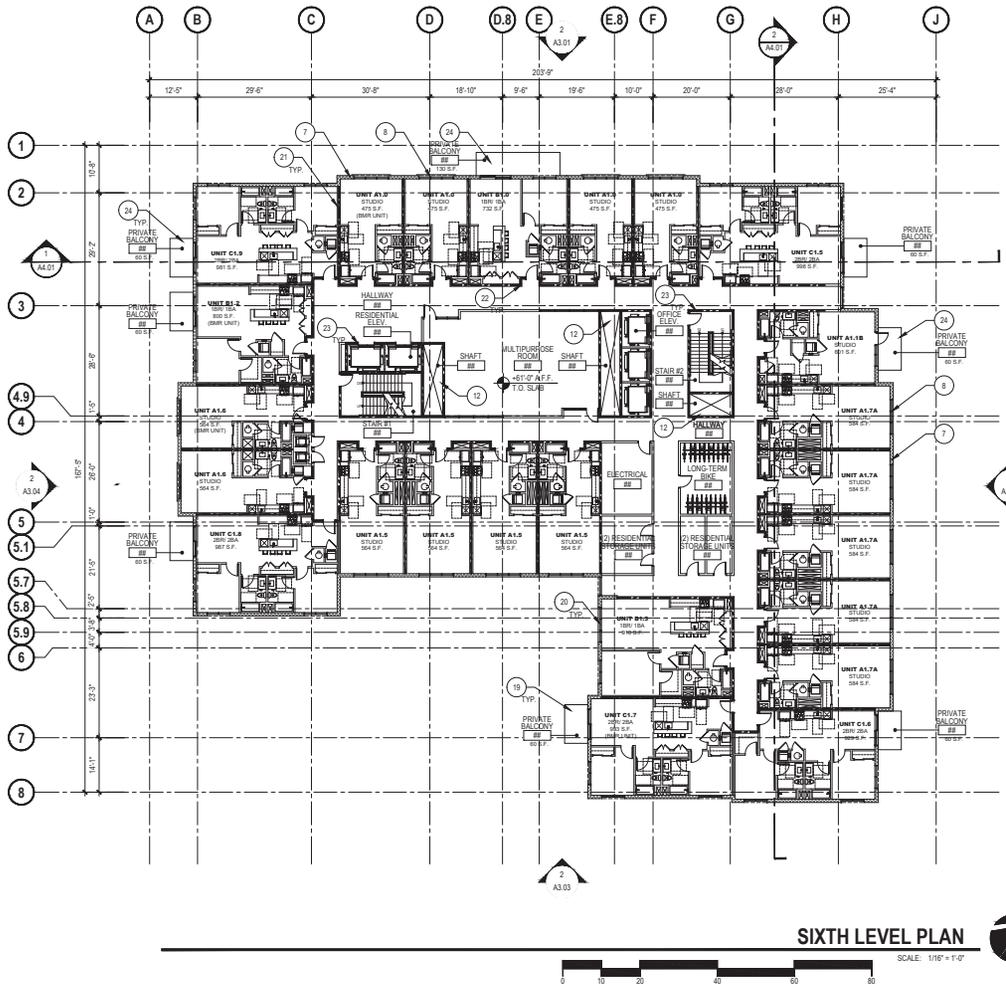
DATE	DESCRIPTION
08.22.2022	ZONING PRE-APPLICATION
01.13.2023	FIRST PLANNING SUBMITTAL
04.18.2023	SECOND PLANNING SUBMITTAL
07.14.2023	THIRD PLANNING SUBMITTAL
11.03.2023	FOURTH PLANNING SUBMITTAL
03.18.2024	FIFTH PLANNING SUBMITTAL

PA-2023-003

FIFTH LEVEL PLAN & NOTES

A 2.05

PROJECT NO. 215513



SIXTH LEVEL PLAN

SCALE: 1/16" = 1'-0"

PROJECT DATA:

Unit Type	Unit Area (S.F.)	Balcony Area (S.F.)	Unit Area w/Balcony (S.F.)	# Unit Level 4	# Unit Level 5	# Unit Level 6	Total # Units	Density Bonus Parking Req'd	Short-Term Bike Pkg Req'd	Long-Term Bike Pkg Req'd	Total Unit Area	Total Balcony Area	Unit Mix
A1.0 (Studio)	475	excluded	475	4	4	4	12	0.50	0.05	1.00	5,700	excluded	66%
A1.1 (Studio)	384	208	792	4	0	0	4	0.50	0.05	1.00	2,338	832	
A1.1A (Studio)	601	310	911	1	0	0	1	0.50	0.05	1.00	601	310	
A1.1B (Studio)	601	60	661	0	1	1	2	0.50	0.05	1.00	1,202	120	
A1.2 (Studio)	384	138	722	1	0	1	1	0.50	0.05	1.00	584	138	
A1.5 (Studio)	564	excluded	564	4	4	4	12	0.50	0.05	1.00	6,708	excluded	
A1.6 (Studio)	564	excluded	564	2	2	2	6	0.50	0.05	1.00	3,384	excluded	
A1.7A (Studio)	384	excluded	384	0	5	5	10	0.50	0.05	1.00	3,840	excluded	
B1.0 (1BR/1BA Unit)	732	130	862	1	1	1	3	0.50	0.05	1.00	2,126	390	
B1.1 (1BR/1BA Unit)	800	131	931	1	0	0	1	0.50	0.05	1.00	800	131	
B1.2 (1BR/1BA Unit)	900	60	960	0	1	1	2	0.50	0.05	1.00	1,600	130	
B1.3 (1BR/1BA Unit)	910	excluded	910	1	1	1	3	0.50	0.05	1.00	2,730	excluded	
C1.0 (2BR/2BA Unit)	998	excluded	998	1	0	0	1	0.50	0.10	1.25	998	excluded	
C1.1 (2BR/2BA Unit)	929	273	1,202	1	0	0	1	0.50	0.10	1.25	929	273	
C1.2 (2BR/2BA Unit)	993	131	1,124	1	0	0	1	0.50	0.10	1.25	993	131	
C1.3 (2BR/2BA Unit)	987	139	1,126	1	0	0	1	0.50	0.10	1.25	987	139	
C1.4 (2BR/2BA Unit)	981	141	1,122	1	0	0	1	0.50	0.10	1.25	981	141	
C1.5 (2BR/2BA Unit)	998	60	1,058	0	1	1	2	0.50	0.10	1.25	1,996	120	
C1.6 (2BR/2BA Unit)	929	60	989	0	1	1	2	0.50	0.10	1.25	1,858	120	
C1.7 (2BR/2BA Unit)	993	60	1,053	0	1	1	2	0.50	0.10	1.25	1,986	120	
C1.8 (2BR/2BA Unit)	987	60	1,047	0	1	1	2	0.50	0.10	1.25	1,974	120	
C1.9 (2BR/2BA Unit)	981	60	1,041	0	1	1	2	0.50	0.10	1.25	1,962	120	
Total # dwelling units				24	24	24	72				48,405	3,325	21%

Parcel Coverage	Location		% Coverage	Area
	Ground Level Open Parcel	Subtotal		
				33,790
Open Space	Private Residential Open Space (Level 4/ Level 5 & Level 6) (S.F.) - Provided			2,783
	Common Residential Open Space at Level 4 (S.F.) - Provided			1,519
	Total open space private + common (residential) - Provided			4,302
	Common Office Open Space at Level 5 (S.F.) - Provided			1,634
	Total Common Office Open Space (S.F.) - Required (1% of total office area OR 0.01 x 98,717 S.F.)			987
	Total Common Office Open Space (S.F.) - Provided			5,148

KEYNOTES - FLOOR PLAN

NOTE: NOT ALL KEYNOTES LISTED MAY APPLY TO THIS DRAWING.

- 1 EXISTING PROPERTY LINE
- 14 EGRESS DOOR
- 2 PRIMARY OFFICE ENTRANCE
- 15 EXTERIOR ALUM. / GLASS STOREFRONT WINDOW SYSTEM WITH 1HR FIRE RATED INTERIOR WALL
- 3 PRIMARY RESIDENTIAL ENTRANCE
- 16 NOT USED
- 4 SERVICE DOOR
- 17 42" AFF PARAPET WALL
- 5 ACCESS RAMP TO BELOW GRADE PARKING STRUCTURE W/ TRANSITION SLOPE TOP BOTTOM SIDEWALK
- 18 66" H. PRIVACY SCREEN
- 6 2HR FIRE RATED WALLS AT TRASH CHUTE
- 19 PRIVATE BALCONY ABOVE (SHOWN DASHED)
- 7 EXTERIOR WALLS - REFER TO EXTERIOR ELEVATIONS
- 20 EXTERIOR SLIDING GLASS DOOR
- 8 EXTERIOR ALUM. / GLASS STOREFRONT WINDOW SYSTEM
- 21 1HR FIRE RATED DEMISING WALL AT DWELLING UNIT
- 9 CANOPY ABOVE (SHOWN DASHED)
- 22 1HR FIRE RATED WALL AT HALLWAY
- 10 CANOPY BELOW
- 23 2HR FIRE RATED WALL AT STAIRS, ELEVATORS AND TRASH CHUTE
- 11 STRUCTURAL COLUMN
- 24 PRIVATE BALCONY WITH 42" H. GUARDRAIL
- 12 2HR MECHANICAL SHAFT
- 25 42" H. GUARDRAIL
- 13 SECONDARY OFFICE ENTRANCE
- 26 ELEVATOR OVERRUN



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PLANNING APPLICATION FOR:
MECAH VENTURES
BLOCK 20
SAN MATEO, CA 94401

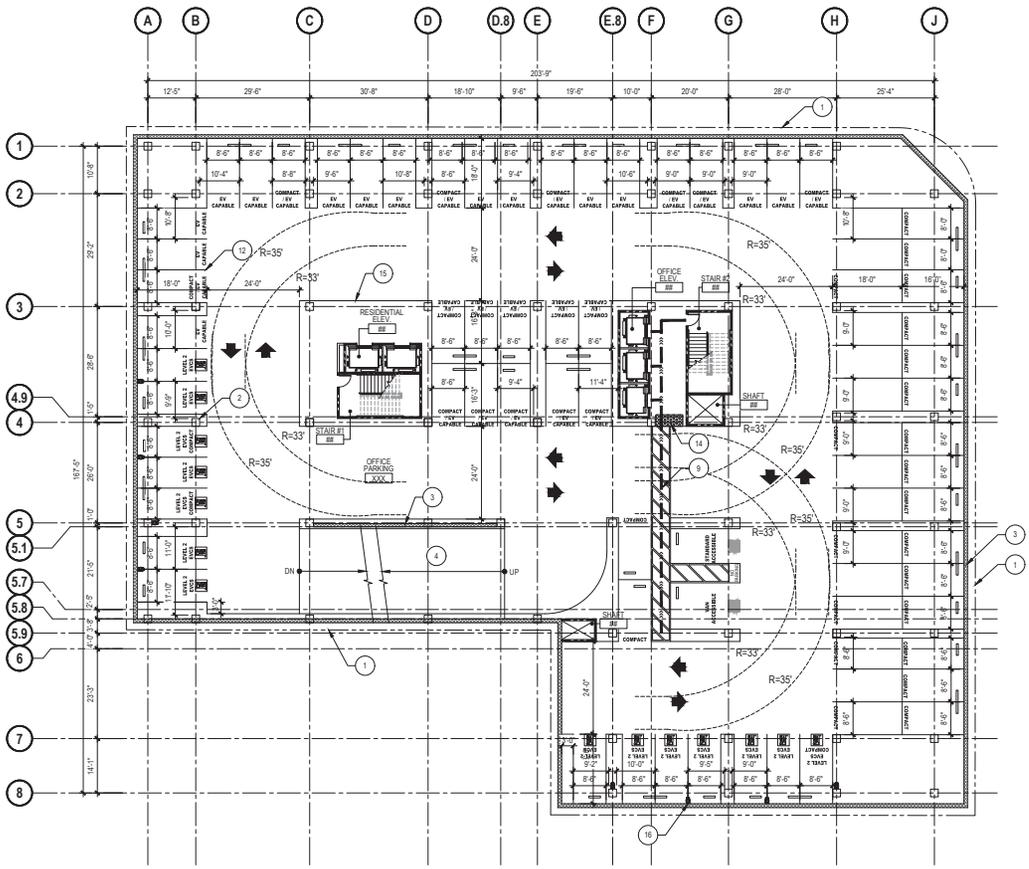
DATE	DESCRIPTION
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11.03.2023	FOURTH PLANNING SUBMITTAL
03.18.2024	FIFTH PLANNING SUBMITTAL

PA-2023-003

SIXTH LEVEL PLAN
& NOTES

A 2.06

PROJECT NO. 215513



P1 LEVEL PLAN
SCALE: 1/8" = 1'-0"



MINIMUM BICYCLE PARKING STALLS REQUIRED

PER CITY OF SAN MATEO MUNICIPAL CODE SECTION 27.64.262

REQUIRED SHORT-TERM - RESIDENTIAL
STUDIO AND ONE-BEDROOM UNIT @ 0.35 SPACES PER UNIT
57 UNITS x 0.05 = 2.85 SPACES
TWO-BEDROOM UNIT @ 0.10 SPACES PER UNIT
15 UNITS x 0.10 = 1.5 SPACES
TOTAL REQUIRED SHORT-TERM - RESIDENTIAL: 4.35 SPACES OR 5 SPACES

REQUIRED LONG-TERM - RESIDENTIAL
STUDIO AND ONE-BEDROOM UNIT @ 1.0 SPACE PER UNIT
57 UNITS x 1.0 = 57 SPACES
TWO-BEDROOM UNIT @ 1.25 SPACES PER UNIT
15 UNITS x 1.25 = 18.75 SPACES
TOTAL REQUIRED LONG-TERM - RESIDENTIAL: 75.75 SPACES OR 76 SPACES

REQUIRED SHORT-TERM - OFFICE (GENERAL)
1 SPACE PER 20,000 S.F. OF OFFICE AREA
98,717 S.F. / 20,000 S.F. = 4.93 SPACES OR 5 SPACES

REQUIRED LONG-TERM - OFFICE (GENERAL)
1 SPACE PER 10,000 S.F. OF OFFICE AREA
98,717 S.F. / 10,000 S.F. = 9.87 SPACES OR 10 SPACES

PROVIDED SHORT-TERM SPACES:
RESIDENTIAL: 6 SPACES
OFFICE: 6 SPACES
TOTAL: 12 SPACES

PROVIDED LONG-TERM SPACES (PROVIDED @ 4TH, 5TH & 6TH FLOOR):
RESIDENTIAL: 80 SPACES
OFFICE: 10 SPACES
TOTAL: 90 SPACES

KEYNOTES

NOTE: NOT ALL KEYNOTES LISTED MAY APPLY TO THIS DRAWING.

- 1 PROPERTY LINE
- 2 STRUCTURAL CONCRETE COLUMN
- 3 CAST-IN-PLACE CONCRETE WALL
- 4 CONCRETE RAMP
- 5 LONG-TERM BIKE STORAGE. REFER TO DETAIL 15A1.03
- 6 MOTORIZED SLIDING ENTRY GATE TO RESIDENTIAL PARKING AREA
- 7 METAL FENCE
- 8 DASHED LINE INDICATES RAMP ABOVE
- 9 ACCESSIBLE PATH OF TRAVEL
- 10 VAN ACCESSIBLE/LEVEL 2 EVCS
- 11 STANDARD ACCESSIBLE/LEVEL 2 EVCS
- 12 PARKING STRIPE
- 13 AMBULATORY EVCS
- 14 ADA TRUNCATED DOME PLATE
- 15 CONCRETE CURB
- 16 ELECTRIC VEHICLE CHARGER. REFER TO DETAIL 14A1.02

PROJECT DATA

ASSESSOR'S PARCEL NO.: 004180110, 004180800
ZONING: CBDS - CENTRAL BUSINESS SUPPORT
SITE AREA: 33,790 S.F. OR 0.77 ACRES
BUILDING HEIGHT: 55'0" MAXIMUM
MAX F.A.R. (FLOOR AREA RATIO): 3.0 OR 101,370 S.F.
MAX RESIDENTIAL UNITS (50 D.U. PER ACRE): 50 UNITS
MAX RESIDENTIAL UNITS WITH 50% STATE DENSITY BONUS: 69 UNITS
MAX RESIDENTIAL UNITS WITH 100% STATE DENSITY BONUS: 78 UNITS

FLOOR AREA (7-STORY BUILDING)
FIRST LEVEL - RESIDENTIAL: 2,184 S.F.
FIRST LEVEL - OFFICE: 26,013 S.F.
SECOND LEVEL - OFFICE: 27,798 S.F.
THIRD LEVEL - OFFICE: 25,814 S.F.
FOURTH LEVEL - RESIDENTIAL: 23,056 S.F.
FIFTH LEVEL - RESIDENTIAL: 23,103 S.F.
SIXTH LEVEL - RESIDENTIAL: 23,103 S.F.
SEVENTH LEVEL - OFFICE: 18,874 S.F.
TOTAL BUILDING AREA: 170,163 S.F.

TOTAL OFFICE AREA: 98,717 S.F.
TOTAL RESIDENTIAL AREA: 71,396 S.F.

TOTAL F.A.R. (FLOOR AREA RATIO): 170,163 S.F. / 33,790 S.F. = 5.03

DWELLING UNITS PER FLOOR
FOURTH LEVEL: 24 UNITS
FIFTH LEVEL: 24 UNITS
SIXTH LEVEL: 24 UNITS
TOTAL DWELLING UNITS: 72 UNITS

DWELLING UNIT MIX
STUDIO: 48 UNITS OR 60%
ONE-BEDROOM: 9 UNITS OR 10%
TWO-BEDROOM: 15 UNITS OR 21%

PARKING ANALYSIS

PARKING REQUIRED
OFFICE (0.5 PER 1,000 S.F.): 147 SPACES
RESIDENTIAL (0.5 PER DWELLING UNIT - ALL UNIT TYPES) (DEDICATED LEVEL P2): 36 SPACES
TOTAL REQUIRED PARKING: 221 SPACES

PARKING - PROVIDED
LEVEL P1
OFFICE - COMPACT: 2 SPACES
OFFICE - COMPACT (TANDEM): 21 SPACES
OFFICE - TANDEM: 9 SPACES
OFFICE - ADA STANDARD: 1 SPACE
OFFICE - VAN ACCESSIBLE: 1 SPACE
OFFICE - STANDARD LEVEL 2 EVCS: 11 SPACES
OFFICE - COMPACT LEVEL 2 EVCS: 3 SPACES
OFFICE - STANDARD LEVEL 2 EV CAPABLE: 14 SPACES
OFFICE - COMPACT LEVEL 2 EV CAPABLE: 17 SPACES
TOTAL OFFICE PARKING LEVEL P1 - PROVIDED: 79 SPACES

LEVEL P2
RESIDENTIAL - STANDARD LEVEL 2 EV READY: 15 SPACES
RESIDENTIAL - STANDARD LEVEL 2 EVCS: 4 SPACES
RESIDENTIAL - COMPACT LEVEL 2 EV READY: 10 SPACES
RESIDENTIAL - STANDARD ACCESSIBLE LEVEL 2 EVCS: 1 SPACE
RESIDENTIAL - VAN ACCESSIBLE LEVEL 2 EVCS: 1 SPACE
TOTAL RESIDENTIAL PARKING LEVEL P2 - PROVIDED: 31 SPACES

LEVEL P2
OFFICE - COMPACT: 4 SPACES
OFFICE - COMPACT (TANDEM): 21 SPACES
OFFICE - TANDEM: 9 SPACES
OFFICE - ADA STANDARD: 2 SPACES
OFFICE - VAN ACCESSIBLE LEVEL 2 EVCS: 1 SPACE
OFFICE - STANDARD ACCESSIBLE LEVEL 2 EVCS: 1 SPACE
OFFICE - STANDARD LEVEL 2 EV CAPABLE: 1 SPACE
OFFICE - COMPACT LEVEL 2 EV CAPABLE: 9 SPACES
OFFICE - COMPACT LEVEL 2 EVCS: 9 SPACES
TOTAL OFFICE PARKING LEVEL P2 - PROVIDED: 50 SPACES

TOTAL PARKING LEVEL P2 - PROVIDED: 81 SPACES
TOTAL OFFICE PARKING (LEVELS P1 & P2) - PROVIDED: 129 SPACES
TOTAL RESIDENTIAL PARKING (LEVEL P2) - PROVIDED: 31 SPACES

OFFICE USE	TOTAL NUMBER OF STALLS	20% or 37	30% or 56
TOTAL NUMBER OF LEVEL 2 EVCS STALLS	186		
TOTAL NUMBER OF LEVEL 2 EV CAPABLE STALLS	30		

ASSIGNED RESIDENTIAL USE	TOTAL NUMBER OF DEDICATED STALLS	15% or 5	85% or 31
TOTAL NUMBER OF LEVEL 2 EVCS STALLS	30		
TOTAL NUMBER OF LEVEL 2 EV READY STALLS	5		

OFFICE USE	TOTAL NUMBER OF STALLS	26	39
TOTAL NUMBER OF LEVEL 2 EVCS STALLS	129		
TOTAL NUMBER OF LEVEL 2 EV CAPABLE STALLS	26		

Use	Short-Term Bike	Long-Term Bike	Bike Total	Compact	Standard (Tandem)	Compact (Tandem)	ADA Standard	Standard Accessible Level 2 EVCS	Standard Accessible Level 2 EV Ready	Van Accessible	Van Accessible Level 2 EVCS	Standard Level 2 EVCS	Standard Level 2 EV Capable	Compact Level 2 EV Capable	Compact Level 2 EVCS	Compact Level 2 EV Ready	Parking Provided
Level 1 - Residential	6	6															
Level 1 - Office	6	6															
Level P1 - Office		10		2	9	21	1			1	11	14	17	3			79
Level P2 - Office				4	9	21	2	1			1	1	1	9			55
Level P2 - Residential								15			3	4				10	31
Levels 4, 5 & 6 - Residential		80															
Total Parking Provided	12	90	102														190



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San Jose, CA 95131 408.496.1121
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PLANNING APPLICATION FOR:
MECAH VENTURES
BLOCK 20
SAN MATEO, CA 94401

DATE	DESCRIPTION
04.22.2022	ZONING PRE-APPLICATION
01.13.2022	FIRST PLANNING SUBMITTAL
04.14.2023	SECOND PLANNING SUBMITTAL
07.14.2023	THIRD PLANNING SUBMITTAL
11.15.2023	FOURTH PLANNING SUBMITTAL
03.16.2024	FIFTH PLANNING SUBMITTAL

PA-2023-003

P1 LEVEL PLAN & NOTES

AP2.11
PROJECT NO. 215513

MINIMUM BICYCLE PARKING STALLS REQUIRED

PER CITY OF SAN MATEO MUNICIPAL CODE SECTION 22.64.262

REQUIRED SHORT-TERM - RESIDENTIAL
STUDIO AND ONE-BEDROOM UNIT @ 8.75 SPACES PER UNIT
57 UNITS x 0.05 = 2.85 SPACES
TWO-BEDROOM UNIT @ 8.10 SPACES PER UNIT
15 UNITS x 1.0 = 1.5 SPACES
TOTAL REQUIRED SHORT-TERM - RESIDENTIAL: 4.35 SPACES OR 5 SPACES

REQUIRED LONG-TERM - RESIDENTIAL
STUDIO AND ONE-BEDROOM UNIT @ 1.0 SPACE PER UNIT
57 UNITS x 1.0 = 57 SPACES
TWO-BEDROOM UNIT @ 1.25 SPACES PER UNIT
15 UNITS x 1.25 = 18.75 SPACES
TOTAL REQUIRED LONG-TERM - RESIDENTIAL: 75.75 SPACES OR 76 SPACES

REQUIRED SHORT-TERM - OFFICE (GENERAL)
1 SPACE PER 20,000 S.F. OF OFFICE AREA
98,717 S.F. / 20,000 S.F. = 4.93 SPACES OR 5 SPACES

REQUIRED LONG-TERM - OFFICE (GENERAL)
1 SPACE PER 10,000 S.F. OF OFFICE AREA
98,717 S.F. / 10,000 S.F. = 9.87 SPACES OR 10 SPACES

PROVIDED SHORT-TERM SPACES:
RESIDENTIAL: 6 SPACES
OFFICE: 6 SPACES
TOTAL: 12 SPACES

PROVIDED LONG-TERM SPACES (PROVIDED @ 4TH, 5TH & 6TH FLOOR):
RESIDENTIAL: 80 SPACES
OFFICE: 10 SPACES
TOTAL: 90 SPACES

PROJECT DATA

ASSESSOR'S PARCEL NO.: 004180110, 004180800
ZONING: CBDS - CENTRAL BUSINESS SUPPORT
SITE AREA: 33,790 S.F. OR 0.77 ACRES
BUILDING HEIGHT: 50'0" MAXIMUM
MAX F.A.R. (FLOOR AREA RATIO): 3.0 OR 101,370 S.F.
MAX RESIDENTIAL UNITS (50 D.U. PER ACRE): 50 UNITS
MAX RESIDENTIAL UNITS WITH 50% STATE DENSITY BONUS: 69 UNITS
MAX RESIDENTIAL UNITS WITH 100% STATE DENSITY BONUS: 78 UNITS

FLOOR AREA (7-STORY BUILDING)
FIRST LEVEL - RESIDENTIAL: 2,184 S.F.
FIRST LEVEL - OFFICE: 26,013 S.F.
SECOND LEVEL - OFFICE: 27,736 S.F.
THIRD LEVEL - OFFICE: 25,814 S.F.
FOURTH LEVEL - RESIDENTIAL: 23,056 S.F.
FIFTH LEVEL - RESIDENTIAL: 23,103 S.F.
SIXTH LEVEL - RESIDENTIAL: 23,103 S.F.
SEVENTH LEVEL - OFFICE: 18,974 S.F.
TOTAL BUILDING AREA: 176,163 S.F.

TOTAL OFFICE AREA: 98,717 S.F.
TOTAL RESIDENTIAL AREA: 71,396 S.F.
TOTAL F.A.R. (FLOOR AREA RATIO): 176,163 S.F. / 33,790 S.F. = 5.03

DWELLING UNITS PER FLOOR
FOURTH LEVEL: 24 UNITS
FIFTH LEVEL: 24 UNITS
SIXTH LEVEL: 24 UNITS
TOTAL DWELLING UNITS: 72 UNITS

DWELLING UNIT MIX
STUDIO: 48 UNITS OR 60%
ONE-BEDROOM: 9 UNITS OR 13%
TWO-BEDROOM: 15 UNITS OR 21%

PARKING ANALYSIS

PARKING REQUIRED
OFFICE (171 S.F. / 1,437,000): 165 SPACES
RESIDENTIAL (0.6 S.F. PER DWELLING UNIT - ALL UNIT TYPES) / DEDICATED LEVEL P2: 36 SPACES
TOTAL REQUIRED PARKING: 221 SPACES

PARKING - PROVIDED
LEVEL P1: 2 SPACES
OFFICE - COMPACT (TANDEM): 21 SPACES
OFFICE - TANDEM: 9 SPACES
OFFICE - ADA STANDARD: 1 SPACE
OFFICE - VAN ACCESSIBLE: 1 SPACE
OFFICE - STANDARD LEVEL 2 EVCS: 11 SPACES
OFFICE - COMPACT LEVEL 2 EVCS: 3 SPACES
OFFICE - STANDARD LEVEL 2 EV CAPABLE: 14 SPACES
OFFICE - COMPACT LEVEL 2 EV CAPABLE: 17 SPACES
TOTAL OFFICE PARKING LEVEL P1 - PROVIDED: 79 SPACES

LEVEL P2: 15 SPACES
RESIDENTIAL - STANDARD LEVEL 2 EV READY: 4 SPACES
RESIDENTIAL - STANDARD LEVEL 2 EVCS: 10 SPACES
RESIDENTIAL - STANDARD ACCESSIBLE LEVEL 2 EVCS: 1 SPACE
RESIDENTIAL - VAN ACCESSIBLE LEVEL 2 EVCS: 2 SPACES
TOTAL RESIDENTIAL PARKING LEVEL P2 - PROVIDED: 31 SPACES

LEVEL P2: 50 SPACES
OFFICE - COMPACT (TANDEM): 4 SPACES
OFFICE - COMPACT (TANDEM): 21 SPACES
OFFICE - TANDEM: 9 SPACES
OFFICE - ADA STANDARD: 2 SPACES
OFFICE - VAN ACCESSIBLE LEVEL 2 EVCS: 1 SPACE
OFFICE - STANDARD ACCESSIBLE LEVEL 2 EVCS: 1 SPACE
OFFICE - STANDARD LEVEL 2 EVCS: 1 SPACE
OFFICE - STANDARD LEVEL 2 EV CAPABLE: 1 SPACE
OFFICE - COMPACT LEVEL 2 EV CAPABLE: 9 SPACES
OFFICE - COMPACT LEVEL 2 EVCS: 9 SPACES
TOTAL OFFICE PARKING LEVEL P2 - PROVIDED: 50 SPACES

TOTAL PARKING LEVEL P2 - PROVIDED: 81 SPACES
TOTAL OFFICE PARKING (LEVELS P1 & P2) - PROVIDED: 129 SPACES
TOTAL RESIDENTIAL PARKING (LEVEL P2) - PROVIDED: 31 SPACES

OFFICE USE	TOTAL NUMBER OF STALLS	20% or 37	30% or 56
TOTAL NUMBER OF LEVEL 2 EVCS STALLS	185		
TOTAL NUMBER OF LEVEL 2 EV CAPABLE STALLS	26		

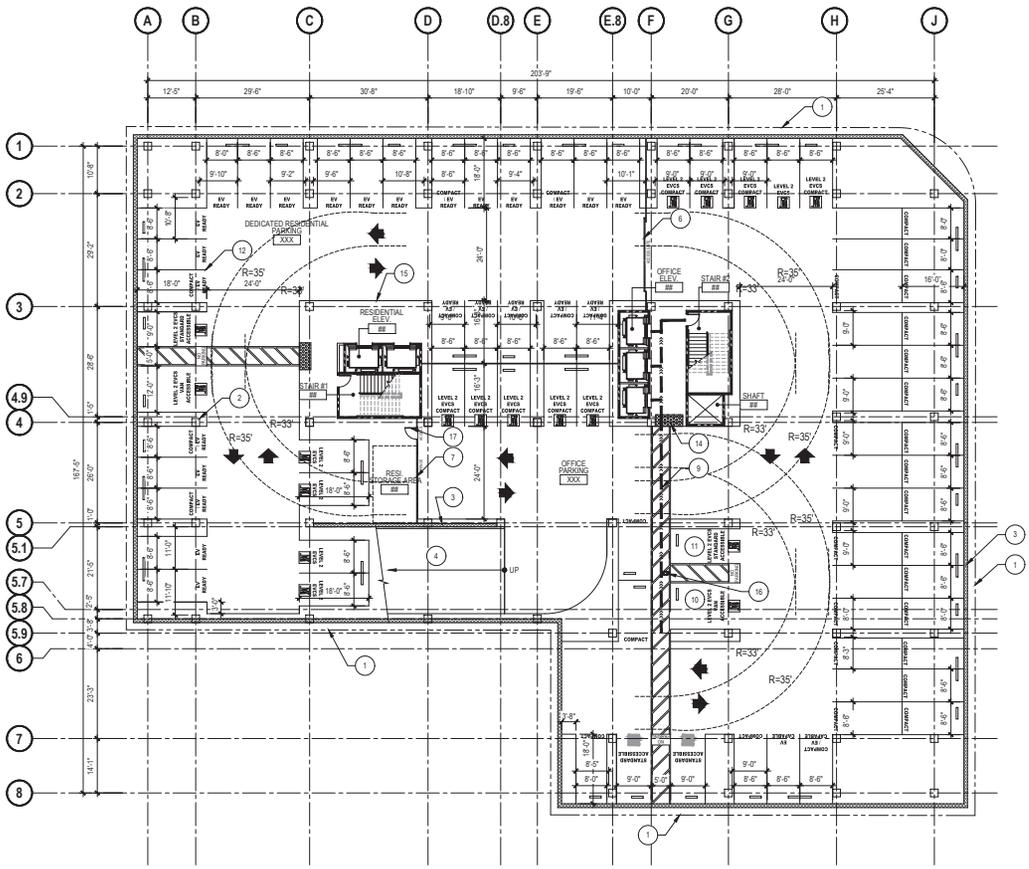
ASSIGNED RESIDENTIAL USE	TOTAL NUMBER OF DEDICATED STALLS	15% or 5	85% or 31
TOTAL NUMBER OF LEVEL 2 EVCS STALLS	30		
TOTAL NUMBER OF LEVEL 2 EV READY STALLS	5		
TOTAL NUMBER OF LEVEL 2 EV CAPABLE STALLS	26		

OFFICE USE	TOTAL NUMBER OF STALLS	20% or 37	30% or 56
TOTAL NUMBER OF LEVEL 2 EVCS STALLS	129		
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ASSIGNED RESIDENTIAL USE	TOTAL NUMBER OF DEDICATED STALLS	15% or 5	85% or 31
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OFFICE USE	TOTAL NUMBER OF STALLS	20% or 37	30% or 56
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ASSIGNED RESIDENTIAL USE	TOTAL NUMBER OF DEDICATED STALLS	15% or 5	85% or 31
TOTAL NUMBER OF LEVEL 2 EVCS STALLS	31		
TOTAL NUMBER OF LEVEL 2 EV READY STALLS	5		
TOTAL NUMBER OF LEVEL 2 EV CAPABLE STALLS	26		



P2 LEVEL PLAN SCALE: 1/8" = 1'-0"



KEYNOTES

NOTE: NOT ALL KEYNOTES LISTED MAY APPLY TO THIS DRAWING.

- PROPERTY LINE
- STRUCTURAL CONCRETE COLUMN
- CAST-IN-PLACE CONCRETE WALL
- CONCRETE RAMP
- LONG-TERM BIKE STORAGE. REFER TO DETAIL 15A1.03
- MOTORIZED SLIDING ENTRY GATE TO RESIDENTIAL PARKING AREA
- METAL FENCE
- DASHED LINE INDICATES RAMP ABOVE
- ACCESSIBLE PATH OF TRAVEL
- VAN ACCESSIBLE/LEVEL 2 EVCS
- STANDARD ACCESSIBLE LEVEL 2 EVCS
- PARKING STRIPE
- AMBULATORY EVCS
- ADA TRUNCATED DOME PLATE
- CONCRETE CURB
- ELECTRIC VEHICLE CHARGER. REFER TO DETAIL 14A1.02
- PEDESTRIAN ACCESS GATE

Use	Short-Term Bike	Long-Term Bike	Bike Total	Compact	Standard (Tandem)	Compact (Tandem)	ADA Standard	Standard Accessible Level 2 EVCS	Standard Accessible Level 2 EV Ready	Van Accessible	Van Accessible Level 2 EVCS	Standard Level 2 EVCS	Standard Level 2 EV Capable	Compact Level 2 EV Capable	Compact Level 2 EVCS	Compact Level 2 EV Ready	Parking Provided
Level 1 - Residential	6	6															
Level 1 - Office	6	6															
Level P1 - Office		10		2	9	21	1			1		11	14	17	3		79
Level P2 - Office				4	9	21	2	1			1	1	1	1	9		55
Level P2 - Residential								15			3	4				10	31
Levels 4, 5 & 6 - Residential	80	80															
Total Parking Provided	12	90	102														190



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ARC TEC ARCHITECTURAL TECHNOLOGIES
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Phoenix, AZ 85038 602.953.2355
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PLANNING APPLICATION FOR:
MECAH VENTURES
BLOCK 20
SAN MATEO, CA 94401
DATE DESCRIPTION
04.22.2022 ZONING PRE-APPLICATION
01.13.2022 FIRST PLANNING SUBMITTAL
04.14.2023 SECOND PLANNING SUBMITTAL
07.14.2023 THIRD PLANNING SUBMITTAL
11.15.2023 FOURTH PLANNING SUBMITTAL
03.16.2024 FIFTH PLANNING SUBMITTAL



EAST 4TH AVENUE - NORTH ELEVATION 1

SCALE: 3/32" = 1'-0"

KEYNOTES

NOTE: NOT ALL KEYNOTES LISTED MAY APPLY TO THIS DRAWING.

- 1 EXISTING PROPERTY LINE
- 2 ALUMINUM COMPOSITE CANOPY SYSTEM
- 3 PAINTED SMOOTH STUCCO OVER DENSE GLASS AND METAL FRAMING
- 4 EXTERIOR GLAZING SYSTEM
- 5 EXTERIOR PAINTED FOAM CROWN MOLDING
- 6 BALCONY RAILING SYSTEM
- 7 CORBEL AND BRACKETS
- 8 ALUMINUM FASCIA AND SIDING TRIM
- 9 CONCRETE ROOF TILE
- 10 EXTERIOR ALUMINUM GLASS STOREFRONT DOOR
- 11 EXPRESSED MULLION
- 12 EXTERIOR STONE CLADDING
- 13 ENTRY TO BELOW GRADE PARKING
- 14 COMPOSITE WOOD CLADDING
- 15 BUILDING SIGNAGE - UNDER SEPARATE PERMIT
- 16 HATCHED AREA INDICATED SPANDREL GLASS LOCATION

MATERIAL PALETTE

*GLAZING SPECIFIED INDICATES GENERAL TONE AND COLOR. FINAL PERCEIVED COLOR AND CLARITY WILL VARY DEPENDING ON 1" INSULATED GLAZING SPECIFICATION TO BE DETERMINED AT TIME OF CONSTRUCTION DOCUMENTATION.

- G1 TYPE: 1" INSULATED EXTERIOR GLAZING
COLOR: LIGHT BLUE TINT
PRODUCT REF.: LOW TINT VIBRACON™ INSULATED VRE-14725-01C30 (2" CLEAR WITH VRE-4725-R2 2" AIRSPACE - 2" CLEAR HS).
- M1 TYPE: ALUMINUM COMPOSITE CANOPY SYSTEM
COLOR: PPG MOCHA-COINO RUC105758XL
- M2 TYPE: EXTERIOR WINDOW DOOR FRAMES
COLOR: PPG MOCHA-COINO RUC105758XL
- L1 TYPE: SURFACE MOUNT LIGHT FIXTURE
COLOR: GRAY BROWN
PRODUCT REF.: DELTA LIGHTING (OR APPROVED EQUAL) - TORIX LX
- P1 TYPE: EXTERIOR PAINT
COLOR: PAVILION BEIGE
PRODUCT REF.: SHERWIN WILLIAMS - SW7512
- P2 TYPE: EXTERIOR PAINT
COLOR: BUNGALOW BEIGE
PRODUCT REF.: SHERWIN WILLIAMS - SW7511
- P3 TYPE: EXTERIOR PAINT
COLOR: WHITE/TALE
PRODUCT REF.: SHERWIN WILLIAMS - SW7503
- P4 TYPE: EXTERIOR PAINT
COLOR: HIGH REFLECTIVE WHITE
PRODUCT REF.: SHERWIN WILLIAMS - SW7757
- T1 TYPE: CONCRETE ROOF TILE
COLOR: CORONA DEL MAR BLEND
PRODUCT REF.: CAPISTRANO RSC82825
- W1 TYPE: EXTERIOR WOOD CLADDING
COLOR: MOJAVE THERMAL DOUGLAS FIR VG ROUGH SAWN 2.0 WEATHERED
PRODUCT REF.: TALE
DELTA MILLWORKS 1"x6"x6"
- ST1 TYPE: EXTERIOR TRAVERTINE WAINSCOT
COLOR: TORREON STONE, FILLED AND HONED FINISH
PRODUCT REF.: ARIZONA TILE 18"x18"x3"



S. DELAWARE STREET - EAST ELEVATION 2

SCALE: 3/32" = 1'-0"



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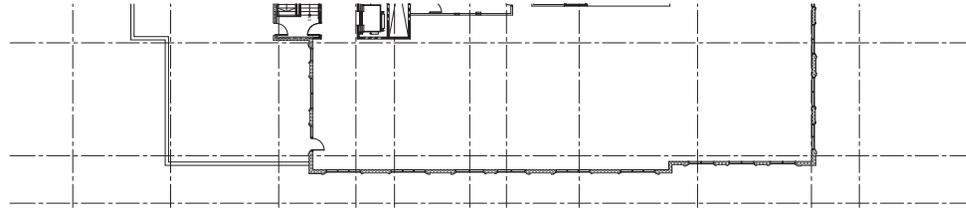
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PLANNING APPLICATION FOR:
MECAH VENTURES
BLOCK 20
SAN MATEO, CA 94401

DATE	DESCRIPTION
08.22.2023	2023-01-01 APPLICATION
01.13.2023	FIRST PLANNING SUBMITTAL
04.14.2023	SECOND PLANNING SUBMITTAL
07.14.2023	THIRD PLANNING SUBMITTAL
11.15.2023	FOURTH PLANNING SUBMITTAL
03.19.2024	FIFTH PLANNING SUBMITTAL

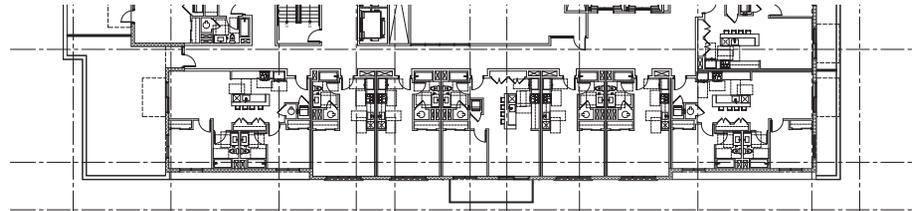
PA-2023-003
EXTERIOR ELEVATIONS

A 3.01
PROJECT NO: 215513



EAST 4TH AVENUE - PARTIAL SEVENTH FLOOR PLAN 4

SCALE: 1/16" = 1'-0"



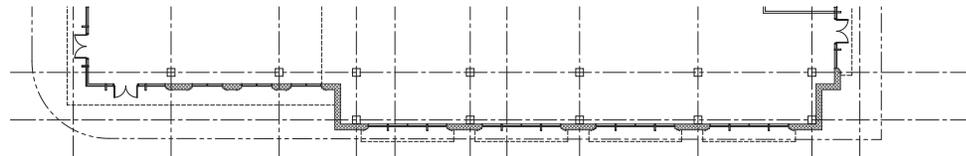
EAST 4TH AVENUE - PARTIAL FOURTH FLOOR PLAN 3

SCALE: 1/16" = 1'-0"



EAST 4TH AVENUE - EXTERIOR FACADE 2

SCALE: 1/16" = 1'-0"



EAST 4TH AVENUE - PARTIAL FIRST FLOOR PLAN 1

SCALE: 1/16" = 1'-0"



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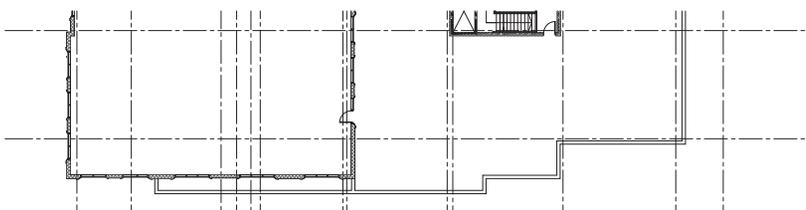
DATE	DESCRIPTION
06.22.2022	ZONING PRE-APPLICATION
01.13.2022	FIRST PLANNING SUBMITTAL
04.14.2023	SECOND PLANNING SUBMITTAL
07.14.2023	THIRD PLANNING SUBMITTAL
11.15.2023	FOURTH PLANNING SUBMITTAL
03.15.2024	FIFTH PLANNING SUBMITTAL

PA-2023-003

PARTIAL FLOOR PLANS
/ EXTERIOR ELEVATION
EAST 4TH AVENUE

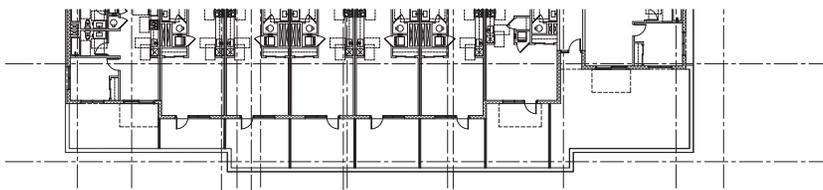
A 3.03

PROJECT NO. 215513



SOUTH DELAWARE STREET - PARTIAL SEVENTH FLOOR PLAN 4

SCALE: 1/8" = 1'-0"



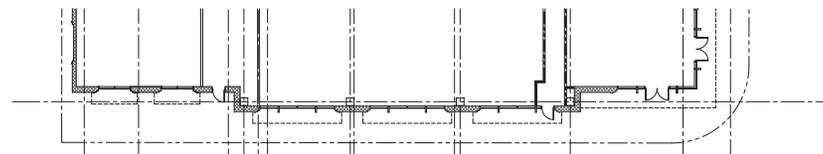
SOUTH DELAWARE STREET - PARTIAL FOURTH FLOOR PLAN 3

SCALE: 1/8" = 1'-0"



SOUTH DELAWARE STREET - EXTERIOR FACADE 2

SCALE: 1/8" = 1'-0"



SOUTH DELAWARE STREET - PARTIAL FIRST FLOOR PLAN 1

SCALE: 1/8" = 1'-0"



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SAN MATEO, CA 94401

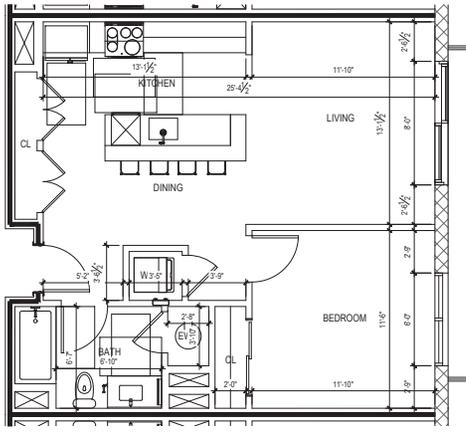
DATE	DESCRIPTION
06.22.2022	ZONING PRE-APPLICATION
01.13.2022	FIRST PLANNING SUBMITTAL
04.14.2023	SECOND PLANNING SUBMITTAL
07.14.2023	THIRD PLANNING SUBMITTAL
11.15.2023	FOURTH PLANNING SUBMITTAL
03.18.2024	FIFTH PLANNING SUBMITTAL

PA-2023-003

PARTIAL FLOOR PLANS
/ EXTERIOR ELEVATION
SOUTH DELAWARE STREET

A 3.04

PROJECT NO. 215513

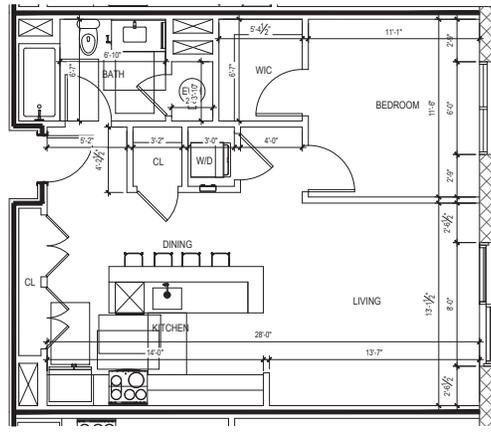


NET RENTABLE AREA: 732 S.F.

ENLARGED PLAN - 1BR/1BA UNIT TYPE 'B1.0'

SCALE: 1/4" = 1'-0"

1

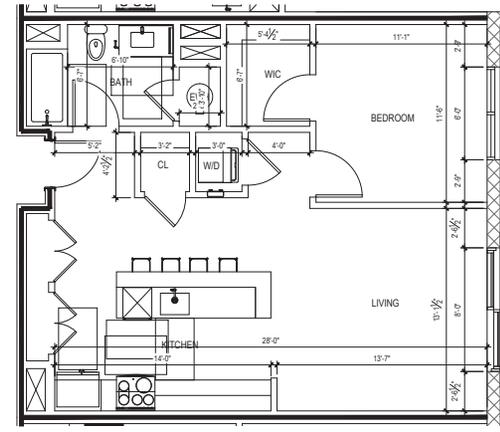


NET RENTABLE AREA: 800 S.F. (1) BMR UNIT @ LEVEL 4

ENLARGED PLAN - 1BR/1BA UNIT TYPE 'B1.1'

SCALE: 1/4" = 1'-0"

2



NET RENTABLE AREA: 800 S.F. (1) BMR UNIT @ LEVEL 5 & LEVEL 6

ENLARGED PLAN - 1BR/1BA UNIT TYPE 'B1.2'

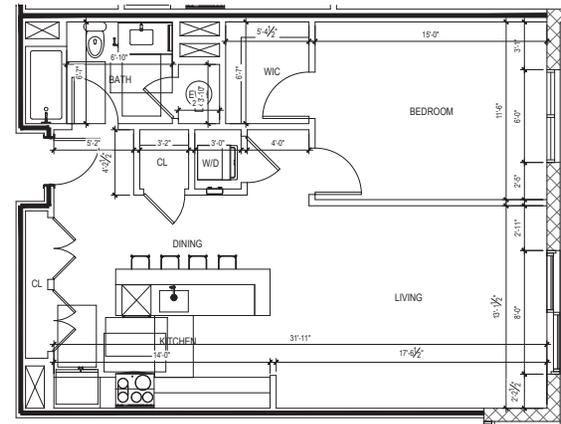
SCALE: 1/4" = 1'-0"

3

PROJECT DATA:												
Unit Type	Unit Area (S.F.)	Balcony Area (S.F.)	Unit Area w/Balcony (S.F.)	# Unit Level 4	# Unit Level 5	# Unit Level 6	Total # Units	Density Bonus Parking Req'd	Short-Term Bike Pkg Req'd	Long-Term Bike Pkg Req'd	Total Unit Area	Unit Mix
A1.0 (Studio)	475	excluded	475	4	4	4	12	0.05	0.05	1.00	5,700	excluded
A1.1 (Studio)	584	208	792	4	0	0	4	0.50	0.05	1.00	2,336	65%
A1.5A (Studio)	601	210	811	1	0	0	1	0.50	0.05	1.00	601	31%
A1.1B (Studio)	621	60	681	0	1	1	2	0.50	0.05	1.00	1,202	12%
A1.2 (Studio)	584	138	722	1	0	0	1	0.50	0.05	1.00	584	13%
A1.5 (Studio)	564	excluded	564	4	4	4	12	0.50	0.05	1.00	6,768	excluded
A1.6 (Studio)	564	excluded	564	2	2	2	6	0.50	0.05	1.00	3,384	excluded
A1.7A (Studio)	584	excluded	584	0	5	5	10	0.50	0.05	1.00	5,840	excluded
B1.0 (1BR/1BA Unit)	732	130	862	1	1	1	3	0.50	0.05	1.00	2,196	39%
B1.1 (1BR/1BA Unit)	800	131	931	1	0	0	1	0.50	0.05	1.00	800	13%
B1.2 (1BR/1BA Unit)	800	60	860	0	1	1	2	0.50	0.05	1.00	1,600	12%
B1.3 (1BR/1BA Unit)	910	excluded	910	1	1	1	3	0.50	0.05	1.00	2,730	excluded
C1.0 (2BR/2BA Unit)	998	excluded	998	1	0	0	1	0.50	0.10	1.25	998	excluded
C1.1 (2BR/2BA Unit)	929	273	1,202	1	0	0	1	0.50	0.10	1.25	929	27%
C1.2 (2BR/2BA Unit)	993	131	1,124	1	0	0	1	0.50	0.10	1.25	993	13%
C1.3 (2BR/2BA Unit)	987	139	1,126	1	0	0	1	0.50	0.10	1.25	987	13%
C1.4 (2BR/2BA Unit)	981	141	1,122	1	0	0	1	0.50	0.10	1.25	981	14%
C1.5 (2BR/2BA Unit)	998	60	1,058	0	1	1	2	0.50	0.10	1.25	1,996	12%
C1.6 (2BR/2BA Unit)	929	60	989	0	1	1	2	0.50	0.10	1.25	1,858	12%
C1.7 (2BR/2BA Unit)	993	60	1,053	0	1	1	2	0.50	0.10	1.25	1,986	12%
C1.8 (2BR/2BA Unit)	987	60	1,047	0	1	1	2	0.50	0.10	1.25	1,974	12%
C1.9 (2BR/2BA Unit)	981	60	1,041	0	1	1	2	0.50	0.10	1.25	1,962	12%
Total # dwelling units				24	24	24	72				48,405	3,325

BMR UNIT REQUIREMENTS - PER SDB ON BASE DENSITY (39 UNITS)	
50% INCREASE 15% VERY LOW INCOME	8 UNITS
ADDITIONAL 50% 75% MODERATE INCOME	6 UNITS
TOTAL (PROVIDED)	12 UNITS

BMR UNIT BREAKDOWN PER FLOOR	
(1) TYPE 1.0 LEVEL 4	
(1) TYPE A1.6 LEVEL 4	
(1) TYPE B1.1 LEVEL 4	
(1) TYPE C1.2 LEVEL 4	
(1) TYPE A1.0 LEVEL 5	
(1) TYPE A1.6 LEVEL 5	
(1) TYPE B1.2 LEVEL 5	
(1) TYPE C1.7 LEVEL 5	
(1) TYPE A1.0 LEVEL 6	
(1) TYPE A1.6 LEVEL 6	
(1) TYPE B1.2 LEVEL 6	
(1) TYPE C1.2 LEVEL 6	
TOTAL 12 BMR UNITS	



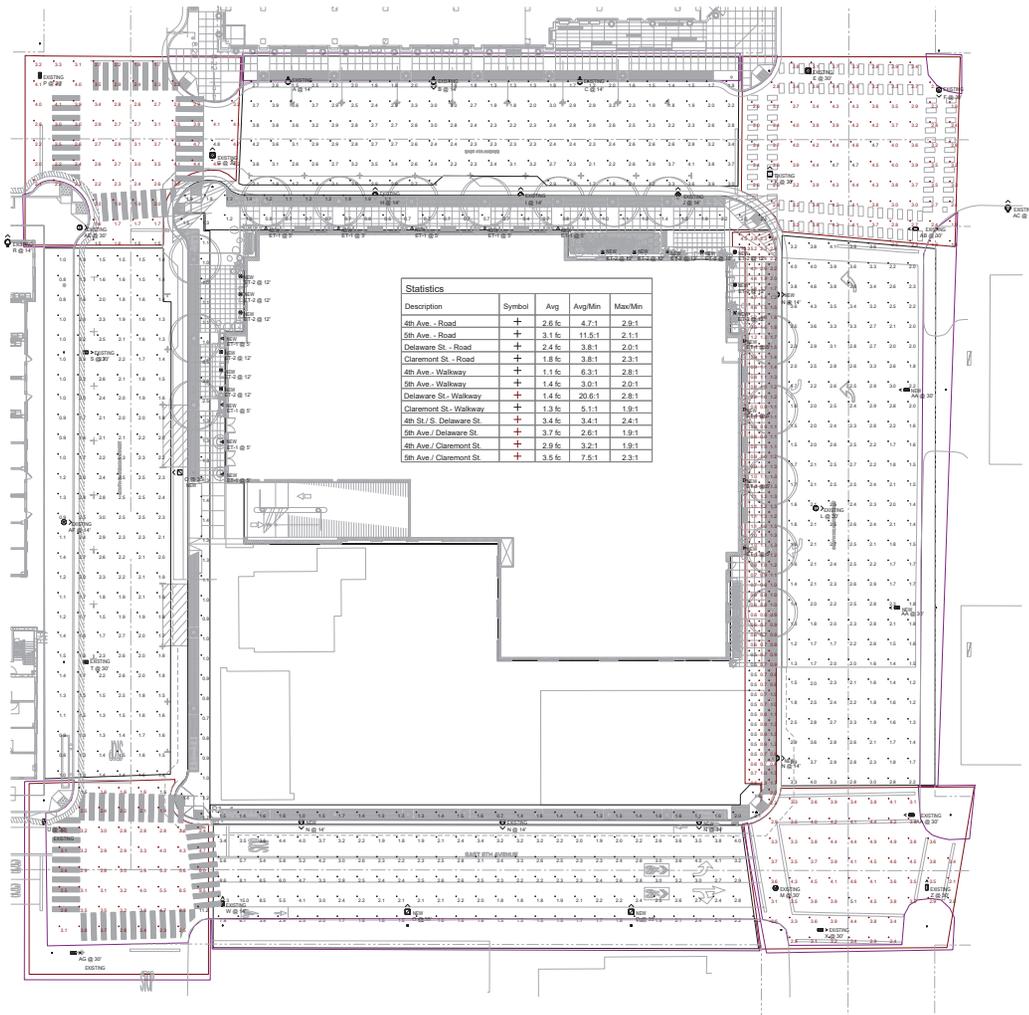
NET RENTABLE AREA: 910 S.F.

ENLARGED PLAN - 1BR/1BA UNIT TYPE 'B1.3'

SCALE: 1/4" = 1'-0"

4

DATE	DESCRIPTION
08.22.2022	ZONING PRE-APPLICATION
01.13.2023	FIRST PLANNING SUBMITTAL
04.14.2023	SECOND PLANNING SUBMITTAL
07.14.2023	THIRD PLANNING SUBMITTAL
11.15.2023	FOURTH PLANNING SUBMITTAL
03.16.2024	FIFTH PLANNING SUBMITTAL

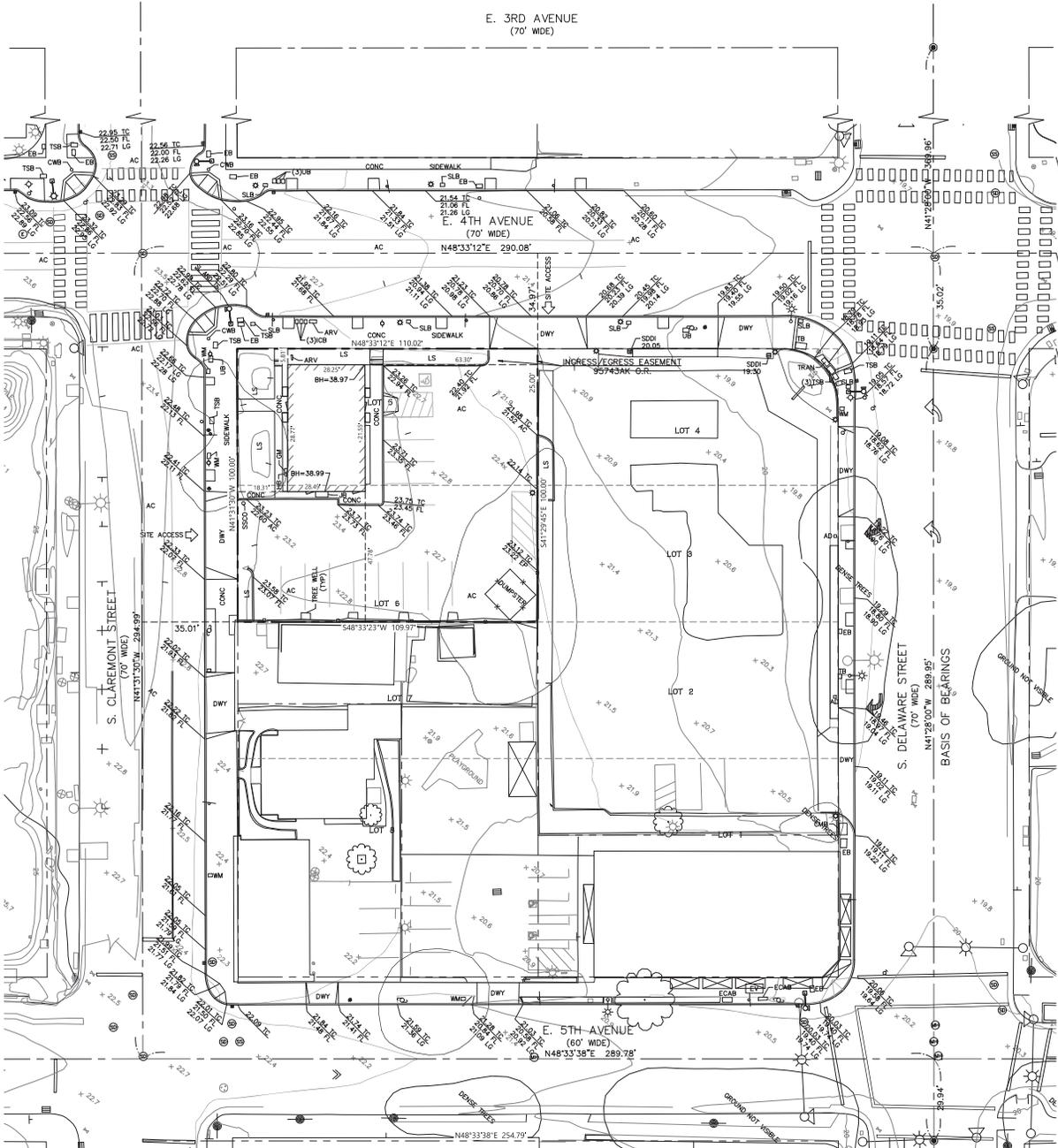


Statistics				
Description	Symbol	Avg	Avg/Min	Max/Min
4th Ave - Road	+	2.6 fc	4.7:1	2.9:1
5th Ave - Road	+	3.1 fc	11.5:1	2.1:1
Delaware St - Road	+	2.4 fc	3.8:1	2.0:1
Claremont St - Road	+	1.8 fc	3.9:1	2.3:1
4th Ave - Walkway	+	1.1 fc	6.3:1	2.8:1
5th Ave - Walkway	+	1.4 fc	3.0:1	2.0:1
Delaware St - Walkway	+	1.4 fc	20.6:1	2.8:1
Claremont St - Walkway	+	1.3 fc	5.1:1	1.9:1
4th St / S. Delaware St	+	3.4 fc	3.4:1	2.4:1
5th Ave / Delaware St	+	3.7 fc	2.6:1	1.9:1
4th Ave / Claremont St	+	2.9 fc	3.2:1	1.9:1
5th Ave / Claremont St	+	3.5 fc	7.5:1	2.3:1

SITE PLAN - PHOTOMETRIC CALCULATION

SCALE: N.T.S.

Grid	Level	Height	Area	Volume	Surface Area	Volume	Volume	Volume	Volume	Volume
A	1									
B	1									
C	1									
D	1									
E	1									
F	1									
G	1									
H	1									
I	1									
J	1									
K	1									
L	1									
M	1									
N	1									
O	1									
P	1									
Q	1									
R	1									
S	1									
T	1									
U	1									
V	1									
W	1									
X	1									
Y	1									
Z	1									
AA	1									
AB	1									
AC	1									
AD	1									
AE	1									
AF	1									
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EC	1									
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FU	1									
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FW	1									
FX	1									
FY	1									
FZ	1									
GA	1									
GB	1									
GC	1									
GD	1									
GE	1									
GF	1									
GG	1									
GH	1									
GI	1									
GJ	1									
GK	1									
GL	1									
GM	1									
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GP	1									
GQ	1									
GR	1									
GS	1									
GT	1									
GU	1									
GV	1									
GW	1									
GX	1									
GY	1									
GZ	1									
HA	1									
HB	1									
HC	1									
HD	1									
HE	1									



ABBREVIATIONS

- AC ASPHALT
- AD AREA DRAIN
- APN ASSESSOR'S PARCEL NUMBER
- BFP BACK FLOW PREVENTOR
- BH BUILDING HEIGHT
- BLDG BUILDING
- BOL BOLLARD
- CMB COMMUNICATIONS BOX
- CTVB CABLE/TELEVISION BOX
- CONC CONCRETE
- CR CURB RAMP
- D.N. DOCUMENT NUMBER
- DWY DRIVEWAY
- EB ELECTRICAL BOX
- ECAB ELECTRICAL CABINET
- EV ELECTRICAL VAULT
- EX EXISTING
- FH FIRE HYDRANT
- FL FLOWLINE
- GV GAS VALVE
- JP JOINT POLE
- LG LIP OF GUTTER
- OH OVERHANG
- AR REGULAR PARKING SPOT
- RR RAILROAD TRACKS
- SSCO SANITARY SEWER CLEAN OUT
- SQ. FT. SQUARE FEET
- SSCO STORM DRAIN CURB DRAIN
- STR STRUCTURE
- TB TELEPHONE BOX
- TC TOP OF CURB
- TRAN TRANSFORMER
- TSB TRAFFIC SIGNAL BOX
- UB UTILITY BOX
- WB WATER BOX
- WM WATER METER
- WV WATER VALVE

SYMBOLS & LEGEND

- AREA LIGHT
- TRAFFIC SIGNAL
- STREET LIGHT
- CATCH BASIN
- COMMUNICATION MANHOLE
- FIRE HYDRANT
- GUY ANCHOR
- MONUMENT
- RESER
- STORM DRAIN MANHOLE
- SANITARY SEWER MANHOLE
- MANHOLE
- SIGN
- UTILITY POLE
- VALVE
- BUILDING OVERHANG
- DIMENSIONAL TIES
- EASEMENT
- FENCE
- LOT LINE
- PROPERTY LINE

BASIS OF BEARING

THE MONUMENTED CENTERLINE OF SOUTH DELAWARE STREET BETWEEN 3RD AVENUE AND 5TH AVENUE AS SHOWN ON PARCEL MAP NO. 324 FILED IN BOOK 64 OF MAPS, PAGE 52 SHOWN AS S 41°28'00" E.

BENCHMARK

ELEVATIONS ARE RELATIVE TO THE NORTH AMERICAN DATUM OF 1988, DERIVED FROM GPS OBSERVATIONS AND BASED ON NAD83(2011), EPOCH 2022.2808

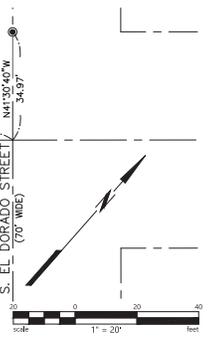
NOTES

ALL DISTANCES AND DIMENSIONS ARE IN FEET AND DECIMALS THEREOF. DATES OF TOPOGRAPHIC SURVEY ARE MAY 1, 2022

SURVEYOR'S STATEMENT

THIS TOPOGRAPHIC SURVEY WAS PREPARED BY ME OR UNDER MY DIRECTION.

DAVIS THRESH
 P.L.S. NO. 6868
 5/3/2022
 DATE



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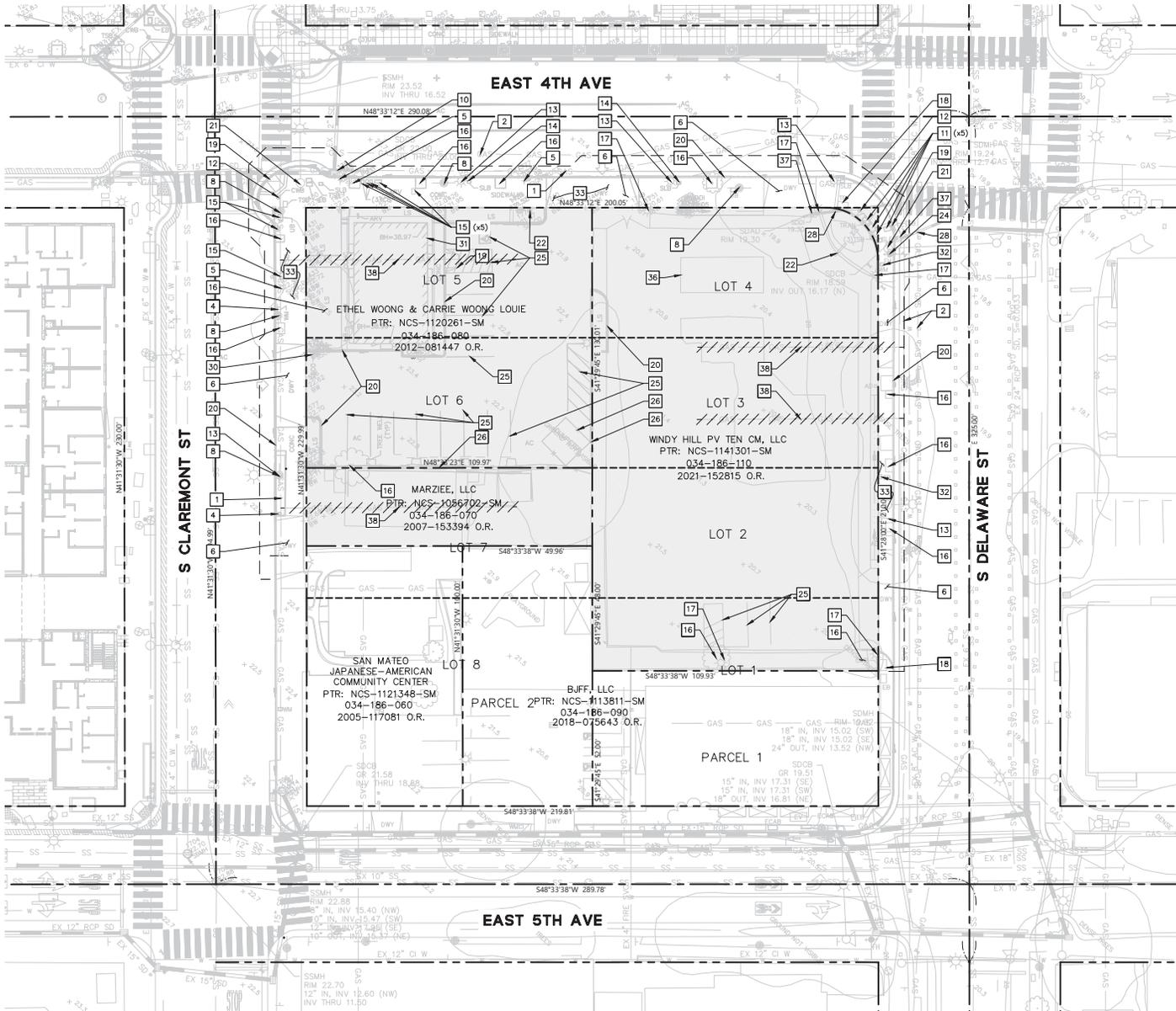
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05/14/2023	THIRD PLANNING SUBMITTAL
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03/16/2024	FIFTH PLANNING SUBMITTAL

SITE SURVEY

PA-2023-003

C2.01

PROJECT NO. 215513



DEMOLITION LEGEND:

- REMOVE (E) UTILITY
- SAWCUT LINE
- PROPERTY LINE
- LIMITS OF ONSITE IMPROVEMENTS

DEMOLITION KEY NOTES

- 1 GAS MAIN, TO BE PROTECTED IN PLACE
- 2 EXISTING ABANDONED GAS MAIN
- 3 NOT USED
- 4 WATER METER, TO BE REMOVED
- 5 STREET SIGN, TO BE RELOCATED PER CONSTRUCTION DOCUMENTS
- 6 DRIVEWAY, TO BE REMOVED
- 7 NOT USED
- 8 JOINT POLE, TO BE REMOVED, S.J.T.P. FOR DISPOSITION
- 9 NOT USED
- 10 STORM DRAIN CATCH BASIN, TO BE REMOVED AND REPLACED
- 11 ELECTRICAL BOX, TO REMAIN IN PLACE, ADJUST TO FG
- 12 PEDESTRIAN BUTTON, TO REMAIN IN PLACE, ADJUST TO FG
- 13 STREET LIGHT, TO BE RELOCATED, S.J.T.P.
- 14 STREET LIGHT BOX, TO BE RELOCATED, S.J.T.P.
- 15 UTILITY BOX, TO REMAIN, ADJUST TO FG
- 16 TREE, TO BE REMOVED
- 17 STREET LIGHT, TO BE REMOVED
- 18 TELECOM BOX, TO REMAIN, ADJUST TO FG
- 19 CURB RAMP, TO BE REMOVED AND REPLACED
- 20 CURB AND GUTTER, TO BE REMOVED AND REPLACED
- 21 TRAFFIC SIGNAL AND BOX, TO REMAIN IN PLACE, ADJUST TO FG
- 22 BUSINESS SIGN, TO BE REMOVED
- 23 NOT USED
- 24 FIRE HYDRANT, TO REMAIN
- 25 PARKING STRIPING, TO BE REMOVED
- 26 FENCE, TO BE REMOVED
- 27 NOT USED
- 28 STORM DRAIN LATERAL, TO BE CUT AND CAPPED, AND ABANDONED IN PLACE
- 29 NOT USED
- 30 SANITARY LATERAL, TO BE CUT AND CAPPED AT THE MAIN, AND ABANDONED IN PLACE
- 31 BUILDING, TO BE REMOVED
- 32 UTILITY BOX, TO BE REMOVED
- 33 SIDEWALK, TO BE REMOVED TYP
- 34 NOT USED
- 35 NOT USED
- 36 NOT USED
- 37 STORM DRAIN CATCH BASIN, TO BE REMOVED
- 38 GAS LATERAL TO BE CUT, CAPPED, AND REMOVED

NOTES

1. THERE ARE NO EXISTING EASEMENTS WITHIN THE PROJECT PROPERTY.



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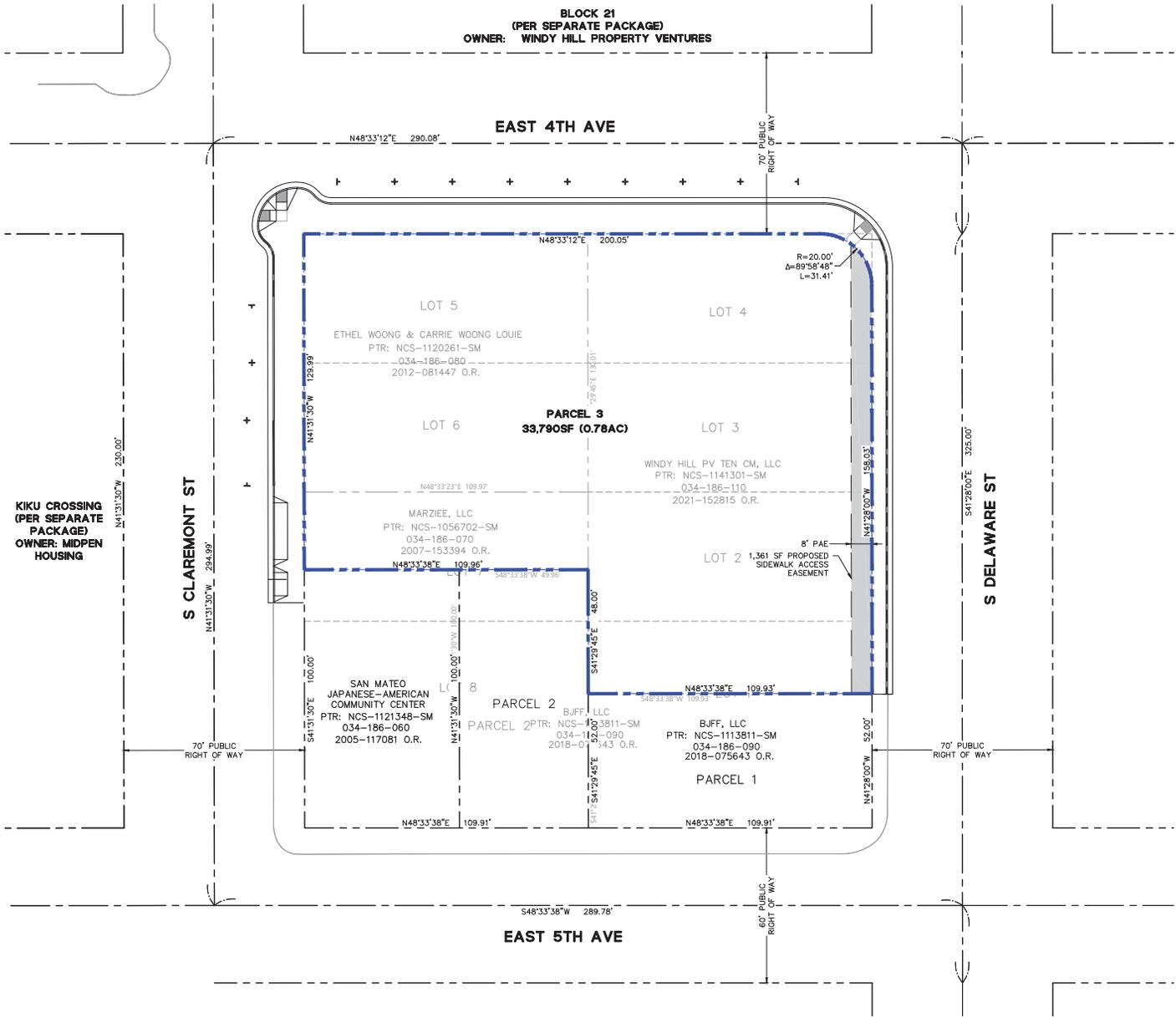
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EXISTING CONDITIONS AND DEMOLITION PLAN

PA-2023-003

C2.02

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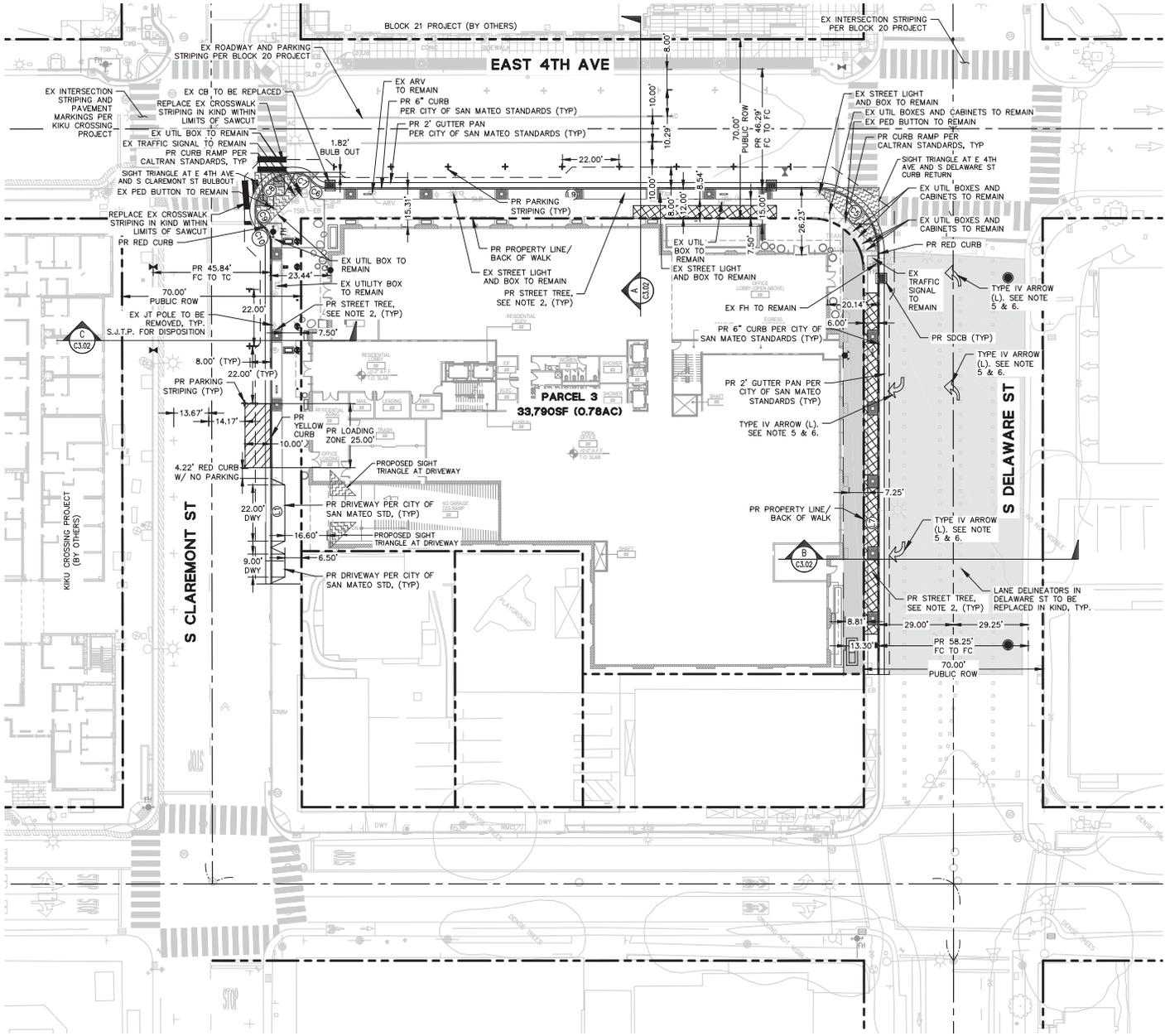
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TENTATIVE
PARCEL
MAP

PA-2023-003

C2.03

PROJECT NO. 215513



LEGEND

- LIMITS OF GRIND AND OVERLAY TOP 2.5" OF ROADWAY PAVEMENT
- SAWCUT LINE
- PROPOSED SIGHT TRIANGLE (25' FOR INTERSECTIONS, 10' FOR DRIVEWAYS)
- PROPOSED RED CURB
- PROPOSED YELLOW CURB
- PUBLIC ACCESS EASEMENT

NOTES:

1. THE 2' MIN STRIP BETWEEN THE SAWCUT AND PROPOSED GUTTER WILL BE REPLACED WITH FULL DEPTH AC LIFT.
2. PROPOSED TREE LOCATIONS ARE SHOWN FOR REFERENCE ONLY. REFER TO LANDSCAPE DRAWINGS FOR TREE SIZE, SPECIES, AND EXACT LOCATION.
3. REFER TO LANDSCAPE AND ARCHITECTURAL DRAWINGS FOR LOCATION OF BICYCLE PARKING AND PUBLIC ART.
4. PAVEMENT RESTORATION OF CLAREMONT STREET BETWEEN 4TH AND 5TH AVE, INCLUDING INTERSECTION TO BE COMPLETED BY THE KIKU CROSSING PROJECT. PAVEMENT RESTORATION OF 4TH AVE BETWEEN CLAREMONT ST AND DELAWARE ST, INCLUDING INTERSECTIONS, TO BE COMPLETED BY BLOCK 21 PROJECT.
5. ALL PAVEMENT MARKINGS WITHIN THE LIMITS OF PAVEMENT RESTORATION SHALL BE REPLACED IN KIND WITH THERMOPLASTIC PER CITY OF SAN MATEO STANDARDS.
6. ALL PAVEMENT MARKINGS SHALL BE INSTALLED IN ACCORDANCE WITH THE LATEST EDITION OF THE CALTRANS STANDARD PLANS AND SPECIFICATIONS.
7. CLAREMONT STREET AND 4TH AVENUE WILL BE UNDER EXCAVATION MORATORIUM PER SMMC 17.32 CIO. ONCE THEY ARE REPAVED, IF ANY PORTIONS OF THOSE STREETS ARE EXCAVATED WITHIN THREE YEARS OF BEING REPAVED, THE EXCAVATING ENTITY MUST REPAVE THE BLOCK OF THE STREET IN WHICH THE EXCAVATION IS LOCATED.

LINE TABLE		
LINE NO.	LENGTH	DIRECTION
L1	210.05	S41°31'30"E
L7	212.02	N41°28'00"W
L9	190.53	S48°33'12"W

CURVE TABLE			
CURVE NO.	LENGTH	RADIUS	DELTA
C5	39.26	25.00	089°58'48"
C6	7.11	8.00	050°55'07"
C7	5.85	8.00	041°53'14"
C8	25.99	15.00	099°16'39"
C9	7.14	8.00	051°08'59"
C10	7.17	8.00	051°19'01"



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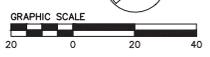
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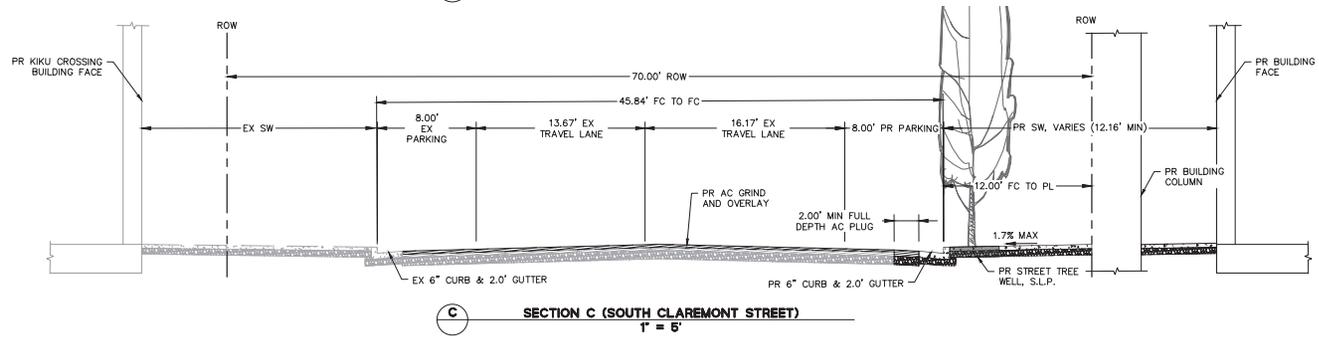
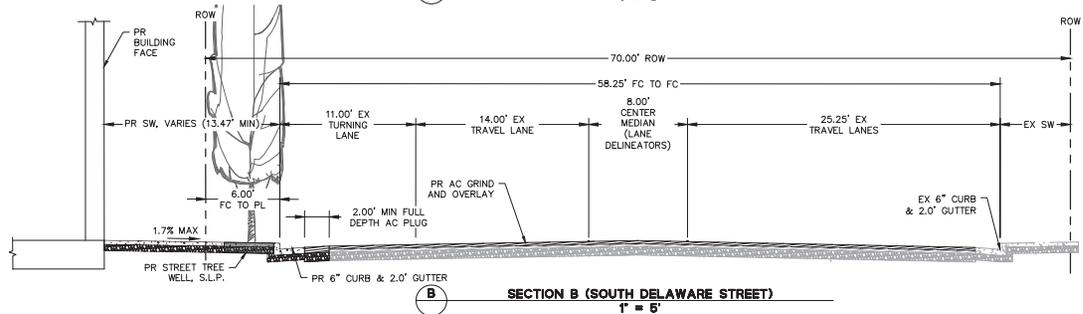
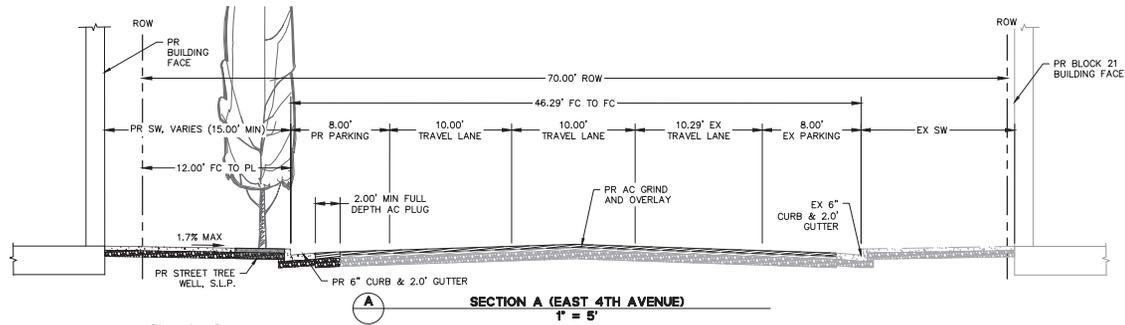
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PRELIMINARY
HORIZONTAL
CONTROL PLAN
PA-2023-003



C3.01

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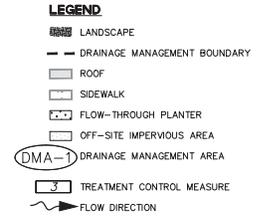
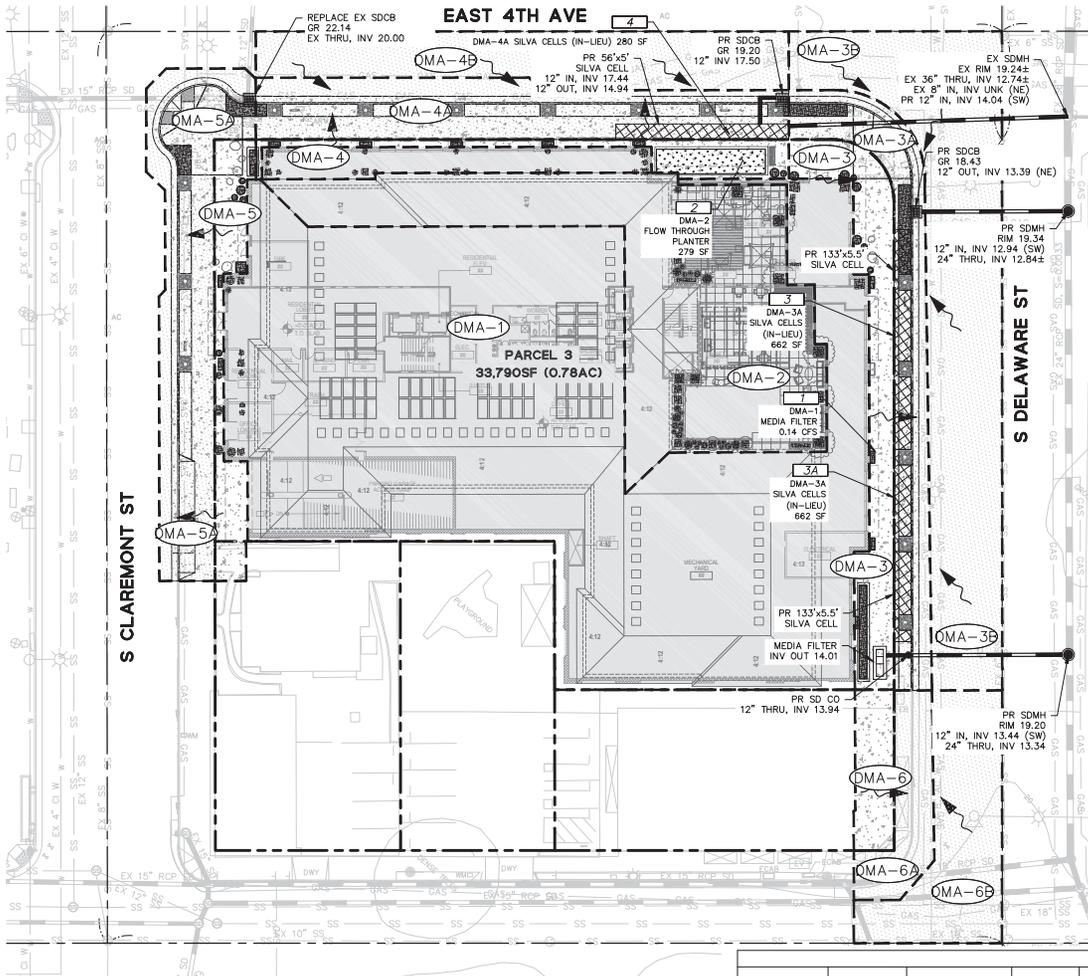
PRELIMINARY
 CROSS
 SECTIONS

PA-2023-003

C3.02

PROJECT NO. 215613

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ON-SITE LID TREATMENT AREA SUMMARY			
TREATMENT TYPE	DRAINAGE MANAGEMENT AREA	TOTAL AREA	PERCENTAGE
NON-LID TREATED DRAINAGE AREA	DMA-1	21,274	63%
LID TREATED DRAINAGE AREA	DMA-2, DMA-3, DMA-4, DMA-5, DMA-6	12,516	37%

ON-SITE DRAINAGE MANAGEMENT AREA TREATMENT CONTROL SIZING													
DRAINAGE MANAGEMENT AREA	TREATMENT CONTROL MEASURE	TREATMENT TYPE	ROOFS (SF)	CONCRETE (SF)	LANDSCAPE (SF)	TREATMENT PLANTER (SF)	TOTAL AREA (SF)	TOTAL IMPERVIOUS AREA (SF)	TOTAL PERVIOUS AREA (SF)	EFFECTIVE IMPERVIOUS AREA* (SF)	TREATMENT AREA REQUIRED** (SF)	TREATMENT AREA PROVIDED (SF)	PONDING DEPTH (INCH)
1	1	Mechanical Treatment	21,108	0	166	0	21,274	21,108	166	21,125	0.10 CFS	0.10 CFS	NA
2	2	Flow-through Planter	7,039	0	203	279	7,521	7,039	482	7,087	279	279	0
3	3	Silva Cells	0	1,914	133	0	2,047	1,914	133	1,927	77	636	NA
4	4	Silva Cells	0	1,074	35	0	1,109	1,074	35	1,078	43	280	NA
5	5	In-Lieu***	0	1,104	71	0	1,175	1,104	71	1,111	44	SEE IN-LIEU***	NA
6	3	Silva Cells	0	664	0	0	664	664	0	664	27	636	NA
TOTAL			28,147	4,756	608	279	33,790	32,903	887	32,903			
OFF-SITE DRAINAGE MANAGEMENT AREA TREATMENT CONTROL SIZING													
3A	3	Silva Cells	0	2,573	0	0	2,771	2,573	198	2,593	104	SEE TCM 3	NA
4A	4	Silva Cells	0	3,125	0	0	3,125	3,125	0	3,125	125	SEE TCM 4	NA
5A	In-Lieu***	Off-Site In-Lieu	0	3,292	108	0	3,399	3,292	108	3,293	132	SEE IN-LIEU***	NA
6A	3A	Silva Cells	0	998	0	0	998	998	0	998	40	SEE TCM 3	NA
TOTAL			0	9,978	306	0	10,284	9,978	306	9,978			
OFF-SITE IN-LIEU DRAINAGE MANAGEMENT AREA TREATMENT CONTROL SIZING													
3B	3A	Silva Cells	0	6,157	0	0	6,157	6,157	0	6,157	246	SEE TCM 4	NA
4B	4	Silva Cells	0	2,920	0	0	2,920	2,920	0	2,920	117	SEE TCM 5	NA
6B	3A	Silva Cells	0	2,251	0	0	2,251	2,251	0	2,251	90	SEE TCM 4	NA
TOTAL			0	11,328	0	0	11,328	11,328	0	11,328			

* EFFECTIVE IMPERVIOUS AREA IS EQUAL TO THE TOTAL IMPERVIOUS AREA PLUS 10% OF THE TOTAL PERVIOUS AREA PER THE SMCWPPP C 3 REGULATED PROJECTS GUIDE

** TREATMENT AREA REQUIRED IS CALCULATED USING THE SMCWPPP WORKSHEET FOR CALCULATING THE COMBINATION FLOW AND VOLUME METHOD (OR 4% METHOD FOR SILVA CELLS AND IN-LIEU)

*** IN-LIEU TREATMENT IS PROPOSED FOR ON-SITE GROUND LEVEL IMPROVEMENTS (DMA-7) AND IMPROVEMENTS IN THE PUBLIC ROW (DMA-7A).



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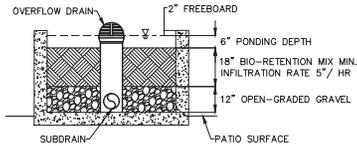
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PRELIMINARY
STORMWATER
CONTROL PLAN

PA-2023-003

C6.01

PROJECT NO. 215513



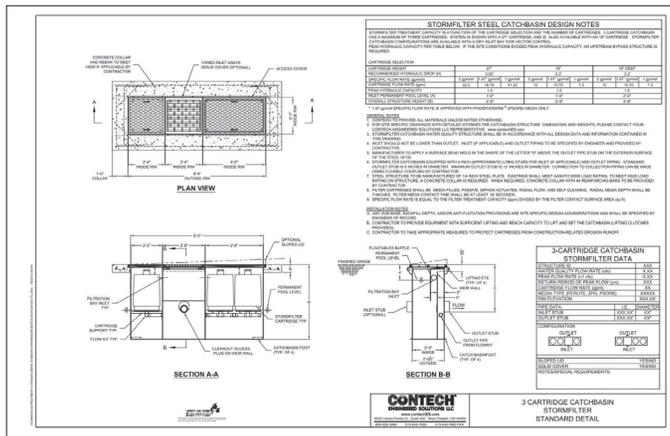
1 TYPICAL FLOW-THROUGH PLANTER ON PODIUM

CONSTRUCTION STORMWATER BMP NOTES

- PERFORM CLEARING AND EARTH-MOVING ACTIVITIES ONLY DURING DRY WEATHER. MEASURES TO ENSURE ADEQUATE EROSION AND SEDIMENT CONTROL SHALL BE INSTALLED PRIOR TO EARTH-MOVING ACTIVITIES AND CONSTRUCTION.
- MEASURES TO ENSURE ADEQUATE EROSION AND SEDIMENT CONTROL ARE REQUIRED YEAR-ROUND. STABILIZE ALL DENUDED AREAS AND MAINTAIN EROSION CONTROL MEASURES CONTINUOUSLY BETWEEN OCTOBER 1 AND APRIL 30.
- STORE, HANDLE, AND DISPOSE OF CONSTRUCTION MATERIALS AND WASTES PROPERLY, SO AS TO PREVENT THEIR CONTACT WITH STORMWATER.
- AVOID AND PREVENT THE DISCHARGE OF ALL POTENTIAL POLLUTANTS, INCLUDING PAINTS, CONCRETE, PETROLEUM PRODUCTS, CHEMICALS, WASH WATER OR SEDIMENTS, AND NON-STORMWATER DISCHARGES TO STORM DRAINS AND WATERCOURSES.
- USE SEDIMENT CONTROLS OR FILTRATION TO REMOVE SEDIMENT WHEN DEWATERING SITES AND OBTAIN REGIONAL WATER QUALITY CONTROL BOARD (RWQCB) PERMIT(S) AS NECESSARY.
- AVOID CLEANING, FUELING, OR MAINTAINING VEHICLES ON-SITE, EXCEPT IN A DESIGNATED AREA WHERE WASH WATER IS CONTAINED AND TREATED.
- LIMIT AND TIME APPLICATIONS OF PESTICIDES AND FERTILIZERS TO PREVENT POLLUTED RUNOFF.
- LIMIT CONSTRUCTION ACCESS ROUTES TO STABILIZED, DESIGNATED ACCESS POINTS.
- AVOID TRACKING DIRT OR OTHER MATERIALS OFF-SITE; CLEAN OFF-SITE PAVED AREA AND SIDEWALKS USING DRY SWEEPING METHODS.
- TRAIN AND PROVIDE INSTRUCTION TO ALL EMPLOYEES AND SUBCONTRACTORS REGARDING THE WATERSHED PROTECTION MAINTENANCE STANDARDS AND CONSTRUCTION BEST MANAGEMENT PRACTICES.
- THE AREAS DELINEATED ON THE PLANS FOR PARKING, GRUBBING, STORAGE, ETC., SHALL NOT BE ENLARGED OR "RUN OVER."
- CONSTRUCTION SITES ARE REQUIRED TO HAVE EROSION CONTROL MATERIALS ON-SITE DURING THE "OFF-SEASON."
- DUST CONTROL IS REQUIRED YEAR-ROUND.
- EROSION CONTROL MATERIALS SHALL BE STORED ON-SITE.

SOURCE CONTROL NOTES

- STORM DRAIN: MARK ON-SITE INLETHS WITH THE WORDS "NO DUMPING FLOWS TO BAY" OR EQUIVALENT.
- LANDSCAPING:
 - RETAIN EXISTING VEGETATION AS PRACTICABLE.
 - SELECT DIVERSE SPECIES APPROPRIATE TO THE SITE. INCLUDE PLANTS THAT ARE PEST-AND/OR DISEASE-RESISTANT, DROUGHT-TOLERANT, AND/OR ATTRACT BENEFICIAL INSECTS.
 - MINIMIZE USE OF PESTICIDES AND QUICK-RELEASE FERTILIZERS.
 - USE EFFICIENT IRRIGATION SYSTEM; DESIGN TO MINIMIZE RUNOFF.
- REFUSE AREAS:
 - PROVIDE A ROOFED AND ENCLOSED AREA FOR DUMPSTERS, RECYCLING CONTAINERS, ETC., DESIGNED TO PREVENT STORMWATER RUN-ON AND RUNOFF.
 - CONNECT ANY DRAINS IN OR BENEATH DUMPSTERS, COMPACTORS, AND TALLOW BIN AREAS SERVING FOOD SERVICE FACILITIES TO THE SANITARY SEWER.
- FIRE SPRINKLERS: DESIGN FOR DISCHARGE OF FIRE SPRINKLER TEST WATER TO LANDSCAPE OR SANITARY SEWER.
- MISCELLANEOUS DRAIN OR WASH WATER:
 - DRAIN CONDENSATE OF AIR CONDITIONING UNITS TO LANDSCAPED AREA WHERE PRACTICABLE.
 - DRAIN BOILER DRAIN LINES, ROOF TOP EQUIPMENT, ALL WASH WATER TO SANITARY SEWER.



2 MEDIA FILTER



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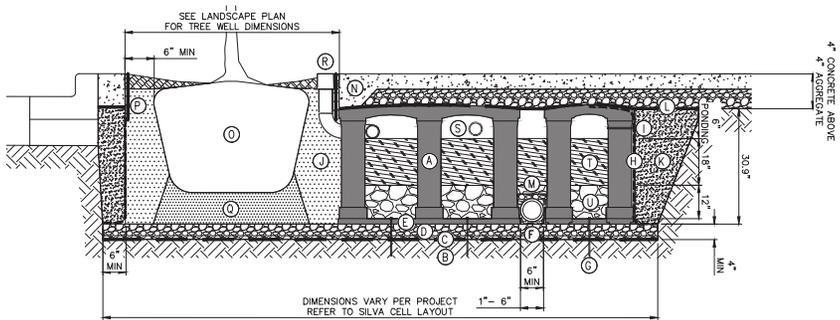
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PRELIMINARY
STORMWATER
CONTROL NOTES
AND DETAILS

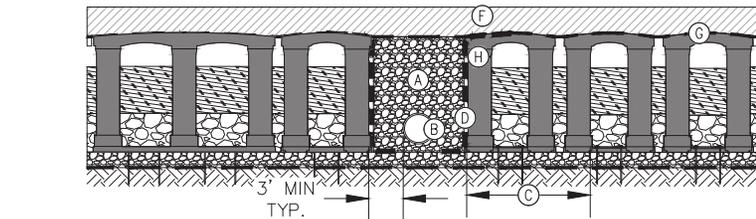
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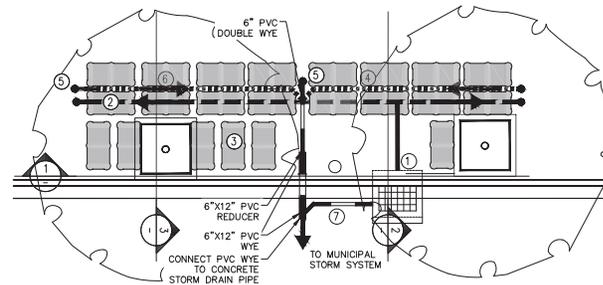
- KEY**
- (A) SILVA CELL SYSTEM (DECK, BASE, AND POSTS)
 - (B) SUBGRADE, COMPACTED
 - (C) GEOTEXTILE FABRIC, PLACED ABOVE SUBGRADE
 - (D) 4" MIN AGGREGATE SUB BASE, COMPACTED TO 95% PROCTOR
 - (E) SILVA CELL BASE SLOPE, 10% MAX
 - (F) 1" TO 6" SPACING BETWEEN SILVA CELLS AT BASE
 - (G) ANCHORING SPIKES, CONTACT DEEPROOF FOR ALTERNATIVE
 - (H) GEGRID, WRAPPED AROUND PERIMETER OF SYSTEM, WITH 6" TOE (OUTWARD FROM BASE) AND 12" EXCESS (OVER TOP OF DECK)
 - (I) CABLE TIE, ATTACHING GEGRID TO SILVA CELL AT BASE OF UPPER LEG FLARE, AS NEEDED
 - (J) PLANTING SOIL, PER PROJECT SPECIFICATIONS, PLACED IN LIFTS AND WALK-IN COMPACTED TO 75-85% PROCTOR
 - (K) COMPACTED BACKFILL, PER PROJECT SPECIFICATIONS
 - (L) GEOTEXTILE FABRIC TO EDGE OF EXCAVATION
 - (M) 6" PVC UNDERDRAIN
 - (N) THICKENED EDGE AT TREE OPENING (TO BE USED WITH CONCRETE)
 - (O) ROOT BALL
 - (P) DEEPROOF ROOT BARRIER, 12" OR 18" DEPTH DETERMINED BY THICKNESS OF PAVEMENT SECTION, INSTALL DIRECTLY ADJACENT TO CONCRETE EDGE RESTRAINT
 - (Q) PLANTING SOIL BELOW ROOT BALL, COMPACTED WELL TO PREVENT SETTLING
 - (R) DEEPROOF WATER AND AIR VENT, ROOTBALL, WHEN REQUIRED
 - (S) 6" PVC DISTRIBUTION PIPE
 - (T) 18" BIO-TREATMENT SOIL MIX (BSM)
 - (U) 12" CLASS II PERMEABLE ROCK
- NOTES**
- EXCAVATION SHALL BE DONE IN ACCORDANCE WITH ALL APPLICABLE HEALTH AND SAFETY REGULATIONS
 - INSTALLATION TO BE COMPLETED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS
 - PROVIDE SUPPLEMENTAL IRRIGATION
 - DO NOT SCALE DRAWINGS



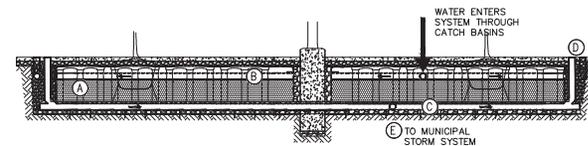
- KEY**
- (A) WASHED STONE WITHOUT FINES, PER PROJECT SPECIFICATIONS
 - (B) EXAMPLE OF EXISTING OR PROPOSED UTILITY, SEE NOTE 2
 - (C) 4" - 24" (100mm - 610mm) GAP BETWEEN SILVA CELLS AT BASE
 - (D) GEGRID TO LINE PERIMETER OF AGGREGATE WITH 6" (150 mm) TOE (INWARD) AND 12" (305 mm) EXCESS FOLDED OVER TOP OF ADJACENT DECKS
 - (E) SILVA CELL SYSTEM (DECK, BASE, AND POSTS), SEE NOTE 3
 - (F) SILVA CELL STANDARD PAVEMENT PROFILE
 - (G) GEOTEXTILE
 - (H) CABLE TIE, ATTACHING GEGRID TO SILVA CELL AT BASE OF UPPER POST FLARE
- NOTES**
- PAVING PROFILE SHOWN IN THIS DETAIL IS NOT TO SCALE; REFER TO SEPARATE SIDEWALK DETAILS.
 - THE UTILITY CONFLICT SHOWN ON THIS DETAIL IS AN EXAMPLE OF AN EXISTING OR PROPOSED CONDITION THAT MAY MAKE IT NECESSARY TO BRIDGE A LARGER THAN STANDARD GAP BETWEEN CELLS.
 - THIS BRIDGING DETAIL MAY BE USED WITH 1x, 2x, or 3x SYSTEMS. SHOWN HERE ARE 3x SILVA CELLS.
 - SILVA CELL LAYOUT SHOWN HERE IS NOT PRESCRIPTIVE AND WILL VARY PER PROJECT SPECIFICATIONS.
 - INSTALLATION TO BE COMPLETED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
 - DO NOT SCALE DRAWINGS.

SILVA CELL DETAIL - EXISTING UTILITY CROSSING WITHIN CELLS - BRIDGING WITH AGGREGATE

3 SILVA CELLS

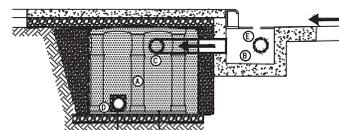


- KEY**
- (1) STORMWATER ENTERS THE SILVA CELL SYSTEM THROUGH A CATCH BASIN
 - (2) WATER IS DISTRIBUTED THROUGH THE SILVA CELL SYSTEM THROUGH PERFORATED PIPES
 - (3) WATER THEN MOVES THROUGH THE PLANTING SOIL HOUSED WITHIN THE SILVA CELL SYSTEM
 - (4) EXCESS WATER IS COLLECTED IN A PERFORATED DRAIN PIPE
 - (5) CLEANOUT
 - (6) WATER COLLECTED IN THE COLLECTION PIPE IS DIRECTED TO THE MUNICIPAL STORM SYSTEM
 - (7) 6" PVC OVERFLOW PIPE



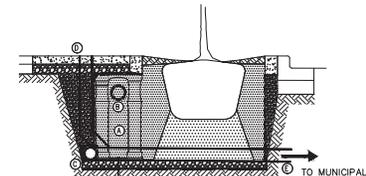
1 LONGITUDINAL SECTION

- KEY PLAN**
- A. SILVA CELL SYSTEM (DECK, BASE, AND POSTS)
 - B. DISTRIBUTION PIPE
 - C. COLLECTION PIPE
 - D. CLEANOUT
 - E. CONNECTION TO MUNICIPAL STORM SYSTEM
- DIRECTION OF WATER FLOW



2 SECTION AT CATCH BASIN

- KEY PLAN**
- A. SILVA CELL SYSTEM (DECK, BASE, AND POSTS)
 - B. CURB INLET
 - C. DISTRIBUTION PIPE
 - D. COLLECTION PIPE
 - E. 6" OVERFLOW PIPE, INV 6" ABOVE COLLECTION PIPE
- DIRECTION OF WATER FLOW



3 SECTION AT TREE WELL

- KEY PLAN**
- A. SILVA CELL SYSTEM (DECK, BASE, AND POSTS)
 - B. DISTRIBUTION PIPE
 - C. COLLECTION PIPE
 - D. CLEANOUT
 - E. CONNECTION TO MUNICIPAL STORM SYSTEM
- DIRECTION OF WATER FLOW



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PLANNING APPLICATION FOR:
MECAH VENTURES
BLOCK 20
SAN MATEO, CA 94401

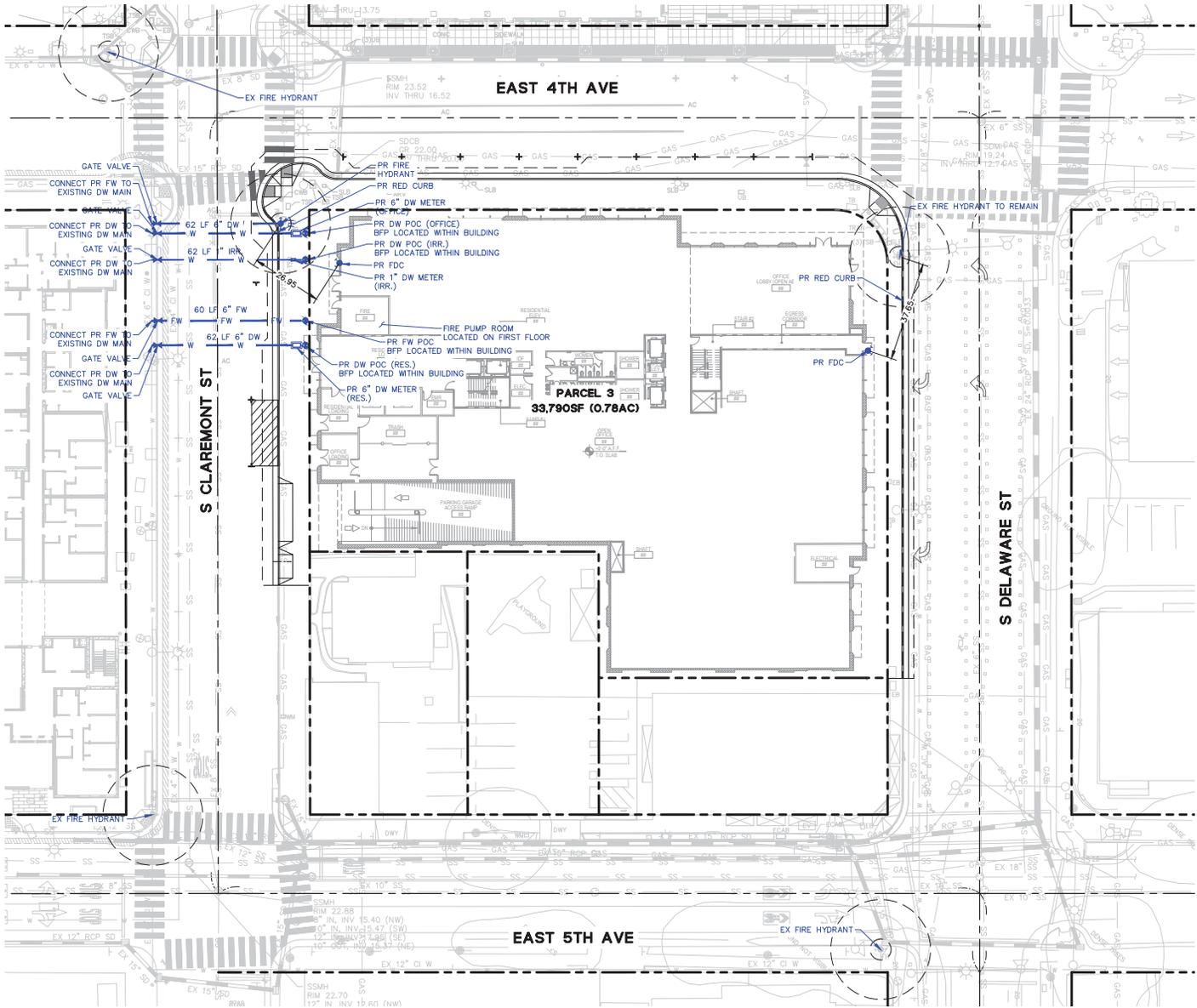
DATE	DESCRIPTION
06/22/2022	ZONING PRE-APPLICATION
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04/14/2023	SECOND PLANNING SUBMITTAL
07/14/2023	THIRD PLANNING SUBMITTAL
11/15/2023	FOURTH PLANNING SUBMITTAL
03/19/2024	FIFTH PLANNING SUBMITTAL

PRELIMINARY
STORMWATER
CONTROL NOTES
AND DETAILS

PA-2023-003

C6.03

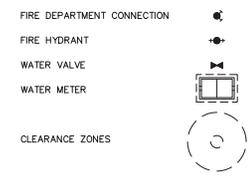
PROJECT NO. 215513



FIRE FLOW REQUIREMENTS BASED UPON CALIFORNIA FIRE CODE (2019 EDITION)
SECTION 507, APP. B & C

1. BUILDING AREA CONSTRUCTION TYPE:
 - 1.1. TOTAL BUILDING AREA = 170,113 SF
 - 1.2. TYPE 1A - FLOORS (1-3) = 81,877 SF
 - 1.3. TYPE 3A - FLOORS (4-7) = 88,236 SF
2. PER TABLE B105.1 OF THE CALIFORNIA FIRE CODE, THE REQUIRED FIRE FLOW IS:
 - 2.1. BY CONSTRUCTION TYPE:
 - 2.1.1. TYPE 1A - 4,500 GPM
 - 2.1.1. TYPE 3A - 6,000 GPM
 - 2.2. PERCENTAGE OF BUILDING:
 - 2.2.1. TYPE 1A - 48.1%
 - 2.2.2. TYPE 3A - 51.9%
 - 2.3. TOTAL FIRE FLOW:
 - 2.3.1. 5,280 GPM
3. THE REQUIRED FIRE FLOW WITH A 50% REDUCTION IS 2,640 GPM.
4. PER TABLE C102.1 OF THE CALIFORNIA FIRE CODE, THE NUMBER OF HYDRANTS BASED ON THE REDUCED FIRE FLOW IS 3.
5. PER TABLE C102.1 AND OF THE CALIFORNIA FIRE CODE, FOR BUILDINGS WITH A FIRE FLOW REQUIREMENT OF 2,640, THE AVERAGE SPACING BETWEEN FIRE HYDRANTS SHALL BE 450'.

LEGEND




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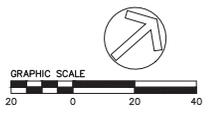
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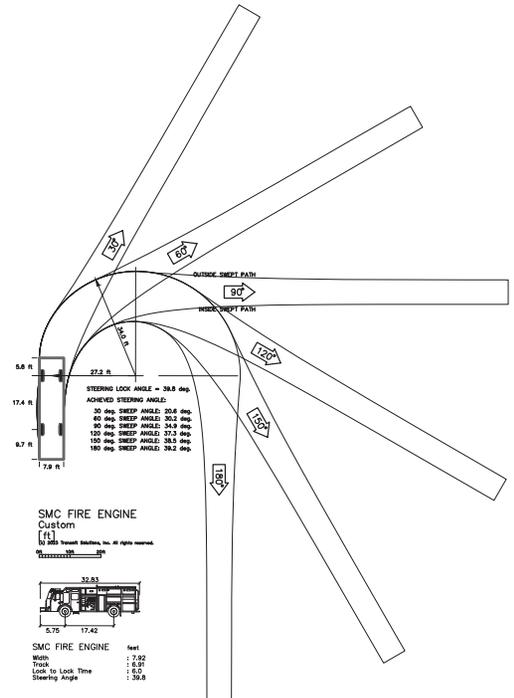
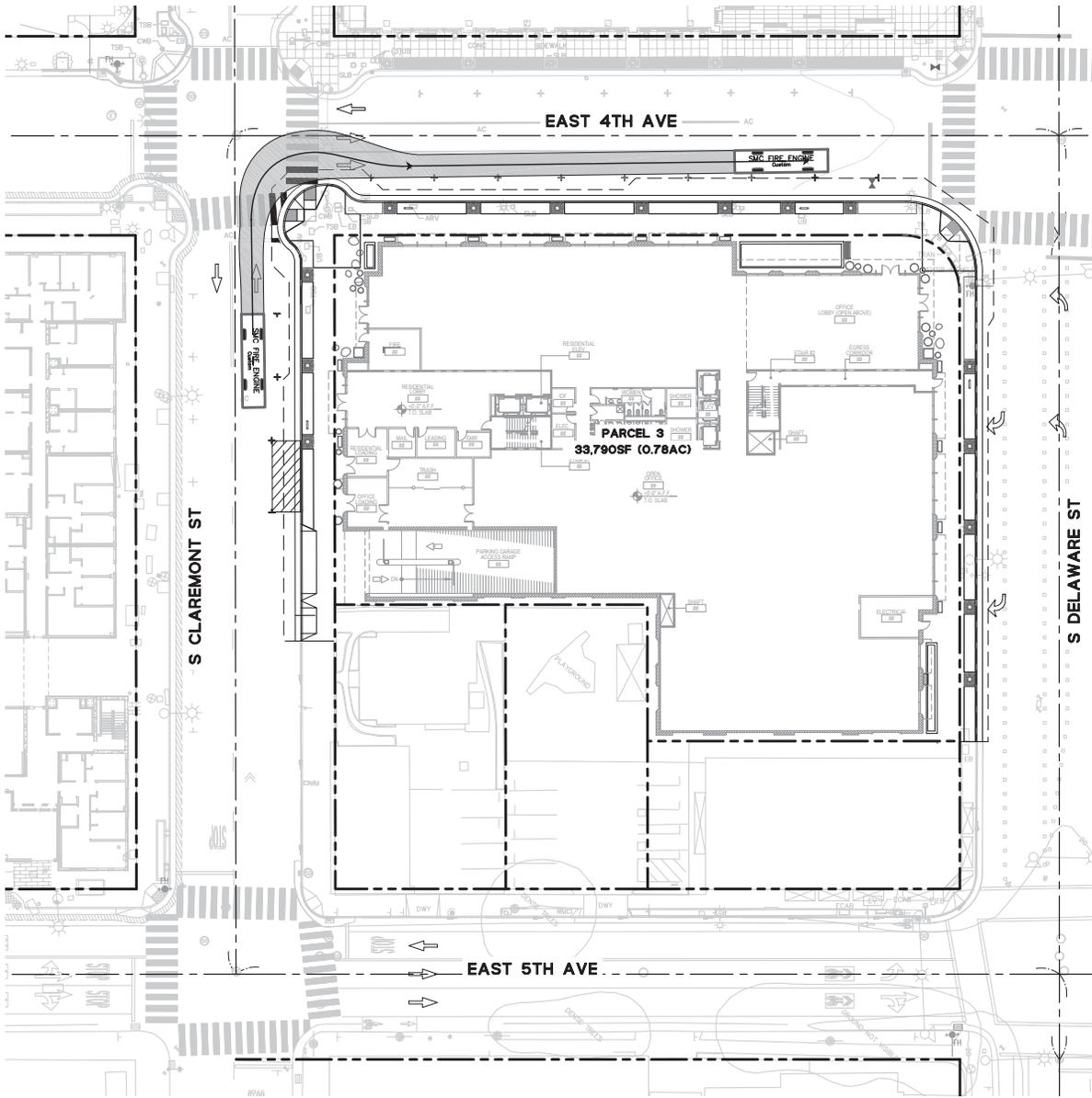
PRELIMINARY
 FIRE ACCESS
 PLAN

PA-2023-003

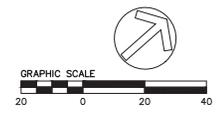


C7.01

PROJECT NO. 215513



LEGEND:
 DIRECTION OF TRAVEL



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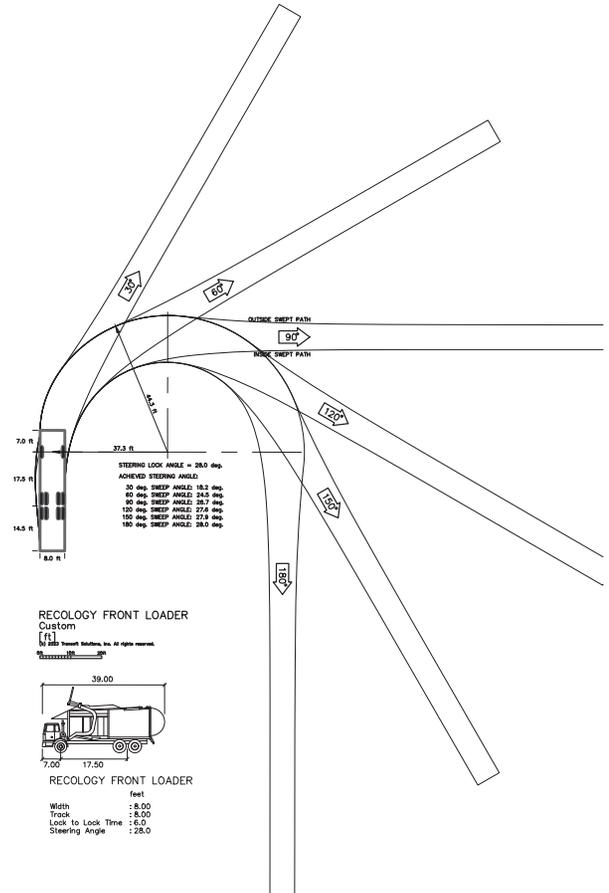
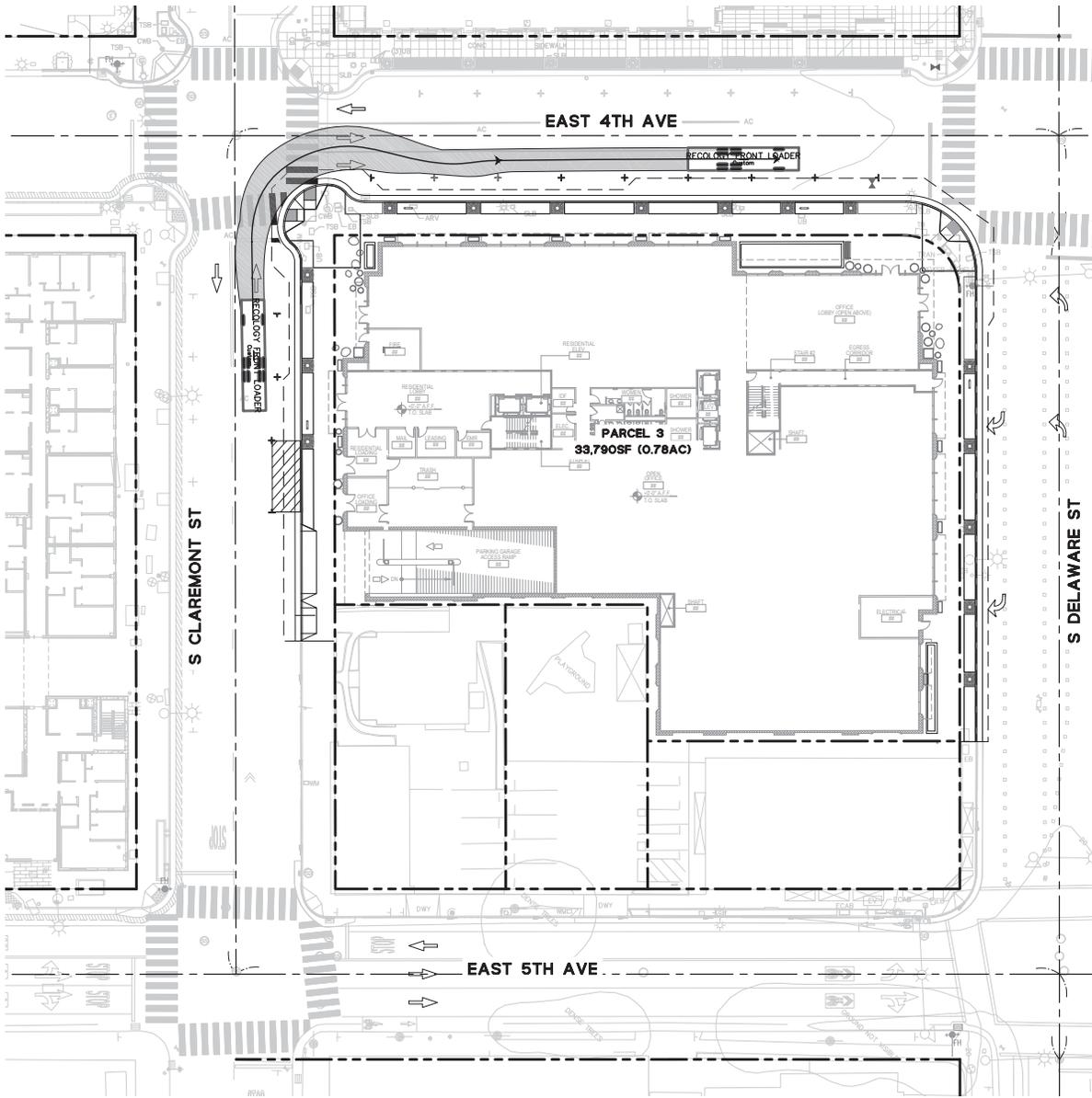
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FIRE TRUCK TURNING MOVEMENTS
 PA-2023-003

C8.01
 PROJECT NO. 215513

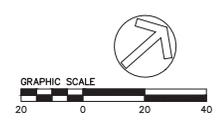


RECOLOGY FRONT LOADER
 Custom
 (ft)
 Wheelbase: 7.00
 Track: 17.50
 Wheel Offset: 14.50

RECOLOGY FRONT LOADER

Wheel	: 8.00
Track	: 8.00
Lock to Lock Time	: 6.0
Steering Angle	: 28.0

LEGEND:
 DIRECTION OF TRAVEL



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03/18/2024	FIFTH PLANNING SUBMITTAL

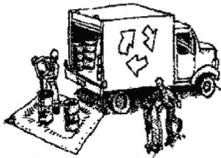
TRASH TRUCK
 TURNING
 MOVEMENTS
 PA-2023-003

C8.02
 PROJECT NO. 215513

Construction Best Management Practices (BMPs)

Construction projects are required to implement the stormwater best management practices (BMP) on this page, as they apply to your project, all year long.

Materials & Waste Management



Non-Hazardous Materials

- Berm and cover stockpiles of sand, dirt or other construction material with tarps when rain is forecast or if not actively being used within 14 days.
- Use (but don't overuse) reclaimed water for dust control.

Hazardous Materials

- Label all hazardous materials and hazardous wastes (such as pesticides, paints, thinners, solvents, fuel, oil, and antifreeze) in accordance with city, county, state and federal regulations.
- Store hazardous materials and wastes in water tight containers, store in appropriate secondary containment, and cover them at the end of every work day or during wet weather or when rain is forecast.
- Follow manufacturer's application instructions for hazardous materials and be careful not to use more than necessary. Do not apply chemicals outdoors when rain is forecast within 24 hours.
- Arrange for appropriate disposal of all hazardous wastes.

Waste Management

- Cover waste disposal containers securely with tarps at the end of every work day and during wet weather.
- Check waste disposal containers frequently for leaks and to make sure they are not overfilled. Never hose down a dumpster on the construction site.
- Clean or replace portable toilets, and inspect them frequently for leaks and spills.
- Dispose of all wastes and debris properly. Recycle materials and wastes that can be recycled (such as asphalt, concrete, aggregate base materials, wood, gyp board, pipe, etc.)
- Dispose of liquid residues from paints, thinners, solvents, glues, and cleaning fluids as hazardous waste.

Construction Entrances and Perimeter

- Establish and maintain effective perimeter controls and stabilize all construction entrances and exits to sufficiently control erosion and sediment discharges from site and tracking off site.
- Sweep or vacuum any street tracking immediately and secure sediment source to prevent further tracking. Never hose down streets to clean up tracking.

Equipment Management & Spill Control



Maintenance and Parking

- Designate an area, fitted with appropriate BMPs, for vehicle and equipment parking and storage.
- Perform major maintenance, repair jobs, and vehicle and equipment washing off site.
- If refueling or vehicle maintenance must be done onsite, work in a bermed area away from storm drains and over a drip pan or drop cloths big enough to collect fluids. Recycle or dispose of fluids as hazardous waste.
- If vehicle or equipment cleaning must be done onsite, clean with water only in a bermed area that will not allow rinse water to run into gutters, streets, storm drains, or surface waters.
- Do not clean vehicle or equipment onsite using soaps, solvents, degreasers, or steam cleaning equipment.

Spill Prevention and Control

- Keep spill cleanup materials (e.g., rags, absorbents and cat litter) available at the construction site at all times.
- Inspect vehicles and equipment frequently for and repair leaks promptly. Use drip pans to catch leaks until repairs are made.
- Clean up spills or leaks immediately and dispose of cleanup materials properly.
- Do not hose down surfaces where fluids have spilled. Use dry cleanup methods (absorbent materials, cat litter, and/or rags).
- Sweep up spilled dry materials immediately. Do not try to wash them away with water, or bury them.
- Clean up spills on dirt areas by digging up and properly disposing of contaminated soil.
- Report significant spills immediately. You are required by law to report all significant releases of hazardous materials, including oil. To report a spill: 1) Dial 911 or your local emergency response number, 2) Call the Governor's Office of Emergency Services Warning Center, (800) 852-7550 (24 hours).

Earthmoving



- Schedule grading and excavation work during dry weather.
- Stabilize all denuded areas, install and maintain temporary erosion controls (such as erosion control fabric or bonded fiber matrix) until vegetation is established.
- Remove existing vegetation only when absolutely necessary, and seed or plant vegetation for erosion control on slopes or where construction is not immediately planned.
- Prevent sediment from migrating offsite and protect storm drain inlets, gutters, ditches, and drainage courses by installing and maintaining appropriate BMPs, such as fiber rolls, silt fences, sediment basins, gravel bags, berms, etc.
- Keep excavated soil on site and transfer it to dump trucks on site, not in the streets.

Contaminated Soils

- If any of the following conditions are observed, test for contamination and contact the Regional Water Quality Control Board:
 - Unusual soil conditions, discoloration, or odor.
 - Abandoned underground tanks.
 - Abandoned wells
 - Buried barrels, debris, or trash.

Paving/Asphalt Work



- Avoid paving and seal coating in wet weather or when rain is forecast, to prevent materials that have not cured from contacting stormwater runoff.
- Cover storm drain inlets and manholes when applying seal coat, tack coat, slurry seal, fog seal, etc.
- Collect and recycle or appropriately dispose of excess abrasive gravel or sand. Do NOT sweep or wash it into gutters.
- Do not use water to wash down fresh asphalt concrete pavement.

Sawcutting & Asphalt/Concrete Removal

- Protect nearby storm drain inlets when saw cutting. Use filter fabric, catch basin inlet filters, or gravel bags to keep slurry out of the storm drain system.
- Shovel, absorb, or vacuum saw-cut slurry and dispose of all waste as soon as you are finished in one location or at the end of each work day (whichever is sooner).
- If sawcut slurry enters a catch basin, clean it up immediately.

Concrete, Grout & Mortar Application



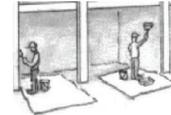
- Store concrete, grout, and mortar away from storm drains or waterways, and on pallets under cover to protect them from rain, runoff, and wind.
- Wash out concrete equipment/trucks offsite or in a designated washout area, where the water will flow into a temporary waste pit, and in a manner that will prevent leaching into the underlying soil or onto surrounding areas. Let concrete harden and dispose of as garbage.
- When washing exposed aggregate, prevent washwater from entering storm drains. Block any inlets and vacuum gutters, hose washwater onto dirt areas, or drain onto a bermed surface to be pumped and disposed of properly.

Landscaping



- Protect stockpiled landscaping materials from wind and rain by storing them under tarps all year-round.
- Stack bagged material on pallets and under cover.
- Discontinue application of any erodible landscape material within 2 days before a forecast rain event or during wet weather.

Painting & Paint Removal



Painting Cleanup and Removal

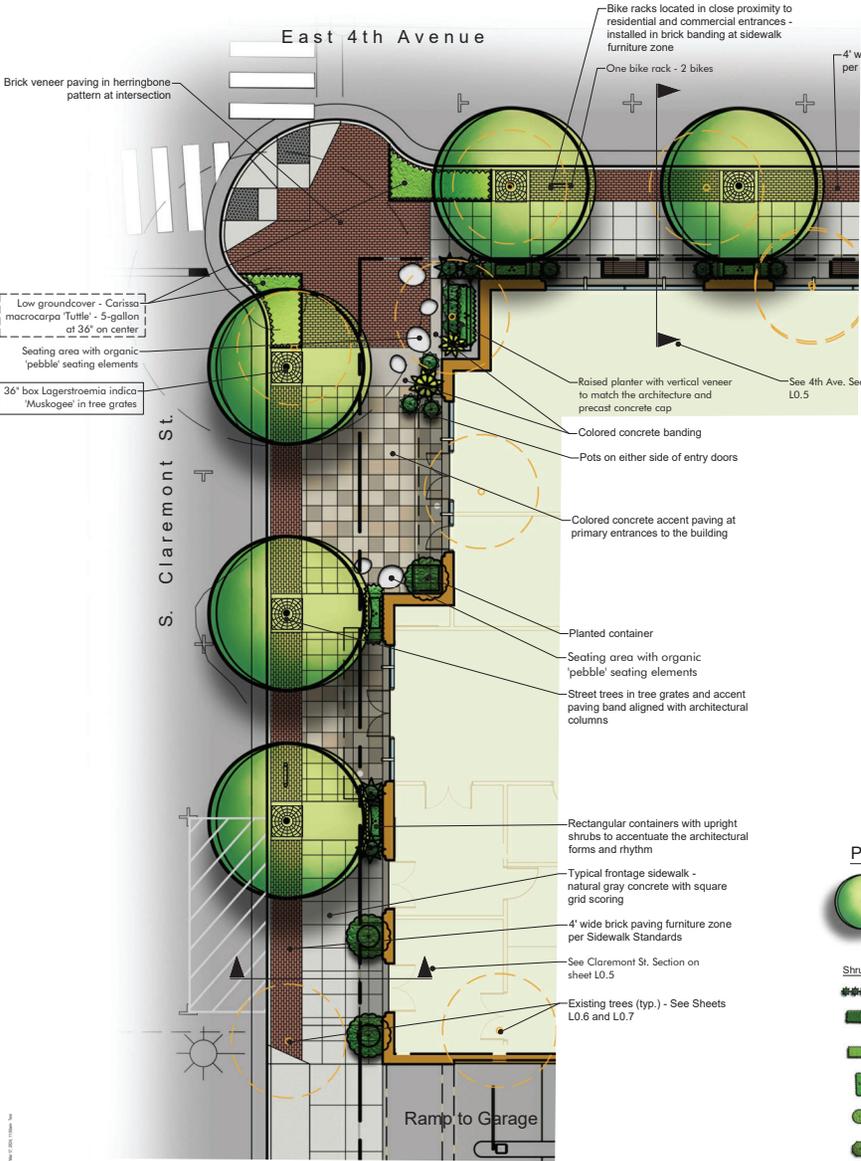
- Never clean brushes or rinse paint containers into a street, gutter, storm drain, or stream.
- For water-based paints, paint out brushes to the extent possible, and rinse into a drain that goes to the sanitary sewer. Never pour paint down a storm drain.
- For oil-based paints, paint out brushes to the extent possible and clean with thinner or solvent in a proper container. Filter and reuse thinners and solvents. Dispose of excess liquids as hazardous waste.
- Paint chips and dust from non-hazardous dry stripping and sand blasting may be swept up or collected in plastic drop cloths and disposed of as trash.
- Chemical paint stripping residue and chips and dust from marine paints or paints containing lead, mercury, or tributyltin must be disposed of as hazardous waste. Lead based paint removal requires a state-certified contractor.

Dewatering



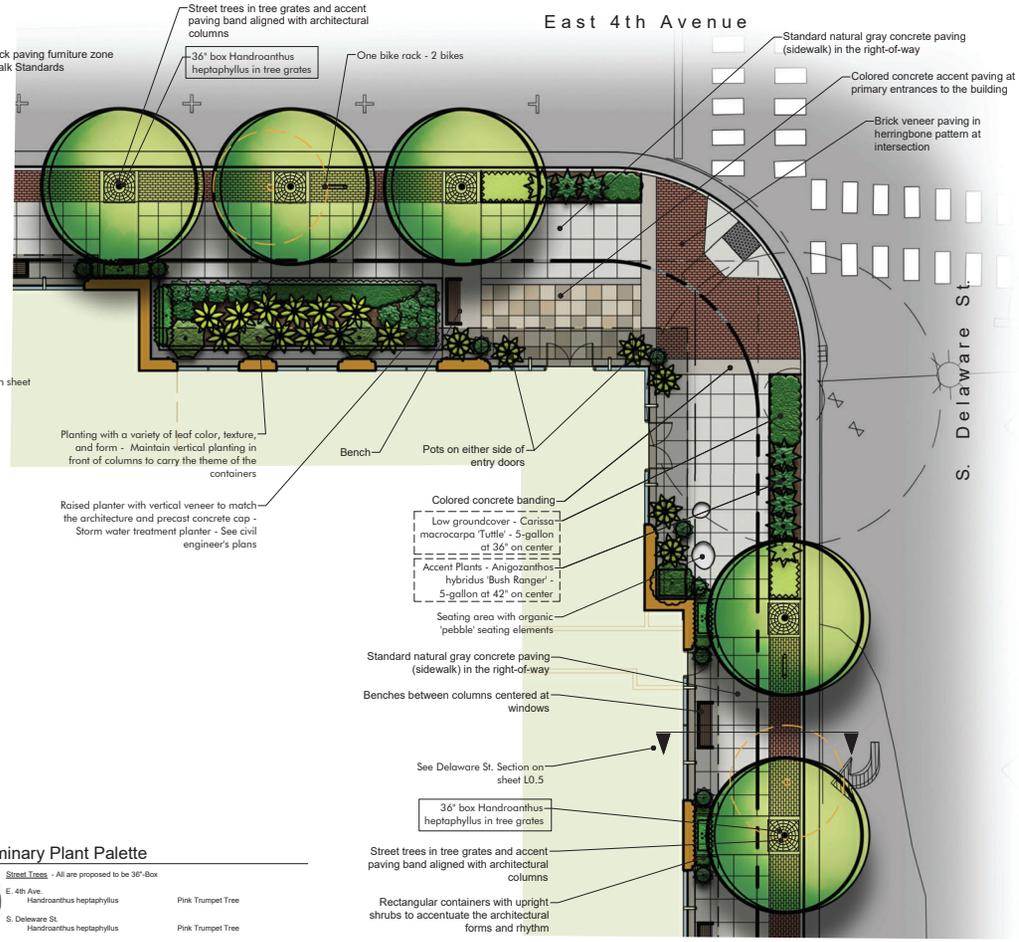
- Discharges of groundwater or captured runoff from dewatering operations must be properly managed and disposed. When possible send dewatering discharge to landscaped area or sanitary sewer. If discharging to the sanitary sewer call your local wastewater treatment plant.
- Divert run-on water from offsite away from all disturbed areas.
- When dewatering, notify and obtain approval from the local municipality before discharging water to a street gutter or storm drain. Filtration or diversion through a basin, tank, or sediment trap may be required.
- In areas of known or suspected contamination, call your local agency to determine whether the ground water must be tested. Pumped groundwater may need to be collected and hauled off-site for treatment and proper disposal.

Storm drain polluters may be liable for fines of up to \$10,000 per day!



Open Space Enlargement - 4th and Claremont Intersection

SCALE: 1/8" = 1'-0"



Open Space Enlargement - 4th and Delaware Intersection

SCALE: 1/8" = 1'-0"

Preliminary Plant Palette

	Street Trees - All are proposed to be 36"-Box		
	E. 4th Ave. Handroanthus heptaphyllus		Pink Trumpet Tree
	S. Delaware St. Handroanthus heptaphyllus		Pink Trumpet Tree
	S. Claremont St. Lagerstroemia indica 'Muskogee'		Crape Myrtle
	Shrubs		
	Accent Planting - 5 gal. @ 30"-36" O.C. Anigozanthos hybridus		Kangaroo Paw
	Evergreen Groundcover - 5 gal. @ 30"-36" O.C. Carissa macrocarpa 'Turtle' Trachelospermum asiaticum		Dwarf Natal Plum Asian Jasmine
	Grasses or Accent Plants - 5 gal. @ 24"-36" O.C. Chondropedium tomentosum Daniella lasiantha Phormium hybridus 'Tory Tiger'		Cape Rush Tasmanian Flaxlily New Zealand Flax
	Encoder - 15 gal. Magnolia grandiflora 'Espalier' Podocarpus gracilis		Southern Magnolia Fern Pine
	Columnar Accent Plant - 15 gal. Ligustrum japonica 'Texasanum'		Texas Privet
	Middle Planting - 5 gal. @ 30"-36" O.C. Acacia digitata 'Ovalum III' Mahonia eurybracteata 'Soft Caress'		Covain III Acacia Soft Caress Oregon Grape
	Spike Accent Plants - 5 gal. @ 24"-30" O.C. Agave 'Blue Glow' Dasylirion wheeleri		Blue Glow Agave Desert Spoon
	Small Plants - 1 gal. @ 24"-30" O.C. Dichroa argentea 'Silver Falls' Delopetrum cooperi		Silver Falls Dichroa Ice Plant

The Preliminary Plant Palette represents a sampling of the types of shrubs and groundcovers that we anticipate to be appropriate for the location as well as the design style and overall theme. This is the list from which plant selection will be drawn from. Not all plants listed within this plant palette will be used in the final design and some plants not listed may be introduced. However, the planting design intent will remain consistent with this plan and plant palette.



Lagerstroemia indica 'Muskogee'



Handroanthus heptaphyllus



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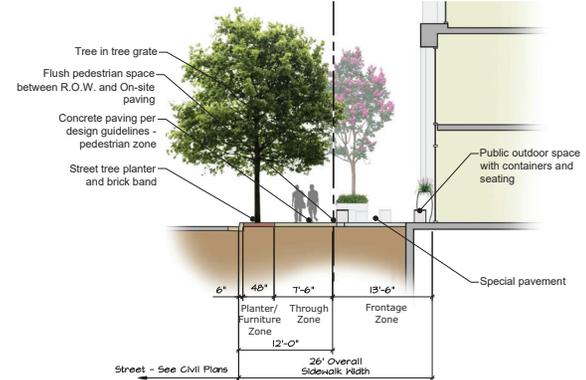
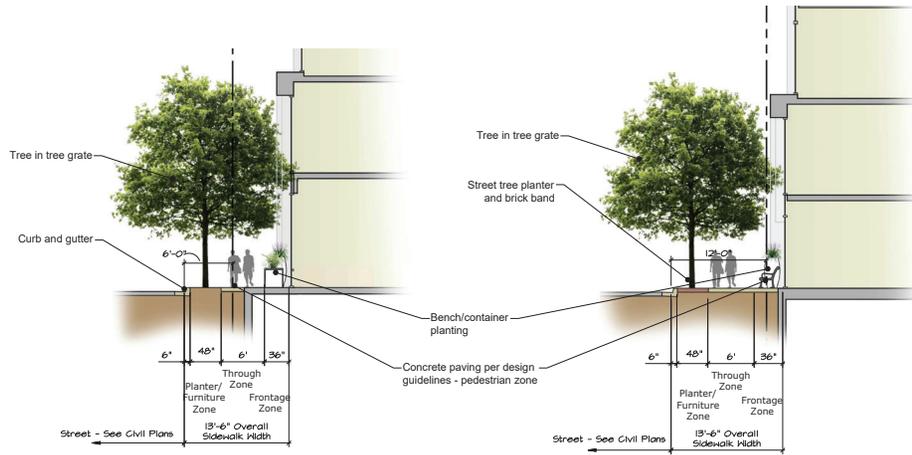
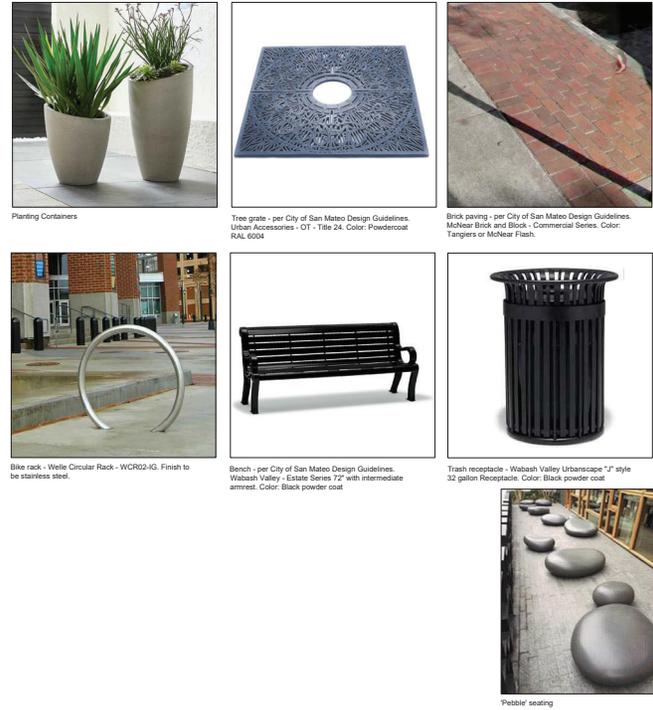
Landscape Site -
Enlargements
L0.2

PROJECT NO. 222444

Plant Imagery



Concept Imagery



S. Delaware Street Frontage Section

Street Frontage per Design Guidelines Sidewalk Standards SCALE: 1/8" = 1'-0"

S. Claremont Street Frontage Section

Street Frontage per Design Guidelines Sidewalk Standards SCALE: 1/8" = 1'-0"

4th Avenue Frontage Section at Bldg. Entry

Street Frontage per Design Guidelines Sidewalk Standards SCALE: 1/8" = 1'-0"



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PLANNING APPLICATION FOR:
MECAH VENTURES
BLOCK 20
SAN MATEO, CA 94401

DATE	DESCRIPTION
06.22.2022	ZONING PRE-APPLICATION
06.14.2023	SECOND PLANNING SUBMITTAL
07.14.2023	THIRD PLANNING SUBMITTAL
11.15.2023	FOURTH PLANNING SUBMITTAL
03.15.2024	FIFTH PLANNING SUBMITTAL



Preliminary Landscape Plan

L0.5

PROJECT NO. 22-2444

Tree Valuation Form - On-Site

Required Tree Planting - On-Site associated with Block 20 - This is for all landscape and trees outside of the Right-of-Way
 Zoning Code, Section 27-111 - Landscape, requires all projects to have a minimum ratio of 1 tree per 400 square feet of landscaped area. Existing trees are a minimum of 6 inch diameter may count toward this total.

Landscape Area: 374 sq. ft. x 400 = 149,600

Number of existing trees from Tree Evaluation Schedule with a 6 inch or greater diameter to be preserved: 0

Landscape Unit (LU) value of trees to be removed from the Tree Evaluation Schedule: 27.67

Minimum LU value to be replaced and/or met through payment of in-lieu fees: (a-b+c+d) = 27.67

New Trees:

A "landscape unit" (LU) value equivalent to (d) above, must either be planted on-site, or an "in-lieu" fee paid to the city's street tree planting fund. If the LU value shown at (d) is not equal or greater than (c), then an in-lieu fee must be paid to the City's street tree planting fund at the rate defined annually in the City's Comprehensive Fee Schedule for each deficient LU.

Quantity	Size	LU Value	Total LU Value
0	15 gallon	1	0
0	24 inch box	2	0
0	36 inch box	3	0
0	48 inch box	4	0
Total LU Value of new trees being proposed:			(c)

*New replacement trees shall be in addition to all local maintenance requirements for new street trees, parking lot trees or other required trees.

Fees Owed to the City Street Tree Planting Fund:

If (d) is greater than (c), there will be an LU value deficit calculated as follows:

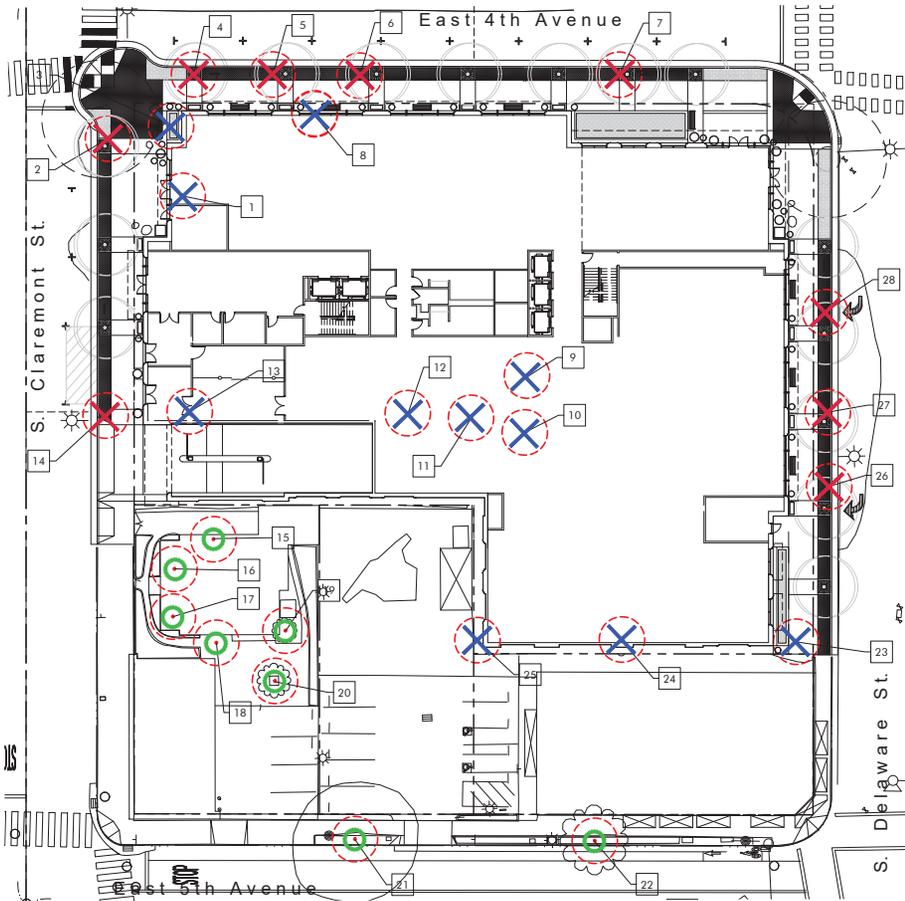
(d) - c = 27.67 x the annually defined \$ per LU value as per Current Comprehensive Fee Schedule = \$ 3,330.92

31 The Planning Application Guide

Block 20	Tree Evaluation Schedule	Quantity	Size	LU Value	Total LU Value
1	Crab	292	60	25.00	7,350.00
2	Clodius (Clodius Nivalis)	104	45	25.12	2,612.40
3	Maple	5	50	125	625.00
4	Hickory (C. albicaudata)	6	45	20.12	120.72
5	Hickory (C. albicaudata)	6	45	20.12	120.72
6	Hickory (C. albicaudata)	6	45	20.12	120.72
7	Hickory (C. albicaudata)	8	45	20.12	160.96
8	Olive	125	50	10.00	1,250.00
9	Rod Iron Bark (Eucalyptus sideroxylon)	232	40	30.00	6,960.00
10	Rod Iron Bark (Eucalyptus sideroxylon)	158	35	25.15	3,973.70
11	Rod Iron Bark (Eucalyptus sideroxylon)	311	45	30.00	9,330.00
12	Italian Cypress	100	40	20.00	2,000.00
13	Clodius (Clodius Nivalis)	108	70	30.15	3,256.20
14	Clodius (Clodius Nivalis)	108	70	30.15	3,256.20
15	Clodius (Clodius Nivalis)	108	70	30.15	3,256.20
16	Clodius (Clodius Nivalis)	108	70	30.15	3,256.20
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18	Clodius (Clodius Nivalis)	108	70	30.15	3,256.20
19	Clodius (Clodius Nivalis)	108	70	30.15	3,256.20
20	Clodius (Clodius Nivalis)	108	70	30.15	3,256.20
21	Clodius (Clodius Nivalis)	108	70	30.15	3,256.20
22	Clodius (Clodius Nivalis)	108	70	30.15	3,256.20
23	Clodius (Clodius Nivalis)	108	70	30.15	3,256.20
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26	Clodius (Clodius Nivalis)	108	70	30.15	3,256.20
27	Clodius (Clodius Nivalis)	108	70	30.15	3,256.20
28	Clodius (Clodius Nivalis)	108	70	30.15	3,256.20
29	Clodius (Clodius Nivalis)	108	70	30.15	3,256.20
30	Clodius (Clodius Nivalis)	108	70	30.15	3,256.20
31	Clodius (Clodius Nivalis)	108	70	30.15	3,256.20
32	Clodius (Clodius Nivalis)	108	70	30.15	3,256.20
33	Clodius (Clodius Nivalis)	108	70	30.15	3,256.20
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52	Clodius (Clodius Nivalis)	108	70	30.15	3,256.20
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98	Clodius (Clodius Nivalis)	108	70	30.15	3,256.20
99	Clodius (Clodius Nivalis)	108	70	30.15	3,256.20
100	Clodius (Clodius Nivalis)	108	70	30.15	3,256.20

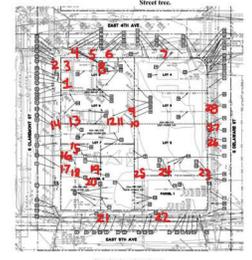
Total value of LU to be removed -120.29

Trees shaded in blue are On-Site Trees. Trees shaded in red are City Right-of-Way trees per the arborist report.



Tree Evaluation Schedule

Block 20	Tree Species	Diameter (DBH)	Condition	Tree Age	Tree Comments
18	Crab	292	60	25.00	Good vigor, fair structure, codominant at 3', canopy slightly damaged.
2	Clodius (Clodius Nivalis)	104	45	25.12	Good vigor, fair structure, street tree, under utilities.
3	Maple	5	50	125	Fair vigor, fair structure, suppressed.
4	Hickory (C. albicaudata)	6	45	20.12	Fair vigor, poor structure, topped limbs, Street tree.
5	Hickory (C. albicaudata)	6	45	20.12	Fair vigor, poor structure, topped limbs, Street tree.
6	Hickory (C. albicaudata)	6	45	20.12	Fair vigor, poor structure, topped limbs, Street tree.
7	Hickory (C. albicaudata)	8	45	20.12	DEAD.
8	Olive	125	50	10.00	Good vigor, poor structure, topology pruned, codominant at 3', pruned on hill.
9	Rod Iron Bark (Eucalyptus sideroxylon)	232	40	30.00	Fair vigor, poor structure, topped at 20' in past, damaging parking lot.
10	Rod Iron Bark (Eucalyptus sideroxylon)	158	35	25.15	Fair vigor, poor structure, topped at 20' in past, suppressing, damaging parking lot.
11	Rod Iron Bark (Eucalyptus sideroxylon)	311	45	30.00	Fair vigor, fair structure, history of limb loss, damaging parking lot.
12	Italian Cypress	100	40	20.00	Poor vigor, fair structure, top dead, in decline.
13	Clodius (Clodius Nivalis)	108	70	30.15	Poor vigor, poor structure, topped at 20' in past, damaged by street tree.
14	Clodius (Clodius Nivalis)	108	70	30.15	Good vigor, good structure, street tree.
15	Clodius (Clodius Nivalis)	108	70	30.15	Poor vigor, poor structure.
16	Clodius (Clodius Nivalis)	108	70	30.15	Fair vigor, fair structure, topology pruned.
17	Clodius (Clodius Nivalis)	108	70	30.15	Fair vigor, fair structure, topology pruned.
18	Clodius (Clodius Nivalis)	108	70	30.15	Poor vigor, poor structure, topology pruned.
19	Clodius (Clodius Nivalis)	108	70	30.15	Fair vigor, fair structure.
20	Clodius (Clodius Nivalis)	108	70	30.15	Fair vigor, fair structure, surrounded by landscape.
21	Clodius (Clodius Nivalis)	108	70	30.15	Fair vigor, fair structure, codominant at 10', street tree.
22	Clodius (Clodius Nivalis)	108	70	30.15	Fair vigor, fair structure, codominant at 10', street tree.
23	Clodius (Clodius Nivalis)	108	70	30.15	Poor vigor, poor structure, codominant at grade.
24	Clodius (Clodius Nivalis)	108	70	30.15	Poor vigor, poor structure, codominant at grade.
25	Clodius (Clodius Nivalis)	108	70	30.15	Fair vigor, poor structure, topped, Street tree.
26	Clodius (Clodius Nivalis)	108	70	30.15	Fair vigor, poor structure, codominant at 1' with included bark, decay on trunk, Street tree.
27	Clodius (Clodius Nivalis)	108	70	30.15	Poor vigor, poor structure, large scar on trunk, codominant at 1', Street tree.
28	Clodius (Clodius Nivalis)	108	70	30.15	Fair vigor, poor structure, near on trunk, codominant at 10' with included bark, Street tree.



Tree Valuation Form - Off-Site (City Right-of-Way)

Required Tree Planting - Street Trees Associated with Block 20 - This is for all landscape and trees in the Right-of-Way
 Zoning Code, Section 27-111 - Landscape, requires all projects to have a minimum ratio of 1 tree per 400 square feet of landscaped area. Existing trees that are a minimum of 6 inch diameter may count toward this total.

Landscape Area: 374 sq. ft. x 400 = 149,600

Number of existing trees from Tree Evaluation Schedule with a 6 inch or greater diameter to be preserved: 0

Landscape Unit (LU) value of trees to be removed from the Tree Evaluation Schedule: 47.73

Minimum LU value to be replaced and/or met through payment of in-lieu fees: (a-b+c+d) = 47.73

New Trees:

A "landscape unit" (LU) value equivalent to (d) above, must either be planted on-site, or an "in-lieu" fee paid to the city's street tree planting fund. If the LU value shown at (d) is not equal or greater than (c), then an in-lieu fee must be paid to the City's street tree planting fund at the rate defined annually in the City's Comprehensive Fee Schedule for each deficient LU.

Quantity	Size	LU Value	Total LU Value
0	15 gallon	1	0
0	24 inch box	2	0
0	36 inch box	3	0
0	48 inch box	4	0
Total LU Value of new trees being proposed:			(c)

*New replacement trees shall be in addition to all local maintenance requirements for new street trees, parking lot trees or other required trees.

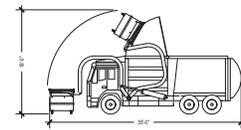
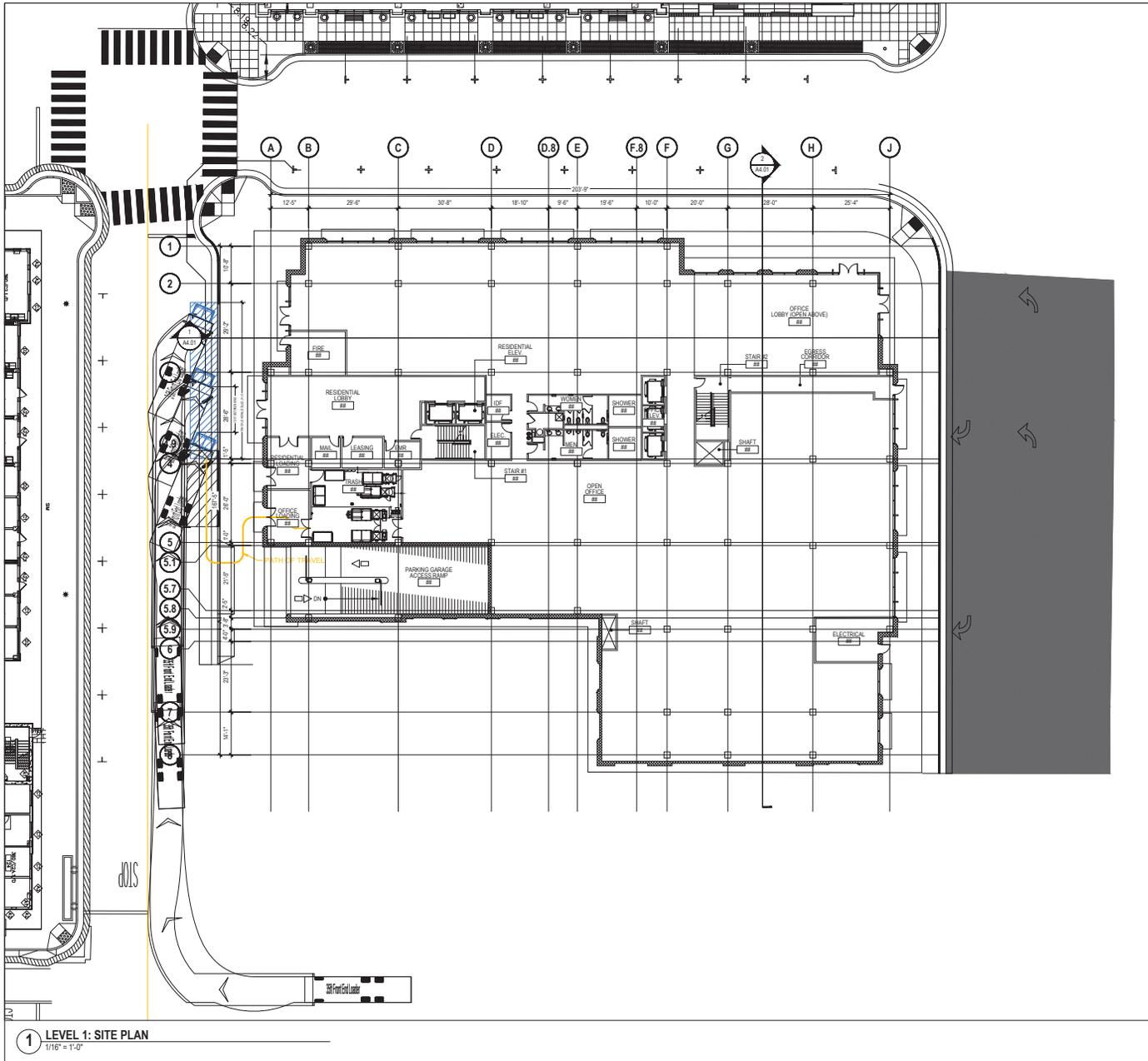
Fees Owed to the City Street Tree Planting Fund:

If (d) is greater than (c), there will be an LU value deficit calculated as follows:

(d) - c = 47.73 x the annually defined \$ per LU value as per Current Comprehensive Fee Schedule = \$ 919.63

31 The Planning Application Guide

Block 20	Tree Evaluation Schedule	Quantity	Size	LU Value	Total LU Value
1	Crab	292	60	25.00	7,350.00
2	Clodius (Clodius Nivalis)	104	45	25.12	2,612.40
3	Maple	5	50	125	625.00
4	Hickory (C. albicaudata)	6	45	20.12	120.72
5	Hickory (C. albicaudata)	6	45	20.12	120.72
6	Hickory (C. albicaudata)	6	45	20.12	120.72
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8	Olive	125	50	10.00	1,250.00
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16	Clodius (Clodius Nivalis)	108	70	30.15	3,256.20
17					



35ft Front End Loader
 Overall Length 35.00ft
 Overall Width 8.33ft
 Overall Height 1.40ft
 Min Body Ground Clearance 1.40ft
 Track Width 8.00ft
 Lock-to-lock time 4.00s
 Curb to Curb Turning Radius 32.00ft



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PLANNING APPLICATION FOR:
WINDY HILL PROPERTY VENTURES
 BLOCK 20
 SAN MATEO, CA 94401

DATE	DESCRIPTION
08.03.2020	ZONING/FIRE APPLICATION
01.13.2022	FIRST PLANNING SUBMITTAL
03.18.2024	FIFTH PLANNING SUBMITTAL

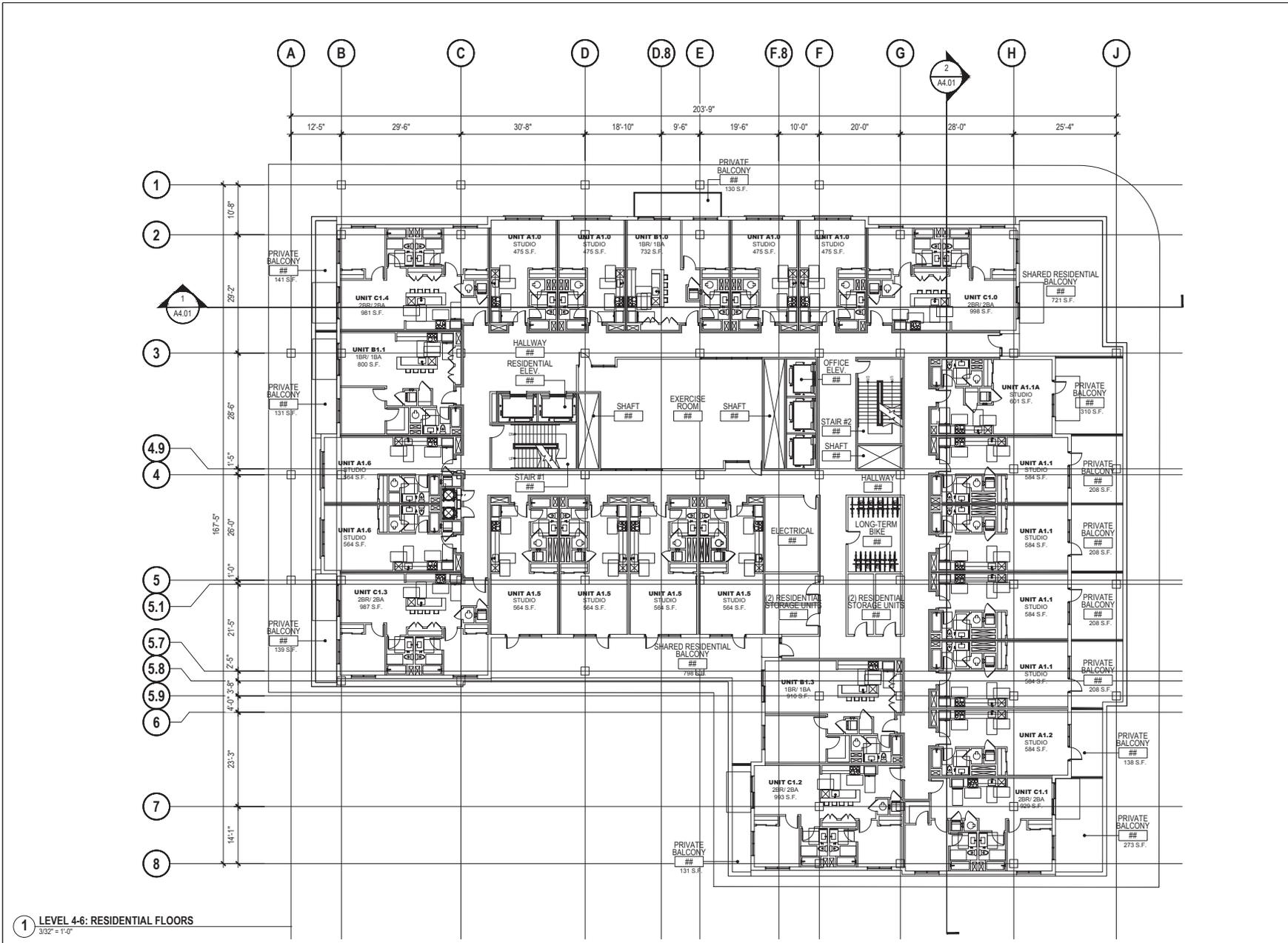
LEVEL 1
 SITE PLAN

TR0.1

PROJECT NO. 212515

1 LEVEL 1: SITE PLAN
 1/16" = 1'-0"

DRAWING PREPARED BY: [Name] ARCHITECTURAL TECHNOLOGIES, INC. 1717 TECHNOLOGY DRIVE, SUITE 750, SAN JOSE, CA 95131



1 LEVEL 4-6: RESIDENTIAL FLOORS
3/32" = 1'-0"



ARC TEC
ARCHITECTURAL TECHNOLOGIES

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San Jose, CA 95131 408.976.1111
The "as shown" information on these drawings represents the design of the project as approved by the local planning authority. It is the responsibility of the client to ensure that all information is current and accurate. ARC TEC is not responsible for any errors or omissions on these drawings. © Copyright ARC TEC, Inc. 2018
11/Accession only.

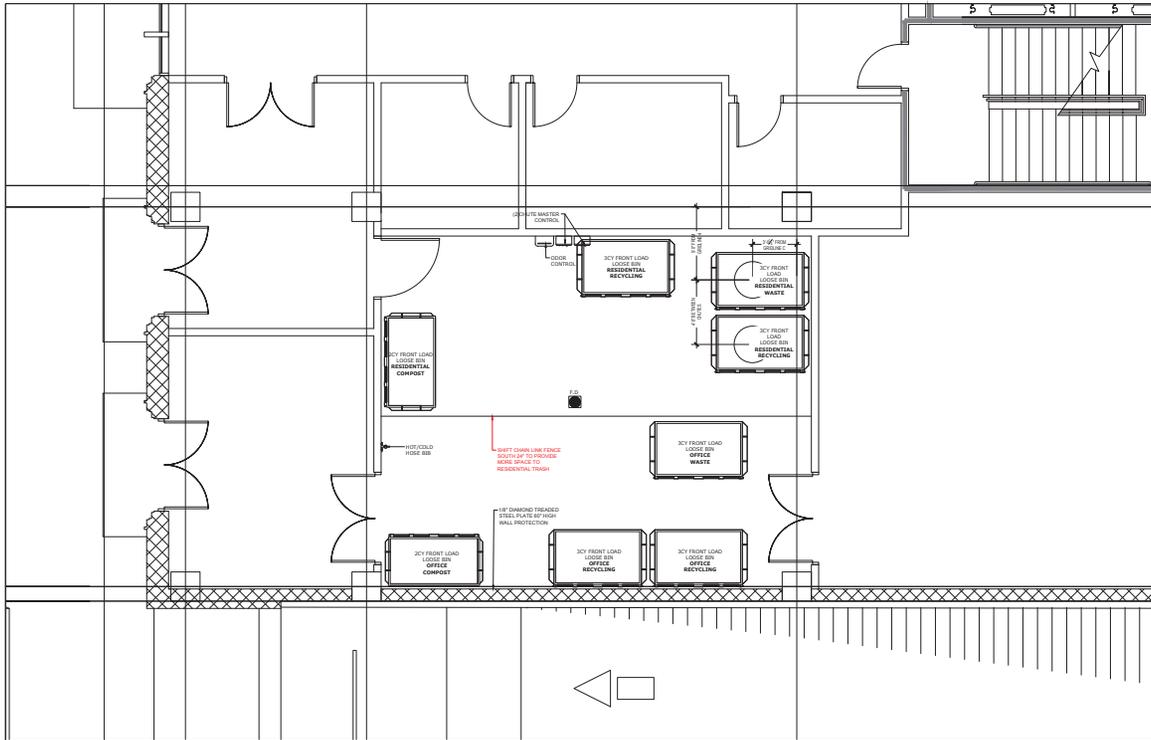
PLANNING APPLICATION FOR:
WINDY HILL PROPERTY VENTURES
BLOCK 20
SAN MATEO, CA 94401

DATE	DESCRIPTION
08.22.20	20% PRE-APPLICATION
01.13.20	FIRST PLANNING SUBMITTAL
03.18.20	FIFTH PLANNING SUBMITTAL

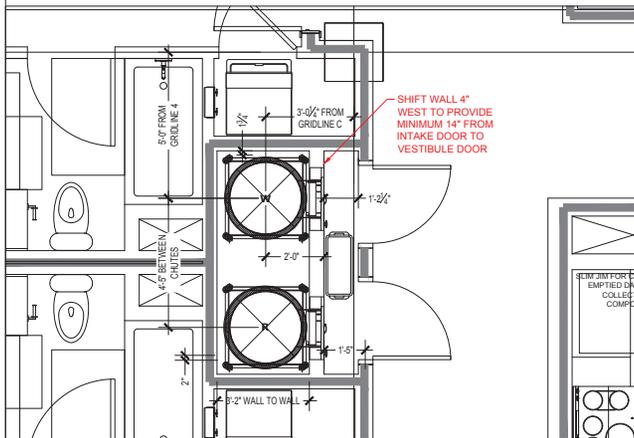
RESIDENTIAL FLOORS

TR0.2

PROJECT NO: 21515



1 LEVEL 1: SHARED TRASH ROOM (LOOSE OPTION)
1/4" = 1'-0"



2 LEVELS 4-6: RESIDENTIAL TRASH VESTIBULE (TYP)
1/2" = 1'-0"

SHEET NOTES:

COMBINED TRASH TERMINATION ROOM: LOOSE OPTION

- TRASH COLLECTION ROOM IS PART OF 2HR FIRE-RATED TRASH CHUTE SHAFT - RESTRICTED ACCESS.
- FLOOR SHALL BE FINISHED WITH WATERPROOF DECK COATING. FLOOR TO HAVE MINIMAL SLOPE (1" MAX) AND FLOOR DRAIN. FLOOR LEVEL UNDER COMPACTOR.
- WALLS SHALL BE FINISHED WITH WASHABLE WATERPROOF SURFACE SUCH AS FRP OR HIGH-GLOSS ENAMEL PAINT, 8" AFF.
- INSTALL WALL PROTECTION: STEEL DIAMOND TREAD BACKING ALONG WALLS FOR PROTECTION. 1/8" THICK PLATE REQUIRED (INCLUDES EXTRUDED DIAMOND TREAD). DO NOT INSTALL THE CURB AROUND THE COMPACTORS/BISORTER OR POWER PACKS.
- ROOM SHALL BE MECHANICALLY VENTILATED WITH (1) CFMFT PER 2019 CBC.
- (2) 3/8" GRAVITY CHUTE WITH 3CY LOOSE CONTAINERS FOR RESIDENTIAL WASTE & RECYCLING. PROVIDE (3) 3CY FL COMPACTOR CONTAINERS FOR (1) WASTE & (2) RECYCLING. CHUTES SHALL TERMINATE AT 4'-9" AFF.
- (3) 3CY FL LOOSE CONTAINERS FOR OFFICE WASTE (1) & RECYCLING (2).
- (2) 2CY FL LOOSE CONTAINERS FOR RESIDENTIAL AND OFFICE COMPOST COLLECTION.
- MCP: CHUTE MASTER CONTROL PANEL (1 PER CHUTE) SHALL BE WALL-MOUNTED 60" AFF. MUST ALLOW LOCK DOWN OF CHUTE INTAKES FOR EXCHANGING CONTAINERS AND WASHING CHUTES. REQUIRES 120V 15A DEDICATED SERVICE.
- AIR COMPRESSOR (OIL LESS) 4610AC WITH AUTOMATIC TANK DRAIN VALVE. 2 HP PEAK. TWIN TANK CAPACITY 4.6 GALLONS. VOLTAGE @ 60 HZ 110 VOLTS, CURRENT 8.5 AMPS TO POWER THE CHUTE INTAKE DOORS.
- OC: ODOOR CONTROL UNIT SHALL BE WALL-MOUNTED 60" AFF. REQUIRES 120V 15A SERVICE OUTLETS.
- HB: HOT AND COLD HOSE BIB SHALL BE WALL-MOUNTED 60" AFF.
- CHUTE DISCHARGE DOOR: TYPE-A, HORIZONTALLY ROLLING SHUTTER TYPE DOOR, HELD OPEN BY 165" F FUSIBLE LINK.
- (1) UNDEDICATED 120V 15A SERVICE OUTLET REQUIRED FOR STAFF MAINTENANCE PURPOSE.

CHUTE INTAKE VESTIBULES:

- CHUTE INTAKE VESTIBULES SHALL BE 2HR FIRE-RATED (NFPA-82 6.2.5.1.1) WITH 1.5HR FIRE-RATED DOOR(S) (NFPA-82 6.2.3.1.2); 5'-0" MIN REQUIRED PER ADA STANDARDS - RESIDENTIAL ACCESS. PROVIDE (2) SELF CLOSING, 15x18 BOTTOM HINGED, ELECTRICALLY INTERLOCKED, AUTOMATIC OPENING INTAKE DOORS TO DISPOSE TRASH AND RECYCLING INTO COMPACTORS PER CBC 713.13.1. POWER TO INTAKE DOORS SUPPLIED BY MCP. SEE DETAIL 1TR2.0.
- CHUTE SHAFT SHALL NOT BE ERRECTED UNTIL CHUTE HAS BEEN INSTALLED. FOR SOUND PROOFING PURPOSES, DOUBLE STUD-WALLS ARE REQUIRED ADJACENT TO OCCUPIED SPACES. INTERIOR OF SHAFT SHALL BE TAPED TO PREVENT ODOROUS AIR LEAKING INTO OCCUPIED SPACES (BY OTHERS).
- PROVIDE ROUND FLOOR OPENINGS AT CONCRETE FLOORS AND SQUARED FLOOR OPENINGS AT WOOD-FRAME CONSTRUCTION. INSTALL FLOOR SUPPORT FRAME AT EACH FLOOR PENETRATION TO SECURE CHUTE. SEE DETAIL 9TR2.0 FOR ANCHORING AND MASON BRA-RED SOUND ISOLATION PAD ASSEMBLY. FOUR RINGS WILL VARY BASED ON THICKNESS OF FLOOR SLAB AND SHALL BE PROVIDED BY MANUFACTURER.

GENERAL NOTES:

- ANY DESIGNS OR DESIGN SOLUTIONS PRESENTED IN THIS DRAWING OR SPECIFICATION, WHICH ARE DIRECT OR IMPLIED, INCLUDING NARRATIVES, DRAWINGS, OR DIAGRAMS, ARE HEREBY CLARIFIED AS EXAMPLES AND SHALL NOT BE CONSIDERED COMPLETE DESIGNS OR DESIGNS SUITABLE FOR CONSTRUCTION.
- OMISSIONS FROM DRAWINGS OR SPECIFICATIONS, OR THE INACCURATE DESCRIPTION OF DETAILS OF WORK, WHICH ARE MANIFESTLY NECESSARY TO CARRY OUT THE INTENT OF THE DRAWINGS AND SPECIFICATIONS, OR WHICH ARE CUSTOMARILY PERFORMED, SHALL NOT RELIEVE THE CONTRACTOR FROM PERFORMING SUCH OMITTED OR INACCURATELY DESCRIBED DETAILS OF THE WORK. WORK SHALL BE PERFORMED AS IF FULLY AND CORRECTLY SET FORTH AND DESCRIBED IN THE DRAWINGS AND SPECIFICATIONS.
- CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS AND CONDITIONS PRIOR TO START OF CONSTRUCTION. THE ARCHITECT SHALL BE NOTIFIED IMMEDIATELY OF ALL EXISTING FIELD CONDITIONS AND ANY DISCREPANCIES OR INCONSISTENCIES.

RESIDENTIAL: PROJECTED COLLECTION SCHEDULE

SERVICE	M	T	W	TH	F	S
3CY FRONT LOAD LOOSE BIN WASTE	1		1		1	
3CY FRONT LOAD LOOSE BIN RECYCLING	2	2		2	2	
2CY FRONT LOAD LOOSE BIN COMPOST		1			1	

OFFICE: PROJECTED COLLECTION SCHEDULE

3CY FRONT LOAD LOOSE BIN WASTE	1	1		1	1	
3CY FRONT LOAD LOOSE BIN RECYCLING	2	2		2	2	
2CY FRONT LOAD LOOSE BIN COMPOST		1			1	
TOTAL STAGING	6	7	1	5	8	0



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The "as shown" or "as indicated" information on this drawing is for informational purposes only and does not constitute a contract. The contractor shall be responsible for verifying all dimensions and conditions prior to construction. The architect shall be notified immediately of all existing field conditions and any discrepancies or inconsistencies.

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11/20/2024

PLANNING APPLICATION FOR:
WINDY HILL PROPERTY VENTURES
BLOCK 20
SAN MATEO, CA 94401

DATE	DESCRIPTION
08.22.2024	2024 PRE-APPLICATION
01.13.2025	FIRST PLANNING SUBMITTAL
03.13.2024	FIFTH PLANNING SUBMITTAL

RESIDENTIAL
TRASH
LOOSE OPTION

TR0.4

PROJECT NO: 212515