

PLANNING SUBMISSION FOR:  
**1ST & B**  
**57 S. B STREET**  
**SAN MATEO, CA 94401**



# PLUMBING FIXTURE CALCULATIONS

LEVEL	OCC GROUP	AREA 4	LOAD FACTOR	OCC (M/W) 4	FIXTURES REQUIRED		
					WOMEN	MEN	DF
FLR 1	M	4,910 SF	100	25/25	1 WC / 1 LAVS	1WC / 0 UR / 1 LAVS	0
FLR 2	B	10,239 SF	150	35/35	3 WC / 1 LAVS	1WC / 1 UR / 1 LAVS	1
FLR 3	B	8,950 SF	150	30/30	2 WC / 1 LAVS	1WC / 1 UR / 1 LAVS	1
FLR 4	B	7,988 SF	150	27/27	2 WC / 1 LAVS	1WC / 1 UR / 1 LAVS	1

**NOTES:**

1. REQUIREMENTS PER 2022 CPC TABLE 422.1. 
2. SQUARE FEET AREAS SHOWN ARE USABLE SPACES LESS ACCESSORY AREAS (HALLWAYS, RESTROOMS, STAIR ENCLOSURE, UTILITY ROOMS AND STORAGE ..) PER CPC TABLE A EXCEPTION
3. OCCUPANT LOAD FACTORS:
  - A. ASSEMBLY; A2 30 SF
  - B. OFFICE; B 150 SF
  - C. MERCANTILE; M 100 SF
4. CPC 2019 - 422.0 - 3 THE TOTAL NUMBER OF REQUIRED WATER CLOSETS FOR FEMALES SHALL BE NOT LESS THAN THE TOTAL NUMBER OF REQUIRED WATER CLOSETS AND URINALS FOR MALES. [BSC] THIS REQUIREMENT SHALL NOT APPLY WHEN SINGLE OCCUPANCY TOILET FACILITIES ARE PROVIDED FOR EACH SEX IN AN A OR E OCCUPANCY WITH AN OCCUPANT LOAD OF LESS THAN 50. EITHER THE REQUIRED URINAL SHALL BE PERMITTED TO BE OMITTED OR IF INSTALLED, THE URINAL SHALL NOT REQUIRE A SECOND WATER CLOSET TO BE PROVIDED FOR THE FEMALE.
5. RESTROOMS ARE PROVIDED AS SINGLE-OCCUPANT FACILITIES. 50% ARE PROVIDED AS ACCESSIBLE.
6. FIXTURES SERVING RETAIL SPACES TO BE PROVIDED AS PART OF RETAIL TENANT IMPROVEMENTS

## PARKING CALCULATIONS

PARKING ZONE:	CPID LIMITED PARKING ZONE (LPZ)		
REQUIRED (SMC 27.64.100)			
RETAIL/RESTAURANT (1.9/1,000):	10 STALLS		
OFFICE (2.6/1,000):	95 STALLS		
			1
PROVIDED:	0 PER AB-2097		
<u>BIKE PARKING</u>			
SHORT TERM REQ'D - OFFICE (1/20,000 SF):	2		
SHORT TERM REQ'D - RETAIL (1/2,000 SF):	4		
LONG TERM REQ'D - OFFICE (1/10,000 SF):	4		
LONG TERM REQ'D - RETAIL (1/12,000 SF):	1		
TOTAL REQUIRED:	11		
PROVIDED SHORT TERM:	6		▲

TOTAL PROVIDED: 24

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# APPLICABLE CODES

**2022 CALIFORNIA BUILDING STANDARDS CODE (TITLE 24), EFFECTIVE JANUARY 1, 2023:** 1

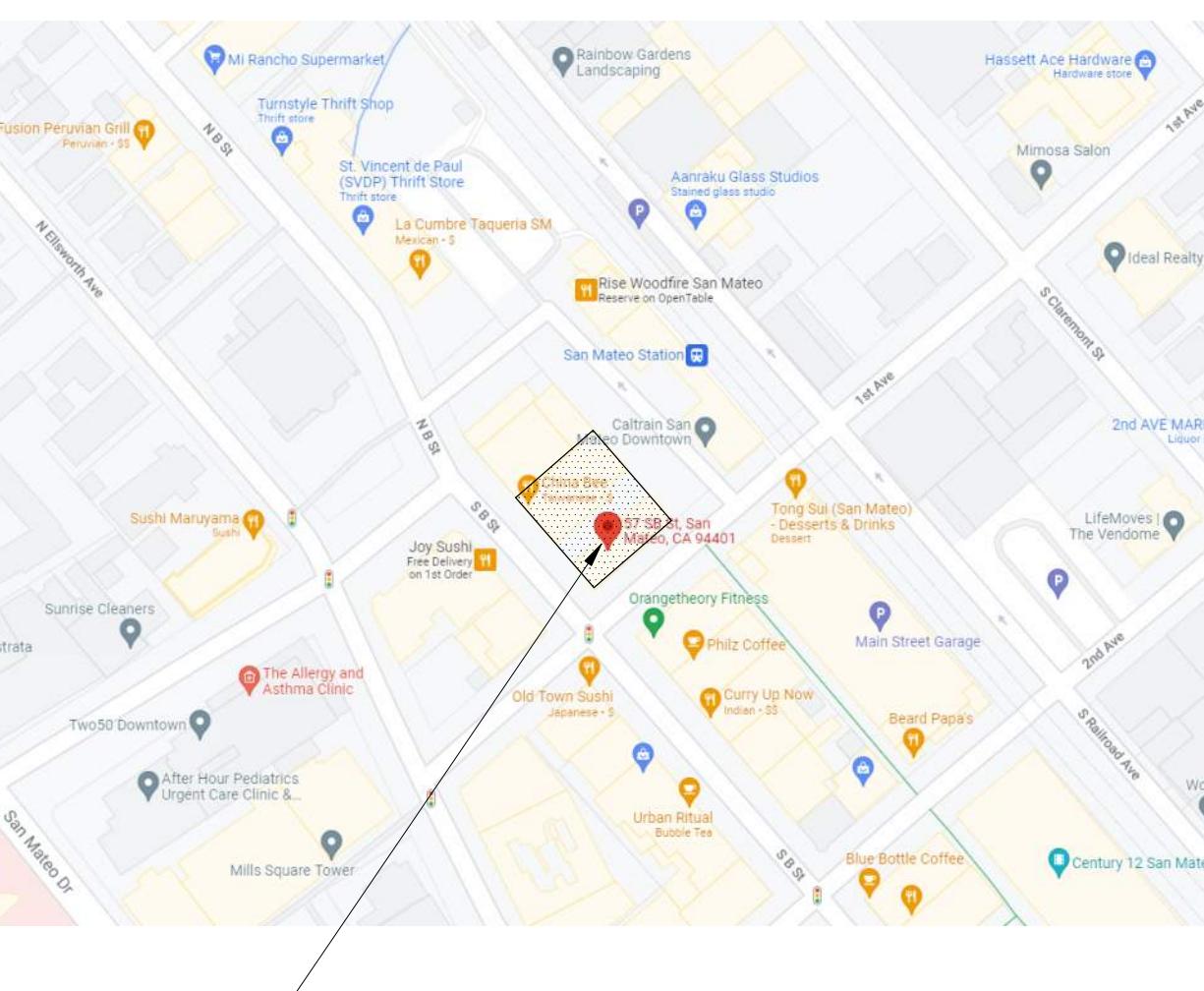
- PART 1 - CALIFORNIA ADMINISTRATIVE CODE
- PART 2 - CALIFORNIA BUILDING CODE, VOLUMES 1 AND 2
- PART 3 - CALIFORNIA ELECTRICAL CODE
- PART 4 - CALIFORNIA MECHANICAL CODE
- PART 5 - CALIFORNIA PLUMBING CODE
- PART 6 - CALIFORNIA ENERGY CODE
- PART 7 - VACANT/ NOT USED
- PART 8 - CALIFORNIA HISTORICAL BUILDING CODE
- PART 9 - CALIFORNIA FIRE CODE
- PART 11 - CALIFORNIA GREEN BUILDING STANDARDS CODE (CALGREEN CODE)
- PART 12 - CALIFORNIA REFERENCED STANDARDS CODE
- CAL/OSHA – TITLE 8, 2019 ELEVATOR SAFETY CODE
- STANDARD SPECIFICATIONS AND DETAILS AND OTHER APPLICABLE REGULATIONS ISSUED BY AGENCIES HAVING JURISDICTION OVER THE PROJECT.
- THE WORK SHALL MEET OR EXCEED THE REQUIREMENTS OF THE CODES AND REGULATIONS LISTED ABOVE, INCLUDING SUPPLEMENTS AND AMENDMENTS IN EFFECT AT THE TIME THE DOCUMENTS WERE ISSUED

## PROPOSED BUILDING DATA

NUMBER OF BUILDINGS ON SITE:	1
OCCUPANCY TYPE:	B, M, A (GENERAL OFFICE, RETAIL/RESTAURANT)
CONSTRUCTION TYPE:	III-B (CBC TABLE 503, 601) (SEE A0.2 FOR TABLE OF RATING REQMNTS.)
SPRINKLERED:	YES (TO MEET NFPA 13 STANDARDS)
ALLOWABLE HEIGHT:	75'-0" (CBC TABLE 504.3)
PROPOSED HEIGHT:	55' - 0"
ALLOWABLE NUMBER OF STORIES:	4 (CBC TABLE 504.4) (SEE A0.3 FOR MORE INFO)
PROPOSED NUMBER OF STORIES:	4

ALLOWABLE BUIDLING AREA:		57,000 SF (CBC TABLE 506.2) (SEE A0.3 FOR AREA CALCS)	
PROPOSED SEPARATED BUILDING AREA:		2	
1ST FLOOR		OCC. AREA	RATIO
A	4,113 SF	4	0.35 = <1
M	4,910 SF	4	0.21 = <1
B	5,796 SF	4	0.18 = <1
2ND FLOOR	B 11,605 SF	4	0.16 = <1
3RD FLOOR	B 9,811 SF	4	0.90 = <2
4TH FLOOR	B 9,125 SF	4	
TOTAL:	42,385 SF	4	

# PROXIMITY MAP



## GENERAL INFORMATION

ADDRESS OF PROJECT:	31, 35, 43, 47, 57 S. B STREET SAN MATEO, CA 94401
ASSESSOR'S PARCEL NUMBER:	034-054-030
EXISTING ZONING DISTRICT:	CENTRAL BUSINESS DISTRICT (CBD)
2009 DOWNTOWN PLAN AREA:	DOWNTOWN RETAIL CORE
LOT SIZE (SQ. FT.):	+/- 13,887 SQ. FT.
FLOOR AREA RATIO (FAR):	3.0
ALLOWABLE BUILDING AREA:	41,661 SQ. FT.
EXISTING GROSS BUILDING AREA:	BUILDING 1 (57 S B ST): 3,728 SF BUILDING 2 (43 S B ST): 5,608 SF TOTAL: 9,336 SF
PROPOSED BUILDING AREA: (SMCC 27.04.200)	1ST FLOOR 11,609 SF 2ND FLOOR 11,130 SF 3RD FLOOR 9,811 SF 4TH FLOOR 8,640 SF TOTAL: 41,190 SF (2.97 FAR) (SMMC 27.04.200)
NET INCREASE FLOOR AREA:	31,854 SF
ALLOWABLE BUILDING HEIGHT:	55'-0" (DOWNTOWN AREA PLAN, FIGURE 14)
BUILDING HEIGHT PROVIDED:	54'-9" TO TOP OF PLATE 64'-9" TOTAL HEIGHT TO TOP OF MECHANICAL
FRONT SETBACK REQUIRED:	NONE
FRONT SETBACK PROVIDED:	NONE
SIDE SETBACK REQUIRED:	NONE
SIDE SETBACK PROVIDED:	6'-6"
REAR SETBACK REQUIRED:	NONE

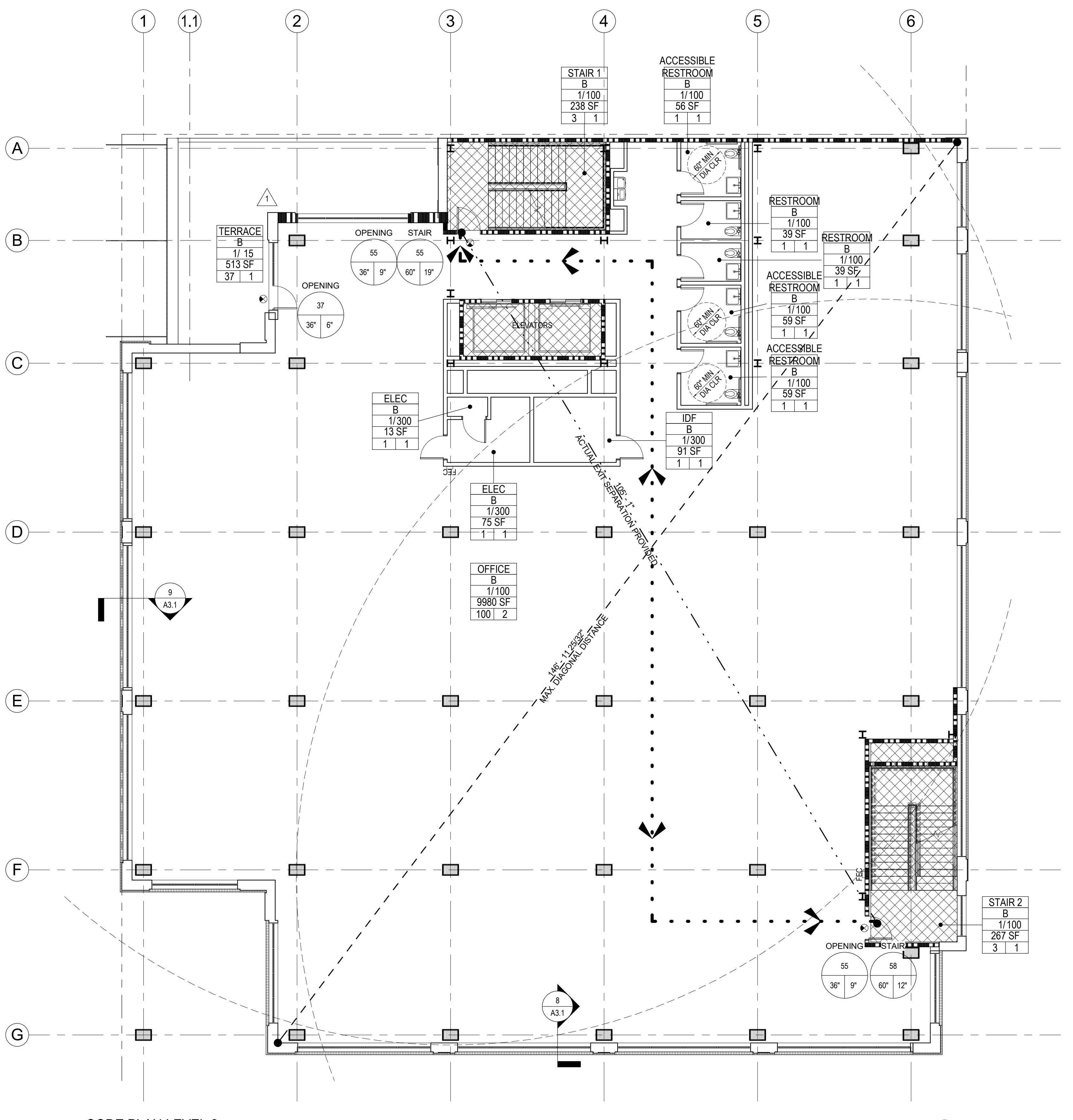
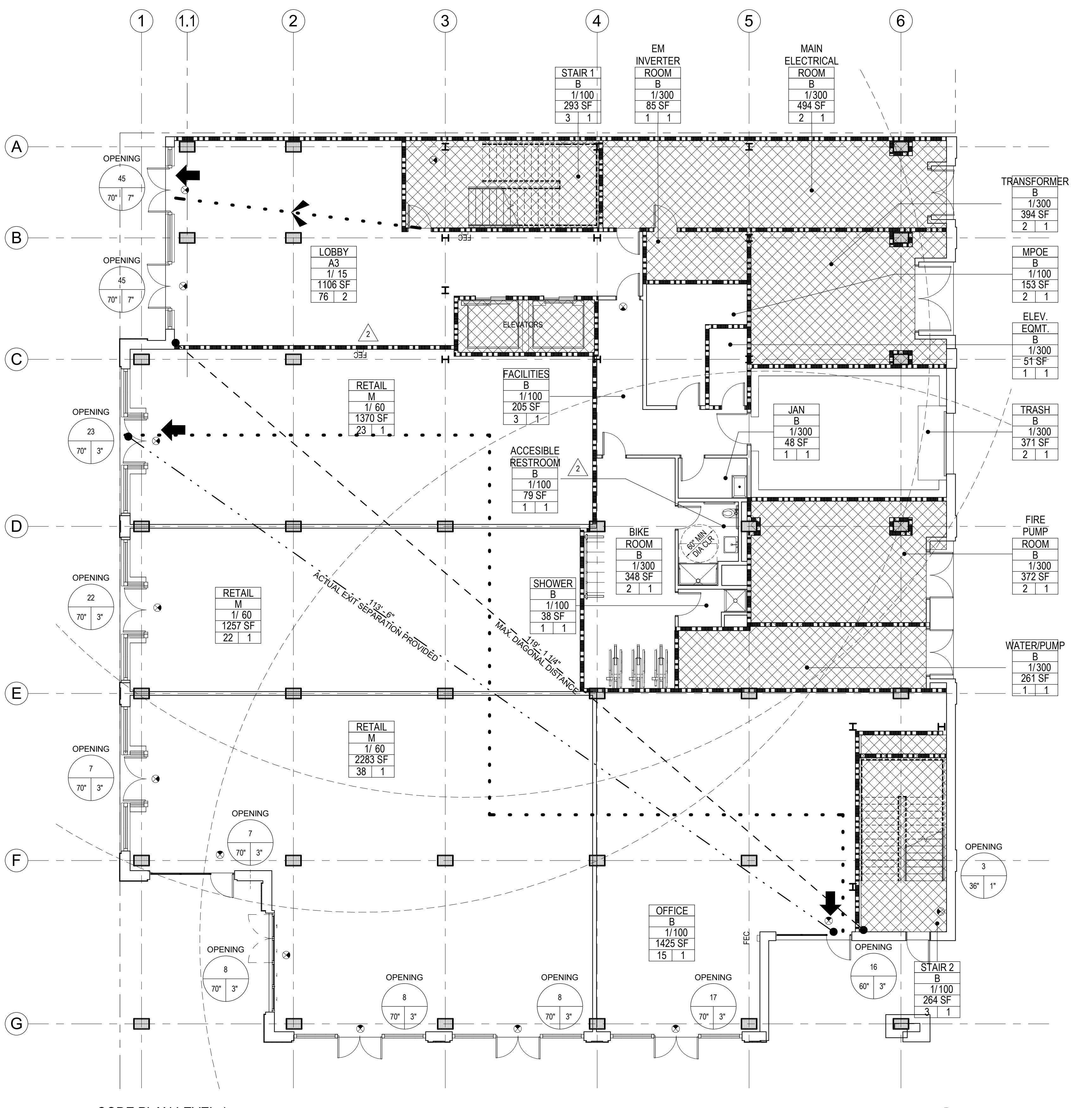
# NOT FOR CONSTRUCTION

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SHEET NAME:  
**COVER SHEET**

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SHEET NUMBER:



### SHEET NOTES

1. SHEET NOTES AND KEY NOTES ARE FOR THE C+S SCOPE OF WORK AND ARE SPECIFIC TO THIS SHEET ONLY. UON THE ITEMS BELOW ARE HIGHLIGHTED. IN ALL, CBC REQUIREMENTS SHALL BE ADHERED TO.
2. THE CODES FOR OCCUPANT SPACES ARE CALCULATED PER CBC TABLE 1004.1.2.
3. REQUIRED EXITS ARE PLACED AT LEAST 1/3 THE CALCULATED DISTANCE FROM THE FARthest POINTS OF THE NEW SPACE. (CBC SECTION 1007.1.1 EXCEPTION 2).
4. MAXIMUM EXIT TRAVEL DISTANCE IS 250'-0" FOR A OCCUPANCY AND 300'-0" FOR B OCCUPANCY; CBC TABLE 1017.2.
5. EXIT WIDTH CALCULATIONS FOR OPENINGS AND STAIRS IS BASED UPON CBC, SECTION 1005.3.1 AND 1005.3.2.
6. EXCEPTION 1
  - EXIT OPENING WIDTH FACTOR = 0.15 OCCUPANT LOAD
  - STAR WIDTH FACTOR = 0.2 X OCCUPANT LOAD
7. EXIT OPENING WIDTH NOT COMPENSATED FOR CBC SECTION 1005.3.
8. THE NUMBER OF REQUIRED EXITS IS BASED UPON CBC TABLE 1006.2.
9. REFER TO DOOR SCHEDULE FOR DOOR AND FRAME TYPES, RATINGS, SIZE AND HARDWARE TYPES.
10. ALL DOORS SHALL HAVE CLEARANCE NOT LESS THAN 32" FOR CBC SECTION 1007.1.1.
11. PROVIDE STAIRWELL TACTILE EXIT SIGNAGE FOR CODE REQUIREMENT. REFER TO TACTILE SIGNAGE NOTES (2019 CBC SECTION 110.18.1).
12. PROVIDE STAIRWELL TACTILE EXIT SIGNAGE FOR CODE REQUIREMENT. REFER TO TACTILE SIGNAGE NOTES (2019 CBC SECTION 110.18.1).
13. ALL INTERIOR TACTILE EXIT SIGNAGE TO BE PROVIDED DURING FUTURE TI PHASE.
14. ALL FIRE PROTECTION EQUIPMENT AND ROOMS CONTAINING CONTROLS FOR AIR CONDITIONING SYSTEMS, SPRINKLER RISERS AND VALVES, OR OTHER SUPPRESSION CONTROL ELEMENTS SHALL BE IDENTIFIED BY APPROVED SIGNAGE AND LOCATED IN ACCORDANCE WITH THE CALIFORNIA FIRE CODE. COORDINATE SIGNAGE REQUIREMENTS WITH LOCAL FIRE MARSHAL JURISDICTION.
15. PROVIDE EMERGENCY VOICE ALARM COMMUNICATION SYSTEM.
16. THE MAXIMUM REQUIRED EXIT SEPARATION IS BASED UPON CBC, SECTION 1007.1.
20. REQUIRED EXIT SEPARATION IS BASED UPON CBC SECTION 1007.1.1 AND 1007.1.2 OF THE 2019 CBC CODE.
21. A. REQUIREMENTS PER 1029 CPC TABLE 422.1.
- B. AREA SQUARE FOOTAGE SHOWN INCLUDES USABLE SPACES, LESS ACCESSORY AREAS, (HALLWAYS, CIRCULATION, RESTROOM, STAIR ENCLOSURE, UTILITY/STORAGE ROOMS, PER TABLE A EXCEPTION.
- C. OCCUPANT LOAD FACTORS USED INCLUDE:
  - BUSINESS B = 1200
  - ASSEMBLY A2 = 130
- ALL REQUIRED OCCUPANT SEPARATIONS FOR THE FUTURE MIXED OCCUPANCY ZONES TO BE DETERMINED DURING THE FUTURE TI SCOPE OF WORK.

### RATING REQUIREMENTS

TABLE 601  
FIRE-RESISTANCE RATING REQUIREMENTS FOR BUILDING ELEMENTS (HOURS)

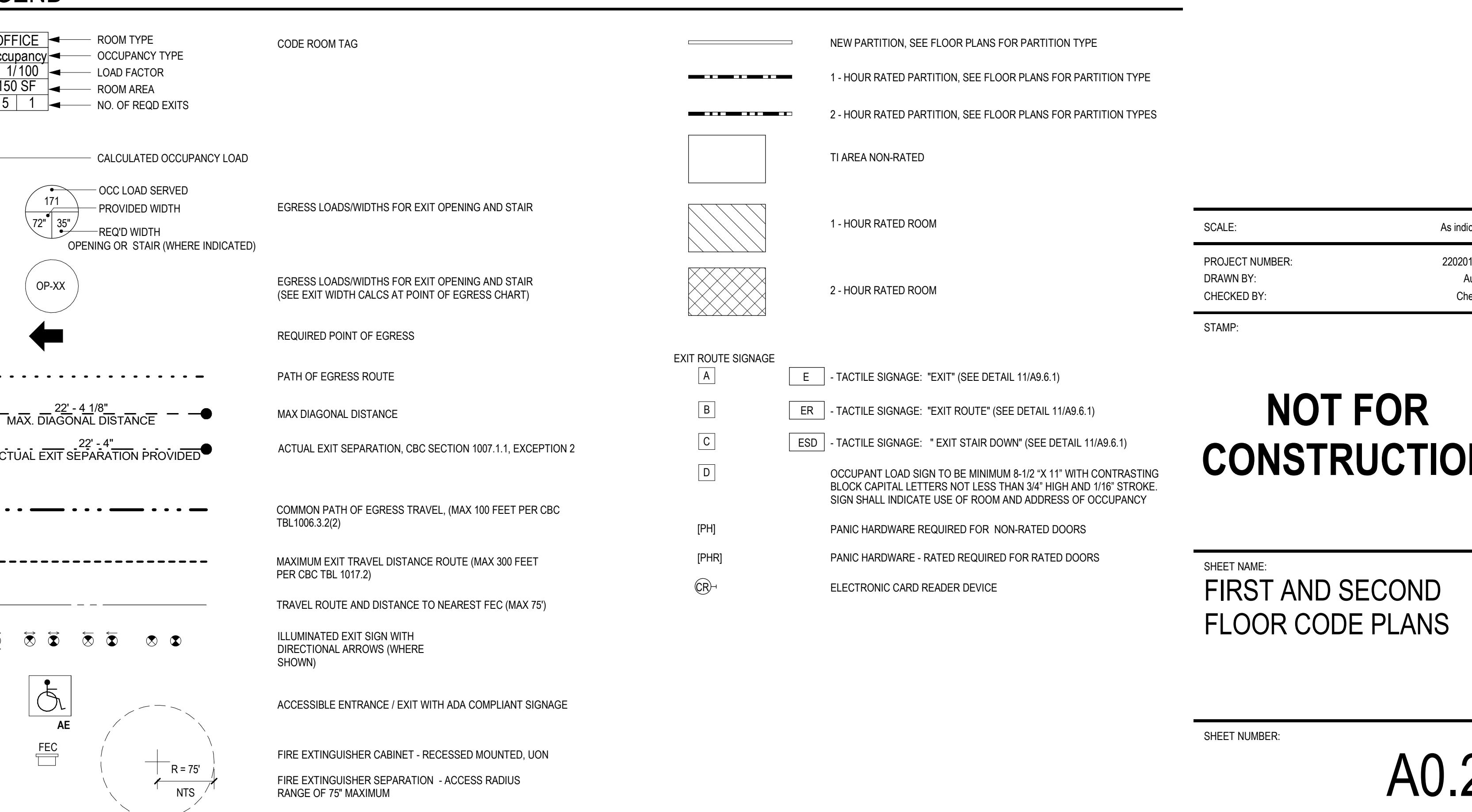
BUILDING ELEMENT	TYPE I		TYPE II		TYPE III		TYPE IV		TYPE V	
	A	B	A	B	A	B	C	HT	A	B
Primary structural frame (see Section 202)	3 <sup>h</sup>	2 <sup>h</sup>	1 <sup>h</sup>	0 <sup>h</sup>	0	3 <sup>h</sup>	2 <sup>h</sup>	2 <sup>h</sup>	1 <sup>h</sup>	0
Bearing walls										
Exterior <sup>e,f</sup>	3 <sup>h</sup>	2 <sup>h</sup>	1 <sup>h</sup>	0 <sup>h</sup>	2	3 <sup>h</sup>	2 <sup>h</sup>	2 <sup>h</sup>	2	1 <sup>h</sup>
Interior	3 <sup>h</sup>	2 <sup>h</sup>	1 <sup>h</sup>	0 <sup>h</sup>	1	0	3 <sup>h</sup>	2 <sup>h</sup>	2 <sup>h</sup>	1 <sup>h</sup>
Nonbearing walls and partitions										
Exterior										
Interior										
See Table 705.5										

### OCCUPANT LOAD CALCULATION

Code Plan-Occupancy Schedule - Level 1			
NAME	OCCUPANCY	AREA (SF)	LOAD FACTOR
ACCESSIBLE RESTROOM	B	59 SF	100
BIKE ROOM	B	345 SF	300
EM INVERTER ROOM	B	85 SF	300
FACILITIES	B	205 SF	100
FIRE PUMP ROOM	B	372 SF	300
JAN	B	48 SF	300
LOBBY	B	110 SF	150
MAIN ELECTRICAL ROOM	B	494 SF	300
MPCE	B	345 SF	300
OFFICE	B	1300 SF	100
OFFICE	M	1160 SF	60
OFFICE	M	1370 SF	60
OFFICE	M	2283 SF	38
RETAIL	M	1257 SF	22
RETAIL	M	160 SF	22
SHOWER	B	38 SF	2
TRANSFORMER	B	371 SF	300
TRASH	B	372 SF	300
WATER/PUMP	B	261 SF	300

Code Plan-Occupancy Schedule - Level 2			
NAME	OCCUPANCY	AREA (SF)	LOAD FACTOR
ACCESSIBLE RESTROOM	B	59 SF	100
ACCESSIBLE RESTROOM	B	56 SF	100
ACCESSIBLE RESTROOM	B	59 SF	100
ELEC	B	13 SF	300
ELEC	B	75 SF	300
IDF	B	91 SF	300
OFFICE	B	990 SF	100
RESTROOM	B	39 SF	100
RESTROOM	B	39 SF	100
TERRACE	B	513 SF	15

### LEGEND



### EXIT WIDTH CALCULATION

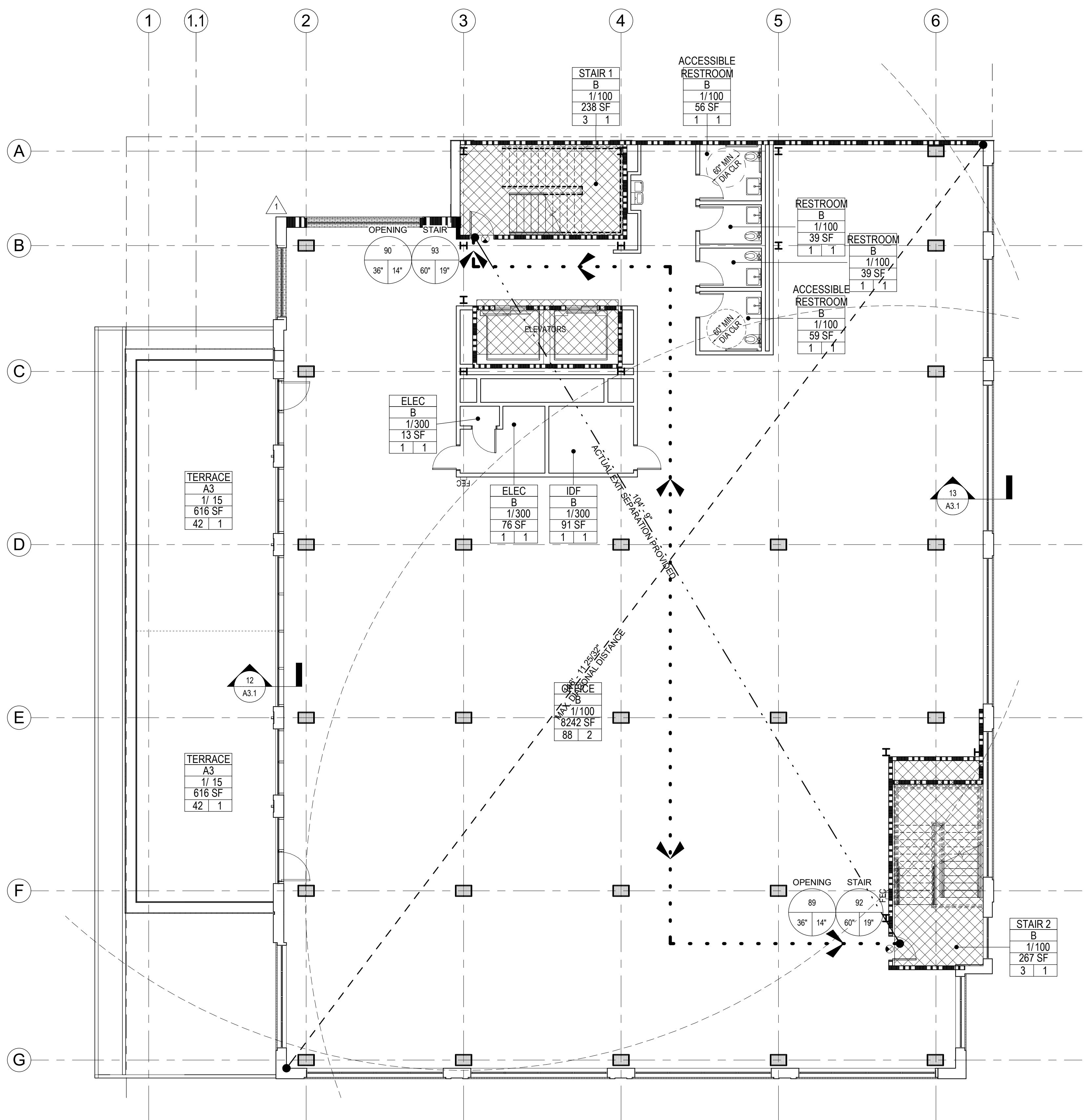
LEVEL	OCCUPANT LOAD	TOTAL NUMBER OF EXITS		TOTAL EGRESS WIDTH	TOTAL STAIR WIDTH
		REQUIRED	PROVIDED		
FLR 1	211 OCC	2	13	31.7'	900"
FLR 2	143 OCC	2	2	21.45'	72"

NOTES:  
1. CALCULATIONS IN THIS TABLE ARE BASED ON 2022 CBC SECTION 1005.3  
2. EGRESS WIDTHS BASED ON CBC SECTION 1005.3.1 AND 1005.3.2

For Sl: 1 foot = 304.8 mm.

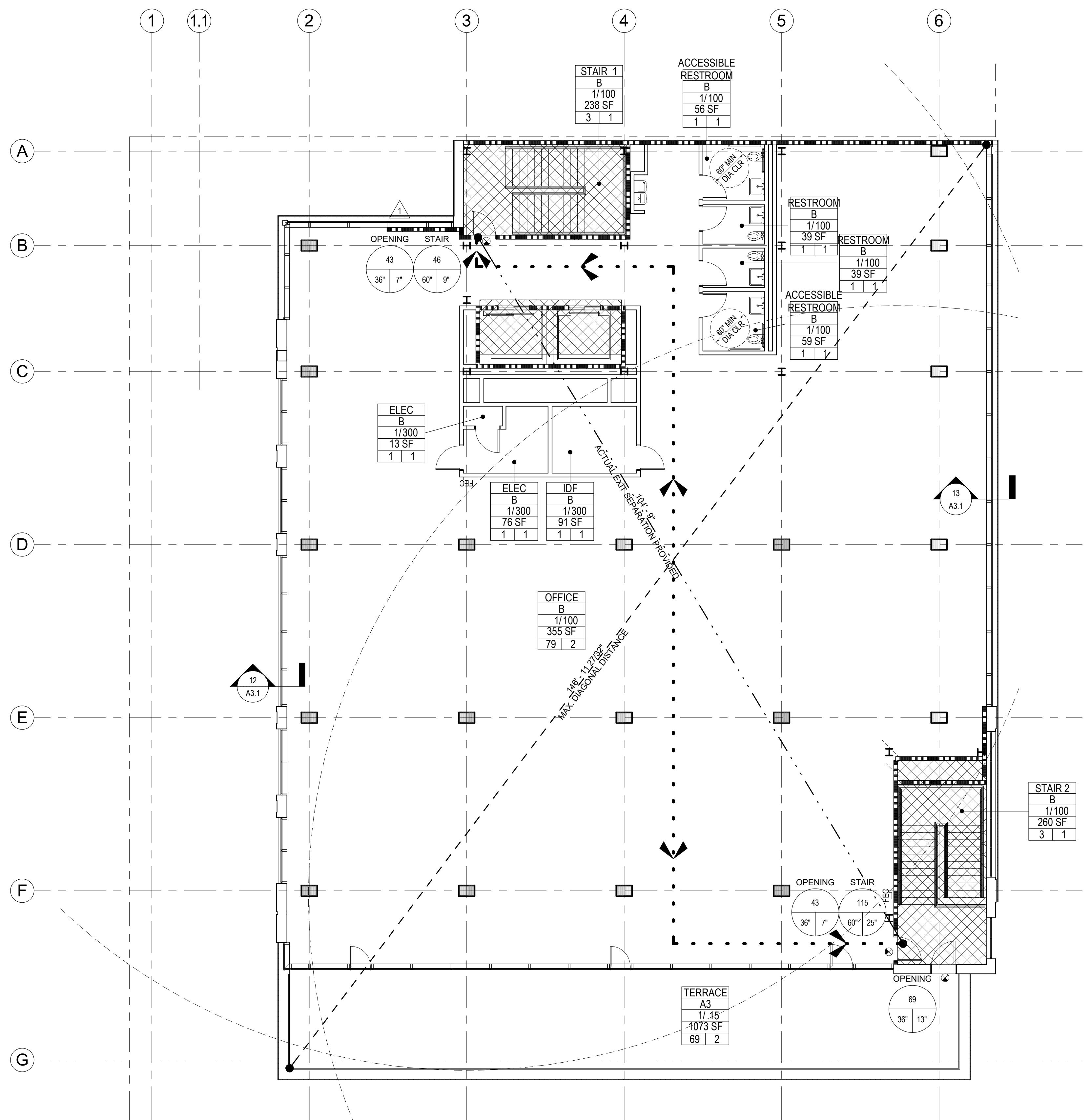
3. EGRESS WIDTH MEETS CBC SECTION 1005.5 FOR DISTRIBUTION OF MINIMUM WIDTH AND REQUIRED CAPACITY

ISSUE:	DESCRIPTION	DATE
1	PLANNING APPLICATION RESUBMITTAL	03/10/2023
2	PLANNING APPLICATION RESUBMITTAL #2	07/21/2023
3	PLANNING APPLICATION RESUBMITTAL #3	11/03/2023



CODE PLAN LEVEL 3

18" = 1'-0"



CODE PLAN LEVEL 4

18" = 1'-0"

## SHEET NOTES

1. SHEET NOTES AND KEY NOTES ARE FOR THE C+S SCOPE OF WORK AND ARE SPECIFIC TO THIS SHEET ONLY. UON THE ITEMS BELOW ARE HIGHLIGHTED. ALL CBC REQUIREMENTS SHALL BE ADHERED TO.
2. THE CODE PLANS ARE FOR THE EXISTING SPACES. THEY ARE CALCULATED PER CBC TABLE 1004.1.2.
3. REQUIRED EXITS ARE PLACED AT 1/3 THE CALCULATED DISTANCE FROM THE FARthest POINTS OF THE NEW SPACE. (CBC SECTION 1007.1.1 EXCEPTION 1).
4. MAXIMUM EXIT TRAVEL DISTANCE IS 250'-0" FOR A OCCUPANCY AND 300'-0" FOR B OCCUPANCY; CBC TABLE 1017.2.
5. EGRESS EXIT SEPARATION FOR OPENINGS AND STAIRS IS BASED UPON CBC, SECTION 1005.3.1 AND 1005.3.2.
6. EXCEPTION 1
7. EXIT OPENING WIDTH FACTOR = 0.2 X OCCUPANT LOAD.
8. EGRESS EXIT SEPARATION FOR OPENINGS AND STAIRS IS BASED UPON CBC SECTION 1005.3.
9. REFER TO DOOR SCHEDULE FOR DOOR AND FRAME TYPES, RATINGS, SIZE AND HARDWARE TYPES.
10. ALL DOORS SHALL HAVE CLEARANCE NOT LESS THAN 32" FOR CBC SECTION 1007.1.1, 1007.1.2.
11. PROVIDED EXIT OPENINGS ARE FOR FIRE EXTINGUISHERS FOR CATEGORIES A AND B. LOCATE A MAXIMUM OF 75 FEET FROM ANY LOCATION WITHIN THE PROJECT AREA AND 100 FEET BETWEEN INDIVIDUAL FEC UNITS. 3,000 SF PER CABINET. LOCATE UNITS WHERE SHOWN OR AS DIRECTED BY THE FIRE MARSHAL. FIRE EXTINGUISHERS SHALL COMPLY WITH 2019 CBC SECTION 606 AND TABLE 606.3.1. LARGEST MP3 FIRE RATING 2A 10BC, 5 LBS CAPACITY.
12. SECURITY SYSTEMS SHALL NOT COMPROMISE EXIT SIGNAGE. SEE CBC SECTION 1006.2.1.
13. SECURITY SYSTEMS SHALL NOT COMPROMISE EXIT SIGNS. SEE CBC SECTION 1006.2.1.
14. PROVIDE SYMBOL OF ACCESSIBILITY AT FRONT ENTRANCE.
15. PROVIDE STAIRWELL TACTILE EXIT SIGNAGE PER CODE REQUIREMENT. REFER TO TACTILE SIGNAGE NOTES (2019 CBC SECTION 1023.9 AND 10-804.9). REFER TO ENLARGED STAIR PLANS FOR EXIT SIGNAGE.
16. ALL REQUIRED EXIT SIGNAGE FOR THE FUTURE TI PHASE.
17. ALL FIRE PROTECTION EQUIPMENT AND ROOMS CONTAINING CONTROLS FOR AIR-CONDITIONING SYSTEMS, SPRINKLER RISERS AND VALVES, OR OTHER SUPPRESSION OR CONTROL ELEMENTS SHALL BE IDENTIFIED BY APPROVED SIGNAGE AND ACCESSIBLE BY FIRE DEPARTMENT PER SECTION 609. 2019 CALIFORNIA FIRE CODE. COORDINATE SIGNAGE REQUIREMENTS WITH FIRE DEPARTMENT FOR APPROVAL.
18. PROVIDE EMERGENCY VOICE/ALARM COMMUNICATION SYSTEM.
19. THE NUMBER OF REQUIRED EXIT SEPARATION IS BASED UPON CBC, SECTION 1007.1.
20. RESTROOM FIXTURES CALCULATION BASED UPON 2019 CPC CODE:

  - A. RESTROOM FIXTURES ARE BASED UPON 2019 CPC CODE.
  - B. AREA SQUARE FOOTAGE SHOWN INCLUDES USABLE SPACES LESS ACCESSORY AREAS, (HALLWAYS, CIRCULATION, RESTROOM STAIR ENCLOSURE, UTILITY/STORAGE ROOMS, PER TABLE A EXCEPTION).
  - C. OCCUPANCY LOAD FACTORS USED INCLUDE:

    - A: 0.12, B: 0.13, C: 0.35 = <1
    - BUSINESS: 0.20

21. ALL REQUIRED OCCUPANCY SEPARATIONS FOR THE FUTURE MIXED OCCUPANCY ZONES TO BE DETERMINED DURING THE FUTURE TI SCOPE OF WORK.

## BUILDING AREA CALCULATION

TYPE III-B CONSTRUCTION, SPRINKLERED, SEPARATED OCCUPANCIES

ALLOWABLE AREAS PER FLOOR (CBC TABLE 506.2) (SM):

A-3: 9,500 SF (HEIGHT INCREASE UTILIZED)  
M: 37,500 SF (WITHOUT HEIGHT INCREASE)  
B: 57,000 SF (WITHOUT HEIGHT INCREASE)

ALLOWABLE STORIES (WITHOUT AREA INCREASE) (PER CBC TABLE 504.4) (SM):

A-3: 3 STORIES  
M: 3 STORIES  
B: 4 STORIES

DESIGNED AREAS (PER FLOOR) (SM):

1ST FLOOR: A-3: 1,138 SF M: 1,605 SF B: 1,605 SF  
3RD FLOOR: B: 9,811 SF  
4TH FLOOR: B: 9,125 SF

RATIO CHECK PER FLOOR (&lt;1 = ALLOWABLE):

1ST FLOOR:  $1,138/9,500 = 0.12 < 1$   
 $0.12 + 0.13 + 0.35 = <1$

2ND FLOOR:  $11,605/7,000 = 0.21 < 1$   
 $0.21 + 0.13 + 0.35 = <1$

3RD FLOOR:  $9,811/57,000 = 0.18 < 1$   
 $0.18 + 0.13 + 0.35 = <1$

4TH FLOOR:  $9,125/57,000 = 0.16 < 1$   
 $0.16 + 0.13 + 0.35 = <1$

BUILDING TOTAL AREA (SUM OF STORY RATIOS &lt; 2.0 = ALLOWABLE):

$0.21 + 0.18 + 0.16 = <2.0$

PROPOSED BUILDING STOREYS:

TOTAL STOREYS: 4

A-3: ALLOWABLE: 3 STORIES > 1ST STORY (HIGHEST STORY A-3)  
 M: ALLOWABLE: 3 STORIES > 1ST STORY (HIGHEST STORY M)  
 B: ALLOWABLE: 4 STORIES = 4TH STORY (HIGHEST STORY B)

## OCCUPANT LOAD CALCULATION

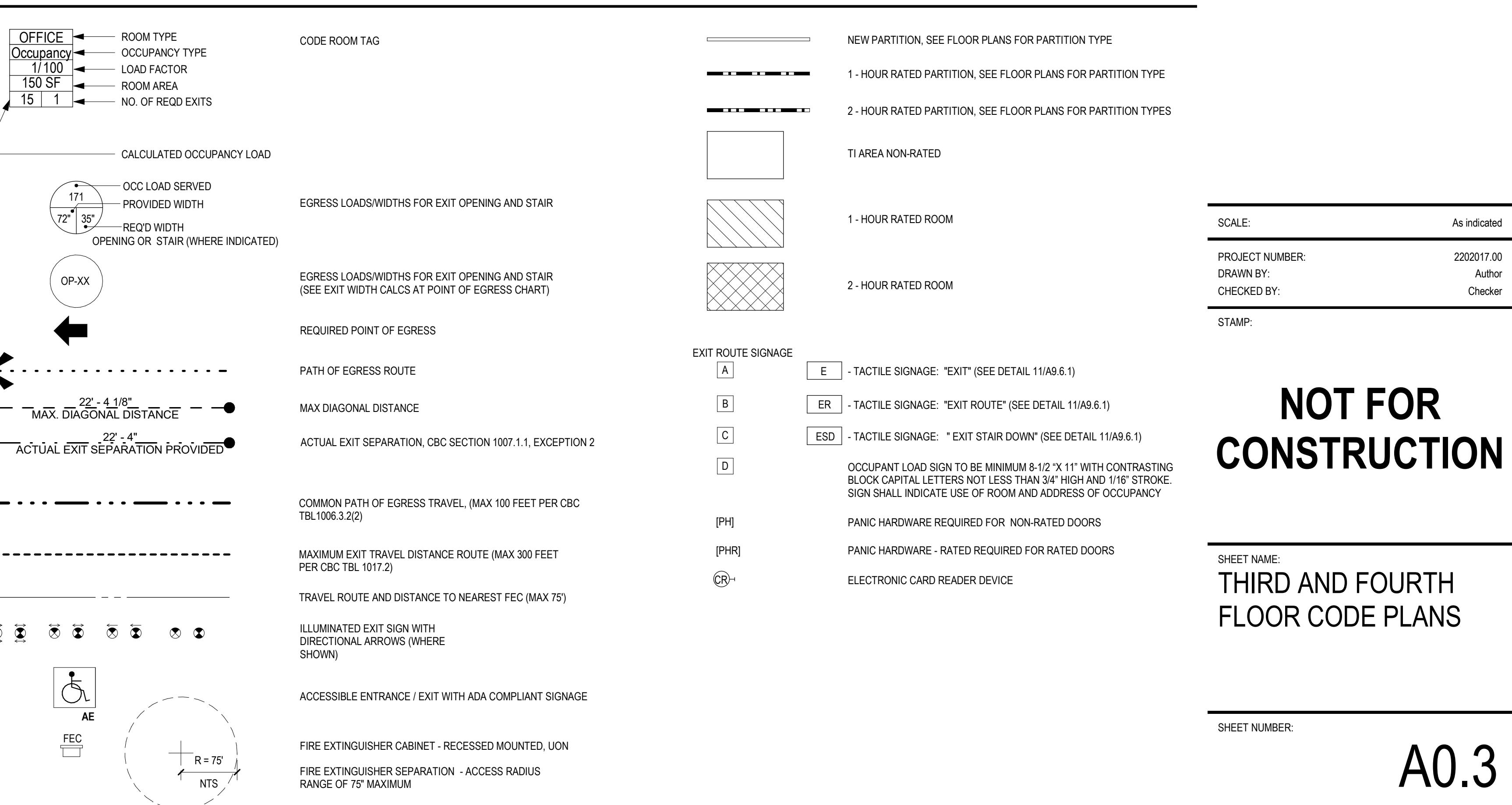
Code Plan-Occupancy Schedule - Level 3

NAME	OCCUPANCY	AREA (SF)	LOAD FACTOR	OCCUPANT LOAD
ACCESSIBLE RESTROOM	B	59 SF	100	1
NON-ACCESSIBLE RESTROOM	B	56 SF	100	1
ELEC	B	13 SF	300	1
ELEC	B	76 SF	300	1
IDF	B	91 SF	300	1
OFFICE	B	8242 SF	100	83
RESTROOM	B	39 SF	100	1
TERrace	A3	616 SF	15	42
TERrace	A3	616 SF	15	42
		9848 SF		174

Code Plan-Occupancy Schedule - Level 4

NAME	OCCUPANCY	AREA (SF)	LOAD FACTOR	OCCUPANT LOAD
ACCESSIBLE RESTROOM	B	59 SF	100	1
NON-ACCESSIBLE RESTROOM	B	56 SF	100	1
ELEC	B	76 SF	300	1
ELEC	B	13 SF	300	1
IDF	B	91 SF	300	1
OFFICE	B	355 SF	100	4
RESTROOM	B	39 SF	100	1
TERrace	A3	1073 SF	15	72
		1801 SF		83

## LEGEND



## EXIT WIDTH CALCULATION

LEVEL	OCCUPANT LOAD	TOTAL NUMBER OF EXITS	TOTAL EGRESS WIDTH		TOTAL STAIR WIDTH	
	REQUIRED	PROVIDED	REQUIRED	PROVIDED	REQUIRED	PROVIDED
FLR 3	179 OCC	2	26.9"	72"	36.8"	120"
FLR 4	155 OCC	2	23.3"	72"	31"	120"

NOTES:  
 1. CALCULATIONS IN THIS TABLE ARE BASED ON 2019 CBC SECTION 1005.3  
 2. EGRESS WIDTHS BASED ON CBC SECTION 1005.3.1 AND 1005.3.2  
 3. EGRESS WIDTHS MEET CBC SECTION 1005.5 FOR DISTRIBUTION OF MINIMUM WIDTH AND REQUIRED CAPACITY

## THIRD AND FOURTH FLOOR CODE PLANS

SHEET NUMBER: A0.3

5/28/2023 2:29 PM

pj date:



CLIENT:  
1ST & B

57 S. B STREET  
SAN MATEO, CA 94401

ISSUE:	PLANNING APPLICATION RESUBMITTAL	
REVISIONS:	DESCRIPTION	DATE
1	PLANNING APPLICATION RESUBMITTAL	03/10/2023
2	PLANNING APPLICATION RESUBMITTAL #2	07/21/2023
3	PLANNING APPLICATION RESUBMITTAL #3	11/03/2023
4	PLANNING APPLICATION RESUBMITTAL #4	05/06/2024



CORNER VIEW  
NO SCALE

1

NOT FOR  
CONSTRUCTION

NOTE: RETAIL AWNINGS AND STOREFRONTS ARE EXAMPLES OF POSSIBLE CONFIGURATION IF PRE-LEASED. SEE SHEET A3.1 FOR STOREFRONT AND AWNING OPTIONS.

SHEET NAME:  
RENDERINGS

SHEET NUMBER:

A0.4



1ST AVE VIEW  
NO SCALE

1



B ST VIEW  
NO SCALE

1

NOTE: RETAIL AWNINGS AND STOREFRONTS ARE EXAMPLES OF POSSIBLE CONFIGURATION IF PRE-LEASED. SEE SHEET A3.1 FOR STOREFRONT AND AWNING OPTIONS.



OFFICE ENTRY ELEVATION  
NO SCALE



1 1ST AVE RETAIL APPROACH  
NO SCALE



2 APPROACH FROM CAL-TRAIN  
NO SCALE

3



4 CORNER PLAZA VIEW  
NO SCALE



5 B STREET ELEVATION  
NO SCALE

4

NOTE: RETAIL AWNINGS AND STOREFRONTS ARE EXAMPLES OF POSSIBLE CONFIGURATION IF PRE-LEASED. SEE SHEET A3.1 FOR STOREFRONT AND AWNING OPTIONS.

SCALE: 12" = 1'-0"  
PROJECT NUMBER: 2203017.00  
DRAWN BY: Author  
CHECKED BY: Checker  
STAMP:

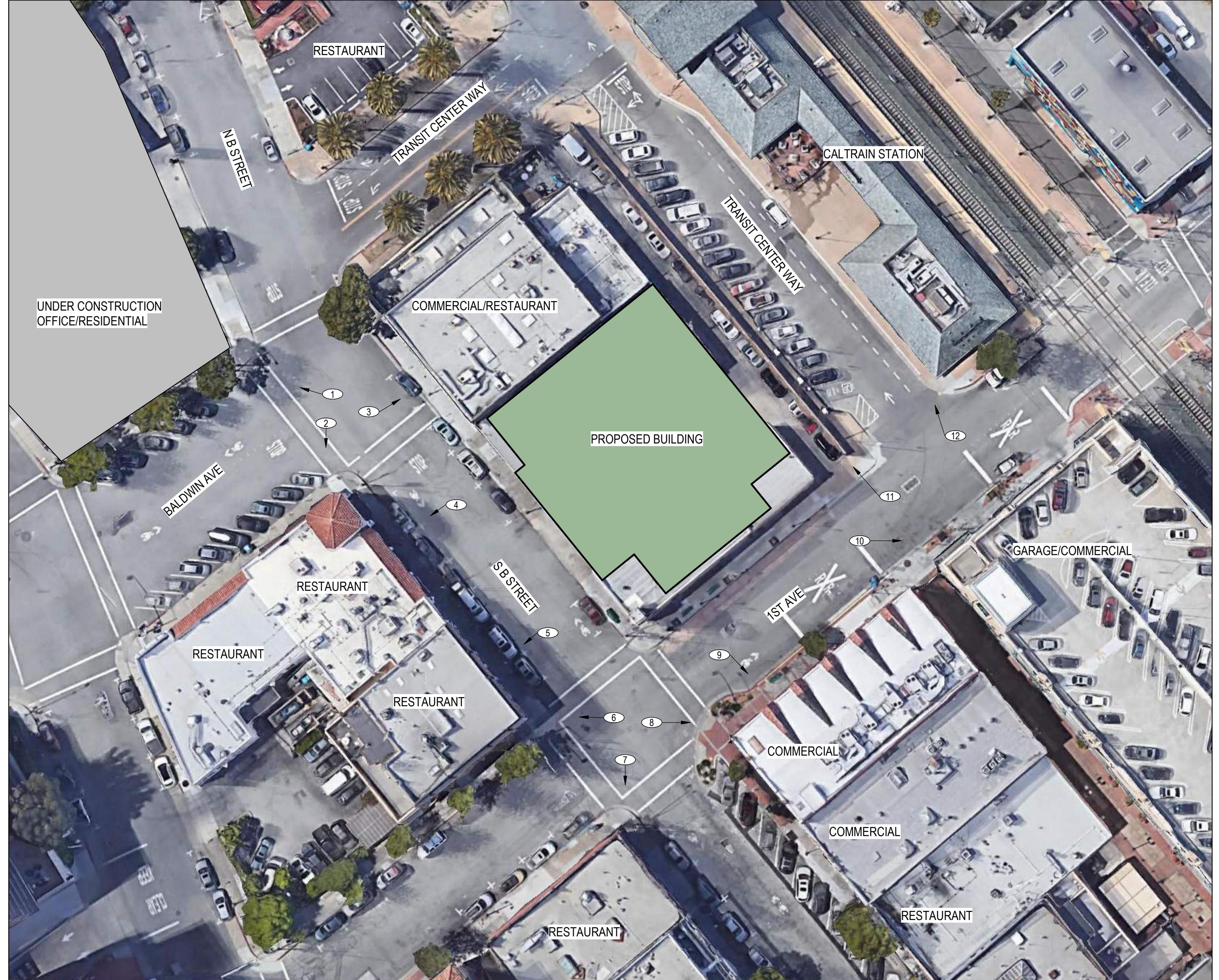
NOT FOR  
CONSTRUCTION

SHEET NAME:  
RENDERINGS

SHEET NUMBER:

A0.6

ISSUE:	DESCRIPTION	DATE
1	PLANNING APPLICATION RESUBMITTAL	03/10/2023
2	PLANNING APPLICATION RESUBMITTAL #2	07/21/2023
3	PLANNING APPLICATION RESUBMITTAL #3	11/03/2023



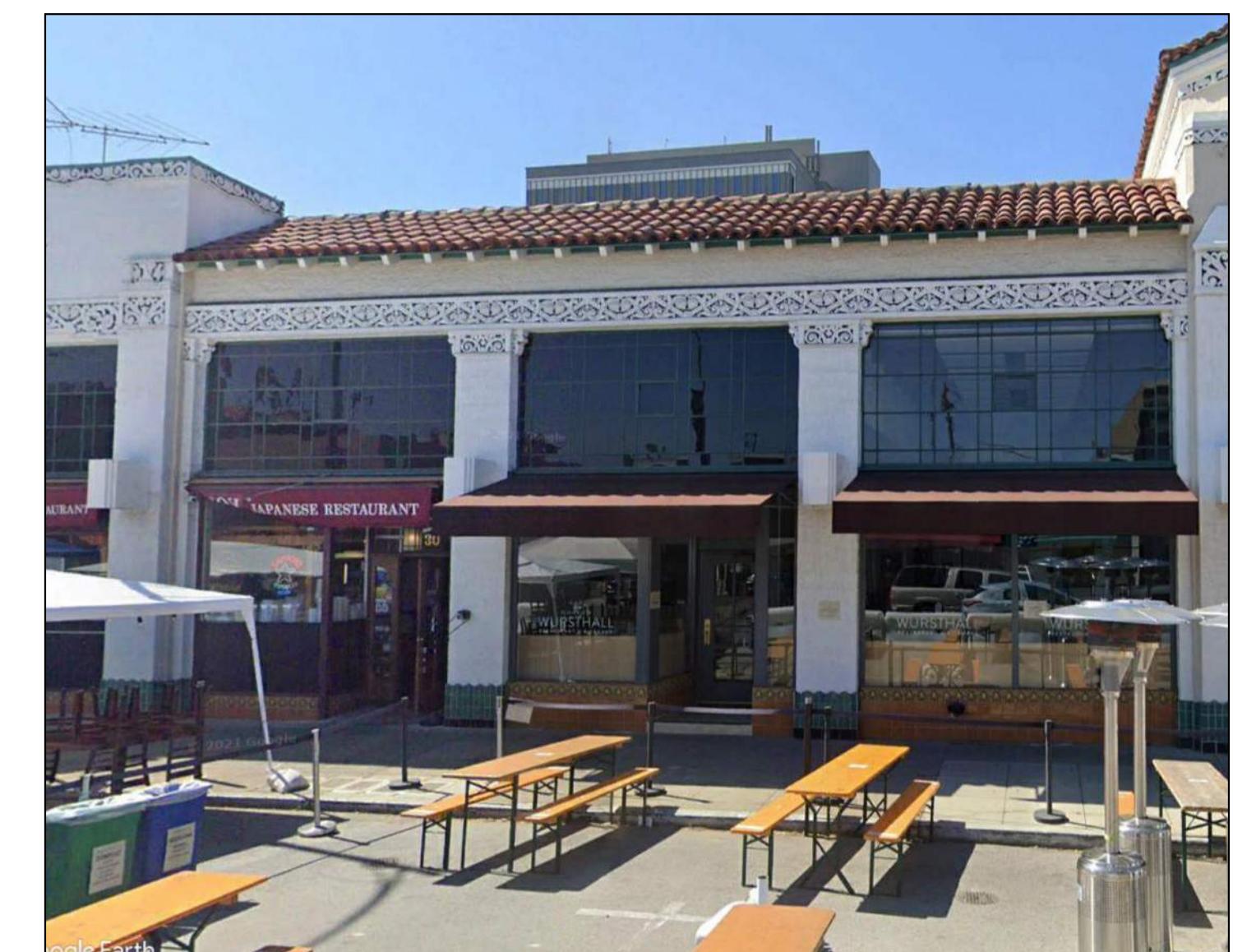
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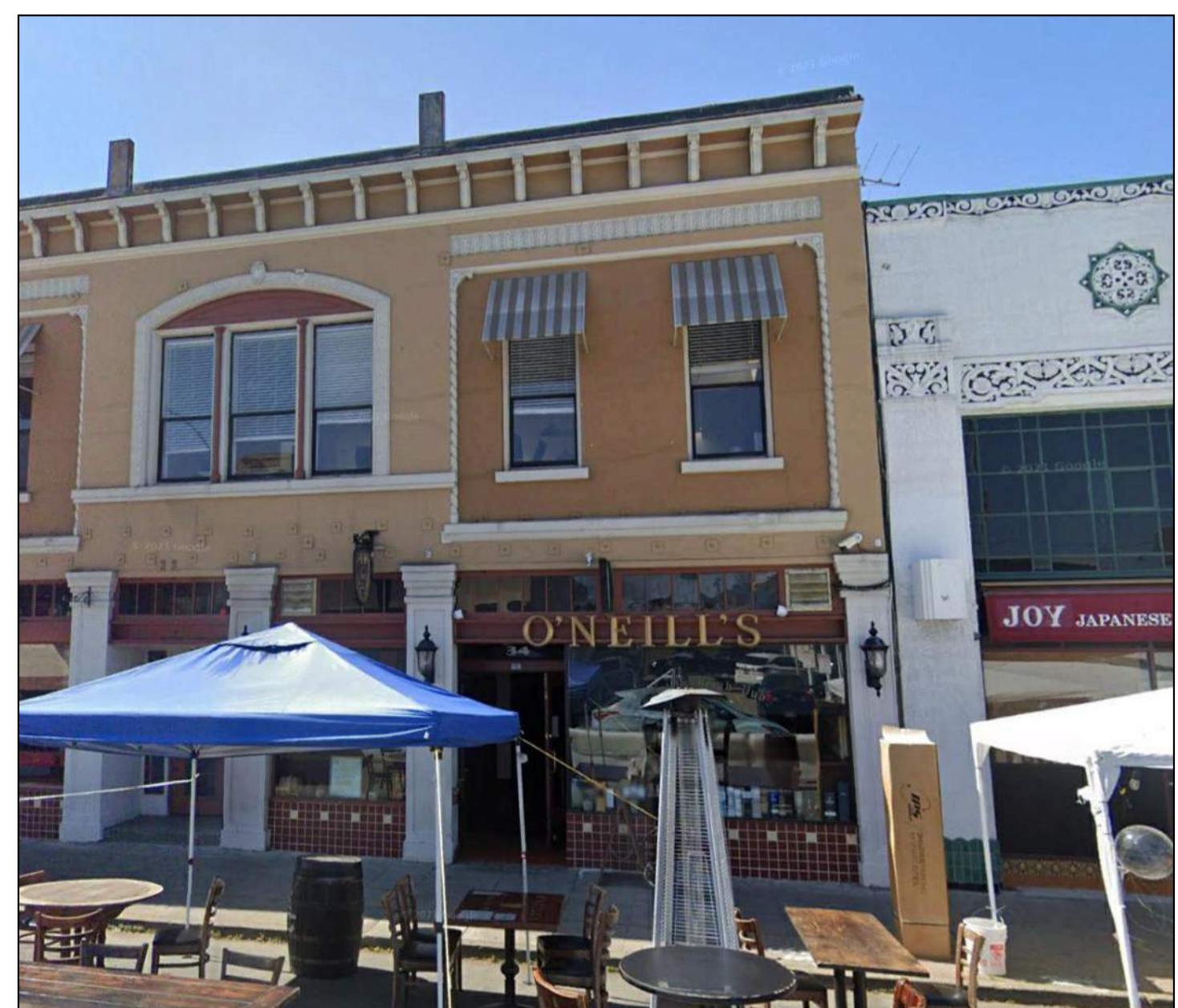
2. RESTAURANT



3. COMMERCIAL/RESTAURANT



4. RESTAURANT



5. RESTAURANT



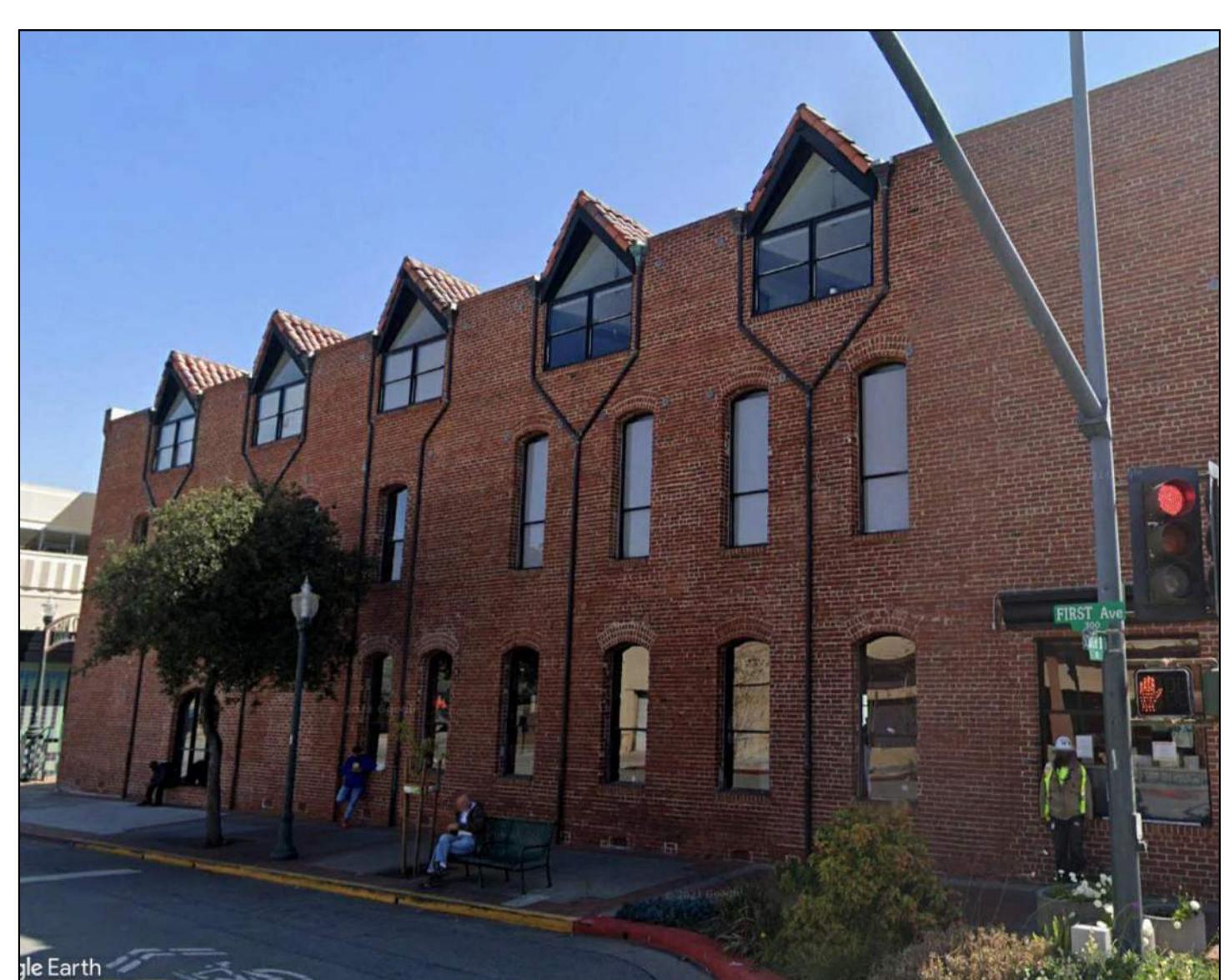
6. RESTAURANT



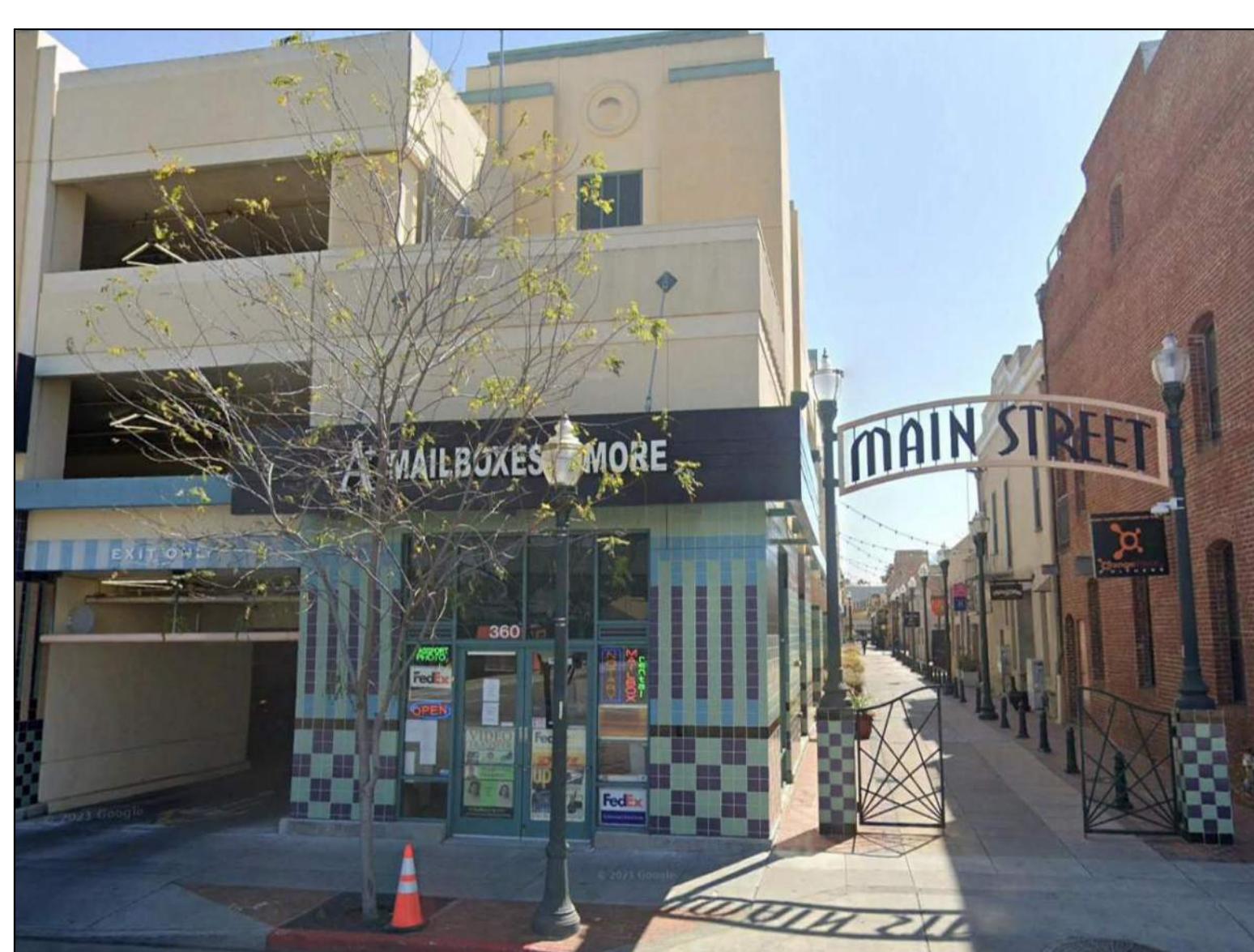
7. RESTAURANT



8. COMMERCIAL



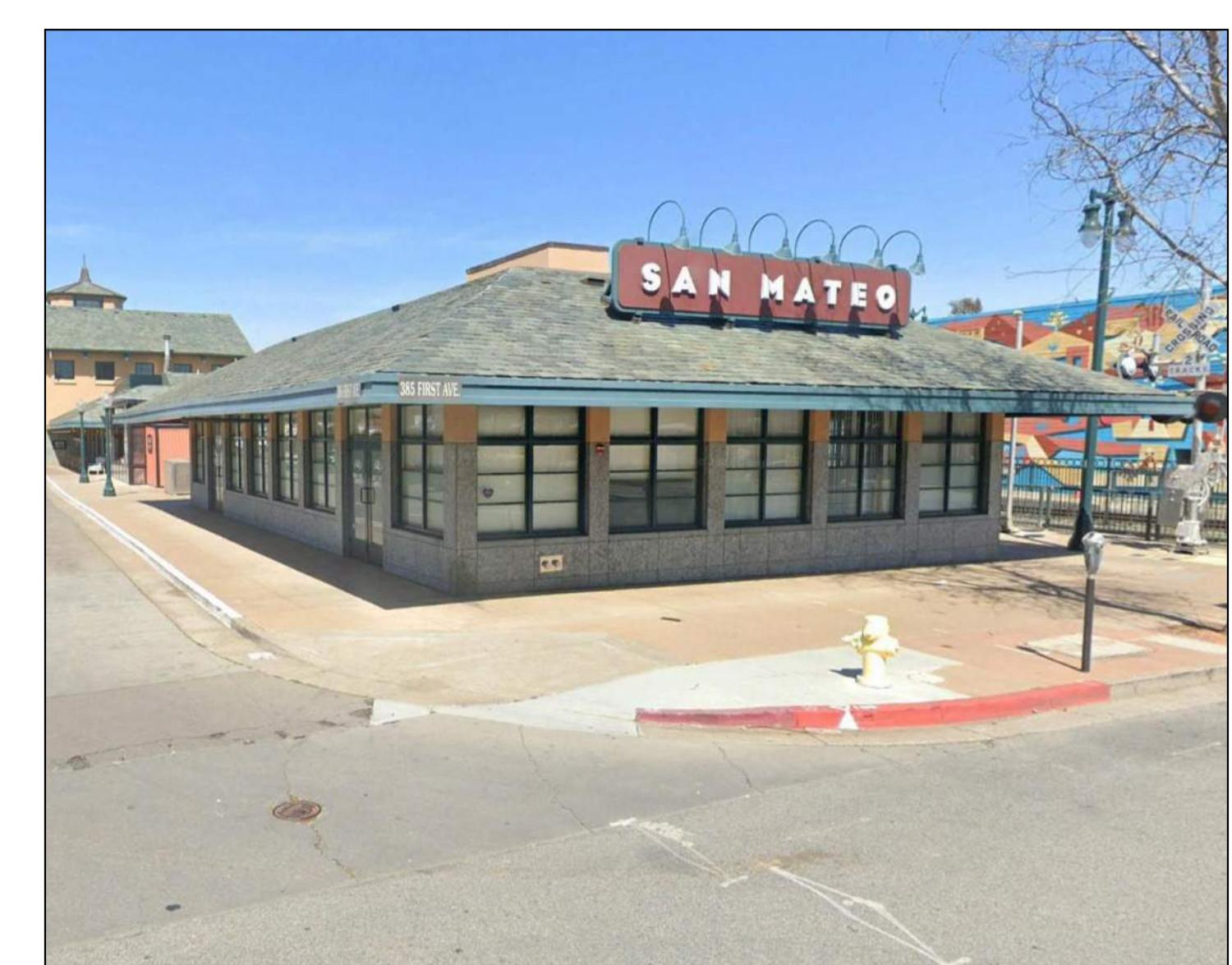
9. COMMERCIAL



10. PARKING GARAGE/COMMERCIAL



11. PARKING LOT/ALLEY



12. CALTRAIN STATION

SCALE:  
12" = 1'-0"  
PROJECT NUMBER:  
DRAWN BY:  
CHECKED BY:  
STAMP:

NOT FOR  
CONSTRUCTION

SHEET NAME:  
NEIGHBORHOOD  
CONTEXT

SHEET NUMBER:  
A0.7



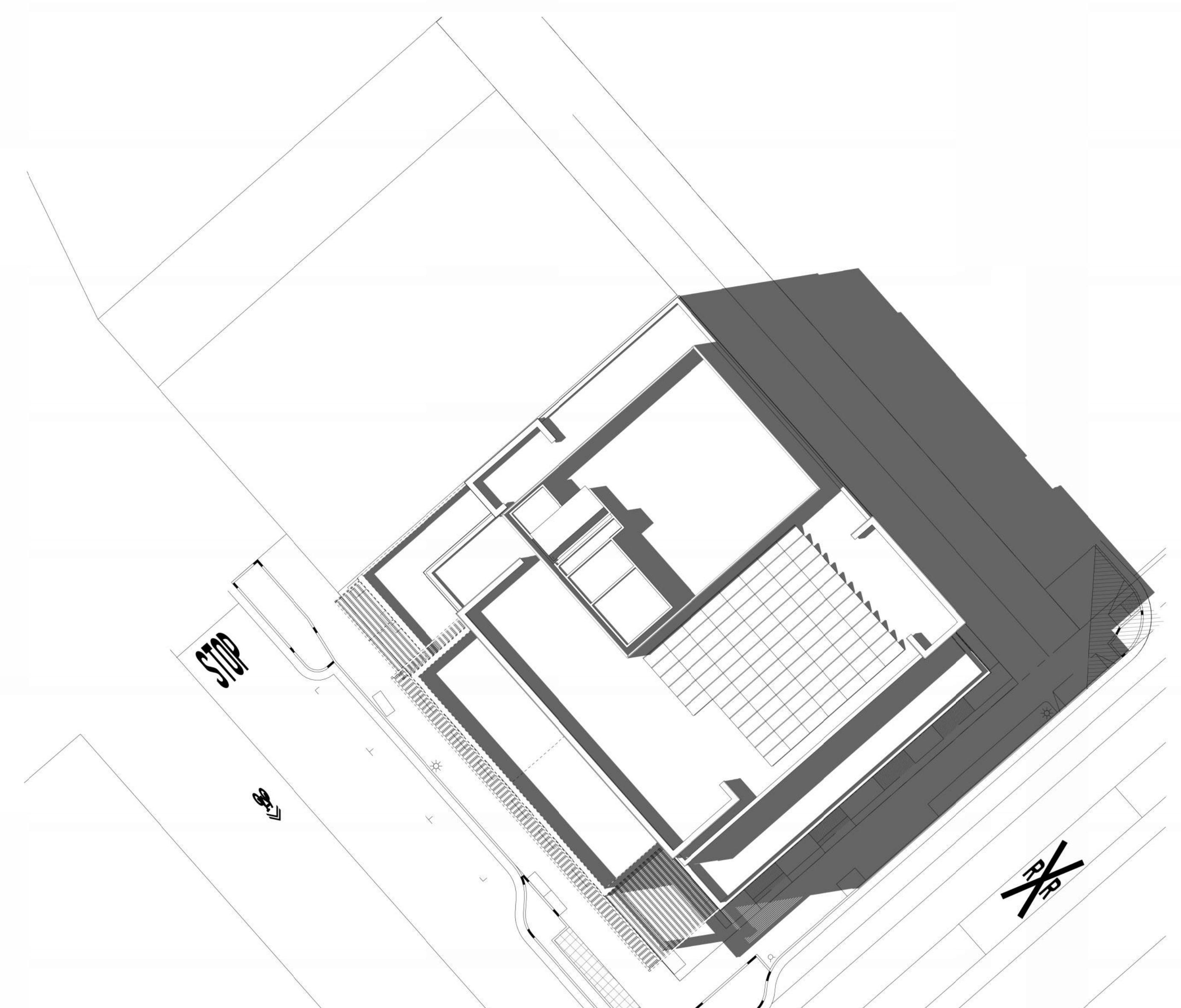
CLIENT:  
**1ST & B**

**57 S. B STREET**  
**SAN MATEO, CA 94401**

ISSUE: PLANNING APPLICATION RESUBMITTAL  
ISSUE DATE: 05/06/2024

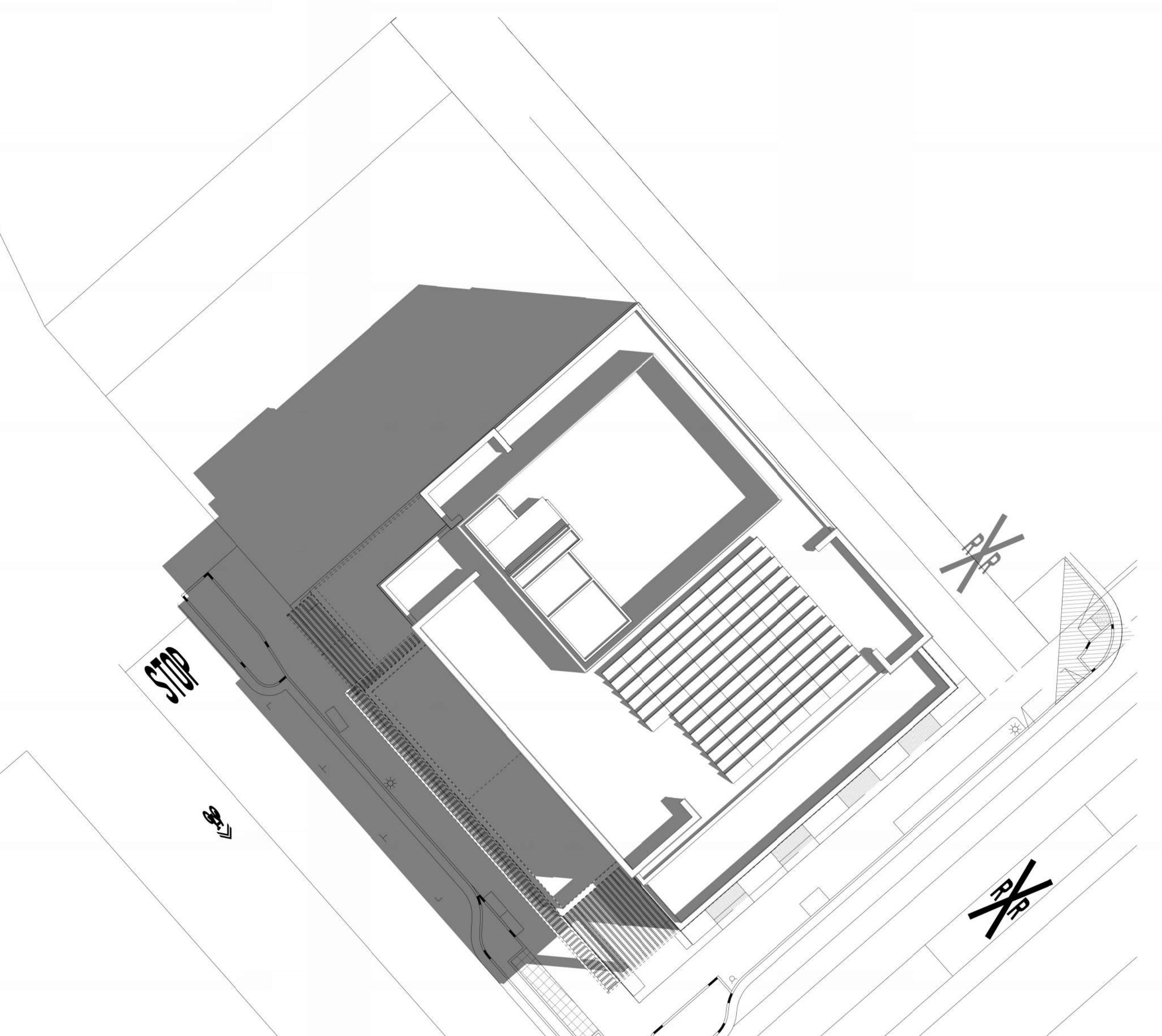
REVISIONS:

△	DESCRIPTION	DATE
1	PLANNING APPLICATION	11/16/2022
1	PLANNING APPLICATION RESUBMITTAL	03/10/2023
2	PLANNING APPLICATION RESUBMITTAL #2	07/21/2023
3	PLANNING APPLICATION RESUBMITTAL #3	11/03/2023
4	PLANNING APPLICATION RESUBMITTAL #4	05/06/2024



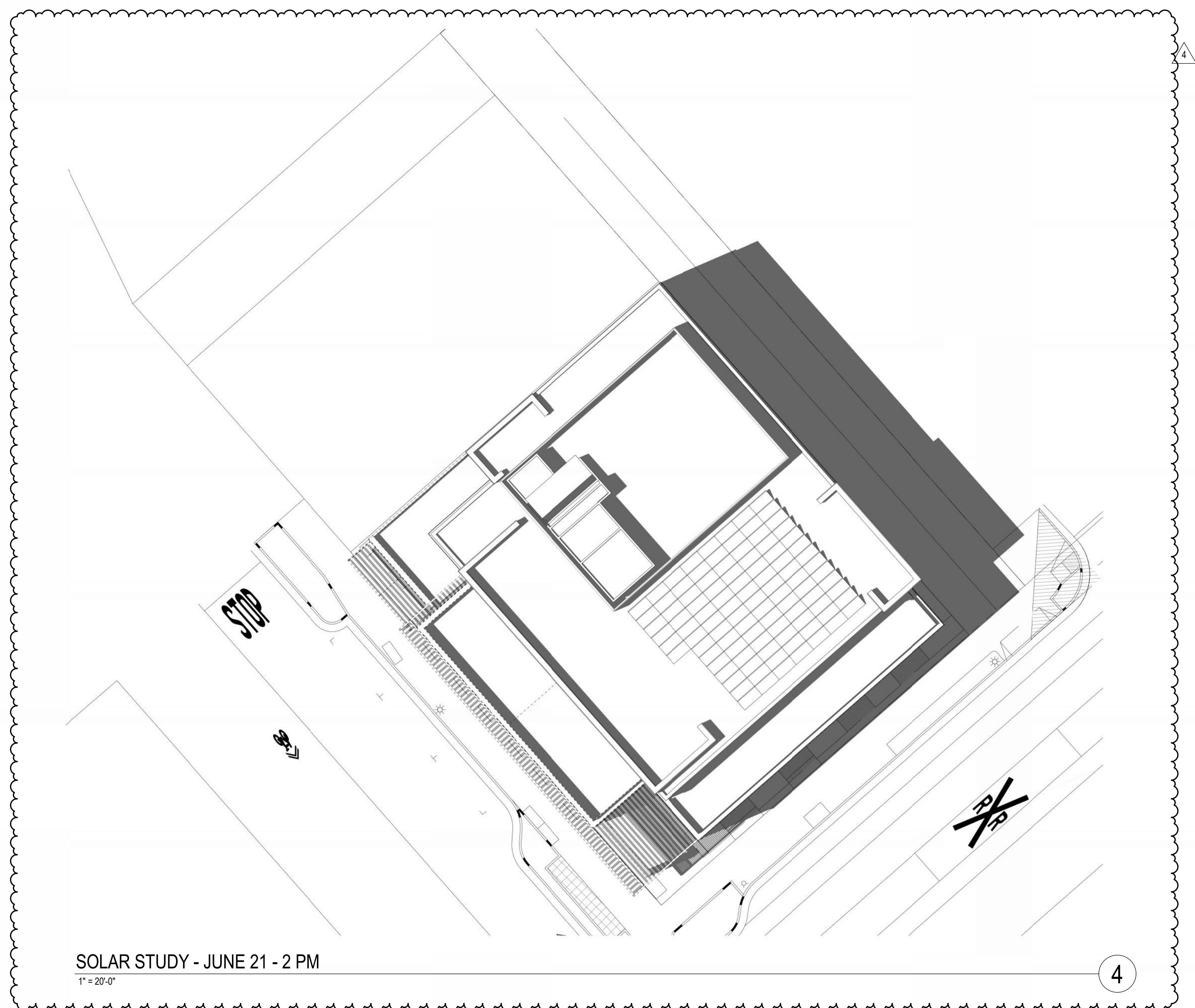
SOLAR STUDY - JUNE 21 - 3 PM  
1° = 20'-0"

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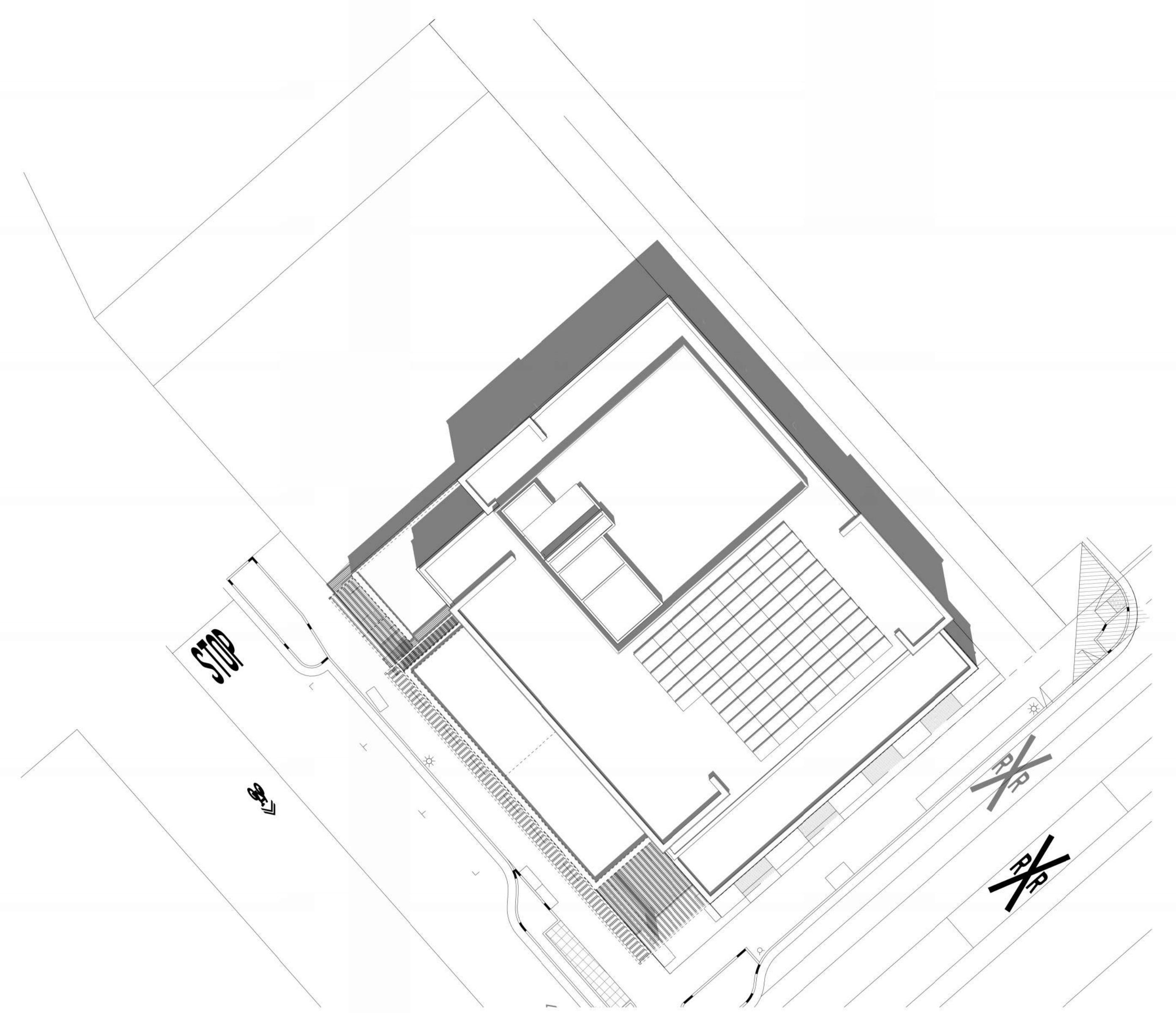
SOLAR STUDY - JUNE 21 - 9 AM  
1° = 20'-0"

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SOLAR STUDY - JUNE 21 - 2 PM  
1° = 20'-0"

4



SOLAR STUDY - JUNE 21 - 12 PM  
1° = 20'-0"

2

SCALE: 1° = 20'-0"  
PROJECT NUMBER: 2203017.00  
DRAWN BY: Author  
CHECKED BY: Checker  
STAMP:

**NOT FOR  
CONSTRUCTION**

SHEET NAME:  
**SHADOW STUDIES**

SHEET NUMBER:  
**A0.8**



CLIENT:  
1ST & B

57 S. B STREET  
SAN MATEO, CA 94401

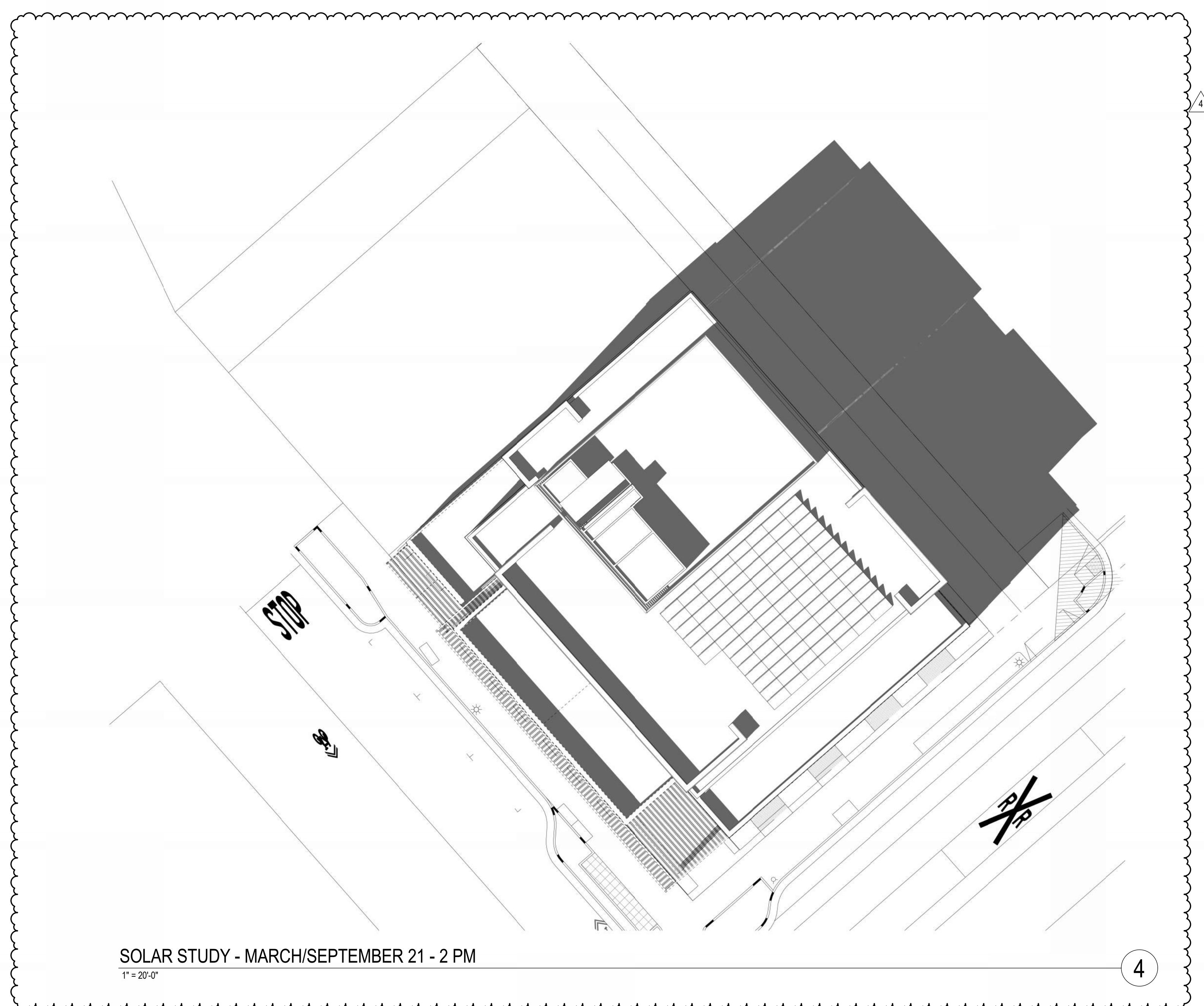
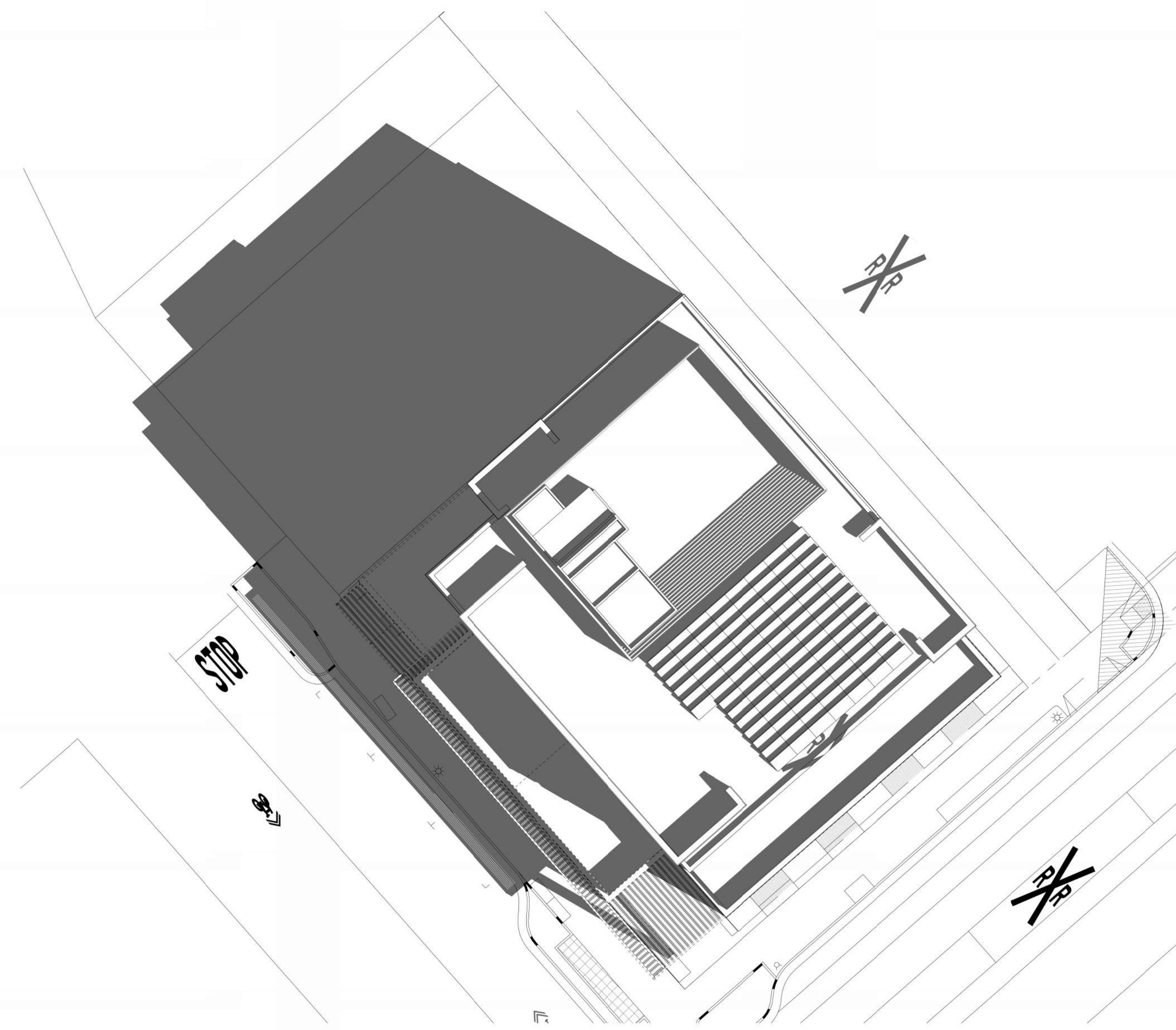
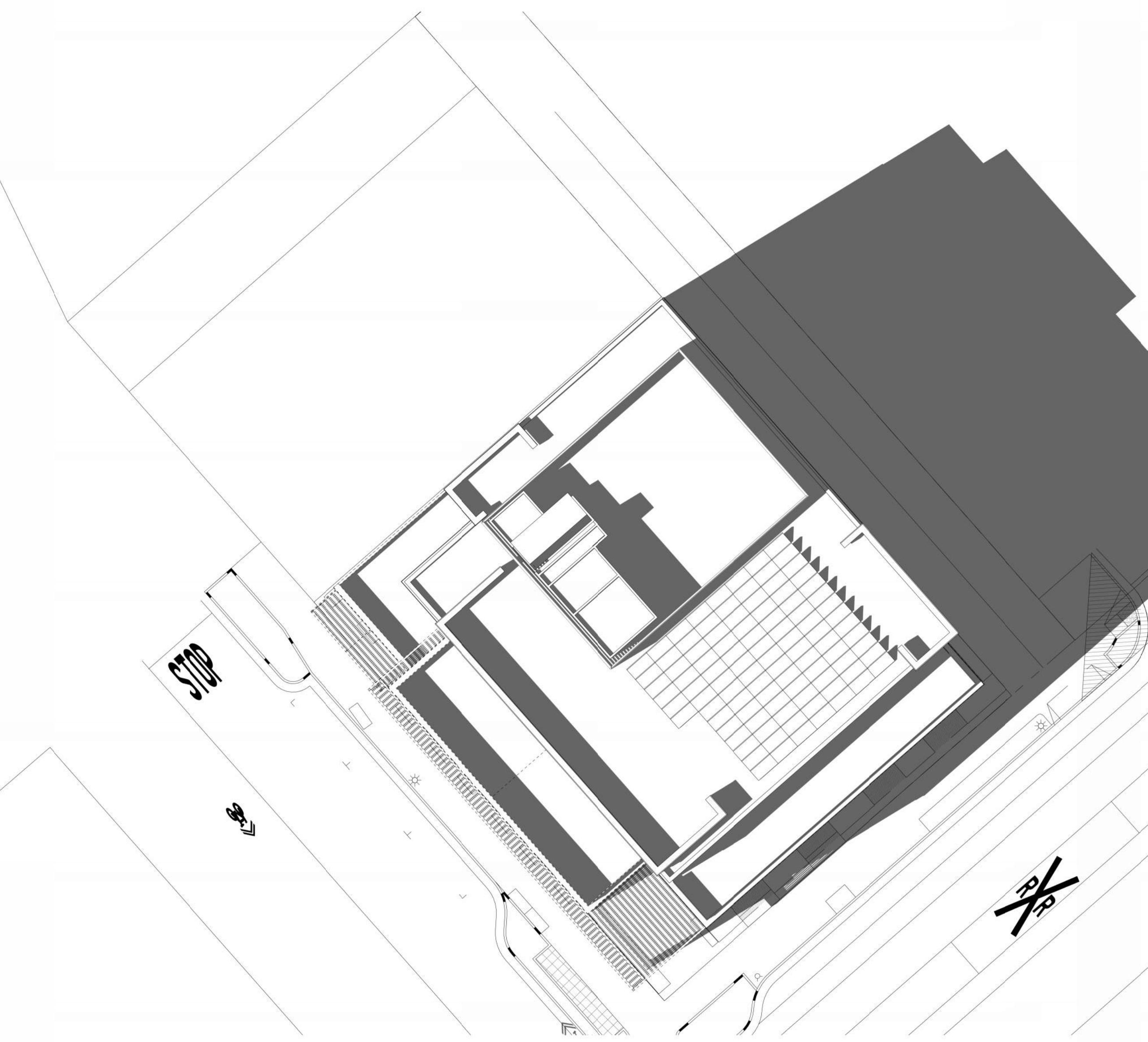
ISSUE:	PLANNING APPLICATION RESUBMITTAL																		
ISSUE DATE:	05/06/2024																		
REVISIONS:																			
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4	PLANNING APPLICATION RESUBMITTAL #3	11/03/2023																	
4	PLANNING APPLICATION RESUBMITTAL #4	05/06/2024																	

SOLAR STUDY - MARCH/SEPTEMBER 21 - 3 PM  
1" = 20'-0"

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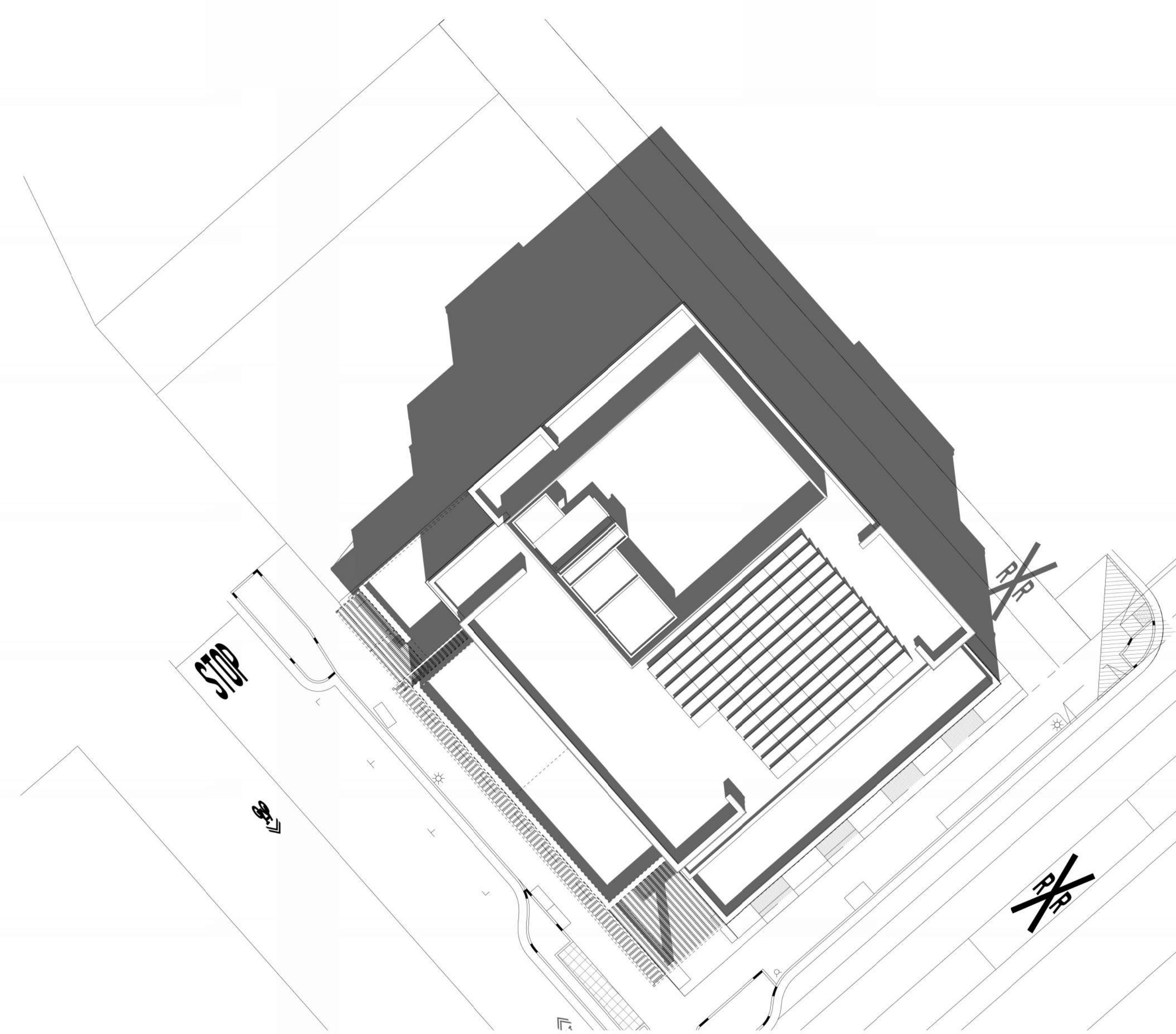
SOLAR STUDY - MARCH/SEPTEMBER 21 - 9 AM  
1" = 20'-0"

1



SOLAR STUDY - MARCH/SEPTEMBER 21 - 2 PM  
1" = 20'-0"

4



SOLAR STUDY - MARCH/SEPTEMBER 21 - 12 PM  
1" = 20'-0"

SCALE:  
PROJECT NUMBER:  
DRAWN BY:  
CHECKED BY:  
STAMP:

NOT FOR  
CONSTRUCTION

SHEET NAME:  
SHADOW STUDIES

SHEET NUMBER:  
A0.9



CLIENT:  
1ST & B

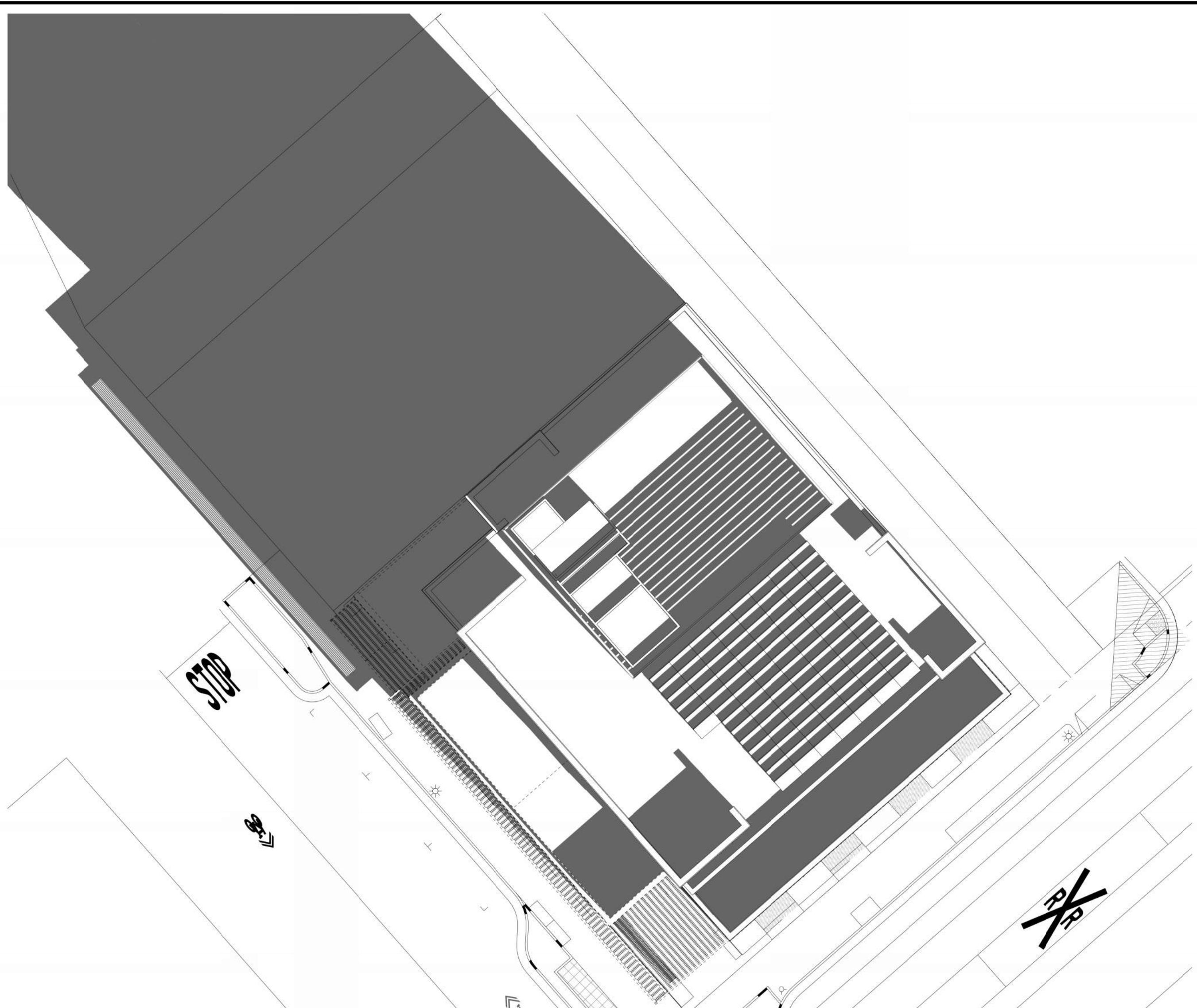
57 S. B STREET  
SAN MATEO, CA 94401

ISSUE:	PLANNING APPLICATION RESUBMITTAL
ISSUE DATE:	05/08/2024
<b>REVISIONS:</b>	
1 PLANNING APPLICATION RESUBMITTAL 03/10/2023	
2 PLANNING APPLICATION RESUBMITTAL #2 07/21/2023	
3 PLANNING APPLICATION RESUBMITTAL #3 11/03/2023	



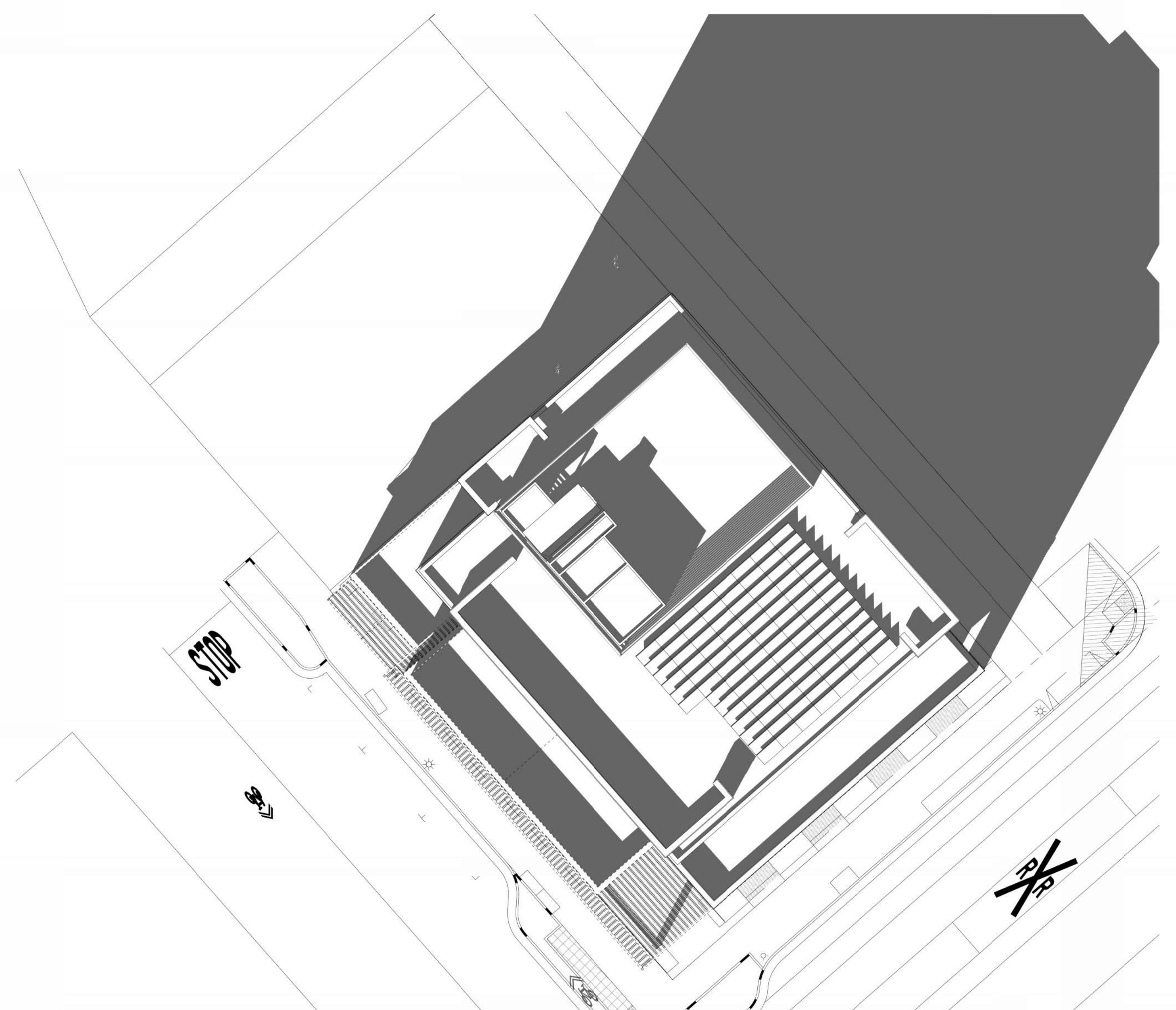
SOLAR STUDY - DEC 21 - 3 PM  
1° = 20'-0"

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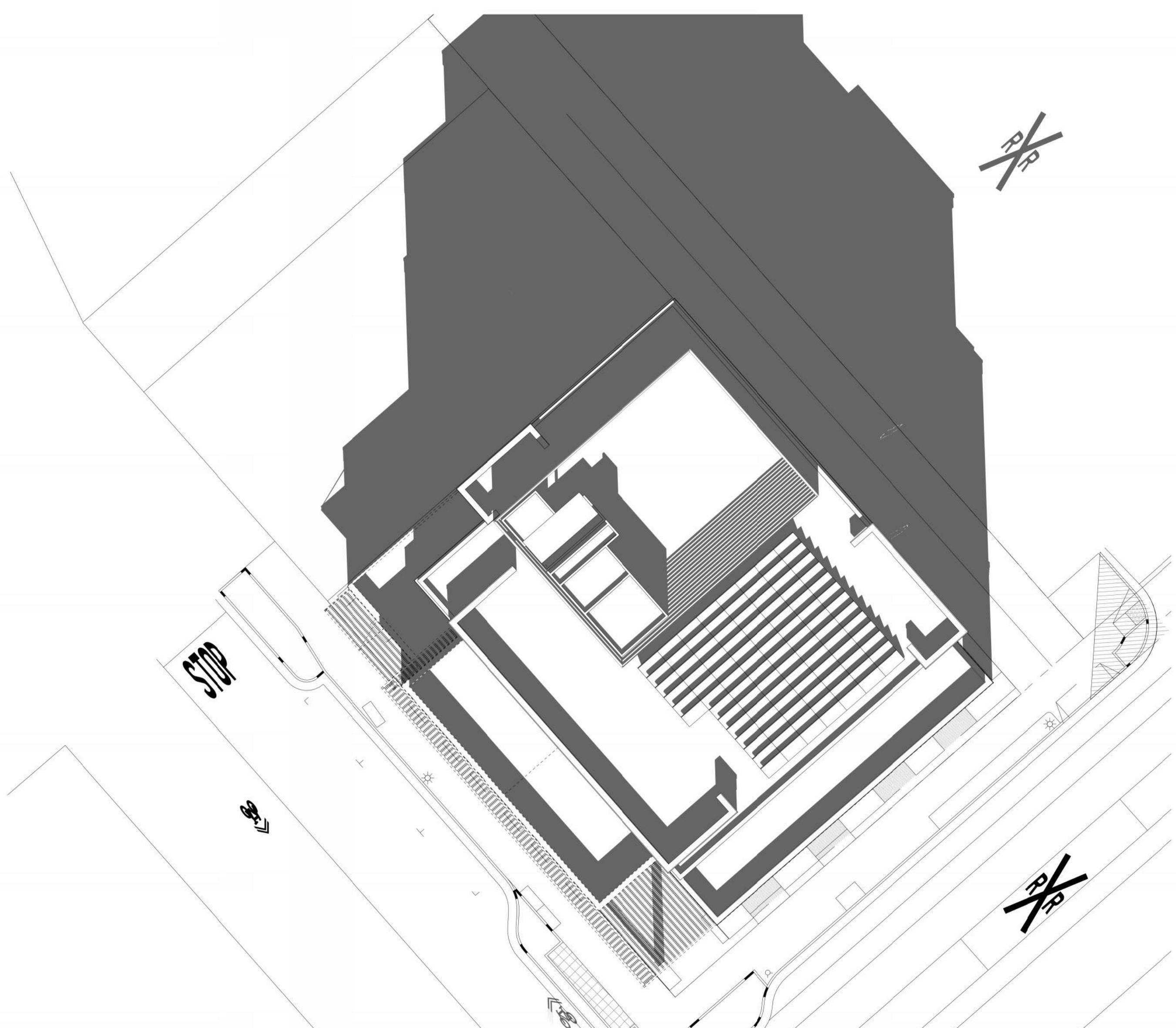
SOLAR STUDY - DEC 21 - 9 AM  
1° = 20'-0"

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SOLAR STUDY - DEC 21 - 2 PM  
1° = 20'-0"

4



SOLAR STUDY - DEC 21 - 12 PM  
1° = 20'-0"

2

SCALE: 1° = 20'-0"  
PROJECT NUMBER: 2203017.00  
DRAWN BY: Author  
CHECKED BY: Checker  
STAMP:

**NOT FOR  
CONSTRUCTION**

SHEET NAME:  
SHADOW STUDIES

SHEET NUMBER:  
A0.10



CLIENT:  
**1ST & B**

**57 S. B STREET**  
**SAN MATEO, CA 94401**

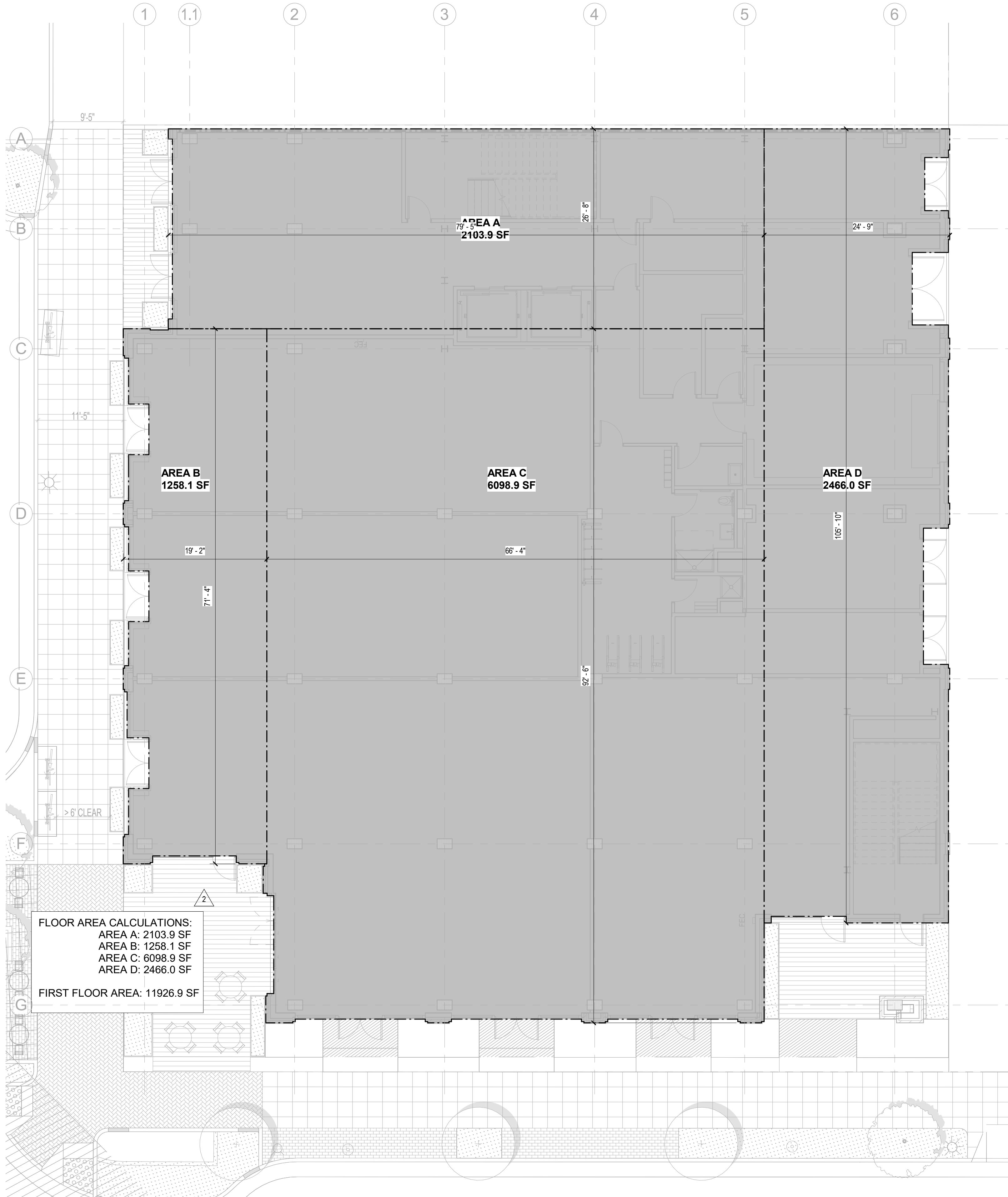
ISSUE:	DESCRIPTION	DATE
1	PLANNING APPLICATION RESUBMITTAL	03/10/2023
2	PLANNING APPLICATION RESUBMITTAL #2	07/21/2023
3	PLANNING APPLICATION RESUBMITTAL #3	11/03/2023

SCALE: 1/8" = 1'-0"  
PROJECT NUMBER: 2202017.00  
DRAWN BY: Author  
CHECKED BY: Checker  
STAMP:

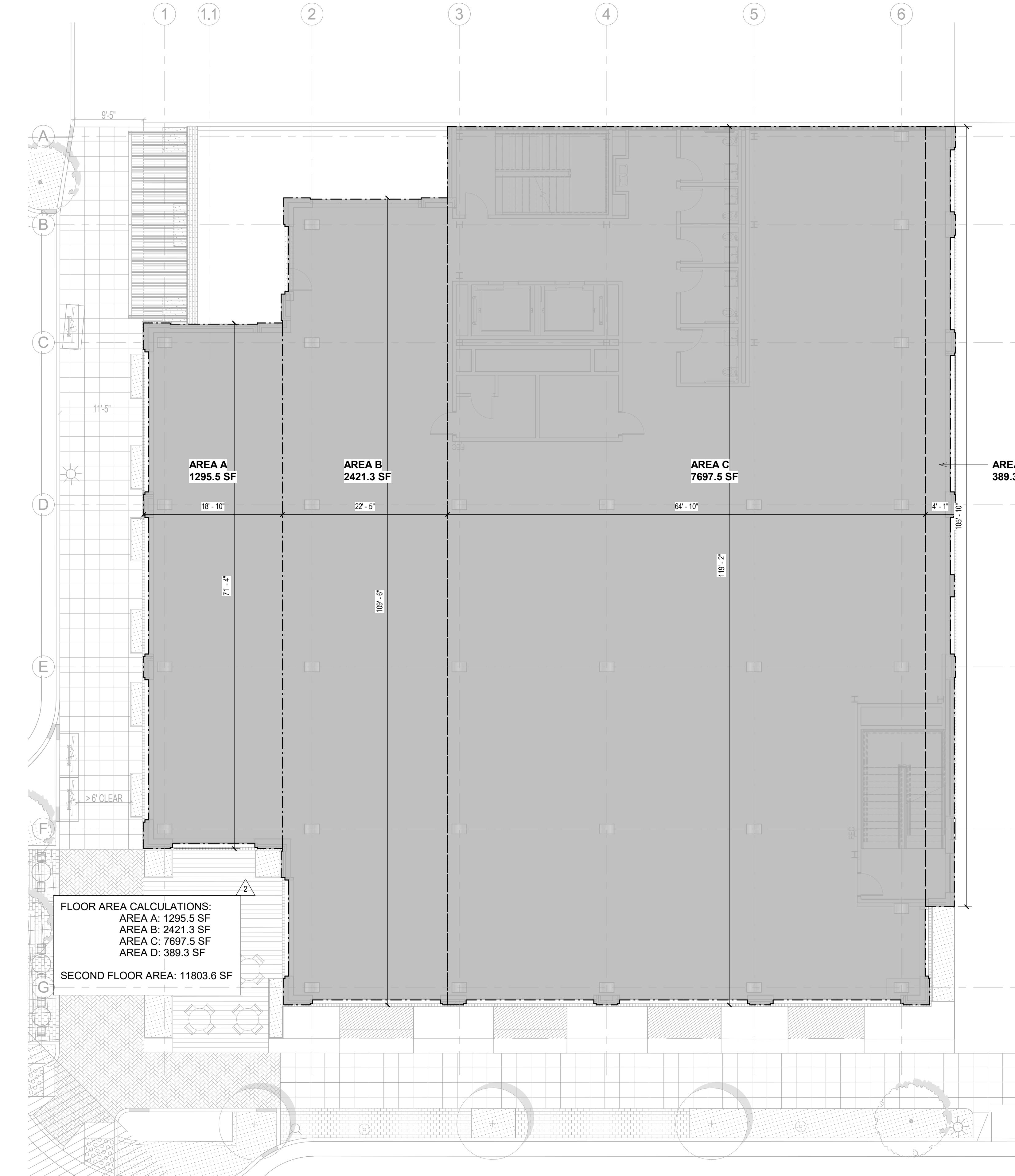
**NOT FOR  
CONSTRUCTION**

SHEET NAME:  
**FLOOR AREA PLANS**

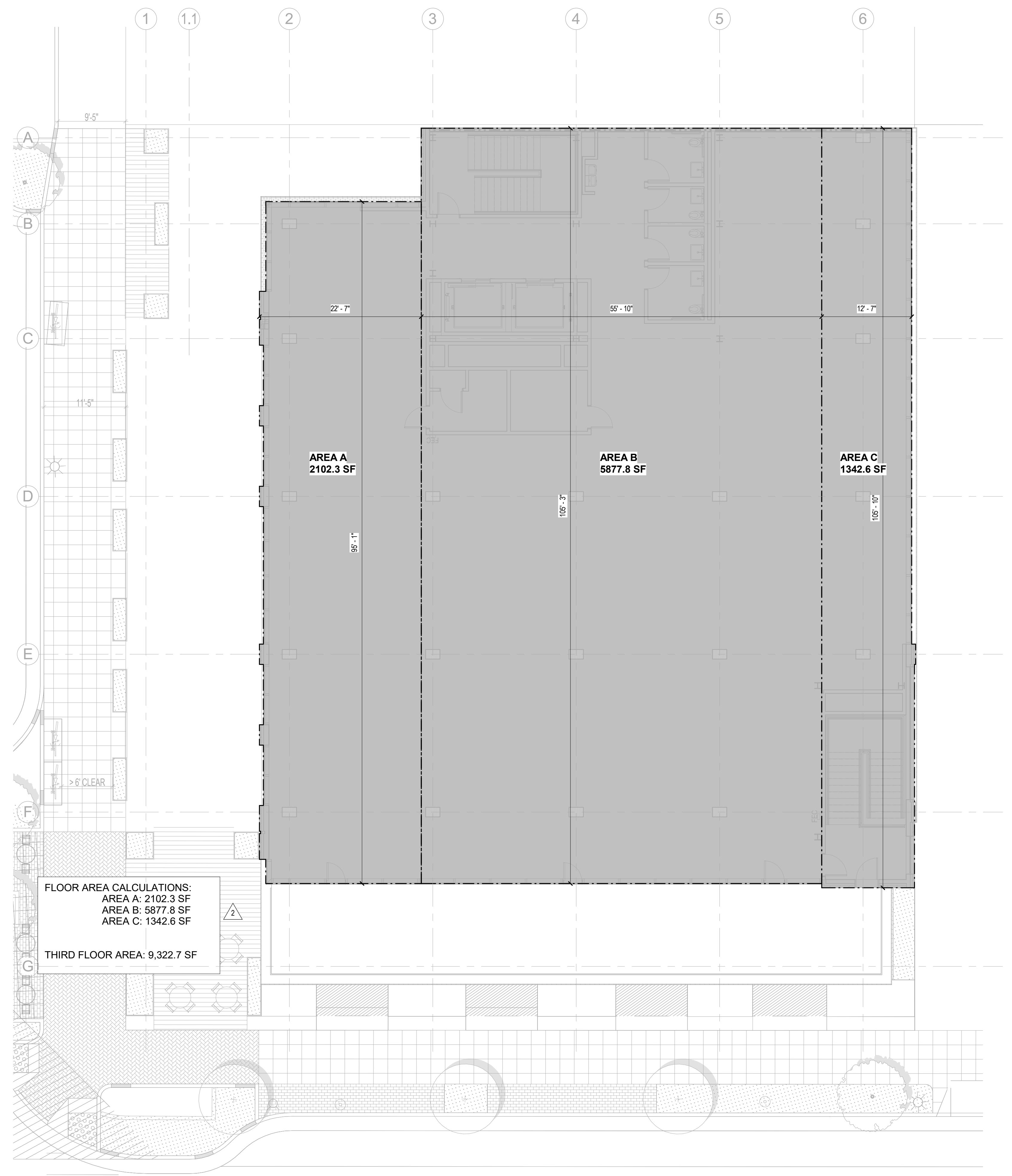
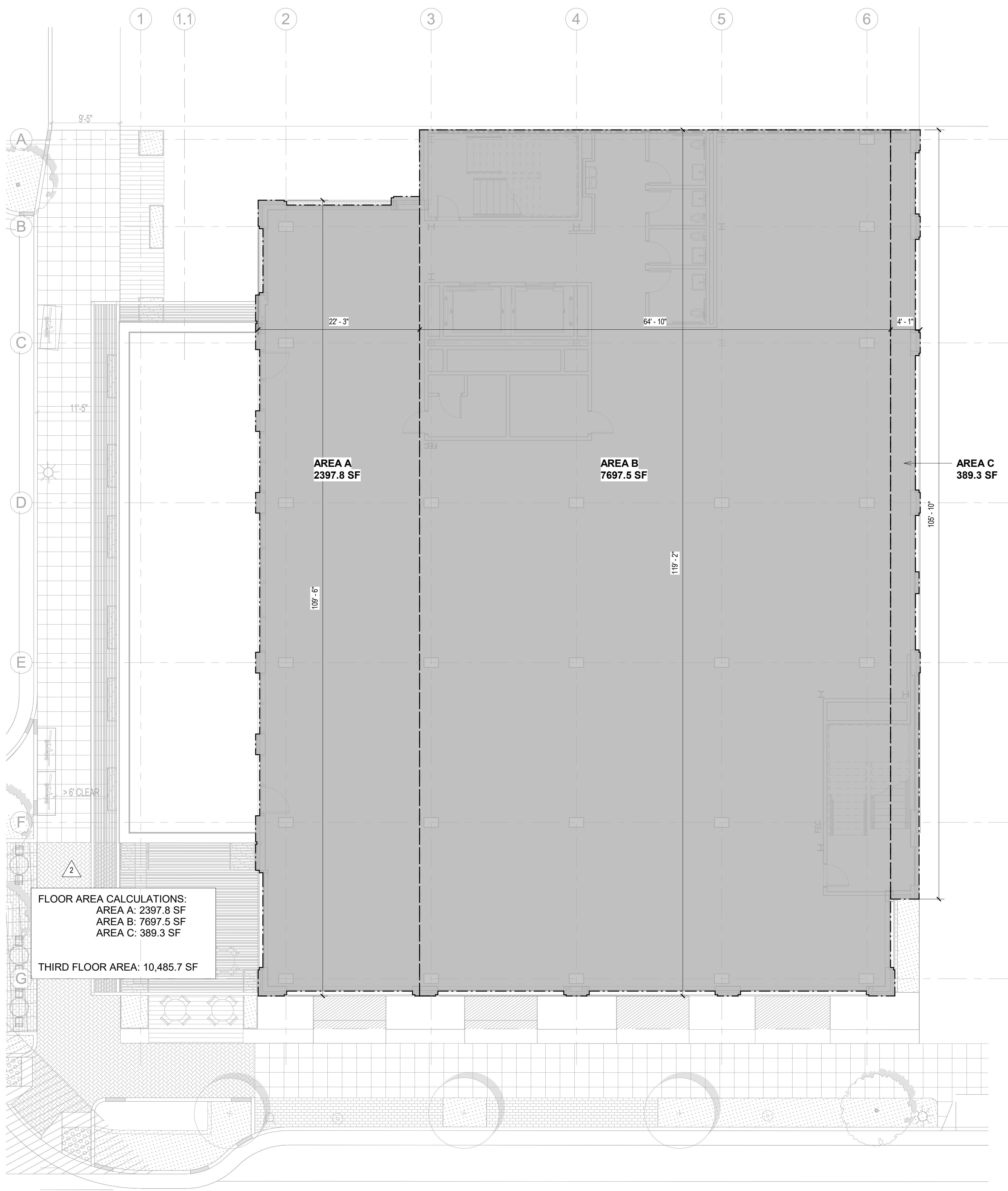
SHEET NUMBER:  
**A0.11**



FLOOR AREA PLAN - FIRST FLOOR  
1/8" = 1'-0"



FLOOR AREA PLAN - SECOND FLOOR  
1/8" = 1'-0"



PROJECT NAME & ADDRESS:  
**1ST & B**

**57 S. B STREET**  
**SAN MATEO, CA 94401**

ISSUE: PLANNING APPLICATION RESUBMITTAL  
ISSUE DATE: 05/08/2023 #4

REVISIONS:	DESCRIPTION	DATE
1	PLANNING APPLICATION RESUBMITTAL	05/10/2023
2	PLANNING APPLICATION RESUBMITTAL #2	07/21/2023
3	PLANNING APPLICATION RESUBMITTAL #3	11/03/2023

SCALE: 1/8" = 1'-0"  
PROJECT NUMBER: 2202017.00  
DRAWN BY: Author  
CHECKED BY: Checker  
STAMP:

**NOT FOR  
CONSTRUCTION**

SHEET NAME:  
**FLOOR AREA PLANS**

SHEET NUMBER:  
**A0.12**

### KEYNOTES

KEYNOTE DESCRIPTION

- 1 EXISTING BUILDING TO BE REMOVED
- 2 EXISTING PAVEMENT AND PARKING AREA TO BE REMOVED
- 3 NEIGHBORING BUILDING
- 4 EXISTING DRIVEWAY TO BE REMOVED
- 5 EXISTING CURB TO BE MODIFIED PER CIVIL DRAWINGS
- 6 EXISTING PORTION OF CMU WALL TO BE REMOVED

TRANSIT CENTER WAY



SCALE: 1' = 10'-0"  
PROJECT NUMBER: 2202017.00  
DRAWN BY: Author  
CHECKED BY: Checker  
STAMP:

**NOT FOR  
CONSTRUCTION**

SHEET NAME:  
**EXISTING SITE PLAN**

SHEET NUMBER:

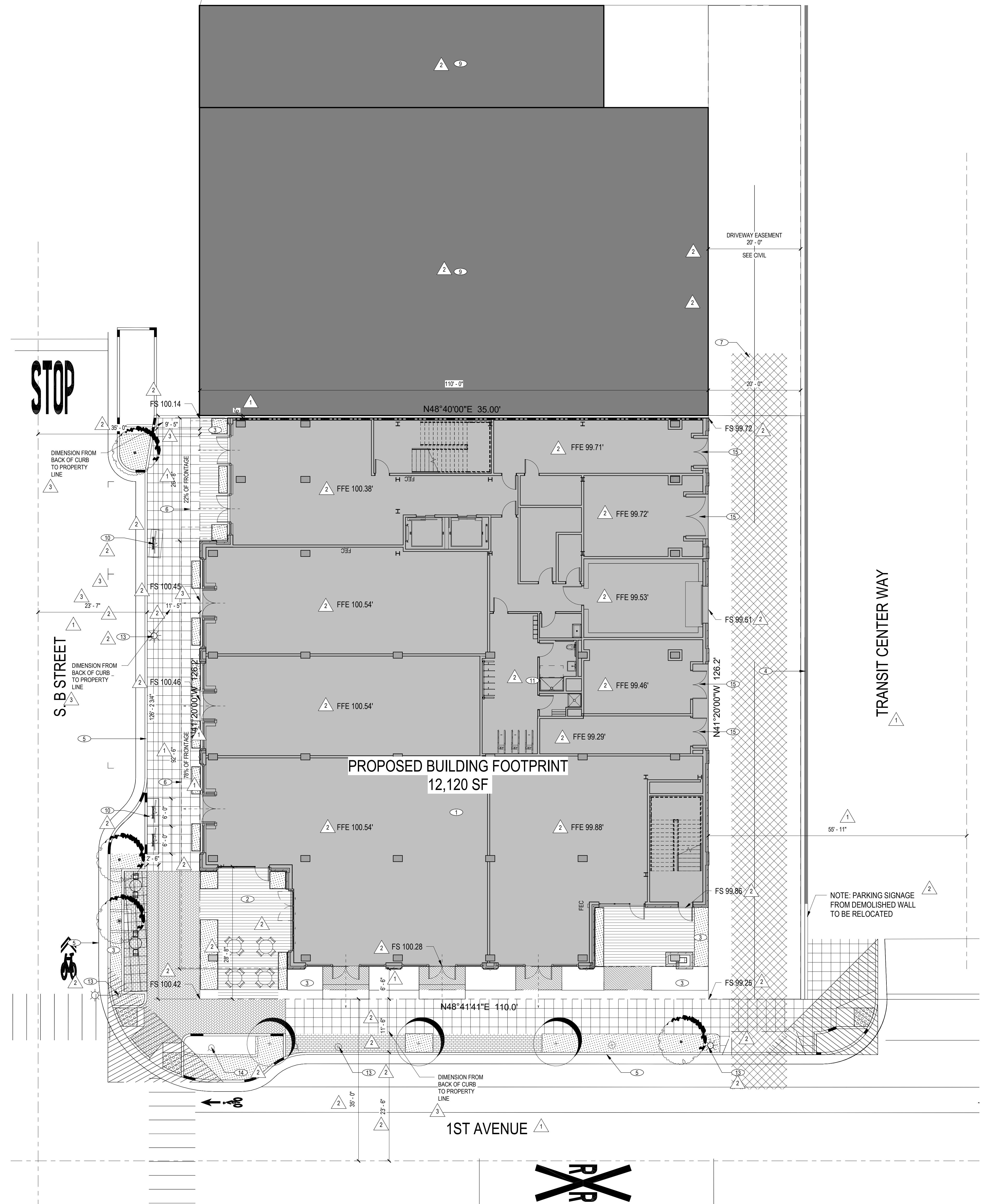
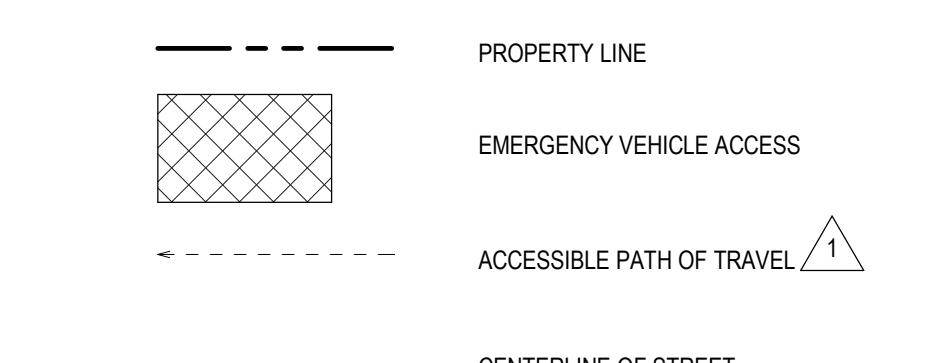
**A1.0**

### KEYNOTES

KEYNOTE DESCRIPTION

- 1 PROPOSED BUILDING
- 2 PROPOSED OUTDOOR PLAZA
- 3 PROPOSED PLANTING AREAS. REFER TO LANDSCAPE AND CIVIL DRAWINGS
- 4 PORTION OF EXISTING CMU WALL TO REMAIN
- 5 PROPOSED IMPROVEMENTS TO PUBLIC R.O.W. REFER TO CIVIL DRAWINGS
- 6 PROPOSED CANOPY ABOVE
- 7 PROPOSED EVA ACCESS
- 8 NOT USED
- 9 NEIGHBORING BUILDING
- 10 SHORT TERM BICYCLE PARKING
- 11 LONG TERM BICYCLE PARKING ROOM. SEE A3.1 FOR ENLARGED PLAN AND ELEVATION
- 13 STREET LIGHT, SEE CIVIL
- 14 EXISTING FIRE HYDRANT, SEE CIVIL
- 15 RECESSED DOWNLIGHTS (ABOVE)

### LEGEND



### KEYNOTES

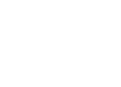
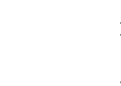
KEYNOTE DESCRIPTION
1 METAL STOREFRONT GLAZING, TYP.
2 WOOD-CLAD STRUCTURAL COLUMN, TYP.
3 STEEL BRACE FRAME
4 MECHANICAL SHAFT
5 OUTLINE OF FLOOR ABOVE
6 WOOD-CLAD STEEL COLUMN, MIN. 2 HR RATED
7 BIKE ROOM TRAVEL DISTANCE
8 EXTERIOR BRICK FAÇADE
9 BICYCLE AMENITY - SHOWER ROOM
10 ELEV. EQUIP.
11 STAIR
12 LOBBY
13 MECHANICAL ROOM
14 FIRE PUMP ROOM
15 TRANSFORMER
16 MAIN ELECTRICAL ROOM
17 TRASH
18 JAN
19 ACCESSIBLE RESTROOM
20 SHOWER
21 WATER PUMP
22 OFFICE
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106 EM INVERTER ROOM
107 TRANSFORMER
108 MPOE
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110 TRASH
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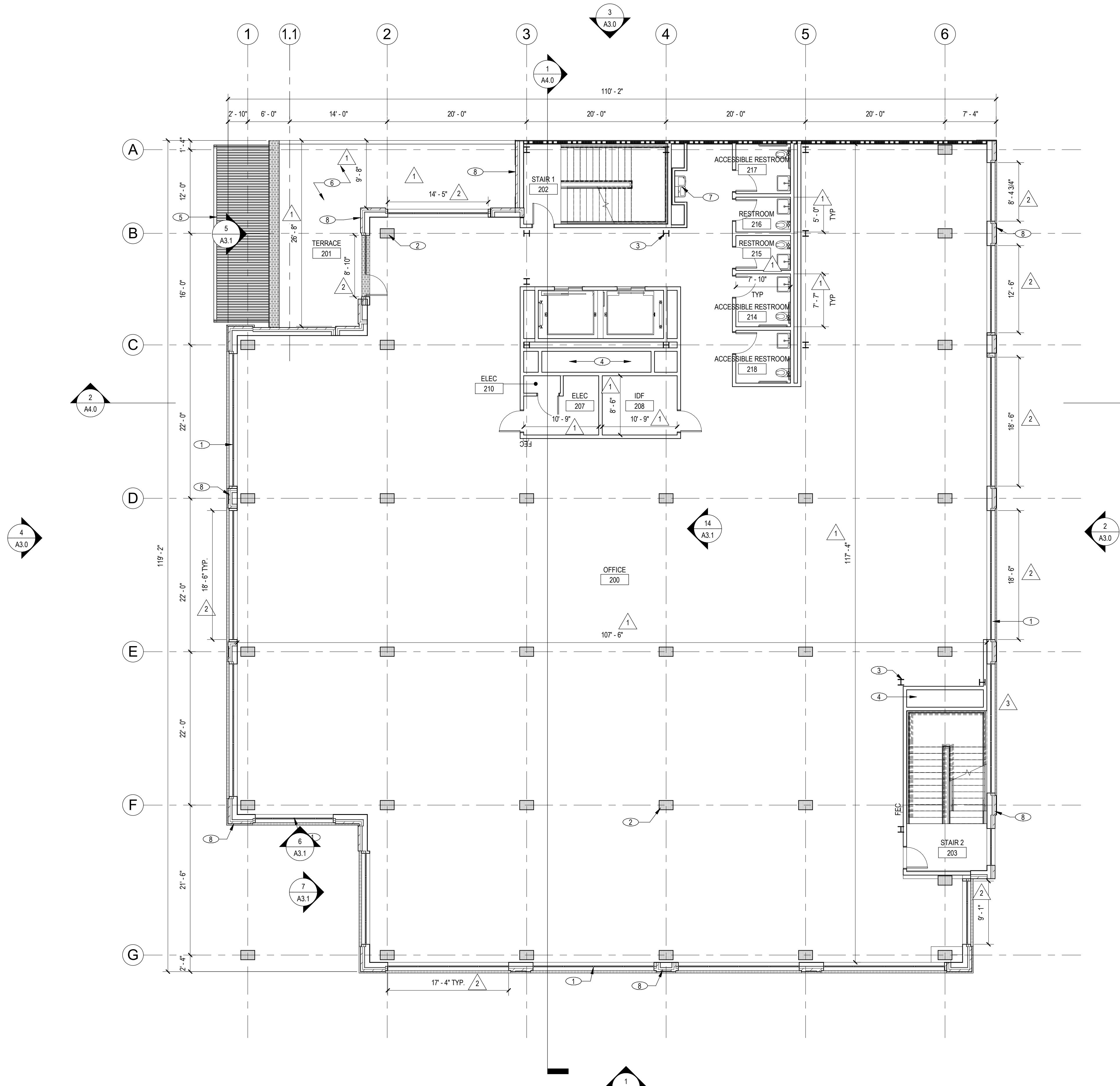
**KEYNOTES**

 KEYNOTE DESCRIPTION

- 1 DARK FRAMED STOREFRONT GLAZING, TYP.
- 2 MASS TIMBERS STRUCTURAL COLUMN, TYP.
- 3 STEEL BRACE FRAME
- 4 MECHANICAL SHAFT
- 5 LOBBY ENTRY CANOPY BELOW
- 6 UNCOVERED TENANT TERRACE
- 7 HOLLOW DRINKING FOUNTAIN
- 8 EXTERIOR BRICK FAÇADE

**LEGEND**

-  NIC (NOT IN CONTRACT)
-  NEW PARTITION / CONSTRUCTION WITH TAG, SEE SHEET
-  NEW FIRE RATED PARTITION / CONSTRUCTION WITH TAG
-  NEW FIRE EXTINGUISHER AND CABINET
-  NEW DOOR ASSEMBLY



1



1ST & B

57 S. B STREET  
SAN MATEO, CA 94401

ISSUE: PLANNING APPLICATION RESUBMITTAL  
ISSUE DATE: 05/06/2024

REVISIONS: DESCRIPTION DATE  
1 PLANNING APPLICATION 03/10/2023  
2 PLANNING APPLICATION RESUBMITTAL #2 07/21/2023  
3 PLANNING APPLICATION RESUBMITTAL #3 11/03/2023

### KEYNOTES

#### KEYNOTE DESCRIPTION

- 1 DARK FRAMED STOREFRONT GLAZING, TYP.
- 2 MASS TIMBER STRUCTURAL COLUMN, TYP.
- 3 STEEL BRACE FRAME
- 4 MECHANICAL SHAFT
- 5 CURTAIN WALL GLAZING SYSTEM
- 6 UNCOVERED TENANT TERRACE (TO BE SUBDIVIDED AS PART OF FUTURE TENANT IMPROVEMENTS)
- 7 HOLLOW DRINKING FOUNTAIN
- 8 PLAZA CANOPY BELOW
- 9 EXTERIOR BRICK FAÇADE

### LEGEND

- NIC (NOT IN CONTRACT)
- NEW PARTITION / CONSTRUCTION WITH TAG, SEE SHEET
- NEW FIRE RATED PARTITION / CONSTRUCTION WITH TAG
- NEW FIRE EXTINGUISHER AND CABINET
- NEW DOOR ASSEMBLY

NOT FOR  
CONSTRUCTION

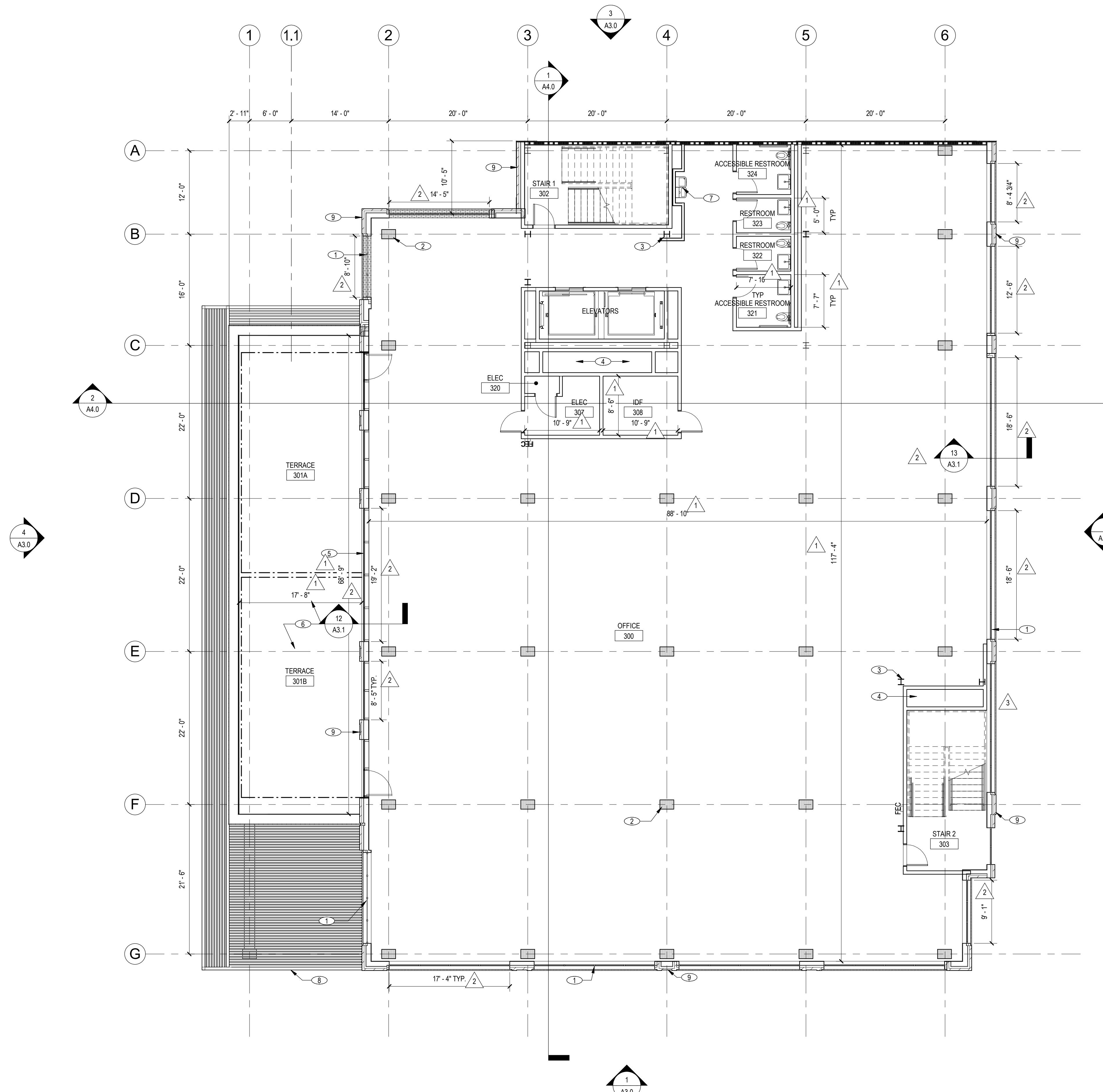
SCALE: 18" = 1'-0"

PROJECT NUMBER: 2202017.00  
DRAWN BY: Author  
CHECKED BY: Checker  
STAMP:

SHEET NAME: THIRD FLOOR PLAN

SHEET NUMBER:

A2.2



THIRD FLOOR PLAN

18" = 1'-0"

1

The logo for Harvest Properties consists of a stylized green icon of three buildings with vertical lines representing windows, positioned above the company name "HARVEST PROPERTIES" in a bold, sans-serif font.

S. B STREET  
N MATEO, CA 94401

RE: PLANNING APPLICATION RESUBMIT  
RE DATE: 05/06/2013

DESCRIPTION	DATE
PLANNING APPLICATION	11/10/2023
PLANNING APPLICATION RESUBMITTAL	03/10/2024
PLANNING APPLICATION RESUBMITTAL #2	07/20/2024
PLANNING APPLICATION RESUBMITTAL #3	11/03/2024

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## KEYNOTES

---

---

**# KEYNOTE DESCRIPTION**

---

- 1 CURTAIN WALL GLAZING SYSTEM
- 2 MASS TIMBER STRUCTURAL COLUMN, TYP.
- 3 STEEL BRACE FRAME
- 4 MECHANICAL SHAFT
- 5 UNCOVERED TENANT TERRACE
- 6 HI-LOW DRINKING FOUNTAIN
- 7 EXTERIOR BRICK FAÇADE

---

LEGFEND

 NIC (NOT IN CONTRACT)

 NEW PARTITION / CONSTRUCTION WITH TAG, SEE SHEET

 NEW FIRE RATED PARTITION / CONSTRUCTION WITH TAG

 NEW FIRE EXTINGUISHER AND CABINET

 NEW DOOR ASSEMBLY

EE: 1/8" =  
EFFECT NUMBER: 220201  
W/N BY: Au  
CHECKED BY: Che

# NOT FOR CONSTRUCTION

# 4TH FLOOR PLAN

ITEM NUMBER:

This architectural cross-section diagram illustrates the layout and dimensions of a building structure. The building is divided into several levels and sections, with various rooms, stairs, and technical equipment labeled. Key features include:

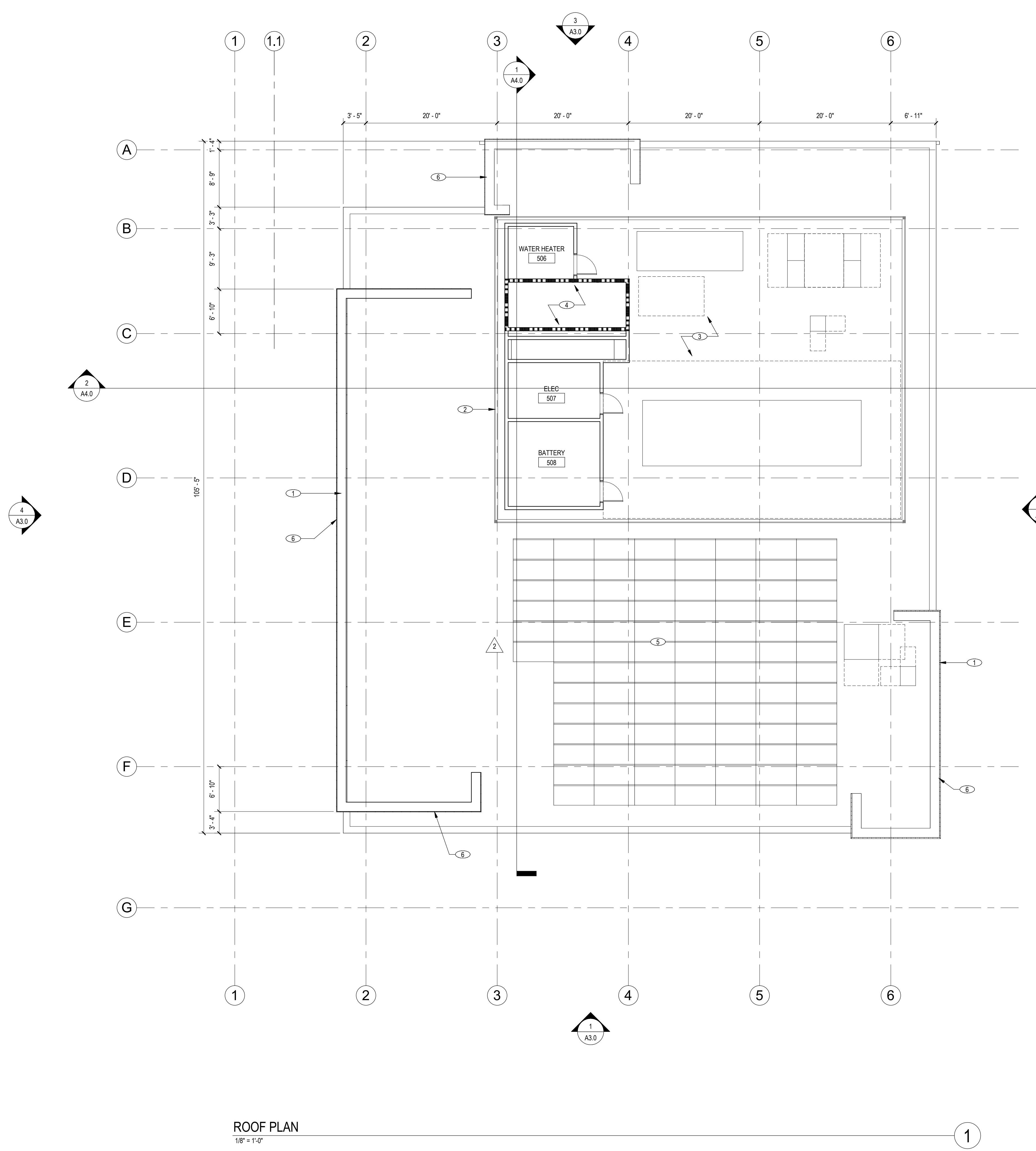
- Rooms:** ACCESSIBLE RESTROOM (431, 428), RESTROOM (430, 429), OFFICE (400), TERRACE (401), and STAIR 1 (402) and STAIR 2 (403).
- Stairs:** STAIR 1 (402) and STAIR 2 (403).
- Technical Equipment:** ELEC 420, ELEC 407, IDF 408, and an OFFICE (400).
- Dimensions:** Horizontal dimensions include 6' - 0", 9' - 10", 4' - 2", 20' - 0", 20' - 0", 20' - 0", 20' - 0", and 7' - 5". Vertical dimensions include 11' - 5", 12' - 6", 10' - 1", 2' - 6", 11' - 3", 22' - 0", 19' - 2", 16' - 0", 3' - 9", 8' - 3", 1' - 4", 91' - 7", and 22' - 0".
- Callouts:** Numerous callouts (labeled 1 through 13) provide detailed views of specific features, including accessible restrooms, electrical panels (ELEC 420, 407, 408), and the office area (400). Specific callouts include A3.0, A3.1, A4.0, and A3.2.

## FOURTH FLOOR PLAN

FOUR

1

## A2.3

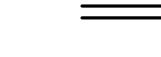
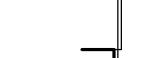


### KEYNOTES

KEYNOTE DESCRIPTION

- 1. ROOF PARAPET
- 2. MECHANICAL EQUIPMENT SCREEN
- 3. ROOFTOP MECHANICAL EQUIPMENT
- 4. ELEVATOR PENTHOUSE
- 5. PROPOSED SOLAR ARRAY (FINAL LAYOUT AND CAPACITY TO BE DETERMINED)
- 6. EXTERIOR BRICK FAÇADE

### LEGEND

	NIC (NOT IN CONTRACT)
	NEW PARTITION / CONSTRUCTION WITH TAG, SEE SHEET
	NEW FIRE RATED PARTITION / CONSTRUCTION WITH TAG
	NEW FIRE EXTINGUISHER AND CABINET
	NEW DOOR ASSEMBLY

SCALE: 1/8" = 1'-0"  
PROJECT NUMBER: 2202017.00  
DRAWN BY: Author  
CHECKED BY: Checker  
STAMP:

NOT FOR  
CONSTRUCTION  
SHEET NAME: ROOF PLAN  
SHEET NUMBER:



CLIENT:  
HARVEST  
PROPERTIES

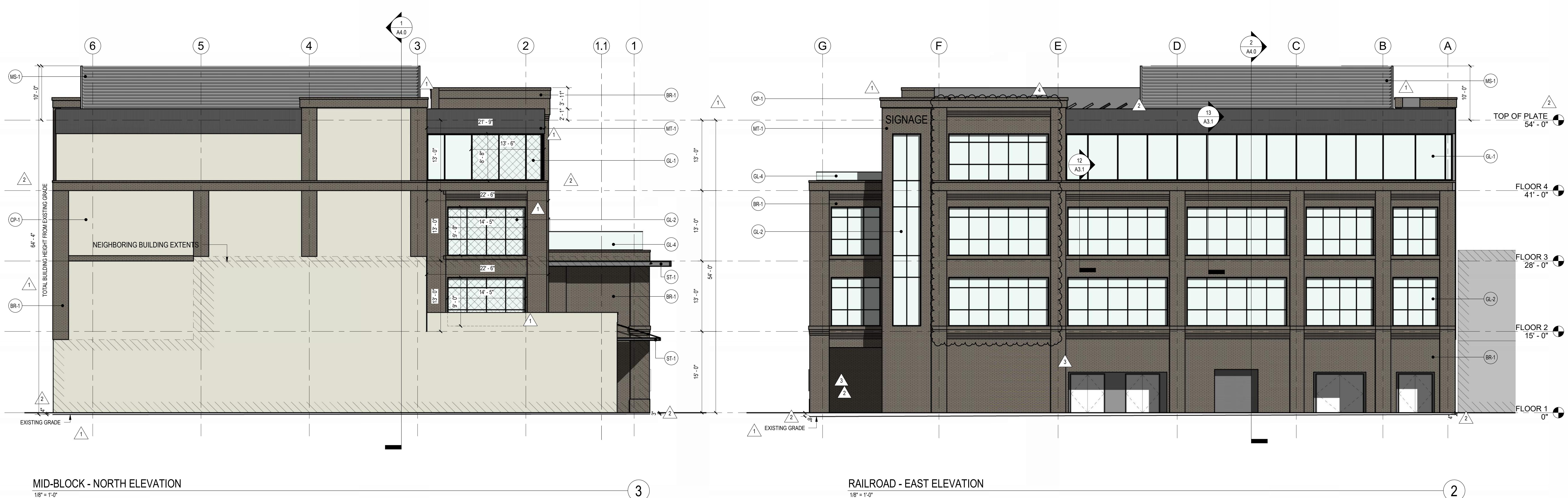
PROJECT NAME & ADDRESS:  
1ST & B

57 S. B STREET  
SAN MATEO, CA 94401

ISSUE: PLANNING APPLICATION RESUBMITTAL  
ISSUE DATE: 05/06/2024

REVISIONS:

REVISION	DESCRIPTION	DATE
1	PLANNING APPLICATION RESUBMITTAL	03/10/2023
2	PLANNING APPLICATION RESUBMITTAL #2	07/21/2023
3	PLANNING APPLICATION RESUBMITTAL #3	11/03/2023
4	PLANNING APPLICATION RESUBMITTAL #4	05/06/2024

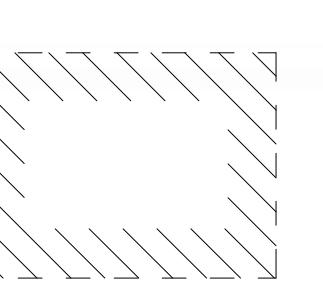


### LEGEND

NEIGHBORING  
BUILDING  
EXTENTS

AREA AVAILABLE  
FOR TENANT  
SIGNAGE

RESTRICTED  
OPENINGS PER  
CBC 705.8



### MATERIAL PALETTE

METAL PANEL:  
MT-1



ROOF MECHANICAL SCREEN:  
MS-1



GLASS GUARDRAIL:  
GL-4



WOOD CLADDING:  
WD-1



CURTAINWALL GLAZING:  
GL-1



DARK-FRAMED STOREFRONT:  
GL-2



STEEL CANOPY:  
ST-1



NOT USED:  
GL-3



EXTERIOR CLADDING:  
BR-1



CEMENT PLASTER:  
CP-1



BI-FOLDING DOOR SYSTEM:  
GL-5



NOT FOR  
CONSTRUCTION

EXTERIOR ELEVATIONS

A3.0

## STOREFRONT OPTIONS



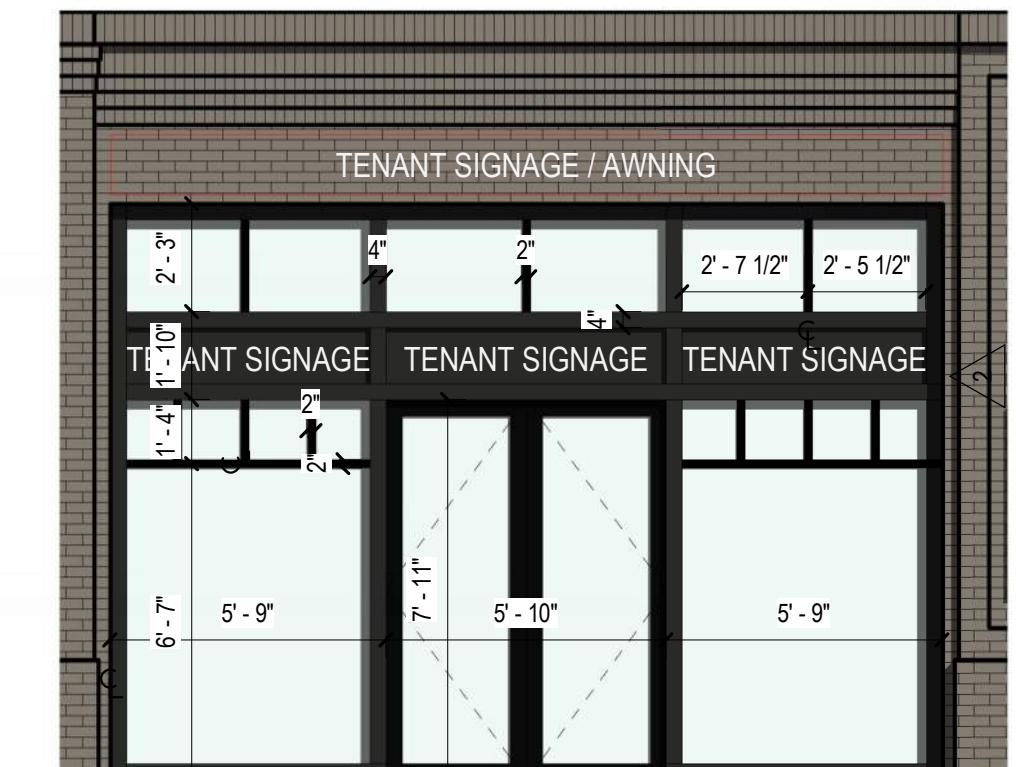
STOREFRONT OPTION 1

1/4" = 1'-0"



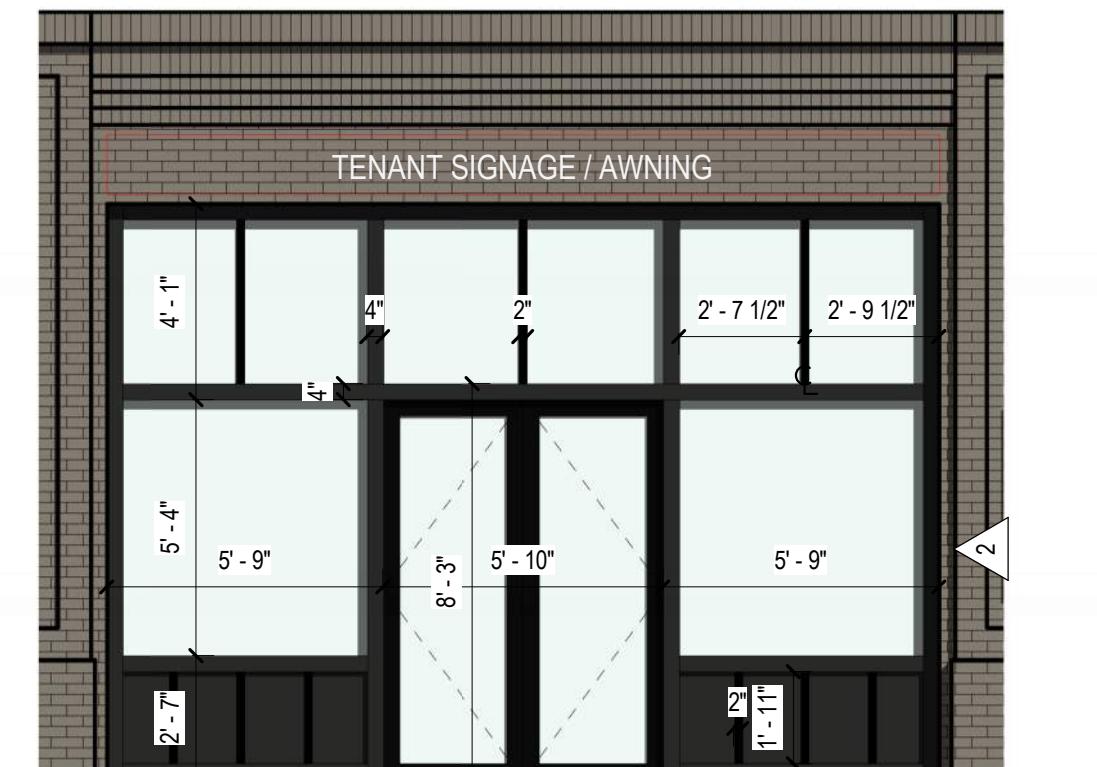
STOREFRONT OPTION 2

1/4" = 1'-0"



STOREFRONT OPTION 3

1/4" = 1'-0"



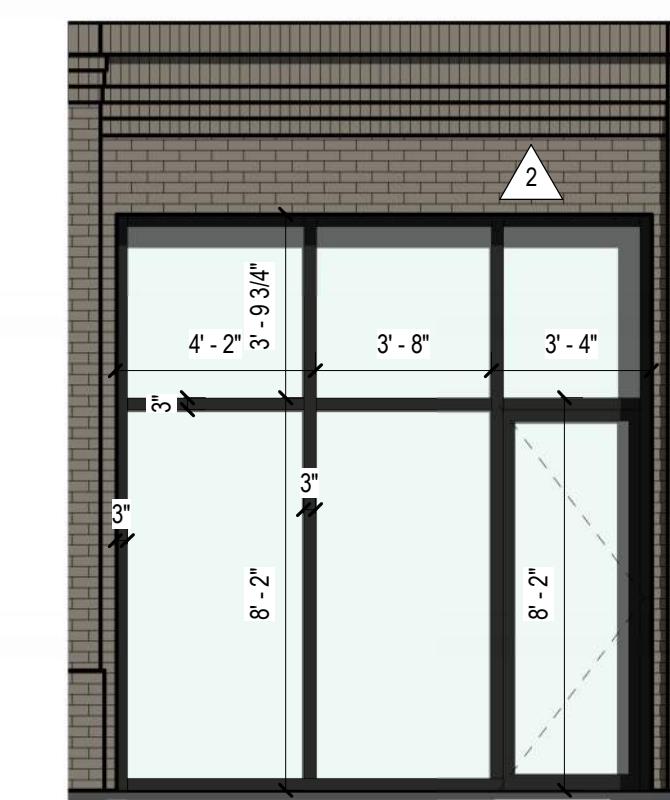
STOREFRONT OPTION 4

1/4" = 1'-0"



OFFICE ENTRY

1/4" = 1'-0"



CORNER PLAZA ENTRY 1

1/4" = 1'-0"



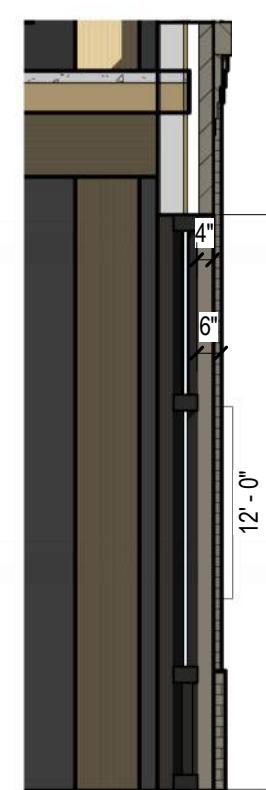
CORNER PLAZA ENTRY 2

1/4" = 1'-0"

\*NOTE: AWNING CONFIGURATIONS ARE EXAMPLES OF DESIGNS TO BE CHOSEN BY TENANTS IF RETAIL SPACE IS PRE-LEASED. DEFAULT CONFIGURATION IS WITHOUT AWNING.

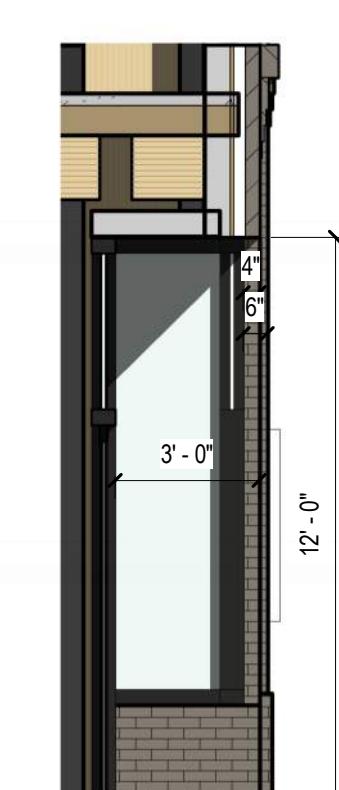


## STOREFRONT & WINDOW SECTIONS



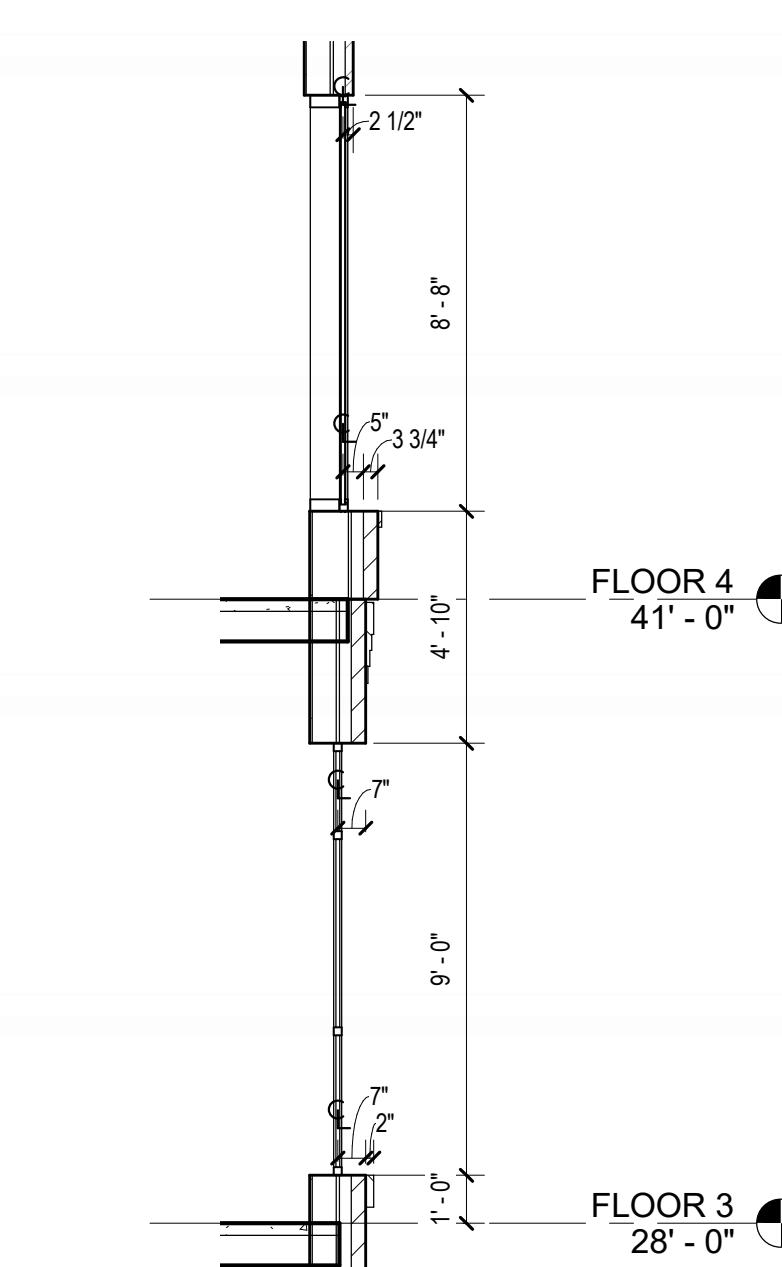
STOREFRONT OPTIONS 3 & 4 SECTION

1/4" = 1'-0"



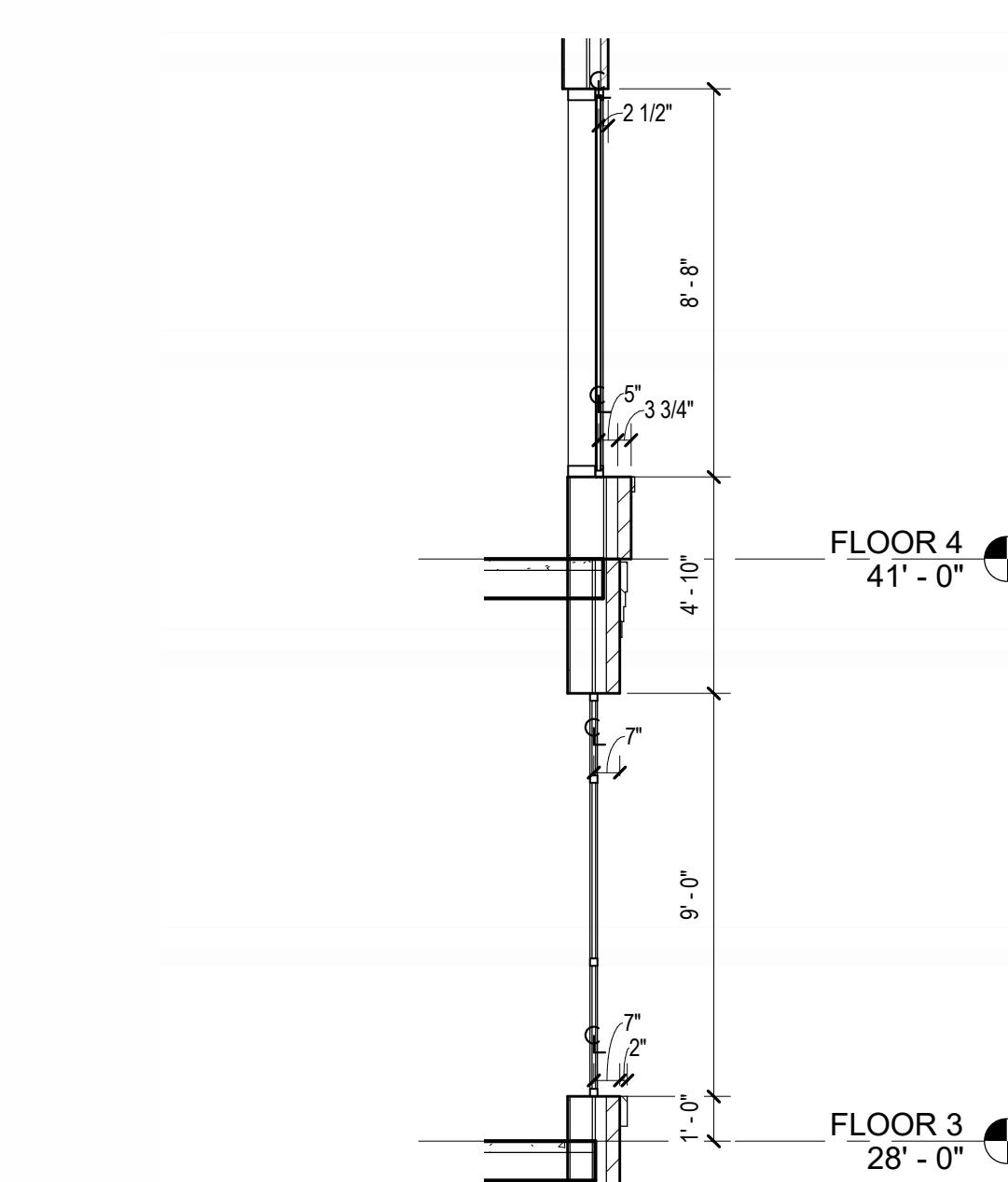
STOREFRONT OPTION 1 & 2 SECTION

1/4" = 1'-0"



1ST & B STREET TYP. WINDOW SECTION

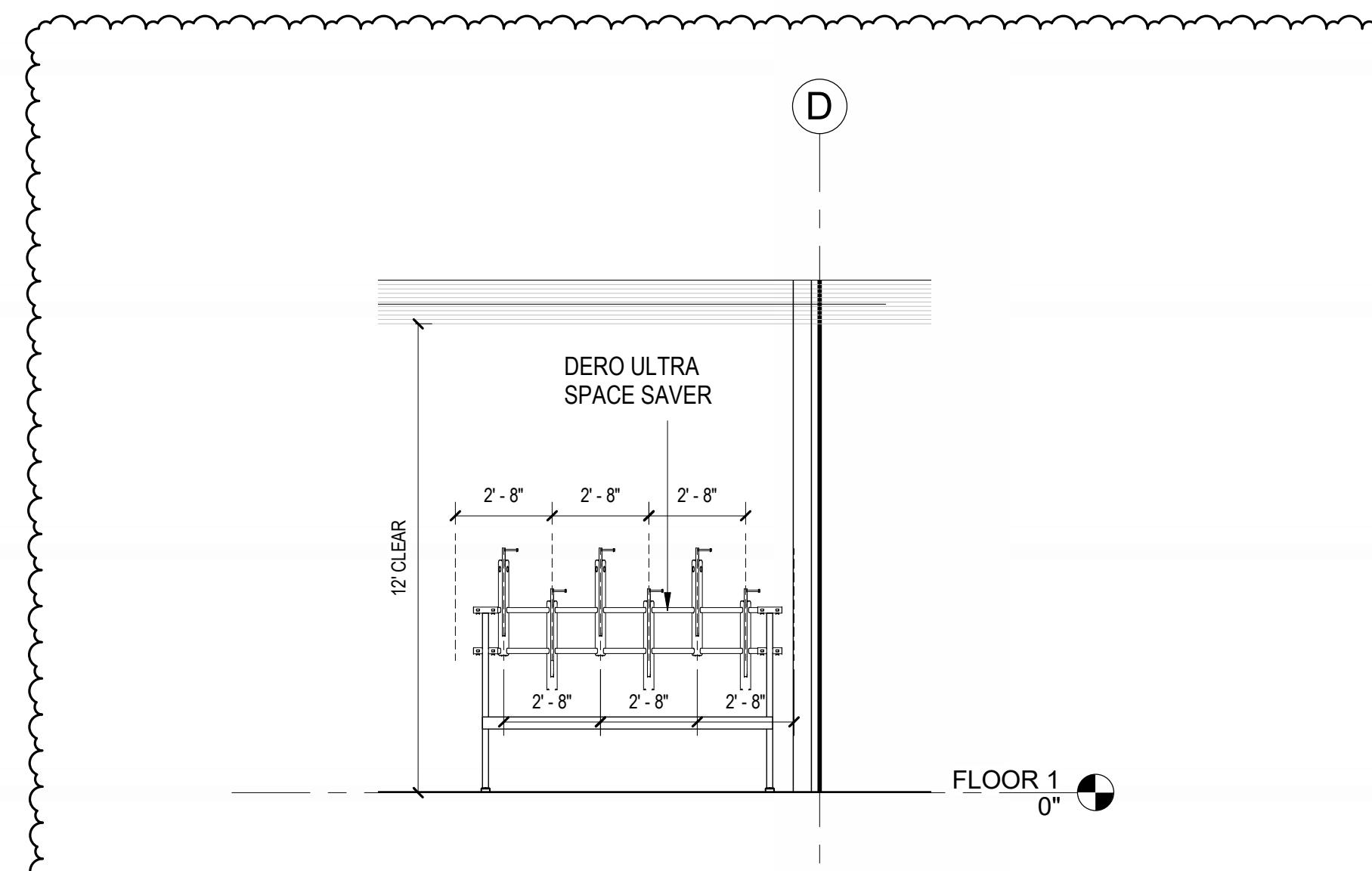
1/4" = 1'-0"



ALLEY TYP. WINDOW SECTION

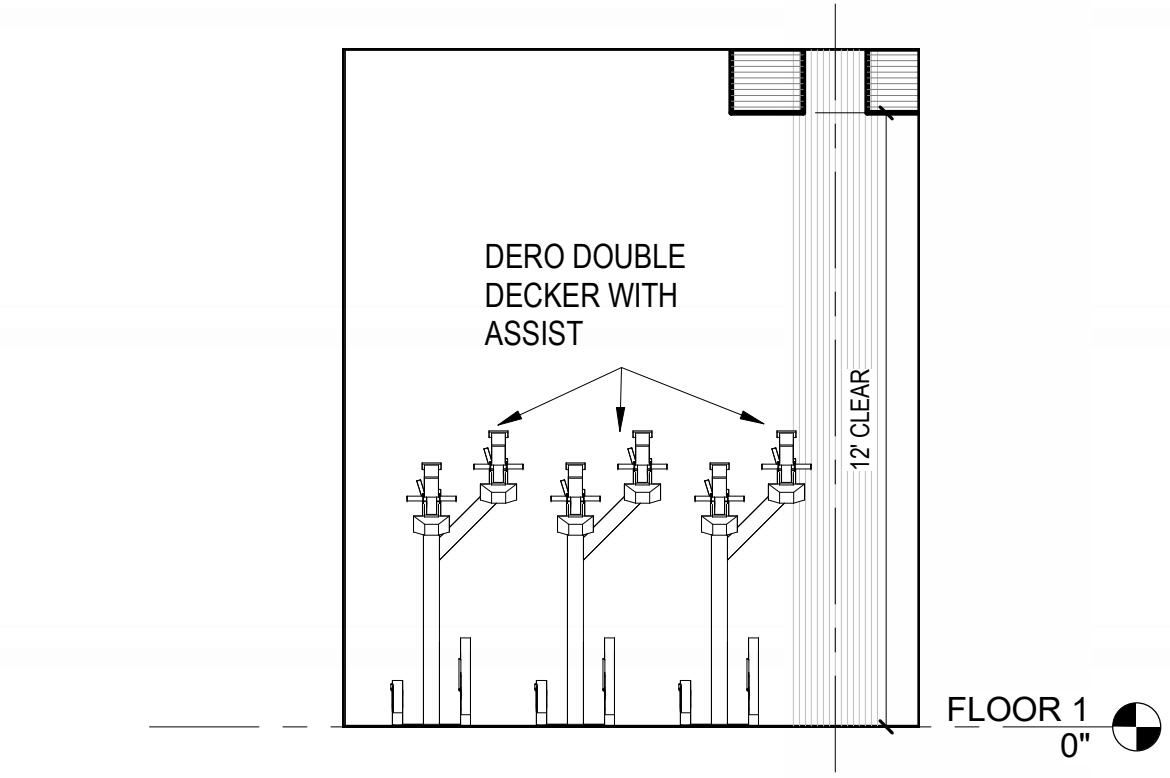
1/4" = 1'-0"

## ENLARGED PLANS & ELEVATIONS



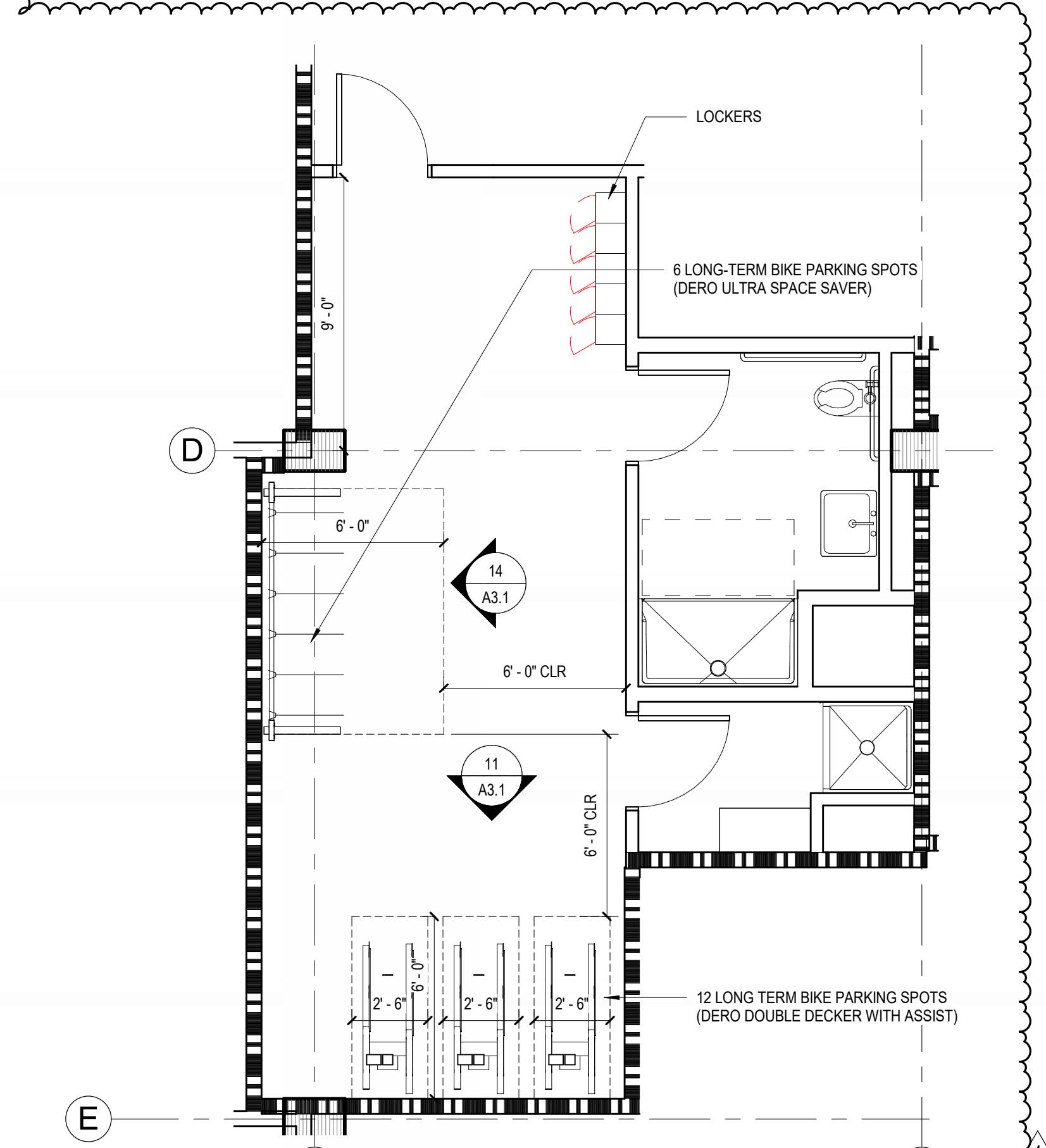
BIKE ROOM EAST ELEVATION

1/4" = 1'-0"



BIKE ROOM SOUTH ELEVATION

1/4" = 1'-0"



ENLARGED BIKE ROOM PLAN

1/4" = 1'-0"



57 S. B STREET  
SAN MATEO, CA 94401

ISSUE: PLANNING APPLICATION RESUBMITAL  
05/06/2024

ISSUE DATE: 05/10/2023

REVISIONS: PLANNING APPLICATION #1 03/10/2023

2 PLANNING APPLICATION RESUBMITAL #2 07/21/2023

3 PLANNING APPLICATION RESUBMITAL #3 11/03/2023

4 PLANNING APPLICATION RESUBMITAL #4 05/06/2024

SCALE: 1/4" = 1'-0"

PROJECT NUMBER: 2202017.00

DRAWN BY: Author

CHECKED BY: Checker

STAMP:

NOT FOR  
CONSTRUCTION

SHEET NAME:  
STOREFRONT  
OPTIONS, SECTIONS,  
ENLARGED PLANS AND  
ELEVATIONS

SHEET NUMBER:  
A3.1

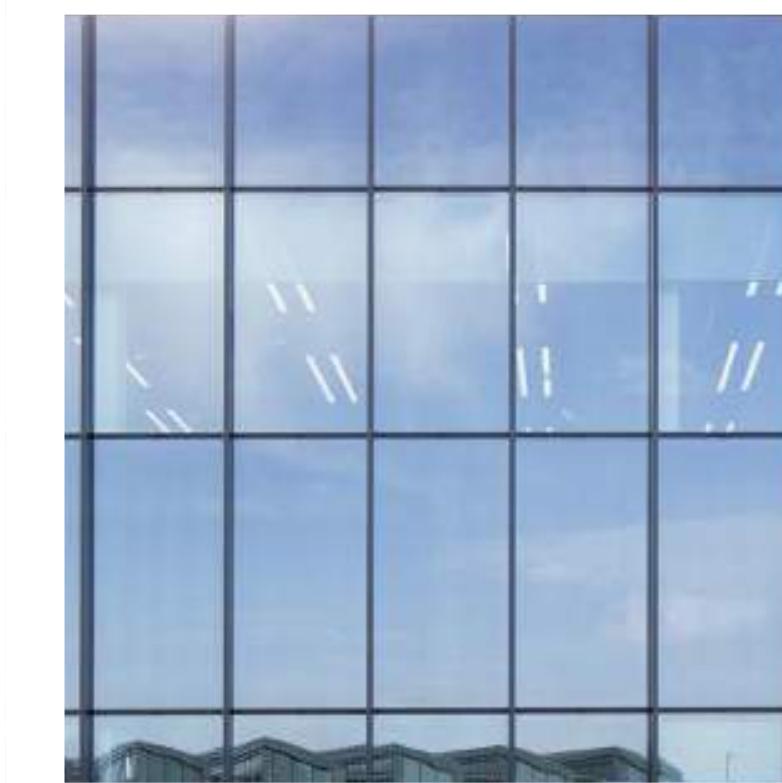
RMW  
Architecture  
Interiors  
Office  
408 294-8000  
rmw.com

30 E. Santa Clara St.  
Suite 200  
San Jose, California 95113  
Fax  
408 294-1747

CLIENT:  
  
HARVEST  
PROPERTIES

PROJECT NAME & ADDRESS:  
1ST & B

PLATE DATE: 5/28/2024 10:12 PM

METAL PANEL: MT-1CURTAINWALL GLAZING: GL-1DARK-FRAMED STOREFRONT: SL-2EXTERIOR CLADDING: ER-1ROOF MECHANICAL SCREEN: MS-1STOREFRONT GLAZING: SL-3NOT USED △GLASS GUARDRAIL: GL-4BI-FOLDING DOOR SYSTEM: SL-5STEEL CANOPY: ST-1EXPOSED WOOD: WD-1CEMENT PLASTER: CP-1

## FINISH PLAN SCHEDULE PLANNING ENLARGED

NOT FOR  
CONSTRUCTIONSHEET NAME:  
MATERIAL BOARDSHEET NUMBER:  
A3.2

ISSUE:	PLANNING APPLICATION RESUBMITTAL
ISSUE DATE:	05/08/2024
<b>REVISIONS:</b>	
1	PLANNING APPLICATION RESUBMITTAL 03/10/2023
2	PLANNING APPLICATION RESUBMITTAL #2 07/21/2023
3	PLANNING APPLICATION RESUBMITTAL #3 11/03/2023

### KEYNOTES

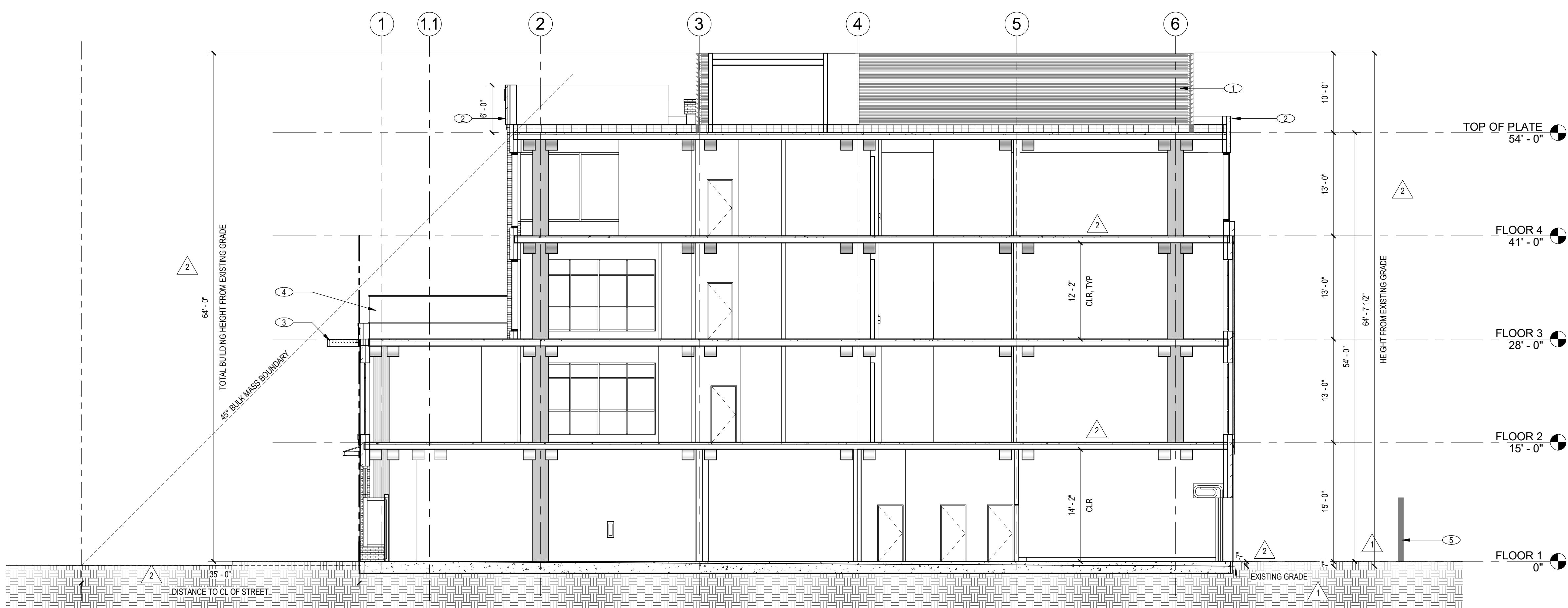
KEYNOTE DESCRIPTION
1 METAL LOUVERED MECHANICAL SCREEN
2 ROOF PARAPET
3 STEEL SHADE CANOPY
4 GLASS RAILING AT BALCONY
5 REMAINING WALL AT ALLEY

SCALE: 1/8" = 1'-0"  
PROJECT NUMBER: 2202017.00  
DRAWN BY: Author  
CHECKED BY: Checker  
STAMP:

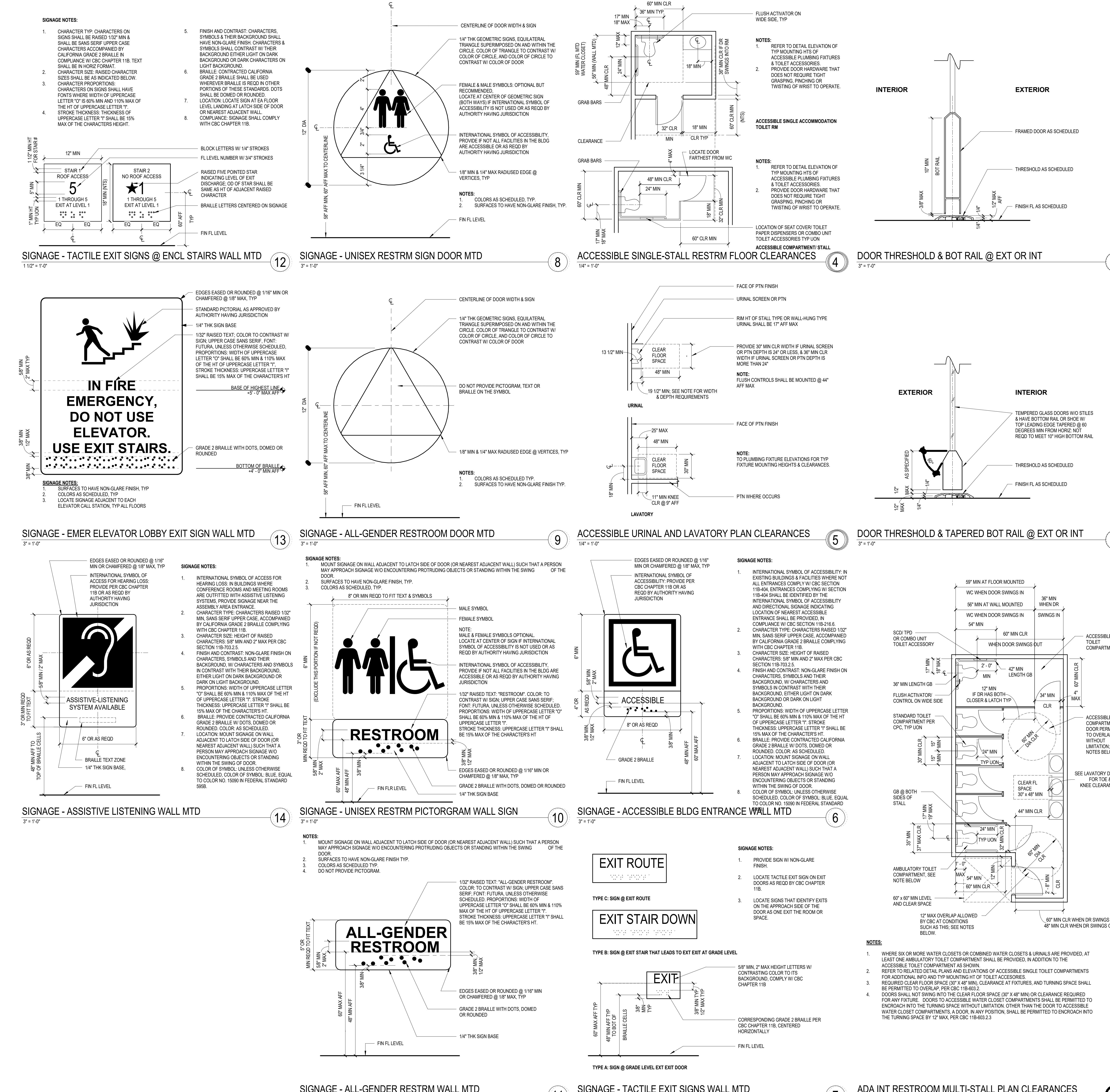
**NOT FOR  
CONSTRUCTION**

SHEET NAME: BUILDING SECTIONS

SHEET NUMBER: A4.0





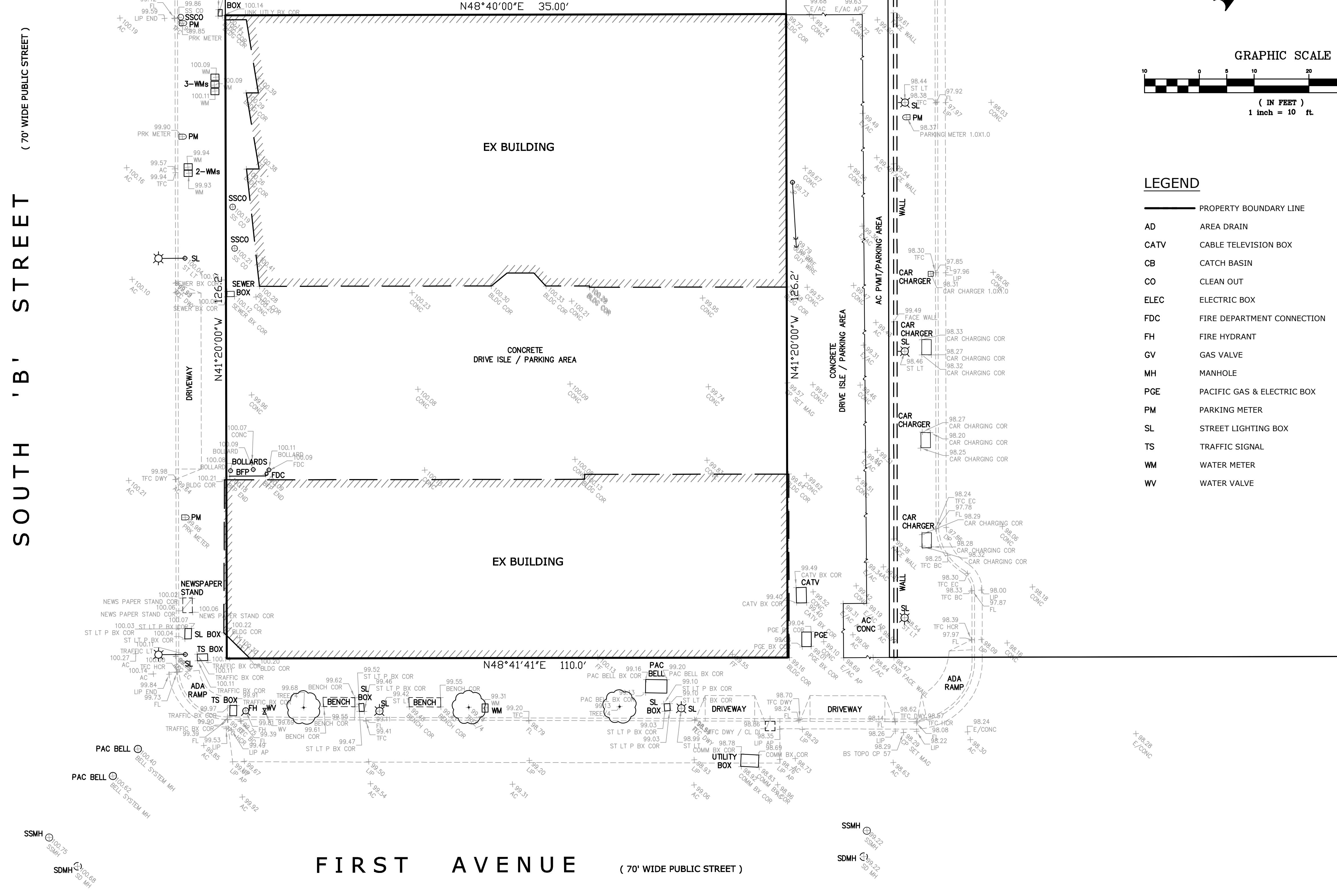


**BALDWIN  
AVENUE**

( PUBLIC STREET ~ WIDTH VARIES )

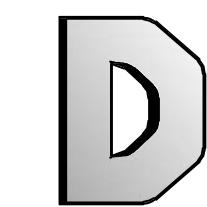


**SOUTH 'B' STREET** ( 70' WIDE PUBLIC STREET )

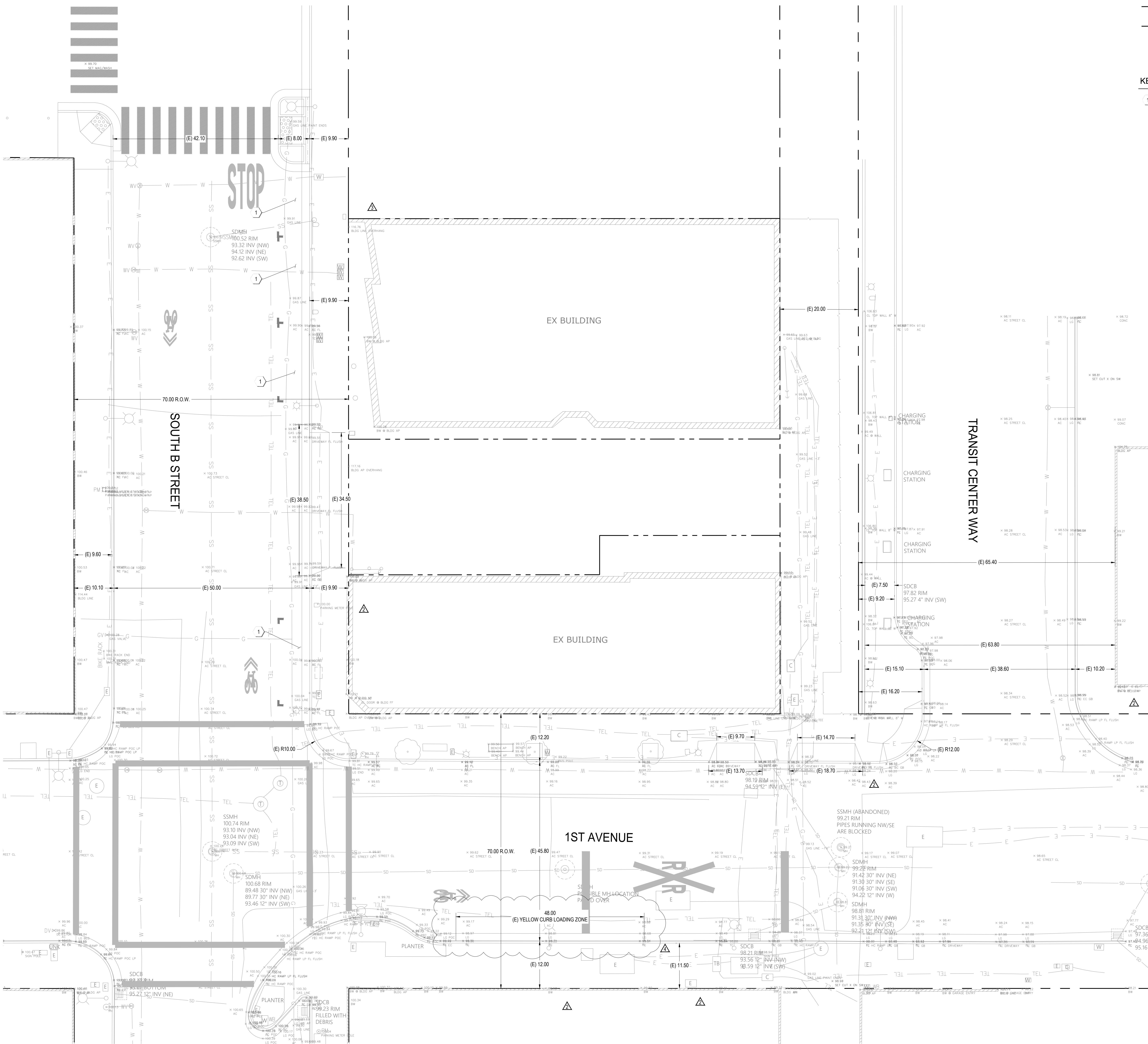


JAMES E. DIGGINS - R.C.E. 27818  
RENEWAL DATE: 03/31/22

#	REVISIONS	DATE



Date:  
3/31/2020  
Scale:  
1" = 10'  
By:  
JED / kl  
Job No.:  
20147



LEGEND

- (P) PROPERTY LINE
- (P) ADJACENT PROPERTY LINE

RMW  
Architecture  
Interiors  
Office  
415 781-9800  
Fax  
415 788-5216  
rmw.com

**SHERWOOD**  
DESIGN ENGINEERS  
2548 Mission Street  
San Francisco, CA 94110  
www.sherwoodengineers.com

**HARVEST**  
PROPERTIES

PROJECT NAME & ADDRESS:  
57 S. B STREET

57 S. B STREET  
SAN MATEO, CA 94401

ISSUE:	ISSUE DATE:
1 PLANNING APPLICATION RESUBMITTAL	03/10/2023
2 PLANNING APPLICATION RESUBMITTAL #2	07/21/2023
3 PLANNING APPLICATION RESUBMITTAL #3	11/03/2023
4 PLANNING APPLICATION RESUBMITTAL #4	5/06/2024

SCALE: 1"=10'

PROJECT NUMBER: 21-034  
DRAWN BY: TP  
CHECKED BY: RA  
STAMP:

NOT FOR  
CONSTRUCTION

EXISTING  
CONDITIONS

SHEET NUMBER: C1.00

0

5'

10'

20'

NORTH

ISSUE:	ISSUE DATE:
REVISIONS	DESCRIPTION
1	PLANNING APPLICATION RESUBMITTAL
2	03/10/2023
3	PLANNING APPLICATION RESUBMITTAL #2
4	07/21/2023
5	PLANNING APPLICATION RESUBMITTAL #3
6	11/03/2023
7	PLANNING APPLICATION RESUBMITTAL #4
8	5/06/2024

## LEGEND

- (P) PROPERTY LINE
- (P) ADJACENT PROPERTY LINE
- (P) BACK OF CURB
- (P) FACE OF CURB
- (P) DRIVEWAY
- (P) TRUNCATED DOMES
- (P) CURB RAMP
- (P) TREE
- (P) LOADING ZONE
- (P) LANDSCAPE
- (P) BIOPRETENTION PLANTER
- CURB OPENING
- Hardscape Spot Elevation
- Softscape Spot Elevation
- Hardscape Slope
- Softscape Slope
- (E) DRAINAGE INLET
- (P) HYDRODYNAMIC SEPARATOR
- (P) SD MANHOLE

## NOTES

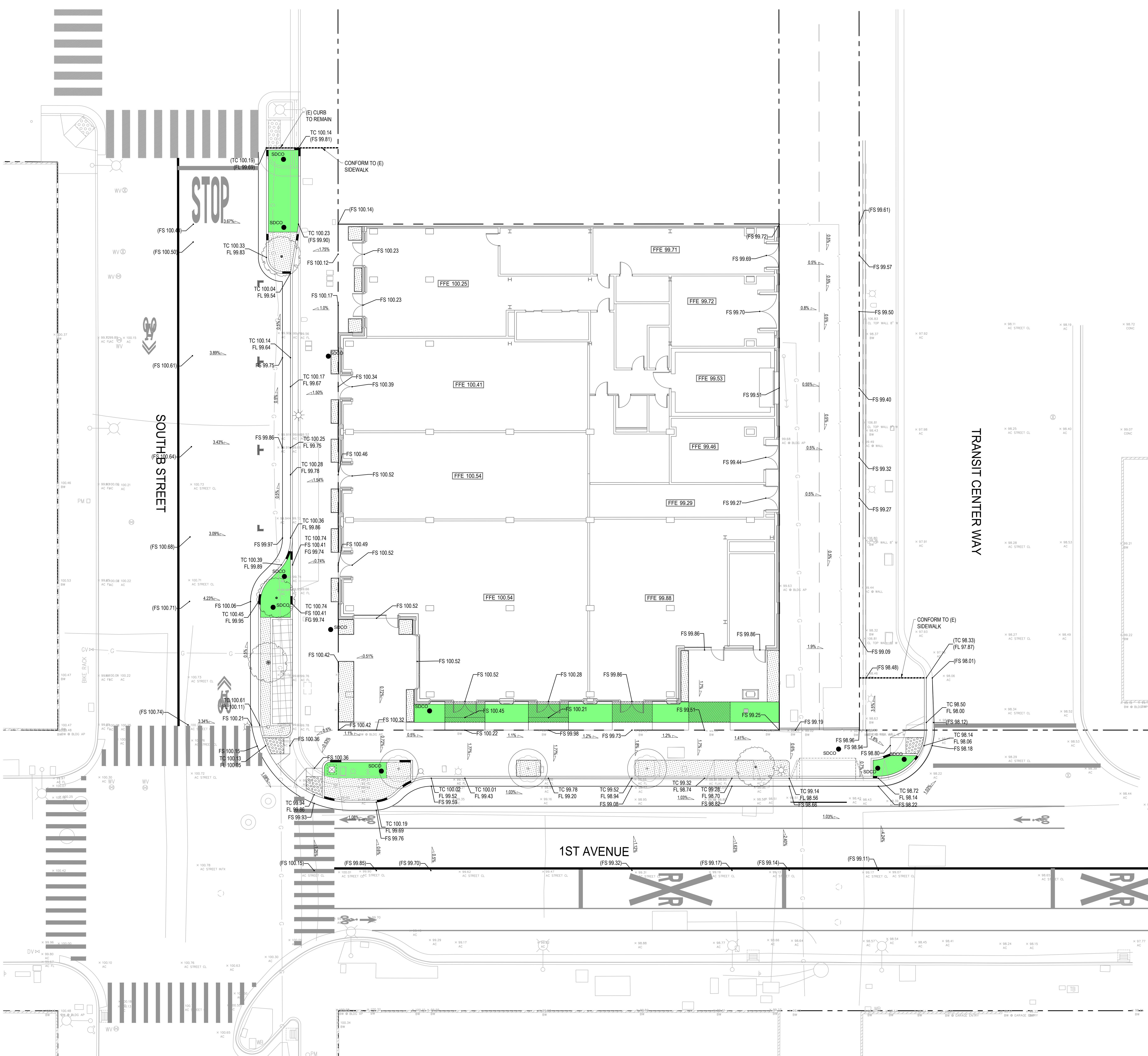
1. PROPOSED GRADES AND UTILITIES SHOWN ARE CONCEPTUAL. FINAL GRADES TO BE DEVELOPED DURING THE DESIGN PHASE.
2. FUTURE GRADING WILL CONFORM TO EXISTING CONDITIONS AT THE PROJECT PERIMETER.
3. ALL GRADING SHALL COMPLY WITH APPLICABLE PERMITS, LOCAL ORDINANCES AND RECOMMENDATIONS OF THE GEOTECHNICAL REPORT.

SCALE: 1"=10'  
PROJECT NUMBER: 21-034  
DRAWN BY: TP  
CHECKED BY: RA  
STAMP:

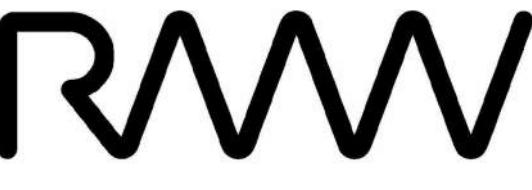
NOT FOR  
CONSTRUCTION

SHEET NAME:  
CONCEPT GRADING  
AND DRAINAGE

SHEET NUMBER:  
C2.00







RMW  
Architecture  
Interiors

160 Pine Street  
4th Floor  
San Francisco  
California 94111

---

Office  
415 781-9800

Fax  
415 788-5216

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[rmw.com](http://rmw.com)

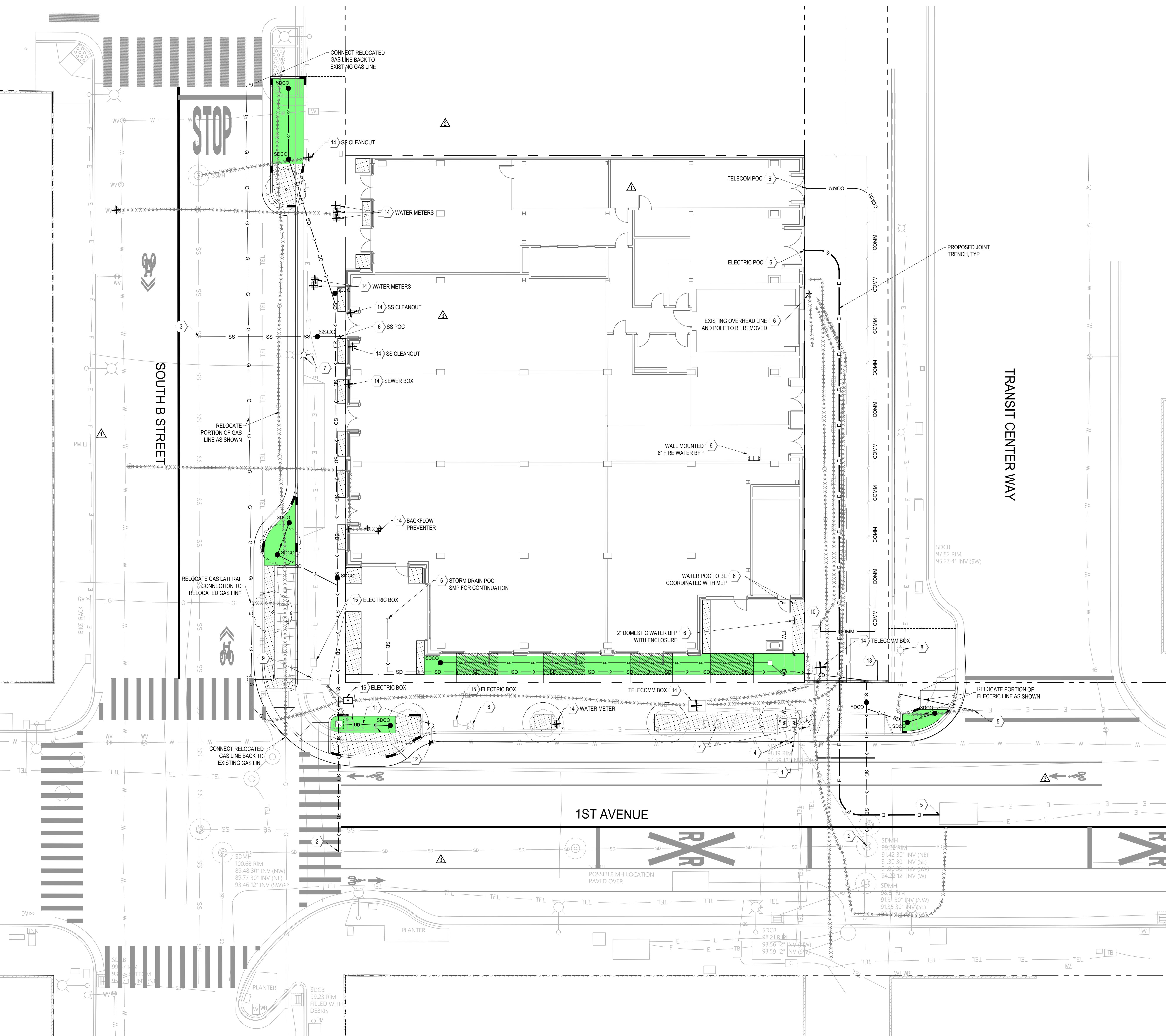
The logo for Harvest Properties consists of a stylized green icon of a building with multiple windows, resembling a house or apartment complex. Below the icon, the word "HARVEST" is written in a large, bold, sans-serif font. Underneath "HARVEST", the words "PROPERTIES" are written in a smaller, all-caps, sans-serif font.

PROJECT NAME & ADDRESS:  
**57 S. B STREET**

7 S. B STREET  
SAN MATEO, CA 94401

ISSUE:	
ISSUE DATE:	
VISIONS :	
DESCRIPTION	DATE
PLANNING APPLICATION	11/10/2023
PLANNING APPLICATION RESUBMITTAL	03/10/2024
PLANNING APPLICATION RESUBMITTAL #2	07/10/2024
PLANNING APPLICATION RESUBMITTAL #3	11/10/2024
PLANNING APPLICATION RESUBMITTAL #4	05/10/2025

# TRANSIT CENTER WAY



## LEGEND

— - - - -	(P) PROPERTY LINE
— - - - -	(P) ADJACENT PROPERTY LINE
— - - - -	(P) BACK OF CURB
— - - - -	(P) FACE OF CURB
— - - - -	(P) DRIVEWAY
— - - - -	(P) TRUNCATED DOMES
— - - - -	(P) CURB RAMP
 	(P) TREE
	(P) LANDSCAPE
	(P) BIORETENTION PLANTER
— E — E — E —	(P) ELECTRIC TRENCH
→	(P) ELECTRIC POC
— SS — SS —	(P) SANITARY SEWER LINE
→	(P) GAS POC
— W — W — W —	(P) WATER PIPE
→	(P) WATER POC
— FW — FW —	(P) FIRE WATER PIPE
→	(P) FIRE WATER POC
— IRR — IRR —	(P) IRRIGATION WATER PIPE
→	(P) IRRIGATION WATER POC
— COMM — COMM —	(P) TELECOMMUNICATIONS TRENCH
→	(P) TELECOMMUNICATIONS POC
	(P) WATER VAULT
	(P) SANITARY SEWER CLEAN OUT
	(E) UTILITY TO BE REMOVED
— X X X X X X X X X X —	(E) UTILITY LINE TO BE ABANDONED
	FIRE HYDRANT
→	(P) SD POC
— SD — > — SD — > —	(P) STORM DRAIN PIPE
— — — — —	FRENCH DRAIN

UTILITY KEYNOTES

- 1 (E) CATCH BASIN TO REMAIN
- 2 CONNECT TO (E) STORM DRAIN PIPE
- 3 CONNECT TO (E) SANITARY SEWER FORCE MAIN
- 4 CONNECT TO (E) WATER MAIN
- 5 CONNECT TO (E) ELECTRIC LINE
- 6 TO BE COORDINATED WITH MEP
- 7 EXISTING STREET LIGHT TO BE RELOCATED
- 8 EXISTING STREET LIGHT TO REMAIN
- 9 EXISTING TRAFFIC SIGNAL TO BE RELOCATED
- 10 CONNECT TO (E) TELECOMMUNICATIONS LINE
- 11 RELOCATE (E) FIRE HYDRANT
- 12 RELOCATE (E) WATER VALVE
- 13 PROPOSED TRASH CAPTURE DEVICE
- 14 (E) STRUCTURE TO BE REMOVED
- 15 (E) STRUCTURE TO REMAIN
- 16 (E) STRUCTURE TO BE RELOCATED

**NOTES**

---

1. PROPOSED UTILITIES SHOWN ARE CONCEPTUAL. FINAL UTILITIES TO BE COORDINATED WITH MEP.
2. UTILITY SERVICE SIZES TO BE DETERMINED BY MEP.
3. TRASH CAPTURE DEVICES PER STATE WATER RESOURCES BOARD TO BE PROVIDED.
4. BIORETENTION UNDERDRAIN IN THE R.O.W. WILL BE DETAILED AND DOCUMENTED AS PART OF A FUTURE ENCROACHMENT PERMIT

ALB:

---

OBJECT NUMBER: 21

MAWN BY:

IECKED BY:

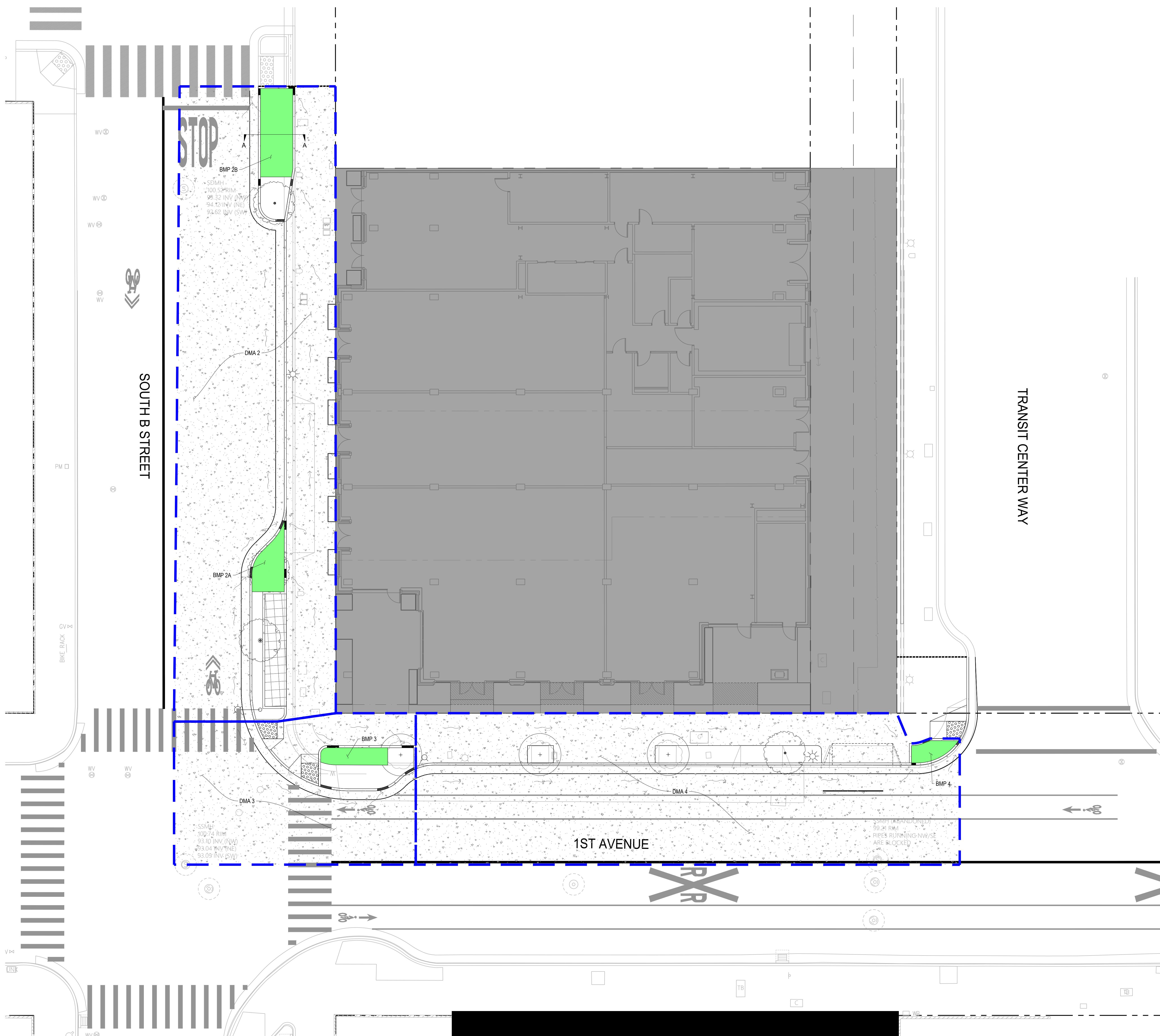
STUDENT NAME: \_\_\_\_\_

# CONCEPT UTILITIES

EET NUMBER: **C3 50**

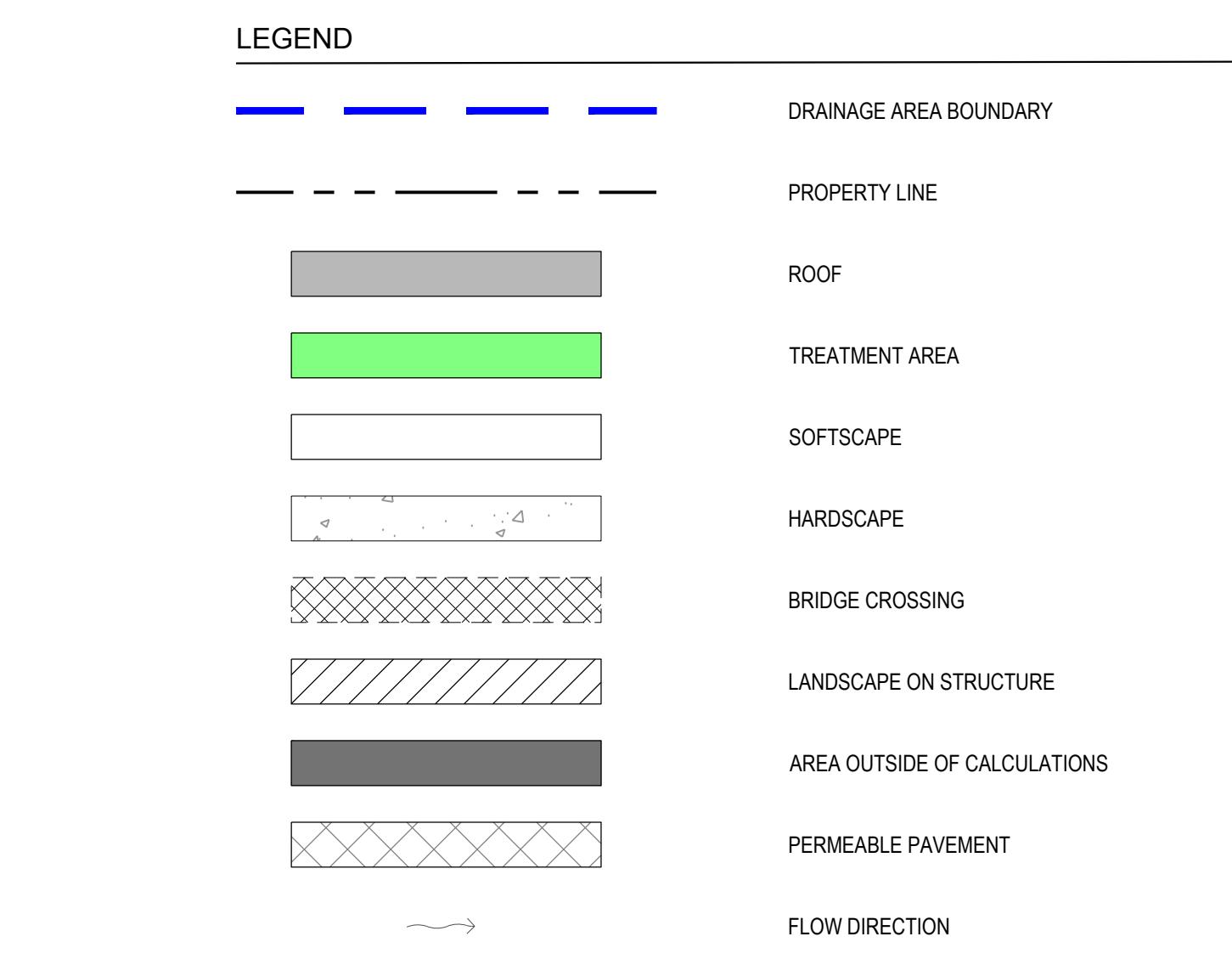
ITEM NUMBER:





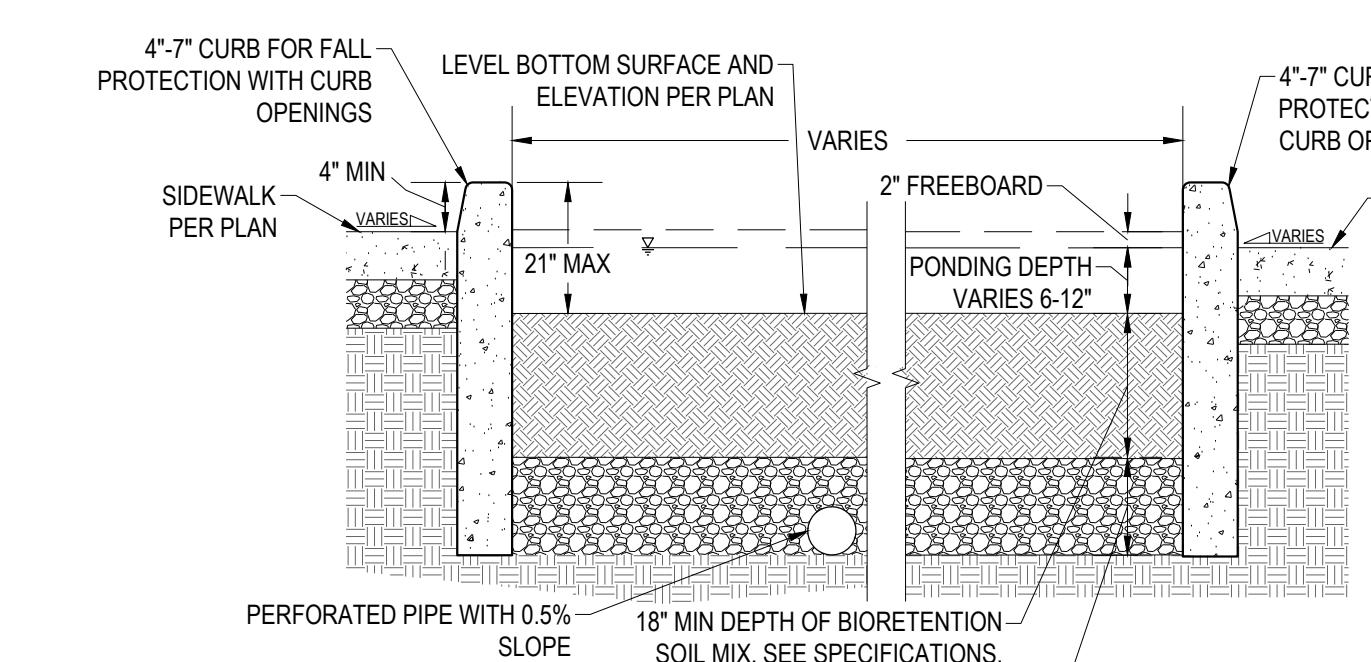
1st & B Off-Site Existing Conditions			
Area	Impermeable Area (sf)	Permeable Area (sf)	Total Area (sf)
Off-Site	11,596	49	11,645
<b>Total</b>	<b>11,596</b>	<b>49</b>	<b>11,645</b>

1st & B Off-Site Proposed Conditions						
Area	Impermeable Area (sf)	Permeable Area (sf)	Total Area (sf)	Ponding Depth (inch)	Treatment Area Required (sf)	Treatment Area Provided (sf)
DMA 2	4,891	507	5,398	8	144	234
DMA 3	1,722	184	1,906	6	55	61
DMA 4	1,195	216	1,411	6	38	38
Remaining	2,930	0	2,930	8	86	-
<b>Total</b>	<b>10,738</b>	<b>907</b>	<b>11,645</b>	<b>-</b>	<b>323</b>	<b>333</b>



NOTES

1. THIS PLAN REPRESENTS METHODS FOR FULFILLING THE REQUIREMENTS FOR THE SAN MATEO WATER POLLUTION PREVENTION PROGRAM.
2. THE INTENT OF THE PROJECT IS TO TREAT STORMWATER RUNOFF USING LID AND BMPs. STORMWATER COMPLIANCE STRATEGY SHOWN IS CONCEPTUAL AS THE PROJECT DESIGN IS FURTHER REFINED, THESE BMPs WILL BE REVISED ACCORDINGLY.
3. OEM PLAN TO BE PROVIDED AND RECORDED PRIOR TO THE ISSUE OF THE CERTIFICATE OF OCCUPANCY.



A AT-GRADE BIORETENTION PLANTER

SCALE: 1' = 1'

SCALE:  
PROJECT NUMBER:  
DRAWN BY:  
CHECKED BY:  
STAMP:

NOT FOR  
CONSTRUCTION

SHEET NAME:  
**CONCEPT OFF-SITE  
STORMWATER  
MANAGEMENT PLAN**

SHEET NUMBER:



C3.01

## LEGEND

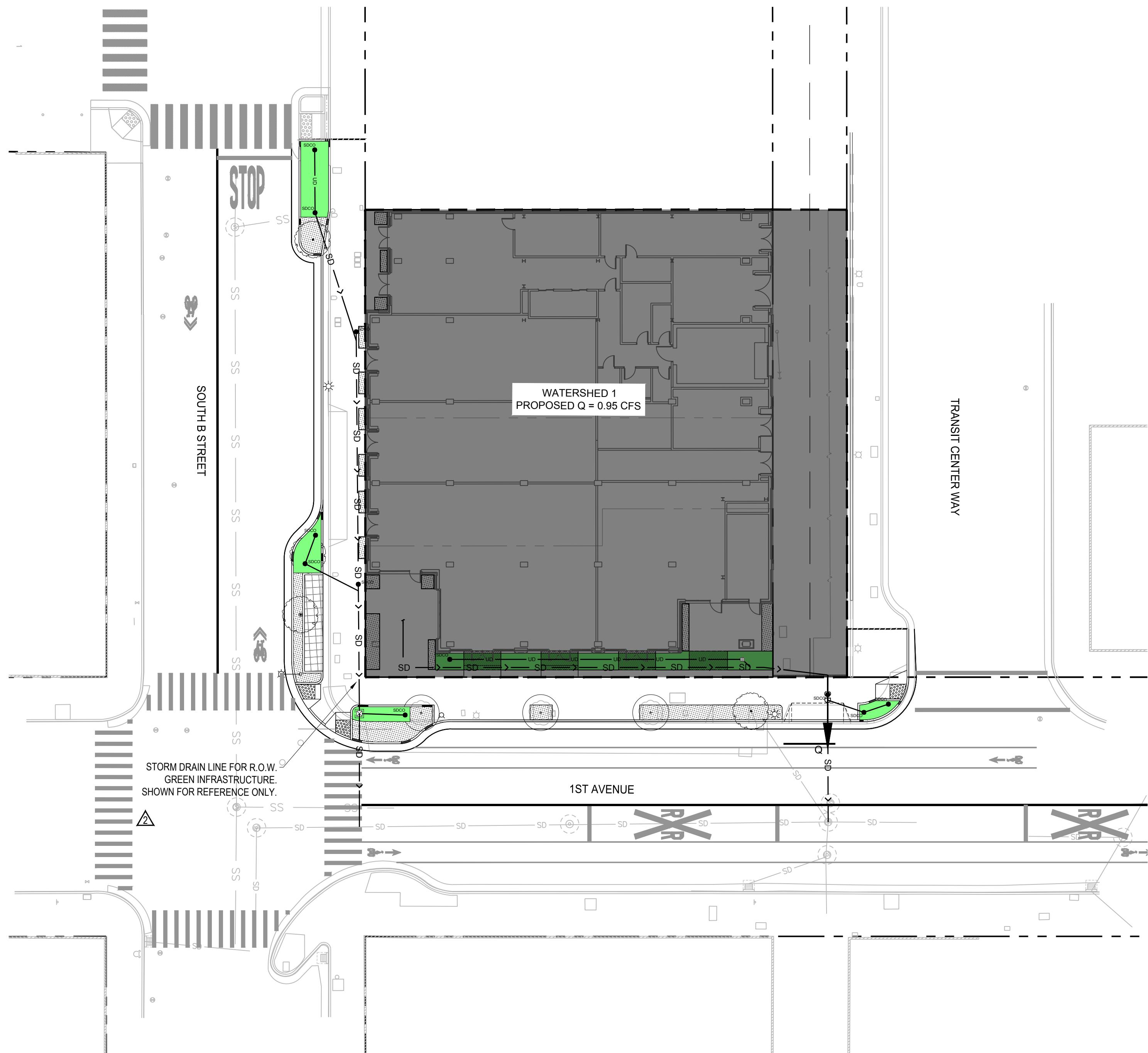
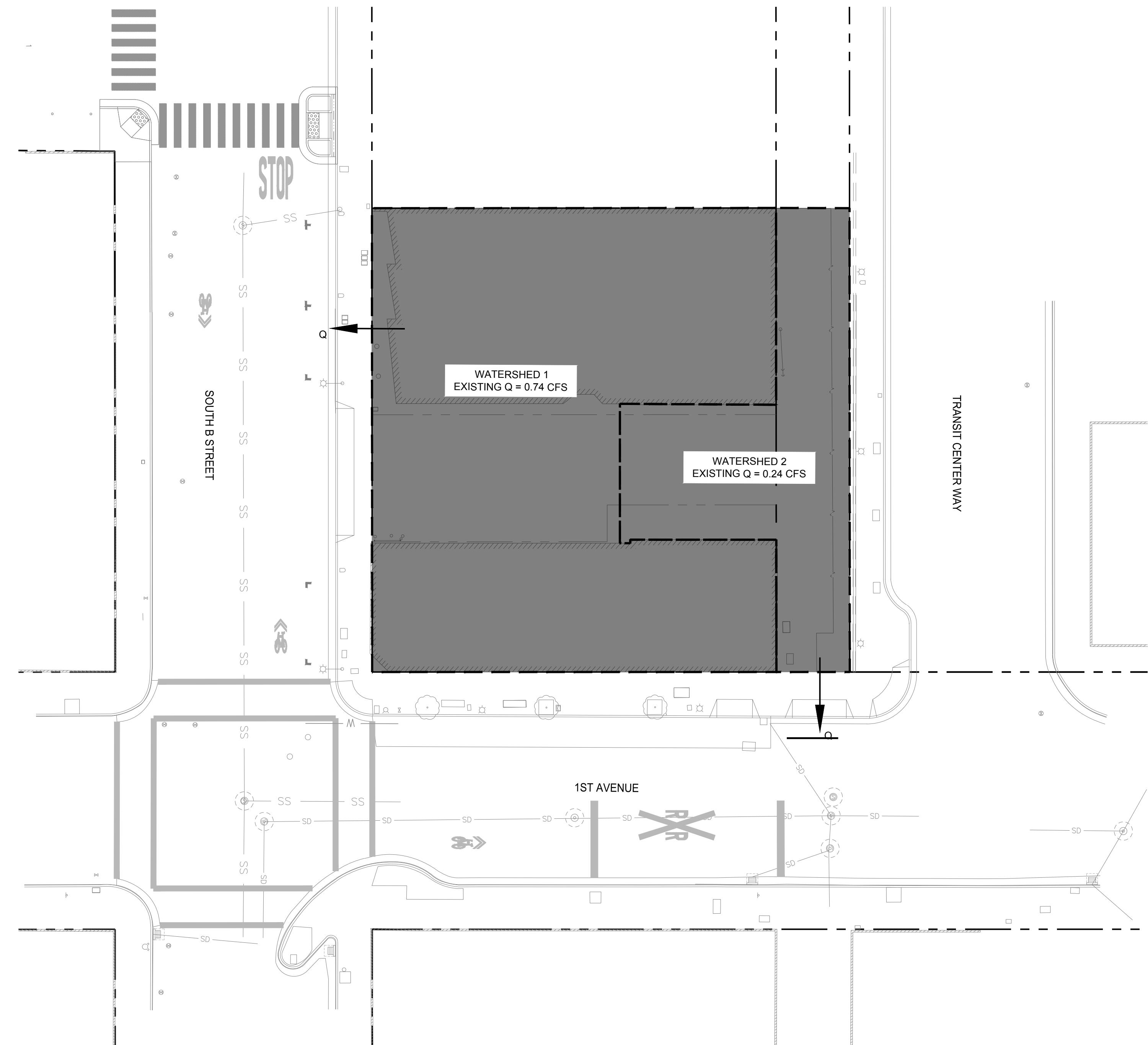
(E) DRAINAGE INLET
(P) HYDRODYNAMIC SEPARATOR
(P) SD MANHOLE
(P) SD POC
(P) STORM DRAIN PIPE
TRENCH DRAIN
WATERSHED BOUNDARY
TREATMENT AREA

RMW  
Architecture  
Interiors  
Office  
415 781-9800  
rmw.com

160 Pine Street  
4th Floor  
San Francisco  
California 94111  
Fax  
415 788-5216

PROJECT NAME & ADDRESS:  
57 S. B STREET57 S. B STREET  
SAN MATEO, CA 94401

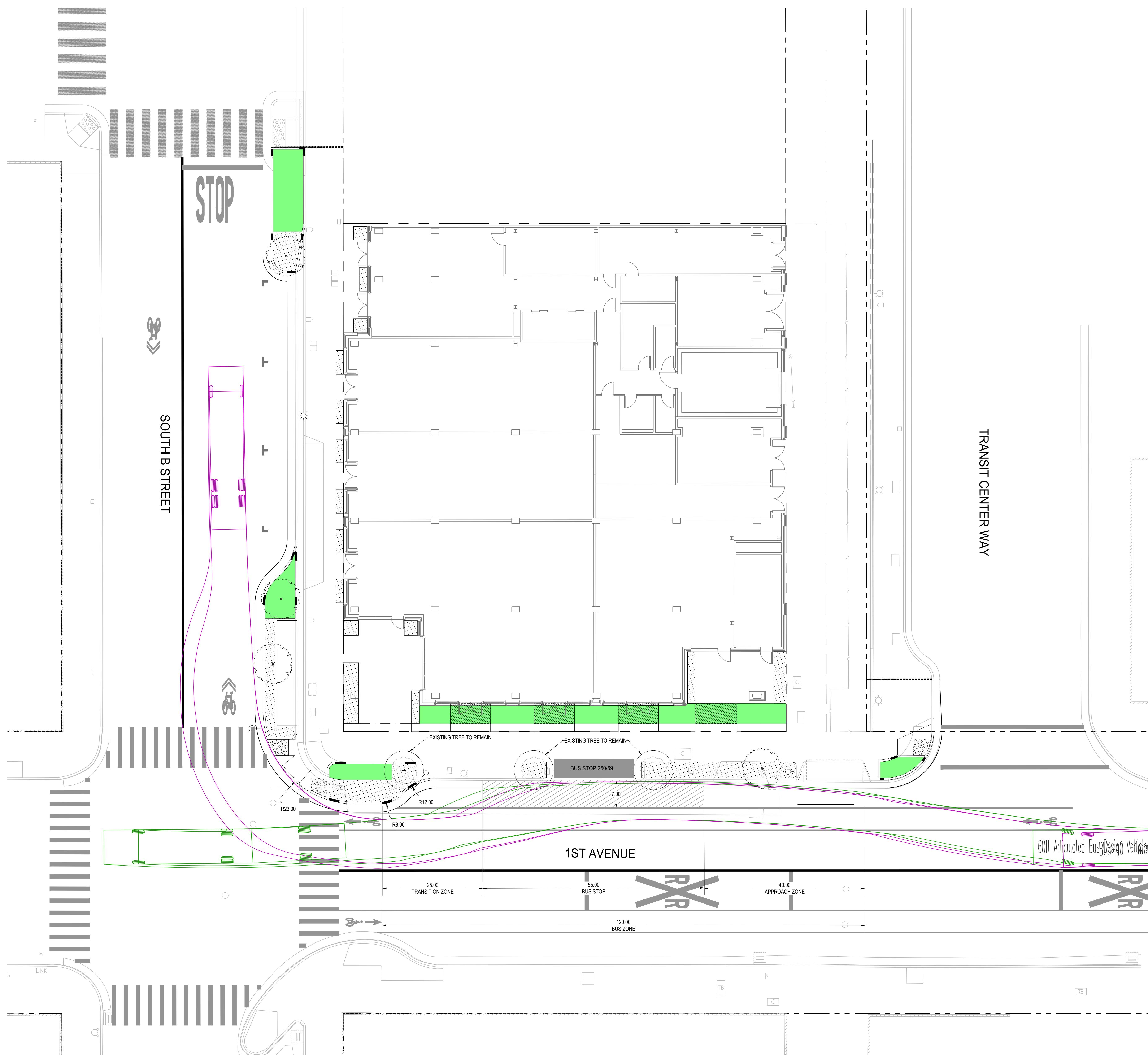
ISSUE:	DESCRIPTION	DATE
1	PLANNING APPLICATION RESUBMITTAL	03/10/2023
2	PLANNING APPLICATION RESUBMITTAL #2	07/21/2023
3	PLANNING APPLICATION RESUBMITTAL #3	11/03/2023
4	PLANNING APPLICATION RESUBMITTAL #4	5/06/2024



EXISTING CONDITIONS 1ST & B STORM DRAIN FLOW CALCULATIONS						
DMA	AREAS (sf)	AVERAGE RUNOFF COEFFICIENT	TIME OF CONCENTRATION (mins)	INTENSITY (in/hr)	10-YR STORM EVENT RUNOFF (cfs)	DRAINAGE LOCATION
EXISTING ON-SITE WATERSHED-1	IMPERVIOUS	12,319	1	5	2.6	0.74
	PERVIOUS					
EXISTING ON-SITE WATERSHED-2	IMPERVIOUS	4,094	1	5	2.6	0.24
	PERVIOUS					
TOTAL DRAINING TO MUNICIPAL SYSTEMS		16,413	-	-	-	0.98

PROPOSED CONDITIONS 1ST & B STORM DRAIN FLOW CALCULATIONS						
DMA	AREAS (sf)	AVERAGE RUNOFF COEFFICIENT	TIME OF CONCENTRATION (mins)	INTENSITY (in/hr)	10-YR STORM EVENT RUNOFF <sup>1</sup> (cfs)	DRAINAGE LOCATION
PROPOSED ON-SITE WATERSHED-2	IMPERVIOUS	15,797	0.97	5	2.60	0.95
	PERVIOUS					
	TOTAL	16,413				
<sup>1</sup> GIVEN THE ABSENCE OF A STORM DRAIN ON S. B STREET THE SITE CONNECTION MUST BE LOCATED ON 1ST AVENUE. HOWEVER, THE TOTAL PEAK FLOW GENERATED FROM THE SITE IS LOWER THAN THE EXISTING CONDITIONS.						





## LEGEND

— — — — (P) PROPERTY LINE
— — — — (P) ADJACENT PROPERTY LINE
— — — — (P) BACK OF CURB
— — — — (P) FACE OF CURB
— — — — (P) DRIVEWAY
— — — — (P) TRUNCATED DOMES
— — — — (P) CURB RAMP
— — — — (P) TREE
— — — — (P) LOADING ZONE
— — — — (P) LANDSCAPE
— — — — (P) BIORETENTION PLANTER
— — — — 40-FOOT BUS
— — — — 60-FOOT BUS

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DESIGN ENGINEERS  
2548 Mission Street  
San Francisco, CA 94110  
www.sherwoodengineers.com

CLIENT:  
**HARVEST**  
PROPERTIES

PROJECT NAME & ADDRESS:  
**57 S. B STREET**

**57 S. B STREET**  
SAN MATEO, CA 94401

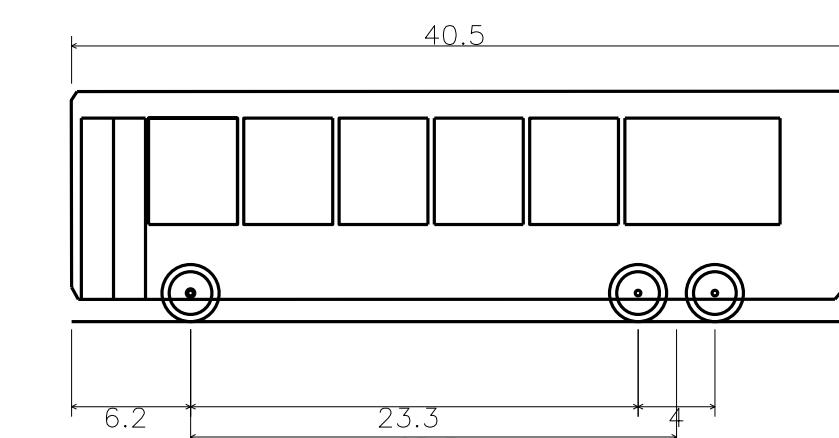
ISSUE:  
ISSUE DATE:

REVISIONS

DESCRIPTION	DATE
PLANNING APPLICATION	11/16/2022
1 PLANNING APPLICATION RESUBMITTAL	03/10/2023
2 PLANNING APPLICATION RESUBMITTAL #2	07/21/2023
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4 PLANNING APPLICATION RESUBMITTAL #4	5/06/2024

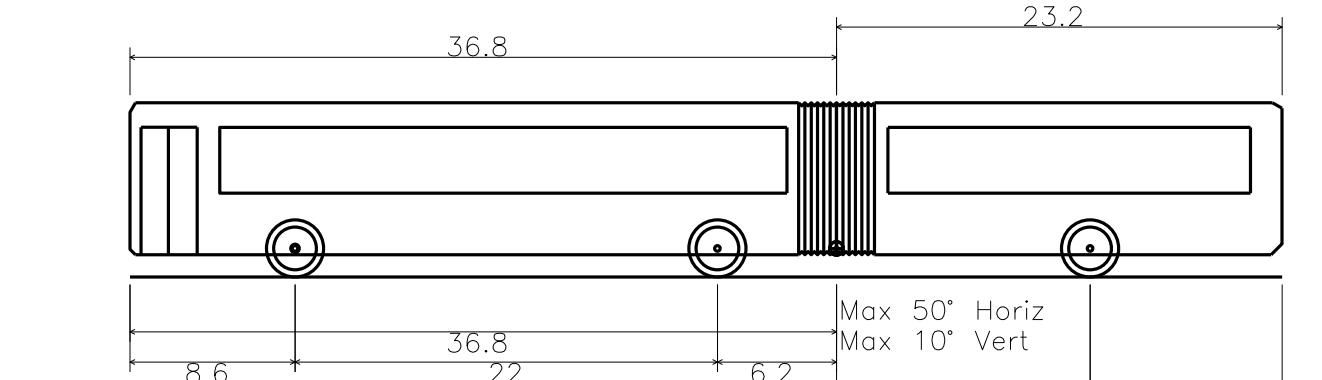
## NOTES

- 40-FOOT BUS VEHICLE TEMPLATE IS TO BE REPRESENTATIVE OF CITY OF SAN MATEO SAMTRANS ROUTE 59, AND 60-FT BUS VEHICLE TEMPLATE IS TO BE REPRESENTATIVE OF CITY OF SAN MATEO SAMTRANS ROUTE 250.
- BUS PULLOUT WIDTH SHOWN ON THE PLANS IS PER CITY OF SAN MATEO 1ST AVENUE IMPROVEMENT PLANS. CITY OF SAN MATEO WILL BE COORDINATING WITH SAMTRANS FOR ANY ADJUSTMENTS OF SAID WIDTH. THE PROPOSED RIGHT OF WAY IMPROVEMENT PROPOSED BY THE PROJECT WON'T IMPACT 1ST AVENUE IMPROVEMENT THAT ARE PROPOSED BY THE CITY OF SAN MATEO.



BUS-40 – Inter City Bus  
Overall Length 40.500ft  
Overall Width 8.500ft  
Overall Body Height 12.000ft  
Min. Body Ground Clearance 1.58ft  
Track Width 8.500ft  
Lock-to-lock time 5.00s  
Max. Steering Angle (Virtual) 41.90°

A 40-FT BUS VEHICLE PROFILE USED FOR BUS ROUTE 250  
SCALE: 1" = 10'



60ft Articulated Bus Design Vehicle  
Overall Length 60.000ft  
Overall Width 8.500ft  
Overall Body Height 9.076ft  
Min. Body Ground Clearance 1.159ft  
Track Width 8.500ft  
Lock-to-lock time 6.00s  
Max. Steering Angle (Virtual) 38.30°

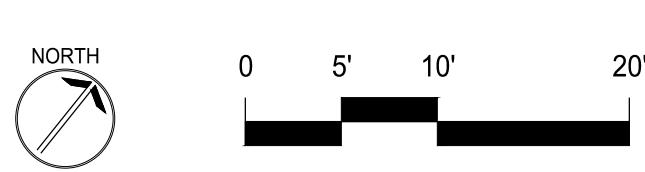
B 60-FT ARTICULATED BUS VEHICLE PROFILE  
SCALE: 1" = 10'

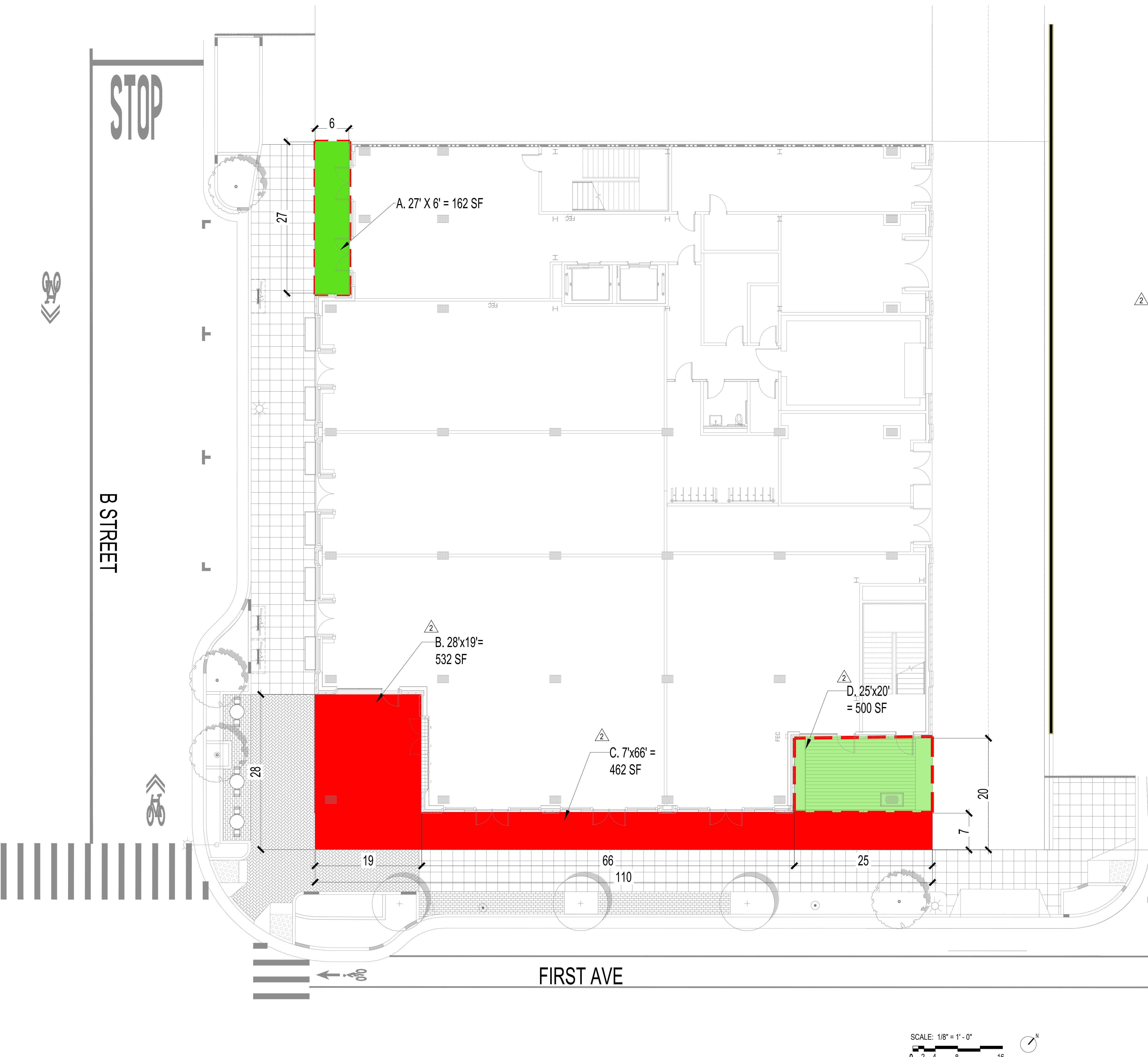
SCALE: 1" = 10'  
PROJECT NUMBER: 21-034  
DRAWN BY: PC  
CHECKED BY: RA  
STAMP:

NOT FOR  
CONSTRUCTION

SHEET NAME:  
**CONCEPT TURNING  
ANALYSIS**

SHEET NUMBER:  
**C5.00**





## OPEN SPACE CALCULATIONS

PER SMMC 27.38.090 OPEN SPACE REQUIREMENTS  
OPEN SPACE TO HAVE 25'-0" MIN WIDTH

**TOTAL OFFICE AREA:** 41,523 SF

REQUIRED OPEN SPACE (1% OF OFFICE AREA): 416 SF

(50% OF REQUIRED) OPEN SPACE IN SUN BETWEEN NOON  
AND 2PM ON THE SPRING AND FALL EQUINOX PER SMMC 1169 SF  
27.38.090:

PROVIDED OPEN SPACE THAT IS COVERED 662 SF

TOTAL OPEN SPACE PROVIDED	1656 SF
A.	162 SF (27'x6')
B.	532 SF (28'x19')
C.	462 SF (66'x7')
D.	500 SF (25'x20')

TOTAL OPEN SPACE THAT IS ABOVE REQUIRED 1240 SF

COVERED OPEN SPACE

OPEN SPACE IN SUN BETWEEN NOON AND 2PM THE SPRING AND FALL EQUINOX PER SMMC 27.38.090



COVERED OPEN SPACE (24' WIDTH ADJACENT TO SIDEWALK)

TOTAL OPEN SPACE	1656 SF
OPEN SPACE IN SUN BETWEEN NOON AND 2PM ON THE SPRING AND FALL EQUINOX PER SMMC 27-38-090	1169 SF

ET NAME: 

# OPEN SPACE DIAGRAM

NET NUMBER:

ISSUE:	PLANNING APPLICATION RESUBMITTAL #4
ISSUE DATE:	05/06/2024
REVISIONS:	
	DESCRIPTION DATE
1	PLANNING APPLICATION RESUBMITTAL 11/16/2022
2	PLANNING APPLICATION RESUBMITTAL #2 03/10/2023
3	PLANNING APPLICATION RESUBMITTAL #3 07/21/2023
4	PLANNING APPLICATION RESUBMITTAL #4 05/06/2024

<p>31 S. B Street, San Mateo Arborist's Assessment November 18, 2021 Revised February 14, 2023 Revised June 16, 2023</p> <p><b>Monarch Consulting Arborists</b> Richard Gessner P.O. Box 1010 - Felton, CA 95018 1 831 331 8982 www.monarcharborist.com</p> <p><b>Summary</b> There are no "Heritage Trees" as defined by the ordinance and all three trees are black locust (<i>Robinia pseudoacacia</i>) "Street Trees" with five inch trunk diameters. The trees are young and in good condition with fair suitability for preservation. All three trees are to be retained. The average L/U Value is 1.1025 or 1.575 depending on whether or not street trees are considered in the "allowable building area". The totals are either 3.3075 or 4.725 dependent on the building area status.</p> <p><b>Introduction</b></p> <p><b>Background</b> Harvest Properties asked me to assess the site, trees, and proposed footprint plan, and to provide a report with my findings and recommendations to help satisfy planning requirements.</p> <p><b>Assignment</b></p> <ul style="list-style-type: none"> <li>Provide an arborist's report that includes an assessment of the trees within the project area and on the adjacent sites. The assessment is to include the species, size (trunk diameter), condition (health, structure, and form), and suitability for preservation ratings.</li> <li>Provide LU values according to the City of San Mateo ordinance 27.71.150.</li> </ul> <p>Monarch Consulting Arborists LLC - P.O Box 1010, Felton, CA 95018 831.331.8982 - rick@monarcharborist.com Page 1 of 15</p>	<p>31 S. B Street, San Mateo Arborist's Assessment November 18, 2021 Revised February 14, 2023 Revised June 16, 2023</p> <p><b>Limits of the assignment</b></p> <ul style="list-style-type: none"> <li>The information in this report is limited to the condition of the trees and site during my inspection on November 17, 2020 and February 7, 2023. No tree risk assessments were performed.</li> <li>Only conceptual designs were provided for this assignment.</li> </ul> <p>Table 1: Plans Reviewed Checklist</p> <table border="1"> <thead> <tr> <th>Plan</th> <th>Date</th> <th>Sheet</th> <th>Reviewed</th> <th>Source</th> <th>Notes</th> </tr> </thead> <tbody> <tr> <td>Existing Site Topographic Map or A.L.T.A. with tree locations</td> <td></td> <td></td> <td>No</td> <td></td> <td></td> </tr> <tr> <td>Proposed Site Plan</td> <td></td> <td></td> <td>Yes</td> <td></td> <td></td> </tr> <tr> <td>Demolition Plan</td> <td></td> <td></td> <td>No</td> <td></td> <td></td> </tr> <tr> <td>Construction Staging</td> <td></td> <td></td> <td>No</td> <td></td> <td></td> </tr> <tr> <td>Grading and Drainage</td> <td></td> <td></td> <td>No</td> <td></td> <td></td> </tr> <tr> <td>Utility Plan and Hook-up locations</td> <td></td> <td></td> <td>No</td> <td></td> <td></td> </tr> <tr> <td>Exterior Elevations</td> <td></td> <td></td> <td>No</td> <td></td> <td></td> </tr> <tr> <td>Landscape Plan</td> <td></td> <td></td> <td>No</td> <td></td> <td></td> </tr> <tr> <td>Irrigation Plan</td> <td></td> <td></td> <td>No</td> <td></td> <td></td> </tr> <tr> <td>T-1 Tree Protection Plan</td> <td></td> <td></td> <td>No</td> <td></td> <td></td> </tr> </tbody> </table> <p><b>Purpose and use of the report</b> The report is intended to identify all the trees within the plan area that could be affected by a project. The report is to be used by the property owners, owner's agents, and the City of San Mateo as a reference for existing tree and site conditions to help satisfy planning requirements.</p> <p>Monarch Consulting Arborists LLC - P.O Box 1010, Felton, CA 95018 831.331.8982 - rick@monarcharborist.com Page 2 of 15</p>	Plan	Date	Sheet	Reviewed	Source	Notes	Existing Site Topographic Map or A.L.T.A. with tree locations			No			Proposed Site Plan			Yes			Demolition Plan			No			Construction Staging			No			Grading and Drainage			No			Utility Plan and Hook-up locations			No			Exterior Elevations			No			Landscape Plan			No			Irrigation Plan			No			T-1 Tree Protection Plan			No			<p>31 S. B Street, San Mateo Arborist's Assessment November 18, 2021 Revised February 14, 2023 Revised June 16, 2023</p> <p><b>Tree Inventory</b> The inventory contains all the trees six inches in diameter and greater measured at forty-eight inches above grade. The City of San Mateo ordinance 13.40 defines "Heritage Trees" as the following:</p> <p><b>13.40.030 Definition</b></p> <p>K. Heritage Tree means any of the following:</p> <ol style="list-style-type: none"> <li>Any oak (<i>Quercus spp.</i>) tree with a trunk that has a diameter of ten inches or more (31.4 inches in circumference) measured at 54 inches above natural grade;</li> <li>Any other tree with a trunk diameter of fifteen inches (47.1 inches in circumference) or more, measured at 54 inches above natural grade;</li> <li>Multi-stem trees. Trees with more than one stem (arising at or below 54 inches) shall be measured at the smallest diameter point below the main union of all stems unless the union occurs below grade, in which case each stem shall be measured as a stand-alone tree. For oak trees, if one stem is ten inches or more in diameter, the tree will constitute one Heritage Tree. For all other species, if one stem is fifteen inches or more in diameter, the tree will constitute one Heritage Tree.</li> <li>Any tree or stand of trees designated by resolution of the City Council to be of special historical value or of significant community benefit; or</li> <li>A stand of trees, the nature of which makes each dependent on the others for survival.</li> </ol> <p>There are no "Heritage Trees" as defined by the ordinance and all three trees are "Street Trees". The three trees are all black locust (<i>Robinia pseudoacacia</i>) with 5 inch trunk diameters and approximately 25 feet tall with crown diameters of about 15-20 feet.</p> <p><b>IMAGE 1: BLACK LOCUST STREET TREES ALONG FIRST STREET</b></p> <p>Monarch Consulting Arborists LLC - P.O Box 1010, Felton, CA 95018 831.331.8982 - rick@monarcharborist.com Page 3 of 15</p>	<p>31 S. B Street, San Mateo Arborist's Assessment November 18, 2021 Revised February 14, 2023 Revised June 16, 2023</p> <p><b>Analysis</b></p> <p><b>27.71.150 PRESERVATION OF EXISTING TREES.</b></p> <p><b>Landscape Unit Value (LU)</b></p> <ol style="list-style-type: none"> <li>The tree species, condition, and location values of the trees shall be based on an evaluation by an experienced landscape appraiser recognized by the American Society of Consulting Arborists utilizing the most recent Guide for Plant Appraisal, published by the Council of Tree and Landscape Appraisers; and approved by the Zoning Administrator.</li> <li>Trees not within the allowable building area shall receive a location factor of 1.0 (100%). Trees located within the allowable building area shall receive a location factor of .70 (70%).</li> <li>Trees designated as heritage trees shall receive a bonus percentage value of 1.25 (125%). Trees located within the allowable building area shall receive a location factor of .70 (70%).</li> <li>Trees designated as heritage trees shall receive a bonus percentage value of 1.25 (125%).</li> </ol> <p>All existing trees to be removed shall be given a LU value based upon the following calculation:</p> $(\text{species value} \% \times \text{condition value} \% \times \text{location value} \%)/.35 \times (\text{caliper inches} \times \text{bldg. setback} \% \times \text{heritage tree} \% ) = \text{LU}$ <p>Tree condition ratings and percentages are defined in the "Condition Rating" section of this report. The location rating were established at 63 percent (the average of site (90%), placement (50%), and contribution (50%).)</p> <p>The average L/U Value is 1.1025 or 1.575 depending on whether or not street trees are considered in the "allowable building area". The totals are either 3.3075 or 4.725 dependent on the building area status.</p> <p>Monarch Consulting Arborists LLC - P.O Box 1010, Felton, CA 95018 831.331.8982 - rick@monarcharborist.com Page 4 of 15</p>
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<p>31 S. B Street, San Mateo Arborist's Assessment November 18, 2021 Revised February 14, 2023 Revised June 16, 2023</p> <p><b>Discussion</b></p> <p><b>Condition Rating</b> A tree's condition is a determination of its overall health, structure, and form (ISA 2018). The assessment considered all three characteristics for a combined condition rating:</p> <ul style="list-style-type: none"> <li>100% - Exceptional = Good health and structure with significant size, location or quality.</li> <li>61-80% - Good = Normal vigor, well-developed structure, function and aesthetics not compromised with good longevity for the site.</li> <li>41-60% - Fair = Reduced vigor, damage, dieback, or pest problems, at least one significant structural problem or multiple moderate defects requiring treatment. Major asymmetry or deviation from the species normal habit, function and aesthetics compromised.</li> <li>21-40% - Poor = Unhealthy and declining appearance with poor vigor, abnormal foliar color, size or density with potential irreversible decline. One serious structural defect or multiple significant defects that cannot be corrected and failure may occur at any time. Significant asymmetry and compromised aesthetics and intended use.</li> <li>6-20% - Very Poor = Poor vigor and dying with little foliage in irreversible decline. Severe defects with the likelihood of failure being probable or imminent. Aesthetically poor with little or no function in the landscape.</li> <li>0-5% - Dead/Unstable = Dead or imminently ready to fail.</li> </ul> <p>All three trees are young and in good condition.</p> <p><b>Suitability for Preservation</b> A tree's suitability for preservation is determined based on its condition (health, structure, form), age, species, tolerance to disturbance, external and functional limitations, and potential longevity for the site using a scale of good, fair, or poor. The following list defines the rating scale (Fite, K, and Smiley, E. T., 2010):</p> <ul style="list-style-type: none"> <li>Good = Trees with good health, structural stability and longevity after construction.</li> <li>Fair = Trees with fair health and/or structural defects that may be mitigated through treatment. These trees require more intense management and monitoring, before, during, and after construction, and may have shorter life expectancy after development.</li> <li>Poor = Trees are expected to decline during or after construction regardless of management. The species or individual may possess characteristics that are incompatible or undesirable in landscape settings or unsuited for the intended use of the site.</li> </ul> <p>The trees have fair suitability for preservation.</p> <p>Monarch Consulting Arborists LLC - P.O Box 1010, Felton, CA 95018 831.331.8982 - rick@monarcharborist.com Page 5 of 15</p>	<p>31 S. B Street, San Mateo Arborist's Assessment November 18, 2021 Revised February 14, 2023 Revised June 16, 2023</p> <p><b>Expected Impact Level</b> Impact level defines how a tree may be affected by construction activity and proximity to the tree, and is described as low, moderate, or high. The following scale defines the impact rating:</p> <ul style="list-style-type: none"> <li>Low = The construction activity will have little influence on the tree.</li> <li>Moderate = The construction may cause future health or structural problems, and steps must be taken to protect the tree to reduce future problems.</li> <li>High = Tree structure and health will be compromised and removal is recommended, or other actions must be taken for the tree to remain. The tree is located in the building envelope.</li> </ul> <p>All three street trees will be retained on this site with limited to no impact.</p> <p><b>Tree Protection</b> Tree protection focuses on avoiding damage to the roots, trunk, or scaffold branches from heavy equipment. Either method indicated below will accomplish the required protection by bracing with vertical timbers or wrapping with wattle.</p> <p><b>SECTION VIEW</b></p> <p><b>TRUNK PROTECTION WITH WATTLE</b></p> <p><b>ELEVATION</b></p> <p><b>Trunk Protection Vertical Timber Detail</b></p> <p>Monarch Consulting Arborists LLC - P.O Box 1010, Felton, CA 95018 831.331.8982 - rick@monarcharborist.com Page 6 of 15</p>	<p>31 S. B Street, San Mateo Arborist's Assessment November 18, 2021 Revised February 14, 2023 Revised June 16, 2023</p> <p><b>Conclusion</b> There are no "Heritage Trees" as defined by the ordinance and all three trees are black locust "Street Trees". The trees are young and in good condition with fair suitability for preservation. The average L/U Value is 1.1025 or 1.575 depending on whether or not street trees are considered in the "allowable building area". The totals are either 3.3075 or 4.725 dependent on the building area status.</p> <p><b>Recommendations</b></p> <ol style="list-style-type: none"> <li>Protect the trunks of the trees from mechanical damage by wrapping with wattle or bracing with timbers.</li> <li>All tree maintenance, care, and removals shall be performed by a qualified arborist with a C-61/D-49 California Contractors License. Tree maintenance and care shall be specified in writing according to American National Standard for Tree Care Operations: <i>Tree, Shrub and Other Woody Plant Management, Standard Practices</i> parts 1 through 10 and adhere to ANSI Z133.1 safety standards and local regulations. All maintenance is to be performed according to ISA Best Management Practices.</li> </ol> <p><b>Bibliography</b></p> <p>American National Standard for Tree Care Operations: <i>Tree, Shrub and Other Woody Plant Management, Standard Practices (Management of Trees and Shrubs During Site Planning, Site Development, and Construction)(Part 5)</i>. Londonderry, NH: Secretariat, Tree Care Industry Association, 2019. Print.</p> <p>Fite, Kelby, and Edgar Thomas. <i>Managing trees during construction</i>, second edition. Champaign, IL: International Society of Arboriculture, 2016.</p> <p>ISA. <i>Guide For Plant Appraisal</i>. Savoy, IL: International Society Of Arboriculture, 2000. Print.</p> <p>ISA. <i>Species Classification and Group Assignment, 2004 Western Chapter Regional Supplement</i>. Western Chapter ISA</p> <p>Monarch Consulting Arborists LLC - P.O Box 1010, Felton, CA 95018 831.331.8982 - rick@monarcharborist.com Page 7 of 15</p>	<p>31 S. B Street, San Mateo Arborist's Assessment November 18, 2021 Revised February 14, 2023 Revised June 16, 2023</p> <p><b>Appendix A: Proposed Streetscape</b></p> <p><b>SECTION</b></p> <p><b>SECTION</b></p> <p>Monarch Consulting Arborists LLC - P.O Box 1010, Felton, CA 95018 831.331.8982 - rick@monarcharborist.com Page 8 of 15</p>																																																																		

NOT FOR  
CONSTRUCTION

ARBORIST REPORT

SHEET NAME: ARBORIST REPORT

SHEET NUMBER: L0.01

<p>31 S. B Street, San Mateo Arborist's Assessment November 18, 2021 Revised February 14, 2023 Revised June 16, 2023</p> <p><b>Appendix B: Tree Summary Table</b></p> <p>Table 2: Inventory Summary-1</p> <table border="1"> <thead> <tr> <th>Tree Species</th> <th>#</th> <th>Trunk Diameter (in.)</th> <th>Condition</th> <th>Expected Impact</th> <th>Disposition</th> <th>L/U Value</th> </tr> </thead> <tbody> <tr> <td>black locust (<i>Robinia pseudoacacia</i>)</td> <td>1</td> <td>5</td> <td>Good</td> <td>Low/ Retain</td> <td>Street Tree</td> <td>1.1025 or 1.575</td> </tr> <tr> <td>black locust (<i>Robinia pseudoacacia</i>)</td> <td>2</td> <td>5</td> <td>Good</td> <td>Low/ Retain</td> <td>Street Tree</td> <td>1.1025 or 1.575</td> </tr> <tr> <td>black locust (<i>Robinia pseudoacacia</i>)</td> <td>3</td> <td>5</td> <td>Good</td> <td>Low/ Retain</td> <td>Street Tree</td> <td>1.1025 or 1.575</td> </tr> </tbody> </table>		Tree Species	#	Trunk Diameter (in.)	Condition	Expected Impact	Disposition	L/U Value	black locust ( <i>Robinia pseudoacacia</i> )	1	5	Good	Low/ Retain	Street Tree	1.1025 or 1.575	black locust ( <i>Robinia pseudoacacia</i> )	2	5	Good	Low/ Retain	Street Tree	1.1025 or 1.575	black locust ( <i>Robinia pseudoacacia</i> )	3	5	Good	Low/ Retain	Street Tree	1.1025 or 1.575	<p>31 S. B Street, San Mateo Arborist's Assessment November 18, 2021 Revised February 14, 2023 Revised June 16, 2023</p> <p><b>Appendix C: Tree Protection Guidelines</b></p> <p><b>Pre-Construction Meeting with the Project Arborist</b></p> <p>Tree protection locations should be marked before any fencing contractor arrives.</p> <p>Prior to beginning work, all contractors involved with the project should attend a pre construction meeting with the project arborist to review the tree protection guidelines. Access routes, storage areas, and work procedures will be discussed.</p> <p><b>Tree Protection Zones and Fencing</b></p> <p>Tree protection fencing should be established prior to the arrival of construction equipment or materials on site. Fencing should be comprised of six-foot high chain link fencing mounted on eight-foot tall, 1 7/8-inch diameter galvanized posts, driven 24 inches into the ground and spaced no more than 10 feet apart. Once established, the fencing must remain undisturbed and be maintained throughout the construction process until final inspection.</p> <p>The fencing should be maintained throughout the site during the construction period and should be inspected periodically for damage and proper functions.</p> <p>Fencing should be repaired, as necessary, to provide a physical barrier from construction activities.</p> <p>A final inspection by the city arborist at the end of the project will be required prior to removing any tree protection fence and replacement tree shall be planted at this time.</p> <p><b>Tree Protection Signs</b></p> <p>All sections of fencing should be clearly marked with signs stating that all areas within the fencing are Tree Protection Zones and that disturbance is prohibited. Text on the signs should be in both English and Spanish (Appendix D).</p>		<p>31 S. B Street, San Mateo Arborist's Assessment November 18, 2021 Revised February 14, 2023 Revised June 16, 2023</p> <p><b>Monitoring</b></p> <p>Any trenching, construction or demolition that is expected to damage or encounter tree roots should be monitored by the project arborist or a qualified ISA Certified Arborist and should be documented.</p> <p>The site should be evaluated by the project arborist or a qualified ISA Certified Arborist after construction is complete, and any necessary remedial work that needs to be performed should be noted.</p> <p><b>Restrictions Within the Tree Protection Zone</b></p> <p>No storage of construction materials, debris, or excess soil will be allowed within the Tree Protection Zone. Spoils from the trenching shall not be placed within the tree protection zone either temporarily or permanently. Construction personnel and equipment shall be routed outside the tree protection zones.</p> <p><b>Root Pruning</b></p> <p>Root pruning shall be supervised by the project arborist. When roots over two inches in diameter are encountered they should be pruned by hand with loppers, handsaw, reciprocating saw, or chain saw rather than left crushed or torn. Roots should be cut beyond sinker roots or outside root branch junctions and be supervised by the project arborist. When completed, exposed roots should be kept moist with burlap or backfilled within one hour.</p> <p><b>Boring or Tunneling</b></p> <p>Boring machines should be set up outside the drip line or established Tree Protection Zone. Boring may also be performed by digging a trench on both sides of the tree until roots one inch in diameter are encountered and then hand dug or excavated with an Air Spade® or similar air or water excavation tool. Bore holes should be adjacent to the trunk and never go directly under the main stem to avoid oblique (heart) roots. Bore holes should be a minimum of three feet deep.</p> <p><b>Timing</b></p> <p>If the construction is to occur during the summer months supplemental watering and treatments should be applied to help ensure survival during and after construction.</p>		<p>31 S. B Street, San Mateo Arborist's Assessment November 18, 2021 Revised February 14, 2023 Revised June 16, 2023</p> <p><b>Monitoring</b></p> <p>Any trenching, construction or demolition that is expected to damage or encounter tree roots should be monitored by the project arborist or a qualified ISA Certified Arborist and should be documented.</p> <p>The site should be evaluated by the project arborist or a qualified ISA Certified Arborist after construction is complete, and any necessary remedial work that needs to be performed should be noted.</p> <p><b>Restrictions Within the Tree Protection Zone</b></p> <p>No storage of construction materials, debris, or excess soil will be allowed within the Tree Protection Zone. Spoils from the trenching shall not be placed within the tree protection zone either temporarily or permanently. 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Tree Species	#	Trunk Diameter (in.)	Condition	Expected Impact	Disposition	L/U Value																													
black locust ( <i>Robinia pseudoacacia</i> )	1	5	Good	Low/ Retain	Street Tree	1.1025 or 1.575																													
black locust ( <i>Robinia pseudoacacia</i> )	2	5	Good	Low/ Retain	Street Tree	1.1025 or 1.575																													
black locust ( <i>Robinia pseudoacacia</i> )	3	5	Good	Low/ Retain	Street Tree	1.1025 or 1.575																													
<p>Monarch Consulting Arborists LLC - P.O. Box 1010, Felton, CA 95018 831.331.8982 - rick@monarcharborist.com Page 9 of 15</p>		<p>Monarch Consulting Arborists LLC - P.O. Box 1010, Felton, CA 95018 831.331.8982 - rick@monarcharborist.com Page 10 of 15</p>		<p>Monarch Consulting Arborists LLC - P.O. Box 1010, Felton, CA 95018 831.331.8982 - rick@monarcharborist.com Page 11 of 15</p>																															
<p>31 S. B Street, San Mateo Arborist's Assessment November 18, 2021 Revised February 14, 2023 Revised June 16, 2023</p> <p><b>Appendix D: Tree Protection Signs</b></p> <p>D1: English</p> <p><b>CUIDADO</b> Zona De Arbol Pretejido</p> <p>This Fence Shall not be moved without approval. Only authorized personnel may enter this area!</p> <p>Project Arborist</p>		<p>31 S. B Street, San Mateo Arborist's Assessment November 18, 2021 Revised February 14, 2023 Revised June 16, 2023</p> <p><b>D2: Spanish</b></p> <p>Esta cerca no sera removida sin aprobacion. Solo personal autorizado entrara en esta area!</p> <p>Project Arborist</p>		<p>31 S. B Street, San Mateo Arborist's Assessment November 18, 2021 Revised February 14, 2023 Revised June 16, 2023</p> <p><b>Qualifications, Assumptions, and Limiting Conditions</b></p> <p>Any legal description provided to the consultant is assumed to be correct. Any titles or ownership of properties are assumed to be good and marketable. All property is appraised or evaluated as though free and clear, under responsible ownership and competent management.</p> <p>All property is presumed to be in conformance with applicable codes, ordinances, statutes, or other regulations.</p> <p>Care has been taken to obtain information from reliable sources. However, the consultant cannot be responsible for the accuracy of information provided by others.</p> <p>The consultant shall not be required to give testimony or attend meetings, hearings, conferences, mediations, arbitration, or trials by reason of this report unless subsequent contractual arrangements are made, including payment of an additional fee for such services.</p> <p>This report and any appraisal value expressed herein represent the opinion of the consultant, and the consultant's fee is not contingent upon the reporting of a specified appraisal value, a stipulated result, or the occurrence of a subsequent event.</p> <p>Sketches, drawings, and photographs in this report are intended for use as visual aids, are not necessarily to scale, and should not be construed as engineering or architectural reports or surveys. The reproduction of information generated by architects, engineers, or other consultants on any sketches, drawings, or photographs is only for coordination and ease of reference. Inclusion of said information with any drawings or other documents does not constitute a representation as to the sufficiency or accuracy of said information.</p> <p>Unless otherwise expressed: a) this report covers only examined items and their condition at the time of inspection; and b) the inspection is limited to visual examination of accessible items without dissection, excavation, probing, or coring. There is no warranty or guarantee, expressed or implied, that structural problems or deficiencies of plants or property may not arise in the future.</p> <p>Richard J. Gessner, Certify: That I have personally inspected the tree(s) and/or the property referred to in this report, and have stated my findings accurately. The extent of the evaluation and/or appraisal is stated in the attached report and Terms of Assignment; That I have no current or prospective interest in the vegetation or the property that is the subject of this report, and I have no personal interest or bias with respect to the parties involved; That the analysis, opinions and conclusions stated herein are my own; That my analysis, opinions, and conclusions were developed and this report has been prepared according to commonly accepted Arboricultural practices; That no one provided significant professional assistance to the consultant, except as indicated within the report; That my compensation is not contingent upon the reporting of a predetermined conclusion that favors the cause of the client or any other party, nor upon the results of the assessment, the attainment of stipulated results, or the occurrence of any other subsequent events; I further certify that I am a Registered Consulting Arborist® with the American Society of Consulting Arborists, and that I acknowledge, accept and adhere to the ASCA Standards of Professional Practice. I am an International Society of Arboriculture Board Certified Master Arborist® and Tree Risk Assessor Qualified. I have been involved with the practice of Arboriculture and the care and study of trees since 1999.</p> <p>Richard J. Gessner ASCA Registered Consulting Arborist® #496 ISA Board Certified Master Arborist® WE-4341B</p> <p><b>Copyright</b></p> <p>© Copyright 2023, Monarch Consulting Arborists LLC. Other than specific exception granted for copies made by the client for examination purposes in this report, no parts of this publication may be reproduced, stored in a retrieval system, or transmitted in any form or by any means, electronic, mechanical, recording, or otherwise without the express, written permission of the author.</p>																															

NOT FOR  
CONSTRUCTION

ARBORIST REPORT

L0.02

RMW  
Architecture  
Interiors

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4th Floor  
San Francisco  
California 94111

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JECT NAME & ADDRESS:  
**7 S. B STREET**

S. B STREET  
SAN MATEO, CA 94401

UE:	PLANNING APPLICATION RESUBMIT	
UE DATE:	05/	
ISIONS :		
DESCRIPTION	DA	
PLANNING APPLICATION	11/	
PLANNING APPLICATION RESUBMITTAL	03/	

LE:  
JECT NUMBER: 22020  
WN BY: Y  
CKED BY: M

# NOT FOR CONSTRUCTION

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ET NAME:

# TREE PLANTING FORM

SET NUMBER:

Please see L0.02 (PAGE 9) for Tree Inventory Table in Arborist Report

## Existing Tree Evaluation Schedule with Landscape Unit Values

**\*\*Must be Completed and Attached to Arborist Report**

### Required For Projects Involving the Removal of Trees 6" or More in Diameter for the Construction of New Residential Dwelling Units, Building Additions or Parking Lot Additions.

An Arborist Report and an Existing Tree Evaluation Schedule with Landscape Unit Values is required for all trees with a diameter of 6 inches or more proposed for removal. This Inventory must be prepared by an Arborist or Licensed Landscape Architect consistent with SMMC 27.71.150 PRESERVATION OF EXISTING TREES. Please submit an excel file with the information below.

#### Existing Tree Evaluation Schedule:

Formula for Calculating LU Value:  $(\text{_____} \times \text{_____} \times \text{_____}) \div 0.35 \times (\text{_____} \times \text{_____} \times \text{_____}) = \text{_____}$

Ref.	Species Name	Fate: Preserved / Removed	Species Value %	Condition Value %	Location Value %	0.35	Caliper Size (inches)	0.70 if in allowable bldg. area	1.25 if Heritage Tree	LU Value
						0.35				
						0.35				
						0.35				
						0.35				
						0.35				

Total LU Value of Trees to be Removed: \_\_\_\_\_

30

The Planning Application Guide

## Required Tree Planting (On-site Trees)

Zoning Code, Section 27.71 – Landscape, requires all projects to have a minimum ratio of **1 tree per 400 square feet** of landscaped area. Existing trees that are a minimum of 6 inch diameter may count toward this total.

Landscape Area: 498 sq. ft.  $\div$  400 = 1.245 (a)

Number of existing trees from Tree Evaluation Schedule with a 6 inch or greater diameter **to be preserved**: 0 (b)

Landscape Unit (LU) value of trees **to be removed** from the Tree Evaluation Schedule: 0 (c)

Minimum LU value to be replaced and/or met through payment of in-lieu fees:  $[a - b + c = d]$  1.245 (d)

### New Trees:

A “landscape unit” (LU) value equivalent to (d) above, must either be planted on site, or an “in-lieu” fee paid to the city’s street tree planting fund. If the LU value shown at (e) is not equal or greater than (d), then an in-lieu fee must be paid to the City’s street tree planting fund at the rate defined annually in the City’s Comprehensive Fee Schedule for each deficient LU.

### New Trees Being Planted\*

Quantity	Size	LU Value	Total LU Value
	15 gallon	1	
	24 inch box	2	
0	36 inch box	3	0
	48 inch box	4	
<b>Total LU Value of new trees being proposed:</b>			<u>0</u> (e)

\*New replacement trees shall be in addition to and not substitute requirements for new street trees, parking lot trees or other required trees.

### Fees Owed to the City Street Tree Planting Fund:

If (d) is greater than (e), there will be an LU value deficit calculated as follows:

$[d - e = 1.245 \times (\text{the annually defined \$ per LU value as per Current Comprehensive Fee Schedule})]$  = \$ 419.40

31

1.245 x \$336.86\* = \$419.40

\* Landscape Unit In-lieu fee (per LU) \$336.86

The Planning Application Guide

## Required Tree Planting (Street Trees)

Zoning Code, Section 27.71 – Landscape, requires all projects to have a minimum ratio of **1 tree per 400 square feet** of landscaped area. Existing trees that are a minimum of 6 inch diameter may count toward this total.

Landscape Area: \_\_\_\_\_ sq. ft.  $\div$  400 = 0 (a)

Number of existing trees from Tree Evaluation Schedule with a 6 inch or greater diameter **to be preserved**: 0 (b)

Landscape Unit (LU) value of trees **to be removed** from the Tree Evaluation Schedule: 0 (c)

Minimum LU value to be replaced and/or met through payment of in-lieu fees: **[a – b + c = d]** 0 (d)

### New Trees:

A “landscape unit” (LU) value equivalent to (d) above, must either be planted on site, or an “in-lieu” fee paid to the city’s street tree planting fund. If the LU value shown at (e) is not equal or greater than (d), then an in-lieu fee must be paid to the City’s street tree planting fund at the rate defined annually in the City’s Comprehensive Fee Schedule for each deficient LU.

New Trees Being Planted*				
Quantity	Size	LU Value	Total LU Value	
	15 gallon	1		
	24 inch box	2		
4	36 inch box	3	12	
	48 inch box	4		
<b>Total LU Value of new trees being proposed:</b>			<b>12</b>	(e)

\*New replacement trees shall be in addition to and not substitute requirements for new street trees, parking lot trees or other required trees.

### Fees Owed to the City Street Tree Planting Fund:

If (d) is greater than (e), there will be an LU value deficit calculated as follows:

**[d – e = -12 x (the annually defined \$ per LU value as per Current Comprehensive Fee Schedule) = \$ 0]**

31

The Planning Application Guide

LE:  
JECT NUMBER: 22020  
WN BY: Y  
CKED BY: M

# NOT FOR CONSTRUCTION

---

ET NAME:

# TREE PLANTING FORM

SET NUMBER:

ISSUE:	PLANNING APPLICATION RESUBMITTAL #4
ISSUE DATE:	05/06/2024
REVISIONS:	
	DESCRIPTION DATE
1	PLANNING APPLICATION 11/16/2022
2	PLANNING APPLICATION RESUBMITTAL #2 03/10/2023
3	PLANNING APPLICATION RESUBMITTAL #3 07/21/2023
4	PLANNING APPLICATION RESUBMITTAL #4 11/03/2023

### MATERIALS SCHEDULE

#### PAVEMENTS

- (A1) CONCRETE PAVING, CITY STANDARD MED. BROOM FINISH
- (B1) SPECIALTY PAVING AT INTERSECTION, CITY STANDARD BRICK HERRINGBONE
- (B2) SPECIALTY PAVING AT FURNISHING ZONE, CITY STANDARD BRICK RUNNING BOND W/ PERPENDICULAR BRICK BAND
- (C1) PRECAST CONCRETE UNIT PAVER
- (C2) BRIDGE OVER STORMWATER PLANTER

#### PLANTER, CURBS & WALLS

- (G1) AT GRADE PLANTING AREA
- (G2) RAISED PLANTING AREA
- (G3) STORMWATER PLANTING AREA
- (G4) NOT USED

#### PERMEABLE PAVING, SEE CIVIL

#### CURB CUT

#### CURB EXTENSION

#### BULB-OUT

#### PLANTING AREA FOR VINES

#### PARTIAL WALL REMOVAL AT CORNER (SEE DETAIL 1)

#### SITE FURNISHINGS, PARKING

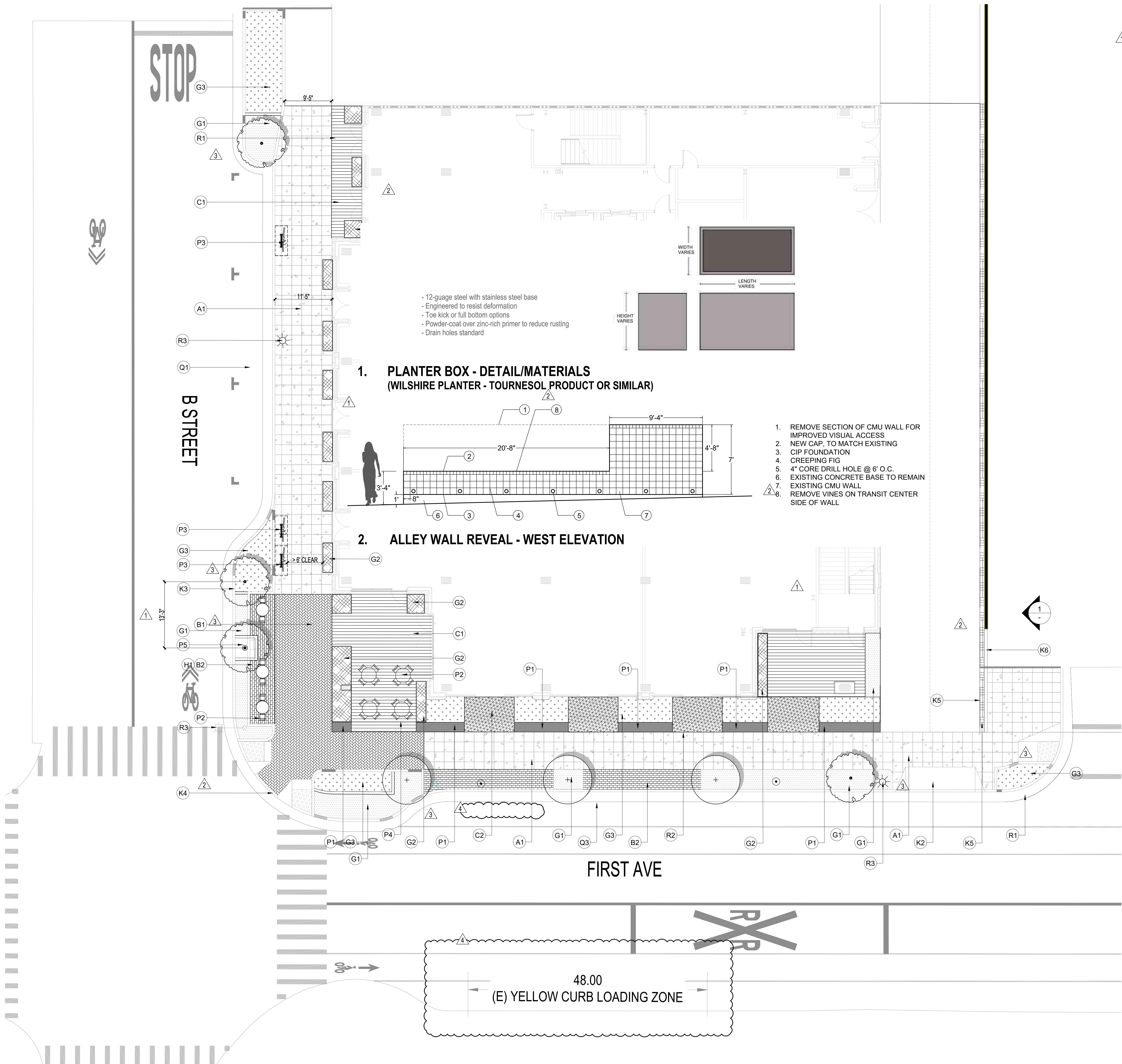
- (P1) SITE BENCH (SEE DETAIL 2)
- (P2) MOVEABLE FURNITURE (TBD BY TENANT)
- (P3) CITY STD WELLE CIRCLE BIKE RACK (6 SPACES TOTAL)
- (P4) FENCE ENCLOSURE (36" HT)
- (P5) TREE GRATE, CITY STANDARD URBAN ACCESSORIES
- (Q1) PARKING (3 SPACE)
- (Q2) NOT USED
- (Q3) BUS STOP
- (R1) EXISTING CURBLINE
- (R2) PROPERTY LINE
- (R3) STREET LIGHT

SCALE:  
PROJECT NUMBER: 2202017.00  
DRAWN BY: YW  
CHECKED BY: MM  
STAMP:

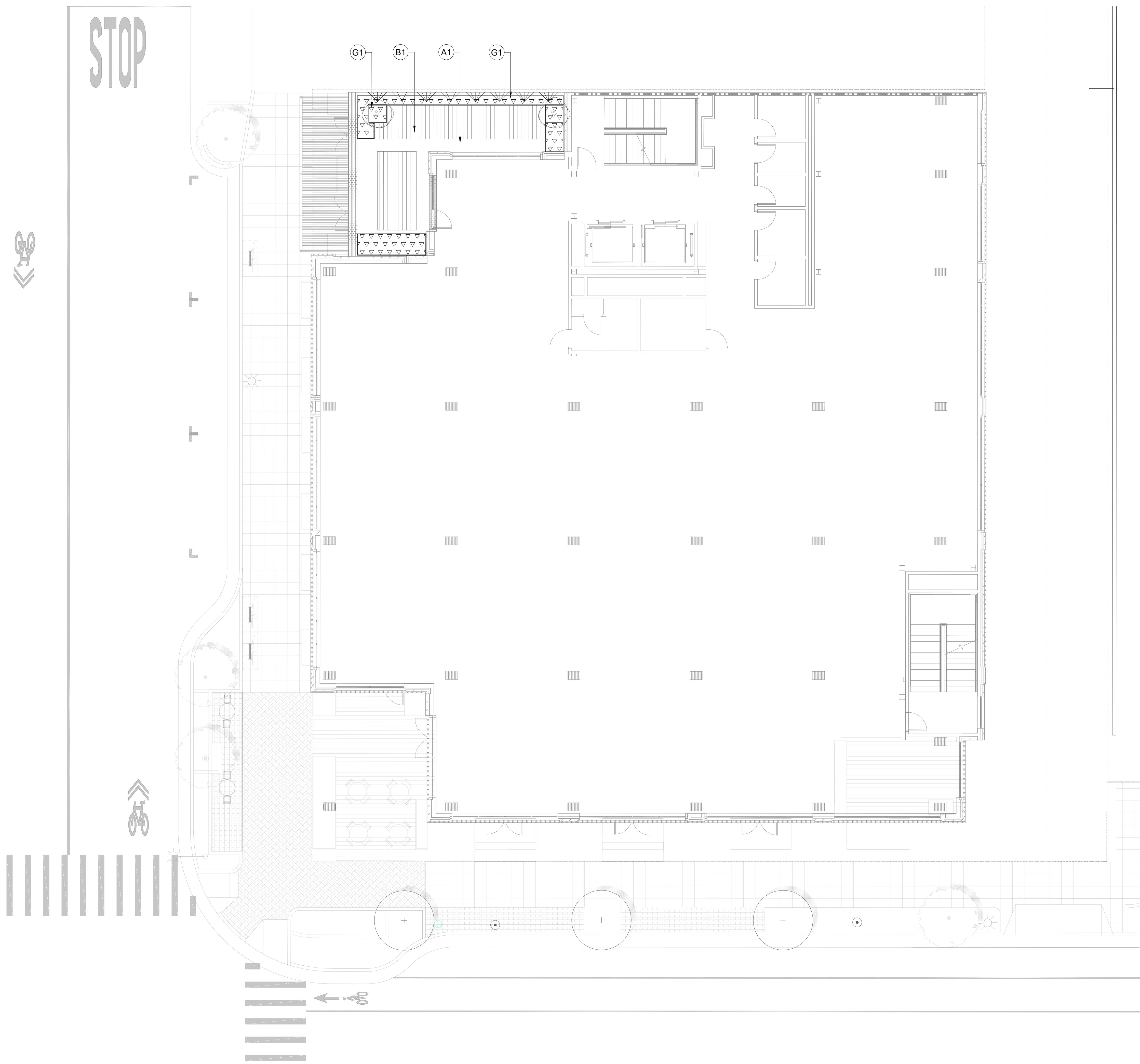
NOT FOR  
CONSTRUCTION

SHEET NAME: LANDSCAPE PLAN - GROUND FLOOR

SHEET NUMBER: L1.00



3. BENCH DETAIL, WITH ARM RESTS AT 4' O.C.  
(LINK BENCH - LANDSCAPE FORMS)



**STOP**

LARGE SHRUB (UPPER TERRACES)												
SYMBOL	KEY	BOTANICAL NAME	COMMON NAME	MINIMUM SIZE (HT.X SPRD.)	SPACING	NOTES						
PLANT SCHEDULE												
RAISED PLANTERS (UPPER FLOOR TERRACES)												
△ △ △ △ △ △		BOUTELOUA GRACILIS 'BLONDE AMBITION'	BLONDE AMBITION BLUE GRAMMA GRASS	#1	12" O.C.							
△ △ △ △ △ △		NANDINA DOMESTICA 'GULF STREAM'	COMPACT HEAVENLY BAMBOO	#5	24" O.C.							
△ △ △ △ △ △		MAHONIA AQUIFOLIUM 'COMPACTA'	LOW ORANGE GRAPE	#3	12" O.C.							
△ △ △ △ △ △		CISTUS SPP.	ROCKROSE	#5	3' O.C.							
		TRACHELOSPERMUM JASMINOIDES	JASMINE VINE		4' O.C.	USED AT 2ND FLOOR TERRACE						

**RW**

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MW  
rchitecture  
teriors

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ffice  
15 781-9800

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4th Floor  
San Francisco  
California 94111

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415 788-5216

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CLIENT:

PROJECT NAME & ADDRESS:  
**57 S. B STREET**

57 S. B STREET  
SAN MATEO, CA 94401

ISSUE:	PLANNING APPLICATION RESUBMITTAL #4	
ISSUE DATE:	05/06/2024	
<hr/>		
REVISIONS :		
	<b>DESCRIPTION</b>	<b>DATE</b>
	PLANNING APPLICATION	11/16/2022
1	PLANNING APPLICATION RESUBMITTAL	03/10/2023
2	PLANNING APPLICATION RESUBMITTAL #2	07/21/2023
3	PLANNING APPLICATION RESUBMITTAL #3	11/03/2023
4	PLANNING APPLICATION RESUBMITTAL #4	05/06/2024

## MATERIALS SCHEDULE

PAVEME

- (A1) CONCRETE PAVER ON PEDESTAL, TYP
- (B1) WOOD DECKING ON PEDESTAL, TYP

PLANTER

- (G1) RAISED PLANTING AREA, 36"

## PLANTER

#### G1 RAISED PLANTING AREA, 36"

63

- (G1) RAISED PLANTING AREA, 36"
- (G2) RAISED PLNATING AREA, 48"

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SCALE: \_\_\_\_\_

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PROJECT NUMBER: 2202017.00

DRAWN BY: YW

CHECKED BY: MMc

---

# NOT FOR CONSTRUCTION

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SHEET NAME:

# LANDSCAPE & PLANTING PLAN - LEVEL 2 TERRACE

**NOTE: TERRACE TO BE FURNISHED BY OWNER**

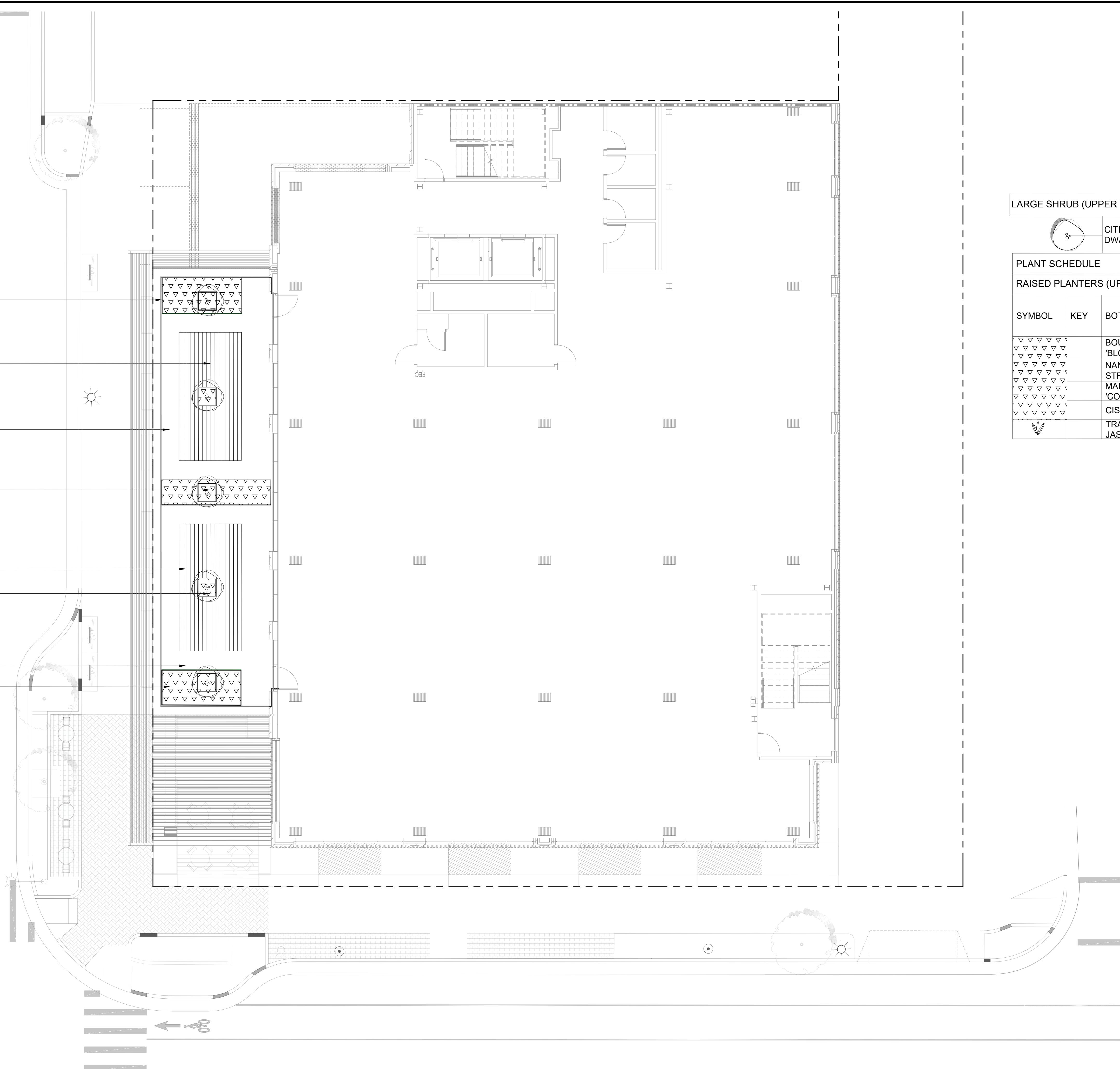
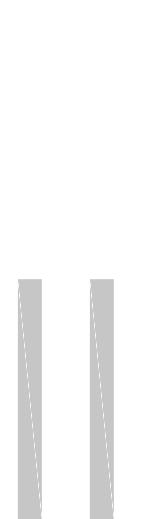
SCALE: 1/8" = 1' - 0"



A scale bar consisting of a horizontal line with tick marks. The first tick mark is labeled '0'. The second tick mark is labeled '2'. The third tick mark is labeled '4'. The fourth tick mark is labeled '8'. The fifth tick mark is labeled '16'. The distance between the '0' and '16' marks is equivalent to 1 foot, 0 inches.

# L1.01

STOP



## LARGE SHRUB (UPPER TERRACES)

	CITRUS KUMQUAT 'NAGAMI' DWARF	DWARF NAGAMI KUMQUAT	15 GALLON		UPPER TERRACES
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## PLANT SCHEDULE

## RAISED PLANTERS (UPPER FLOOR TERRACES)

SYMBOL	KEY	BOTANICAL NAME	COMMON NAME	MINIMUM SIZE (HT.X SPRD.)	SPACING	NOTES
		BOUTELOUA GRACILIS 'BLONDE AMBITION'	BLONDE AMBITION BLUE GRAMMA GRASS	#1	12" O.C.	
		NANDINA DOMESTICA 'GULF STREAM'	COMPACT HEAVENLY BAMBOO	#5	24" O.C.	
		MAHONIA AQUIFOLIUM 'COMPACTA'	LOW ORANGE GRAPE	#3	12" O.C.	
		CISTUS SPP.	ROCKROSE	#5	3" O.C.	
		TRACHELOSPERMUM JASMINOIDES	JASMINE VINE		4" O.C.	USED AT 2ND FLOOR TERRACE

## MATERIALS SCHEDULE

## PAVEMENTS

- (A1) CONCRETE PAVER ON PEDESTAL, TYP
- (B1) WOOD DECKING ON PEDESTAL, TYP

## PLANTER

- (G1) RAISED PLANTING AREA, 36"
- (G2) RAISED TREE PLANTING AREA, 48"

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 San Francisco  
 California 94111  
 Office 415 781-9800  
 Fax 415 788-5216  
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 Portland OR 97209  
 503.334.2080  
 www.place.la

CLIENT:

**HARVEST**  
 PROPERTIES

PROJECT NAME & ADDRESS:  
**57 S. B STREET**

**57 S. B STREET**  
 SAN MATEO, CA 94401

ISSUE: PLANNING APPLICATION RESUBMITTAL #4  
 ISSUE DATE: 05/06/2024

REVISIONS:

DESCRIPTION	DATE
PLANNING APPLICATION	11/16/2022
1 PLANNING APPLICATION RESUBMITTAL	03/10/2023
2 PLANNING APPLICATION RESUBMITTAL #2	07/21/2023
3 PLANNING APPLICATION RESUBMITTAL #3	11/03/2023
4 PLANNING APPLICATION RESUBMITTAL #4	05/06/2024

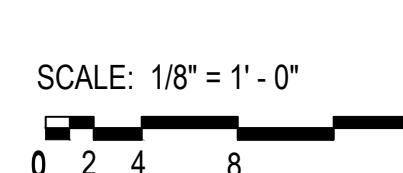
SCALE:  
 PROJECT NUMBER: 2202017.00  
 DRAWN BY: YW  
 CHECKED BY: MM  
 STAMP:

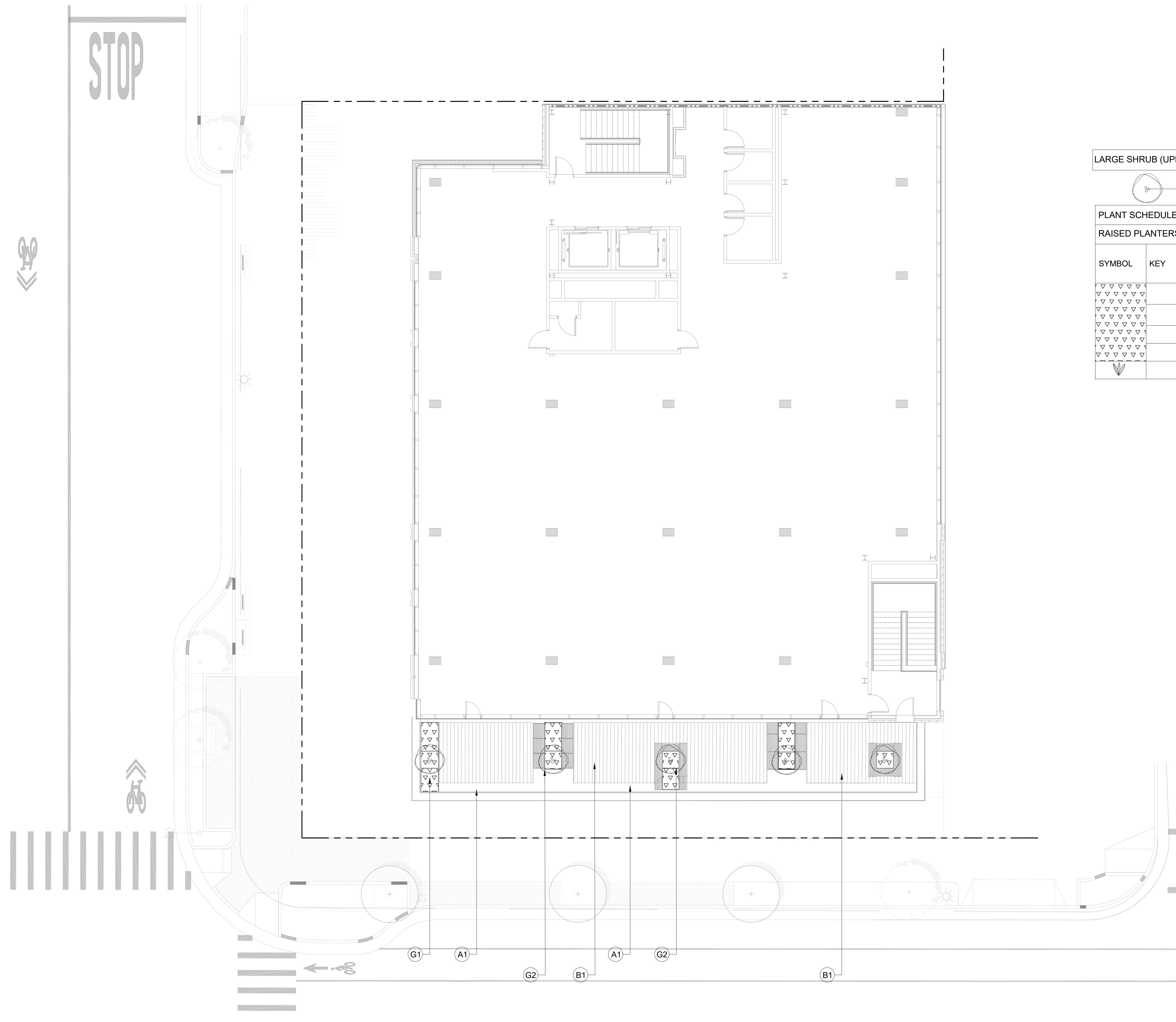
**NOT FOR  
 CONSTRUCTION**

SHEET NAME:  
**LANDSCAPE &  
 PLANTING PLAN -  
 LEVEL 3 TERRACE**

SCALE: 1/8" = 1' - 0"  
 0 2 4 6 8 10 12 14 16  
 SHEET NUMBER:  
**L1.02**

NOTE: TERRACE TO BE FURNISHED BY OWNER





LARGE SHRUB (UPPER TERRACES)					
		CITRUS KUMQUAT 'NAGAMI' DWARF	DWARF NAGAMI KUMQUAT	15 GALLON	UPPER TERRACES
PLANT SCHEDULE					
RAISED PLANTERS (UPPER FLOOR TERRACES)					
SYMBOL	KEY	BOTANICAL NAME	COMMON NAME	MINIMUM SIZE (HT.X SPRD.)	SPACING
		BOUTELOUA GRACILIS 'BLONDE AMBITION'	BLONDE AMBITION BLUE GRAMMA GRASS	#1	12" O.C.
		NANDINA DOMESTICA 'GULF STREAM'	COMPACT HEAVENLY BAMBOO	#5	24" O.C.
		MAHONIA AQUIFOLIUM 'COMPACTA'	LOW ORANGE GRAPE	#3	12" O.C.
		CISTUS SPP.	ROCKROSE	#5	3" O.C.
		TRACHELOSPERMUM JASMINOIDES	JASMINE VINE		4" O.C. USED AT 2ND FLOOR TERRACE

#### MATERIALS SCHEDULE

PAVEMENTS  
 A1 CONCRETE PAVER ON PEDESTAL, TYP  
 B1 WOOD DECKING ON PEDESTAL, TYP

PLANTER  
 G1 RAISED PLANTING AREA, 36"  
 G2 RAISED TREE PLANTING AREA, 48"

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CLIENT:



PROJECT NAME & ADDRESS:  
57 S. B STREET

57 S. B STREET  
SAN MATEO, CA 94401

ISSUE: PLANNING APPLICATION RESUBMITTAL #4  
ISSUE DATE: 05/06/2024

REVISIONS	DESCRIPTION	DATE
1	PLANNING APPLICATION	11/16/2022
2	PLANNING APPLICATION RESUBMITTAL	03/10/2023
3	PLANNING APPLICATION RESUBMITTAL #2	07/21/2023
4	PLANNING APPLICATION RESUBMITTAL #3	11/03/2023
4	PLANNING APPLICATION RESUBMITTAL #4	05/06/2024

SCALE:  
PROJECT NUMBER: 2202017.00  
DRAWN BY: YW  
CHECKED BY: MM  
STAMP:

NOT FOR  
CONSTRUCTION

SHEET NAME:  
LANDSCAPE &  
PLANTING PLAN -  
LEVEL 4 TERRACE

SCALE: 1/8" = 1' - 0"  
0 2 4 8 16  
N  
SHEET NUMBER:  
L1.03

NOTE: TERRACE TO BE FURNISHED BY OWNER

TREE SCHEDULE						
SYMBOL	BOTANICAL NAME	COMMON NAME	MINIMUM SIZE	SPACING	QUANTITY	NOTES
+	EXISTING TREE TO REMAIN				3	SEE L (3 TREES ON 1ST AVE)
+	HANDROANTHUS HEPTAPHYLLUS	PINK TRUMPET TREE	36" BOX	AS SHOWN	4	STREET TREE REQ. SOUTH B STREET(3) & 1ST AVENUE(1)
LARGE SHRUB (UPPER TERRACES)						
8+	CITRUS KUMQUAT 'NAGAMI' DWARF	DWARF NAGAMI KUMQUAT	15 GALLON			UPPER TERRACES
RAISED PLANTERS						
SYMBOL	KEY	BOTANICAL NAME	COMMON NAME	MINIMUM SIZE (HT.X SPRD.)	SPACING	NOTES
▼▼▼▼▼		ILEX CRENATA 'SOFT TOUCH'	SOFT TOUCH COMPACT JAPANESE HOLLY	#3	36" O.C.	
▼▼▼▼▼		SALVIA NEMOROSA	WOODLAND SAGE	#3	18" O.C.	
▼▼▼▼▼		BOUTELOUA GRACILIS	BLUE GRAMA GRASS	#3	18" O.C.	
▼▼▼▼▼		NANDINA DOMESTICA 'GULF STREAM'	DWARF NANDINA	#3	18" O.C.	
▼▼▼▼▼		SESLERIA AUTUMNALIS	AUTUMN MOOR GRASS	#3	18" O.C.	
▼▼▼▼▼		FRAGARIA CHILOENSIS	BEACH STRAWBERRY	#3	6" O.C.	
▲		AKEBIA QUINATA	CHOCOLATE VINE		AS SHOWN	SW CORNER PLAZA & 2ND LEVEL TERRACE
▼		TRACHELOSPERMUM JASMINOIDES	STAR JASMINE		AS SHOWN	SW CORNER PLAZA
■■■■■		FICUS PUMILA	CREEPING FIG		AT 4' O.C.	USED AT ALLEY WALL
DRY SHADE (SOUTHEAST CORNER RAISED PLANTERS)						
■■■■■	100	JUNCUS PATENS	CALIFORNIA RUSH	12" O.C.		
AT GRADE STREETSCAPE PLANTING						
SYMBOL	KEY	BOTANICAL NAME	COMMON NAME	MINIMUM SIZE (HT.X SPRD.)	SPACING	NOTES
20		BOUTELOUA GRACILIS 'BLONDE AMBITION'	BLONDE AMBITION BLUE GRAMMA GRASS	#1	12" O.C.	
30		NANDINA DOMESTICA 'GULF STREAM'	COMPACT HEAVENLY BAMBOO	#5	24" O.C.	
10		SALVIA GREGII 'SIERRA LINDA'	PINK AUTUMN SAGE	#5	24" O.C.	
10		POTENTILLA FRUTICOSA	SHRUBBY CINQUEFOIL	#5	24" O.C.	
30		ROSEMARINUS FORESTERI 'FORESTERI'	FORESTERI ROSEMARY	#5	24" O.C.	
STORM FACILITY PLANTING SCHEDULE						
SYMBOL	%	PLANT SPECIES		MINIMUM SIZE	SPACING	QUANTITY
■■■■■	25	STIPA ARUNDINACEA		#1 CONT.	1.5' O.C.	
■■■■■	25	CHONDRAPETALUM TECHTORUM		#1 CONT.	1.5' O.C.	
■■■■■	25	JUNCUS PATENS 'ELK BLUE'		#1 CONT.	1.5' O.C.	
■■■■■	25	DESCHAMPSIA CESPITOSA		#1 CONT.	1.5' O.C.	
STORM FACILITY PLANTING SCHEDULE						
■■■■■	100	CHONDRAPETALUM TECHTORUM		#1 CONT.	1.5' O.C.	

## NOTE:

1. PLANT QUANTITIES IN 'STORM FACILITY PLANTING SCHEDULE' ARE BROKEN OUT FOR PERMIT REVIEW.
2. STORM FACILITY PLANT QUANTITIES ARE CALCULATED TO OVERFLOW LEVEL OF BASIN.

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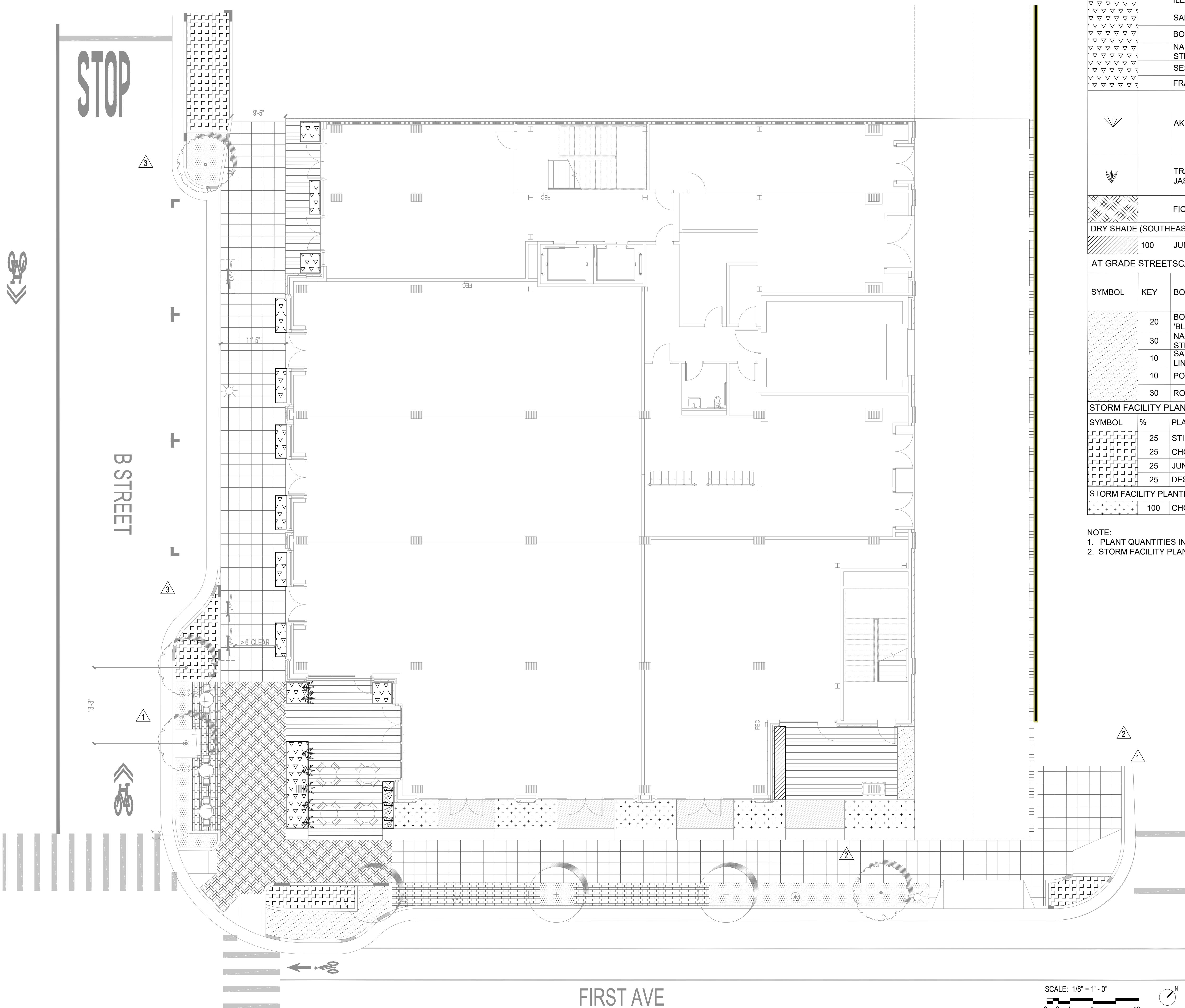
NOT FOR  
CONSTRUCTION

## SHEET NAME:

PLANTING PLAN -  
GROUND FLOOR

## SHEET NUMBER:

L2.00



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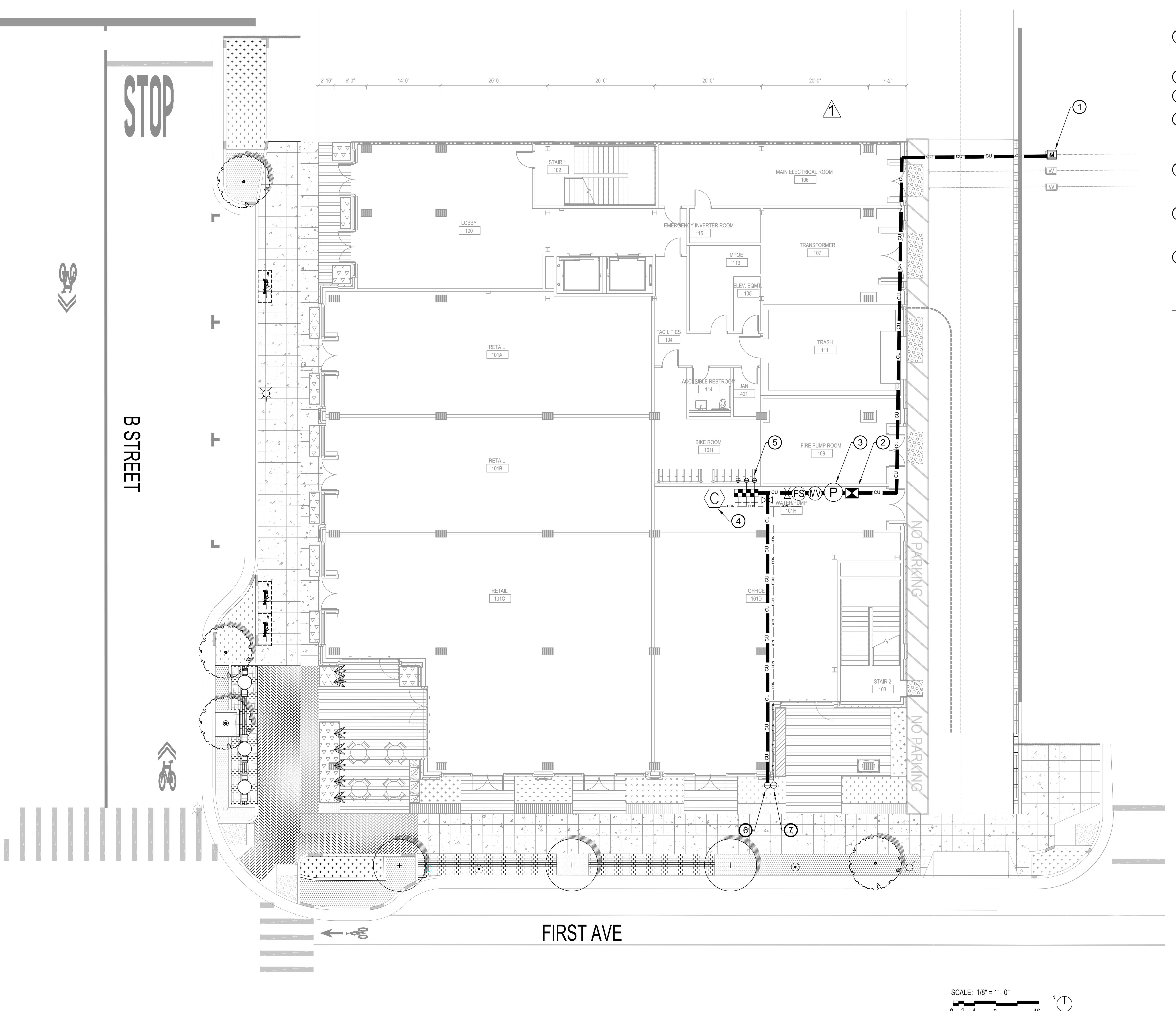
NOT FOR  
CONSTRUCTION

SHEET NAME: IRRIGATION PLAN -  
GROUND FLOOR

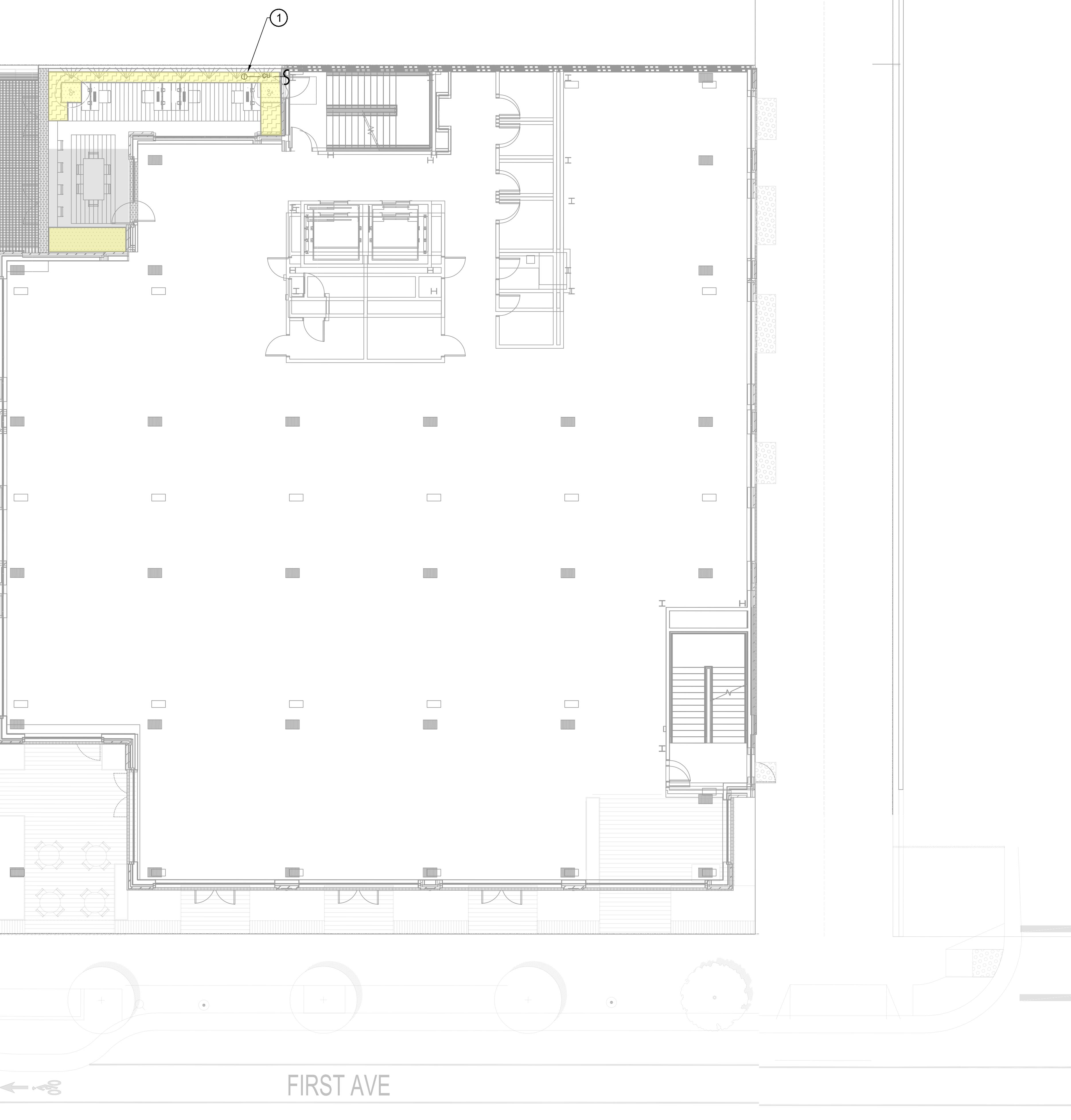
Irrigation Consultant:  
Russell D. Mitchell Associates, Inc.  
2760 Camino Diablo  
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tel 925.939.3985 • fax 925.932.5671  
www.rmairrigation.com

SHEET NUMBER:

L3.00



STOP



B STREET

FIRST AVE

## PLAN NOTES LEGEND

① 1" COPPER PIPE STUB-CUTS FOR IRRIGATION FROM REMOTE CONTROL VALVE LOCATED INSIDE MECHANICAL ROOM AT SITE LEVEL TO THIS APPROXIMATE LOCATION TO BE PROVIDED AND INSTALLED UNDER PLUMBING CONTRACT. COORDINATE INSTALLATION OF PIPES WITH GENERAL/PLUMBING CONTRACTOR(S) PRIOR TO CONSTRUCTION .

WATER USAGE LEGEND		
	HYDROZONE A	LOW WATER-USE PLANTS
	HYDROZONE B	MODERATE WATER-USE PLANTS

NOTE: PLEASE REFER TO LANDSCAPE SHEETS FOR COMPLETE REVISIONS TO LANDSCAPE BASE.

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CLIENT:  
  
**HARVEST**  
 PROPERTIES

PROJECT NAME & ADDRESS:  
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IRRIGATION PLAN -  
 LEVEL 2 TERRACE

SCALE: 1/8" = 1' - 0"  
 0 2 4 8 16

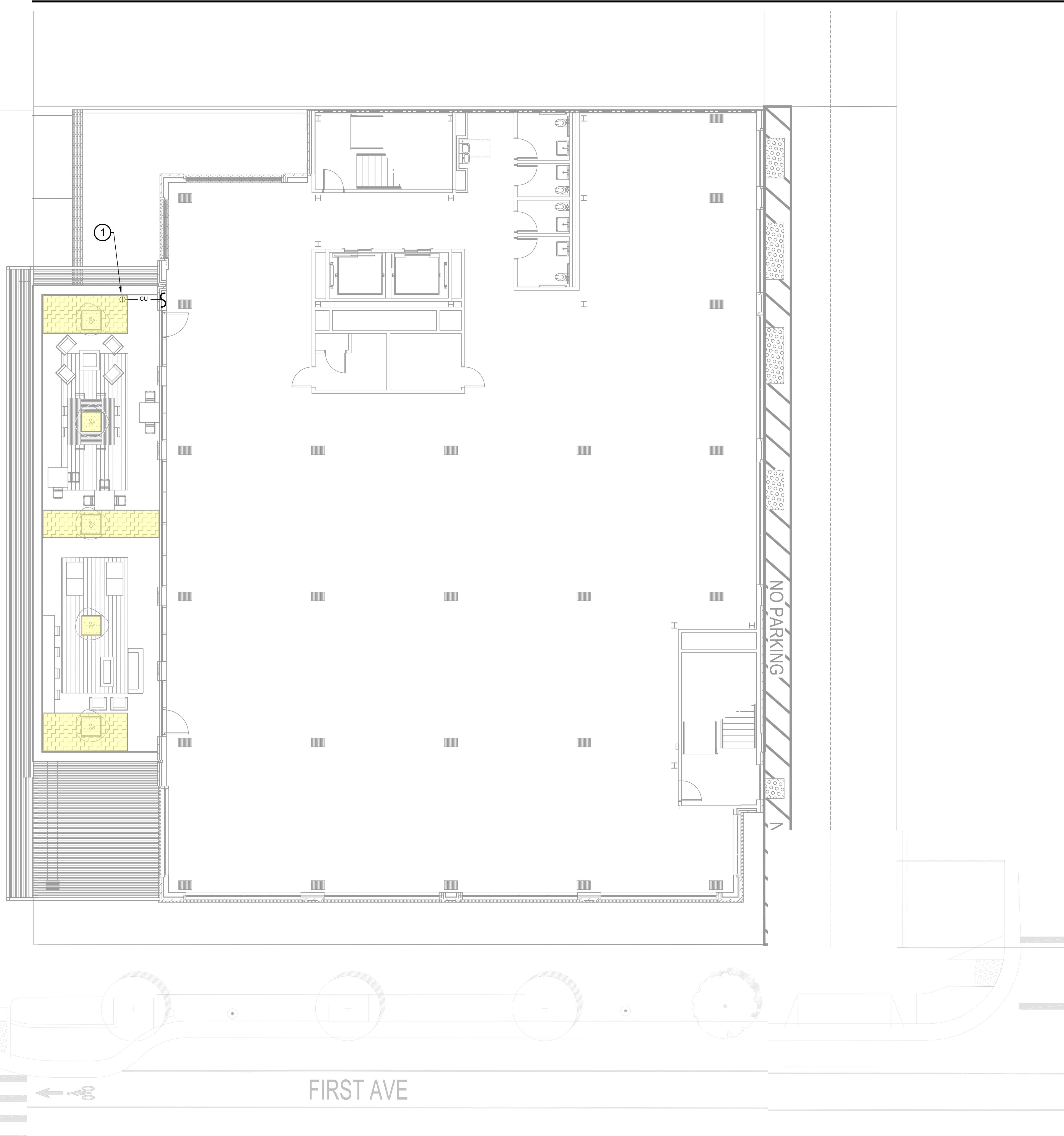
L3.01

SHEET NUMBER:

STOP

B STREET

FIRST AVE



PLAN NOTES LEGEND

① 1" COPPER PIPE STUB-OUTS FOR IRRIGATION FROM REMOTE CONTROL VALVE LOCATED INSIDE MECHANICAL ROOM AT SITE LEVEL TO THIS APPROXIMATE LOCATION TO BE PROVIDED AND INSTALLED UNDER PLUMBING CONTRACT. COORDINATE INSTALLATION OF PIPES WITH GENERAL/PLUMBING CONTRACTOR(S) PRIOR TO CONSTRUCTION.

WATER USAGE LEGEND

HYDROZONE A	LOW WATER-USE PLANTS
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0 2 4 6 8 10 12 14 16 N

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SHEET NAME: IRRIGATION PLAN -  
LEVEL 3 TERRACE

SHEET NUMBER:

L3.02



#### PLAN NOTES LEGEND

① 1" COPPER PIPE STUB-OUTS FOR IRRIGATION FROM REMOTE CONTROL VALVE LOCATED INSIDE MECHANICAL ROOM AT SITE LEVEL TO THIS APPROXIMATE LOCATION TO BE PROVIDED AND INSTALLED UNDER PLUMBING CONTRACT. COORDINATE INSTALLATION OF PIPES WITH GENERAL/PLUMBING CONTRACTOR(S) PRIOR TO CONSTRUCTION.

#### WATER USAGE LEGEND

	HYDROZONE A	LOW WATER-USE PLANTS
	HYDROZONE B	MODERATE WATER-USE PLANTS

NOTE: PLEASE REFER TO LANDSCAPE SHEETS FOR COMPLETE REVISIONS TO LANDSCAPE BASE.

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LEVEL 4 TERRACE**

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SHEET NUMBER:

**L3.03**

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0 2 4 6 8 10 12 14 16  
N

## IRRIGATION NOTES

- THESE IRRIGATION DRAWINGS ARE DIAGRAMMATIC AND INDICATIVE OF THE WORK TO BE INSTALLED. ALL PIPING, VALVES, AND OTHER IRRIGATION COMPONENTS MAY BE SHOWN WITHIN PAVED AREAS FOR GRAPHIC CLARITY ONLY AND ARE TO BE INSTALLED WITHIN PLANTING AREAS. DUE TO THE SCALE OF THE DRAWINGS, IT IS NOT POSSIBLE TO INDICATE ALL OFFSETS, FITTINGS, SLEEVES, CONDUIT, AND OTHER ITEMS WHICH MAY BE REQUIRED. INVESTIGATE THE STRUCTURAL AND FINISHED CONDITION AFFECTING THE CONTRACT WORK INCLUDING OBSTRUCTIONS, GRADE DIFFERENCES OR AREA DIMENSIONAL DIFFERENCES. IN THE EVENT OF FIELD DISCREPANCY WITH CONTRACT DOCUMENTS, PLAN THE INSTALLATION WORK ACCORDINGLY BY NOTIFICATION AND APPROVAL OF THE OWNER'S AUTHORIZED REPRESENTATIVE AND ACCORDING TO THE CONTRACT SPECIFICATIONS. NOTIFY AND COORDINATE IRRIGATION CONTRACT WORK WITH APPLICABLE CONTRACTORS FOR THE LOCATION AND INSTALLATION OF PIPE, CONDUIT OR SLEEVES THROUGH OR UNDER WALLS, ROADWAYS, PAVING AND STRUCTURES BEFORE CONSTRUCTION. IN THE EVENT THESE NOTIFICATIONS ARE NOT PERFORMED, THE CONTRACTOR ASSUMES FULL RESPONSIBILITY FOR REQUIRED REVISIONS.
- THE CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE CODES, STANDARDS, AND REGULATIONS. ALL WORK AND MATERIALS SHALL BE IN FULL ACCORDANCE WITH THE LATEST RULES AND REGULATIONS OF THE NATIONAL ELECTRIC CODE, THE UNIFORM PLUMBING CODE, PUBLISHED BY THE WESTERN PLUMBING OFFICIALS ASSOCIATION, AND OTHER STATE OR LOCAL LAWS OR REGULATIONS. NOTHING IN THESE DRAWINGS IS TO BE CONSTRUED TO PERMIT WORK NOT CONFORMING TO THESE CODES OR REGULATIONS. THE CONTRACTOR SHALL FURNISH WITHOUT ANY EXTRA CHARGE, ANY ADDITIONAL MATERIAL AND LABOR WHEN REQUIRED BY THE COMPLIANCE WITH THESE CODES AND REGULATIONS.
- THE CONTRACTOR SHALL COORDINATE INSTALLATION OF IRRIGATION SYSTEM WITH LAYOUT AND INSTALLATION OF THE PLANT MATERIALS TO ENSURE THAT THERE WILL BE COMPLETE AND UNIFORM IRRIGATION COVERAGE OF PLANTING IN ACCORDANCE WITH THESE DRAWINGS, AND CONTRACT DOCUMENTS. THE IRRIGATION LAYOUT SHALL BE CHECKED BY THE CONTRACTOR AND OWNER'S AUTHORIZED REPRESENTATIVE PRIOR TO CONSTRUCTION TO DETERMINE IF ANY CHANGES, DELETIONS, OR ADDITIONS ARE REQUIRED. IRRIGATION SYSTEM SHALL BE INSTALLED AND TESTED PRIOR TO INSTALLATION OF PLANT MATERIAL.
- THE INTENT OF THIS IRRIGATION SYSTEM IS TO PROVIDE THE MINIMUM AMOUNT OF WATER REQUIRED TO SUSTAIN GOOD PLANT HEALTH.
- IT IS THE RESPONSIBILITY OF THE MAINTENANCE CONTRACTOR AND/OR OWNER TO PROGRAM THE IRRIGATION CONTROLLER(S) TO PROVIDE THE MINIMUM AMOUNT OF WATER NEEDED TO SUSTAIN GOOD PLANT HEALTH. THIS INCLUDES MAKING ADJUSTMENTS TO THE PROGRAM FOR SEASONAL WEATHER CHANGES, PLANT MATERIAL, WATER REQUIREMENTS, MOUNDS, SLOPES, SUN, SHADE AND WIND EXPOSURE.
- IT IS THE RESPONSIBILITY OF A LICENSED ELECTRICAL CONTRACTOR TO PROVIDE 120 VOLT A.C. (2.5 AMP DEMAND PER CONTROLLER) ELECTRICAL SERVICE TO THE CONTROLLER LOCATION(S). IT IS THE RESPONSIBILITY OF THE IRRIGATION CONTRACTOR TO COORDINATE THE ELECTRICAL SERVICE STUB-OUT TO THE CONTROLLER(S). PROVIDE PROPER GROUNDING PER CONTROLLER MANUFACTURER'S INSTRUCTIONS AND IN ACCORDANCE WITH LOCAL CODES.
- INSTALL NEW BATTERIES IN THE IRRIGATION CONTROLLER(S) TO RETAIN PROGRAM IN MEMORY DURING TEMPORARY POWER FAILURES. USE QUANTITY, TYPE AND SIZE REQUIRED AS PER CONTROLLER MANUFACTURER'S INSTRUCTIONS.
- SCHEDULE A MEETING WHICH INCLUDES REPRESENTATIVES OF THE IRRIGATION CONTROLLER MANUFACTURER, THE MAINTENANCE CONTRACTOR, THE OWNER AND THE IRRIGATION CONTRACTOR AT THE SITE FOR INSTRUCTION ON THE PROPER PROGRAMMING AND OPERATION OF THE IRRIGATION CONTROLLER.
- INSTALL 2-WIRE CABLE ALONG THE MAIN LINE. CONTACT CONTROLLER REPRESENTATIVE FOR A PRE-CONSTRUCTION MEETING.
- INSTALL 2-WIRE CABLE WITHIN 1.25" CONDUIT WITH LONG SWEEPS IN AND OUT OF EACH VALVE BOX. SEAL ALL CONDUIT OPENINGS WITH WATERPROOF FOAM.
- INSTALL A 14"X19" GREY ELECTRICAL PULL BOX EVERY 200' AND AT EVERY CHANGE IN DIRECTION. ONLY SPLIC TWO WIRE CABLE AT THREE WAY WIRE CONNECTIONS.
- IRRIGATION CONTROL WIRES: SOID COPPER WITH UL APPROVAL FOR DIRECT BURIAL IN GROUND. SIZE #14AWG WIRE WITH A JACKETED 2-CONDUCTOR. PREFERRED WIRE MAKE AND MODEL IS THE PAIGE IRRIGATION WIRE, SPEC P7072D. ALL SPLICING SHALL BE MADE WITH 3-M DBR/Y-6 WATERPROOF SPLICE KIT.
- DECODER GROUNDING SHALL BE PROVIDED EVERY 600 FEET, AT THE CONTROLLER AND AT THE LAST DECODER OR AT THE END OF THE 2 WIRE PATH. GROUND WITH A 5/8" X 8' COPPER CLAD GROUNDING ROD. #6 COPPER WIRE TO SURGE DEVICE/DECODER. INCLUDE A SURGE ARRESTOR AT EACH GROUNDING LOCATION. A SPLIT BOLT CONNECTION TO BE USED TO CONNECT THE SURGE DEVICE TO THE GROUND WIRE WITH A DBR/Y-6 WATERPROOF CONNECTOR.
- SPlicing OF JACKETED 2-WIRE IS PERMITTED IN VALVE BOXES ONLY. LEAVE A 24" LONG COIL OF WIRE AT EACH SPLICE AND A 24" LONG EXPANSION LOOP IN ALL PULL BOXES.
- INSTALL BLACK PLASTIC VALVE BOXES WITH BOLT DOWN, NON HINGED COVER MARKED "IRRIGATION CONTROL VALVE". BOX BODY SHALL HAVE KNOCK OUTS. ACCEPTABLE VALVE BOX MANUFACTURER'S INCLUDE NDS, CARSON OR APPROVED EQUAL.
- INSTALL REMOTE CONTROL VALVE BOXES 12" FROM WALK, CURB, BUILDING OR LANDSCAPE FEATURE. AT MULTIPLE VALVE BOX GROUPS, INSTALL EACH BOX AN EQUAL DISTANCE FROM THE WALK, CURB, BUILDING OR LANDSCAPE FEATURE AND PROVIDE 12" BETWEEN BOX TOPS. ALIGN THE SHORT SIDE OF RECTANGULAR VALVE BOXES PARALLEL TO WALK, CURB, BUILDING OR LANDSCAPE FEATURE.

## IRRIGATION WATER USE CALCULATIONS

### WATER USE ESTIMATION

WATER TYPE	POTABLE	SITE ETO= 42.7		WATER USE ESTIMATION							
<b>REGULAR LANDSCAPE AREAS</b>											
1	SHRUBS/GC	LOW	0.2	DRIP	0.81	0.247	594	147	3,883	0.01	
2	SHRUBS/GC	MOD	0.5	DRIP	0.81	0.617	574	354	9,380	0.03	
3	BIORETENTION	LOW	0.2	DRIP	0.81	0.247	603	149	3,942	0.01	
4	TREES	LOW	0.2	BUBBLER	0.81	0.247	80	20	523	0.00	
5	TREES	MOD	0.5	BUBBLER	0.81	0.617	240	148	3,922	0.01	
							TOTALS	2,091	818	21,650	0.07
										28.84	100%
<b>SPECIAL LANDSCAPE AREAS</b>											
							1				0%
							TOTALS	0			0%

19. FLUSH AND ADJUST IRRIGATION OUTLETS AND NOZZLES FOR OPTIMUM PERFORMANCE AND TO PREVENT OVER SPRAY INTO WALKS, ROADWAYS, AND/OR BUILDINGS. SELECT THE BEST DEGREE OF THE ARC AND RADIUS TO FIT THE EXISTING SITE CONDITIONS AND THROTTLE THE FLOW CONTROL AT EACH VALVE TO OBTAIN THE OPTIMUM OPERATING PRESSURE FOR EACH CONTROL ZONE.

20. LOCATE BUBBLERS ON UPHILL SIDE OF PLANT OR TREE.

21. INSTALL A HUNTER HCV SERIES, KBI CV SERIES, OR APPROVED EQUAL SPRING LOADED CHECK VALVE IN SPRINKLER RISER ASSEMBLIES WHERE LOW OUTLET DRAINAGE WILL CAUSE EROSION AND/OR EXCESS WATER.

22. WHERE IT IS NECESSARY TO EXCAVATE ADJACENT TO EXISTING TREES, USE CAUTION TO AVOID INJURY TO TREES AND TREE ROOTS. EXCAVATE BY HAND IN AREAS WHERE TWO (2) INCH AND LARGER ROOTS OCCUR. BACK FILL TRENCHES ADJACENT TO TREE WITHIN TWENTY-FOUR (24) HOURS. WHERE THIS IS NOT POSSIBLE, SHADE THE SIDE OF THE TRENCH ADJACENT TO THE TREE WITH WET BURLAP OR CANVAS.

23. NOTIFY LOCAL JURISDICTIONS FOR INSPECTION AND TESTING OF INSTALLED BACKFLOW PREVENTION DEVICE.

24. THE IRRIGATION SYSTEM DESIGN IS BASED ON THE MINIMUM OPERATING PRESSURE SHOWN ON THE IRRIGATION DRAWINGS. VERIFY WATER PRESSURE PRIOR TO CONSTRUCTION. REPORT ANY DIFFERENCE BETWEEN THE WATER PRESSURE INDICATED ON THE DRAWINGS AND THE ACTUAL PRESSURE READING AT THE IRRIGATION POINT OF CONNECTION TO THE OWNER'S AUTHORIZED REPRESENTATIVE.

25. IRRIGATION DEMAND: REFER TO PLANS.

26. THE EXISTING MAIN LINE SHOWN ON THE DRAWINGS IS DIAGRAMMATIC. VERIFY AND LOCATE EXISTING MAIN LINE IN FIELD. REPORT TO ARCHITECT IN WRITING ANY DEVIATION OF EXISTING MAIN LINE LOCATION FROM THAT SHOWN ON THE DRAWINGS.

27. PIPE SIZING SHOWN ON THE DRAWINGS IS TYPICAL. AS CHANGES IN LAYOUT OCCUR DURING STAKING AND CONSTRUCTION THE SIZE MAY NEED TO BE ADJUSTED ACCORDINGLY.

28. PIPE THREAD SEALANT COMPOUND SHALL BE RECTOR SEAL #5.

29. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR MINOR CHANGES IN THE IRRIGATION LAYOUT DUE TO OBSTRUCTIONS NOT SHOWN ON THE IRRIGATION DRAWINGS SUCH AS LIGHTS, FIRE HYDRANTS, SIGNS, ELECTRICAL ENCLOSURES, ETC.

30. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR CHANGES IN THE IRRIGATION LAYOUT AND VALVE ZONING DUE TO VARIATIONS IN THE EXISTING SITE CONDITIONS SUCH AS EXPOSURE FROM BUILDINGS, TRELLISES, TREES, ETC, AS WELL AS SLOPE AND SOIL CONDITIONS. THE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT AND IRRIGATION CONSULTANT OF THE PROPOSED CHANGES PRIOR TO INSTALLATION FOR APPROVAL.

31. WHEN WORK OF THIS SECTION HAS BEEN COMPLETED AND SUCH OTHER TIMES AS MAY BE DIRECTED, REMOVE ALL TRASH, DEBRIS, SURPLUS MATERIALS AND EQUIPMENT FROM SITE.

32. CONTRACTOR SHALL BE RESPONSIBLE FOR SUPPLEMENTAL HAND WATERING OF ALL PLANT MATERIAL WITHIN DRIPLINE AREAS UNTIL THE PLANTS ARE SUFFICIENTLY ESTABLISHED.

33. VERIFY LOCATIONS OF ALL IRRIGATION COMPONENTS INSTALLED WITHIN A VALVE BOX WITH LANDSCAPE ARCHITECT PRIOR TO INSTALLATION. DO NOT INSTALL UNTIL LANDSCAPE ARCHITECT PROVIDES ACCEPTABLE LOCATIONS.

IRRIGATION COORDINATION NOTES

1. PLUMBING CONTRACTOR SHALL PROVIDE AND INSTALL ALL PIPING WITHIN THE STRUCTURE. PIPE MATERIAL SHALL BE APPROVED FOR USE WITHIN A STRUCTURE PER PLUMBING CODE. REFER TO MEP OR PLUMBING DRAWING FOR EXACT ROUTING THOUGH THE STRUCTURE. REFER TO IRRIGATION PLANS FOR APPROXIMATE LOCATION OF STUB OUT LOCATIONS. EXIT OF PIPE TO BE WITHIN PLANTERS WHERE POSSIBLE. ALL PENETRATION POINTS SHALL BE WATERPROOFED AS REQUIRED.

2. IRRIGATION SLEEVES OR CONDUITS WITHIN PRECAST OR POURED IN PLACE PLANTERS SHALL BE COORDINATED AND INSTALLED PRIOR TO THE CONSTRUCTION. ALL PENETRATION POINTS SHALL BE WATERPROOFED AS REQUIRED.

3. ELECTRICAL CONTRACTOR SHALL PROVIDE CONDUIT, PULL BOXES AND WIRE IN STRUCTURE. THE DRAWINGS INDICATE REQUIRED CONDUIT SIZE AND TYPE OF LOW VOLTAGE CABLE. FINAL CONNECTION OR WIRING TO REMOTE CONTROL VALVES AND CONTROLLER SHALL BE COMPLETED BY IRRIGATION CONTRACTOR.

4. SPlicing OF JACKETED 2-WIRE IS PERMITTED IN VALVE BOXES ONLY. LEAVE A 24" LONG COIL OF WIRE AT EACH SPLICE AND A 24" LONG EXPANSION LOOP IN ALL PULL BOXES.

5. INSTALL BLACK PLASTIC VALVE BOXES WITH BOLT DOWN, NON HINGED COVER MARKED "IRRIGATION CONTROL VALVE". BOX BODY SHALL HAVE KNOCK OUTS. ACCEPTABLE VALVE BOX MANUFACTURER'S INCLUDE NDS, CARSON OR APPROVED EQUAL.

6. INSTALL REMOTE CONTROL VALVE BOXES 12" FROM WALK, CURB, BUILDING OR LANDSCAPE FEATURE. AT MULTIPLE VALVE BOX GROUPS, INSTALL EACH BOX AN EQUAL DISTANCE FROM THE WALK, CURB, BUILDING OR LANDSCAPE FEATURE AND PROVIDE 12" BETWEEN BOX TOPS. ALIGN THE SHORT SIDE OF RECTANGULAR VALVE BOXES PARALLEL TO WALK, CURB, BUILDING OR LANDSCAPE FEATURE.

7. I HAVE COMPLIED WITH THE CRITERIA OF THE WATER CONSERVATION IN LANDSCAPING ORDINANCE AND APPLIED THEM FOR THE EFFICIENT USE OF WATER IN THE LANDSCAPE AND IRRIGATION DESIGN PLANS.

*Russell D. Mitchell*

17. VALVE LOCATIONS SHOWN ARE DIAGRAMMATIC. INSTALL IN GROUND COVER/SHRUB AREAS (AVOID LAWN AREAS WHERE POSSIBLE).

18. THE CONTRACTOR SHALL LABEL CONTROL LINE WIRE AT EACH REMOTE CONTROL VALVE WITH A 2 1/4" X 2 3/4" POLYURETHANE I.D. TAG, INDICATING IDENTIFICATION NUMBER OF VALVE (CONTROLLER AND STATION NUMBER). ATTACH LABEL TO CONTROL WIRE. THE CONTRACTOR SHALL PERMANENTLY STAMP ALL VALVE BOX LIDS WITH APPROPRIATE IDENTIFICATION AS NOTED IN CONSTRUCTION DETAILS.

19. FLUSH AND ADJUST IRRIGATION OUTLETS AND NOZZLES FOR OPTIMUM PERFORMANCE AND TO PREVENT OVER SPRAY INTO WALKS, ROADWAYS, AND/OR BUILDINGS. SELECT THE BEST DEGREE OF THE ARC AND RADIUS TO FIT THE EXISTING SITE CONDITIONS AND THROTTLE THE FLOW CONTROL AT EACH VALVE TO OBTAIN THE OPTIMUM OPERATING PRESSURE FOR EACH CONTROL ZONE.

20. LOCATE BUBBLERS ON UPHILL SIDE OF PLANT OR TREE.

21. INSTALL A HUNTER HCV SERIES, KBI CV SERIES, OR APPROVED EQUAL SPRING LOADED CHECK VALVE IN SPRINKLER RISER ASSEMBLIES WHERE LOW OUTLET DRAINAGE WILL CAUSE EROSION AND/OR EXCESS WATER.

22. WHERE IT IS NECESSARY TO EXCAVATE ADJACENT TO EXISTING TREES, USE CAUTION TO AVOID INJURY TO TREES AND TREE ROOTS. EXCAVATE BY HAND IN AREAS WHERE TWO (2) INCH AND LARGER ROOTS OCCUR. BACK FILL TRENCHES ADJACENT TO TREE WITHIN TWENTY-FOUR (24) HOURS. WHERE THIS IS NOT POSSIBLE, SHADE THE SIDE OF THE TRENCH ADJACENT TO THE TREE WITH WET BURLAP OR CANVAS.

23. NOTIFY LOCAL JURISDICTIONS FOR INSPECTION AND TESTING OF INSTALLED BACKFLOW PREVENTION DEVICE.

24. THE IRRIGATION SYSTEM DESIGN IS BASED ON THE MINIMUM OPERATING PRESSURE SHOWN ON THE IRRIGATION DRAWINGS. VERIFY WATER PRESSURE PRIOR TO CONSTRUCTION. REPORT ANY DIFFERENCE BETWEEN THE WATER PRESSURE INDICATED ON THE DRAWINGS AND THE ACTUAL PRESSURE READING AT THE IRRIGATION POINT OF CONNECTION TO THE OWNER'S AUTHORIZED REPRESENTATIVE.

25. IRRIGATION DEMAND: REFER TO PLANS.

26. THE EXISTING MAIN LINE SHOWN ON THE DRAWINGS IS DIAGRAMMATIC. VERIFY AND LOCATE EXISTING MAIN LINE IN FIELD. REPORT TO ARCHITECT IN WRITING ANY DEVIATION OF EXISTING MAIN LINE LOCATION FROM THAT SHOWN ON THE DRAWINGS.

27. PIPE SIZING SHOWN ON THE DRAWINGS IS TYPICAL. AS CHANGES IN LAYOUT OCCUR DURING STAKING AND CONSTRUCTION THE SIZE MAY NEED TO BE ADJUSTED ACCORDINGLY.

28. PIPE THREAD SEALANT COMPOUND SHALL BE RECTOR SEAL #5.

29. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR MINOR CHANGES IN THE IRRIGATION LAYOUT DUE TO OBSTRUCTIONS NOT SHOWN ON THE IRRIGATION DRAWINGS SUCH AS LIGHTS, FIRE HYDRANTS, SIGNS, ELECTRICAL ENCLOSURES, ETC.

30. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR CHANGES IN THE IRRIGATION LAYOUT AND VALVE ZONING DUE TO VARIATIONS IN THE EXISTING SITE CONDITIONS SUCH AS EXPOSURE FROM BUILDINGS, TRELLISES, TREES, ETC, AS WELL AS SLOPE AND SOIL CONDITIONS. THE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT AND IRRIGATION CONSULTANT OF THE PROPOSED CHANGES PRIOR TO INSTALLATION FOR APPROVAL.

31. WHEN WORK OF THIS SECTION HAS BEEN COMPLETED AND SUCH OTHER TIMES AS MAY BE DIRECTED, REMOVE ALL TRASH, DEBRIS, SURPLUS MATERIALS AND EQUIPMENT FROM SITE.

32. CONTRACTOR SHALL BE RESPONSIBLE FOR SUPPLEMENTAL HAND WATERING OF ALL PLANT MATERIAL WITHIN DRIPLINE AREAS UNTIL THE PLANTS ARE SUFFICIENTLY ESTABLISHED.

33. VERIFY LOCATIONS OF ALL IRRIGATION COMPONENTS INSTALLED WITHIN A VALVE BOX WITH LANDSCAPE ARCHITECT PRIOR TO INSTALLATION. DO NOT INSTALL UNTIL LANDSCAPE ARCHITECT PROVIDES ACCEPTABLE LOCATIONS.

IRRIGATION DESIGN NARRATIVE

THE PROPOSED IRRIGATION SYSTEM FOR THIS SITE WILL BE DESIGNED WITH THE LATEST TECHNOLOGY IN WATER CONSERVATION AND EFFICIENCY. THE SYSTEM WILL CONSIST OF THE FOLLOWING TYPES OF IRRIGATION METHODS AND EQUIPMENT COMPLYING WITH THE STATE WATER ORDINANCE. ALL SMALL PLANTING BEDS WILL BE IRRIGATED WITH WATER CONSERVING AND HIGHLY EFFICIENT INLINE DRIP. ALL BIORETENTION WILL BE IRRIGATED WITH INLINE DRIP SPACED AT 12" O.C. SINCE BIORETENTION AREAS ARE LESS THAN 10 FT WIDE. THE CONTROLLER THAT WILL MANAGE THIS SYSTEM USES LOCAL WEATHER TO ADJUST THE RUN TIMES OF THE VALVES BASED ON DAILY WEATHER CONDITIONS. UTILIZING THIS TYPE OF WEATHER-BASED SYSTEM WILL HELP THE LANDSCAPE MANAGER SAVE 25% MORE WATER THAN WITH A CONVENTIONAL CONTROLLER.

IRRIGATION ZONES

1. LOW AND MODERATE WATER-USE SHRUBS/GROUNDCOVER/FLOWERING PLANTS: TO BE IRRIGATED WITHIN 12" O.C. SINCE BIORETENTION AREAS ARE LESS THAN 10 FT WIDE. THE CONTROLLER THAT WILL MANAGE THIS SYSTEM USES LOCAL WEATHER TO ADJUST THE RUN TIMES OF THE VALVES BASED ON DAILY WEATHER CONDITIONS. UTILIZING THIS TYPE OF WEATHER-BASED SYSTEM WILL HELP THE LANDSCAPE MANAGER SAVE 25% MORE WATER THAN WITH A CONVENTIONAL CONTROLLER.

2. LARGE SHRUBS AND TREES: TO BE IRRIGATED USING POINT SOURCE BUBBLERS.

3. STORMWATER TREATMENT: TO BE IRRIGATED WITH INLINE DRIP SPACED AT 12" O.C.

ETo = REFERENCE EVAPOTRANSPIRATION

PF = PLANT FACTOR FOR HYDROZONES

HA = HYDROZONE AREA (SQ.FT)

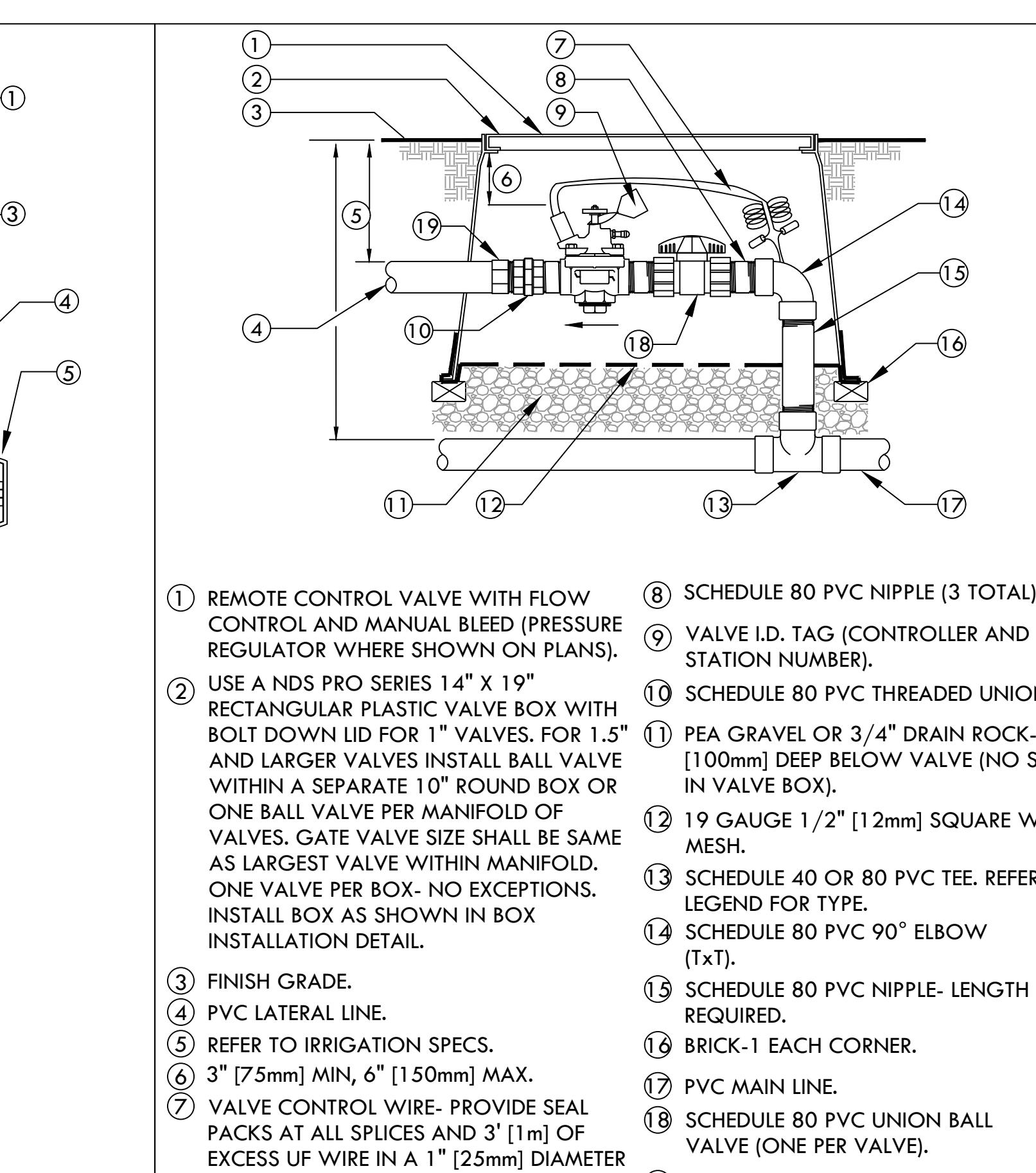
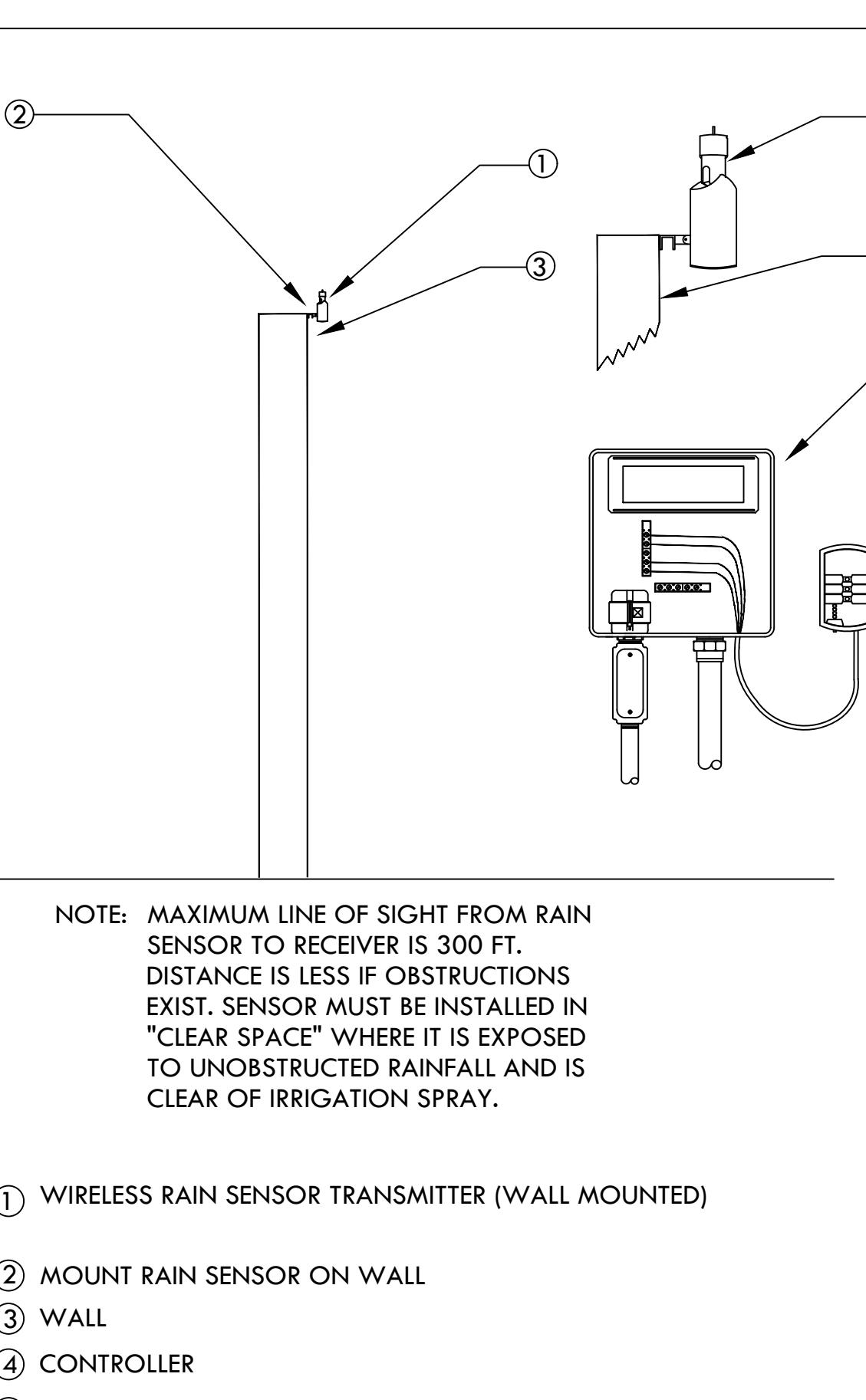
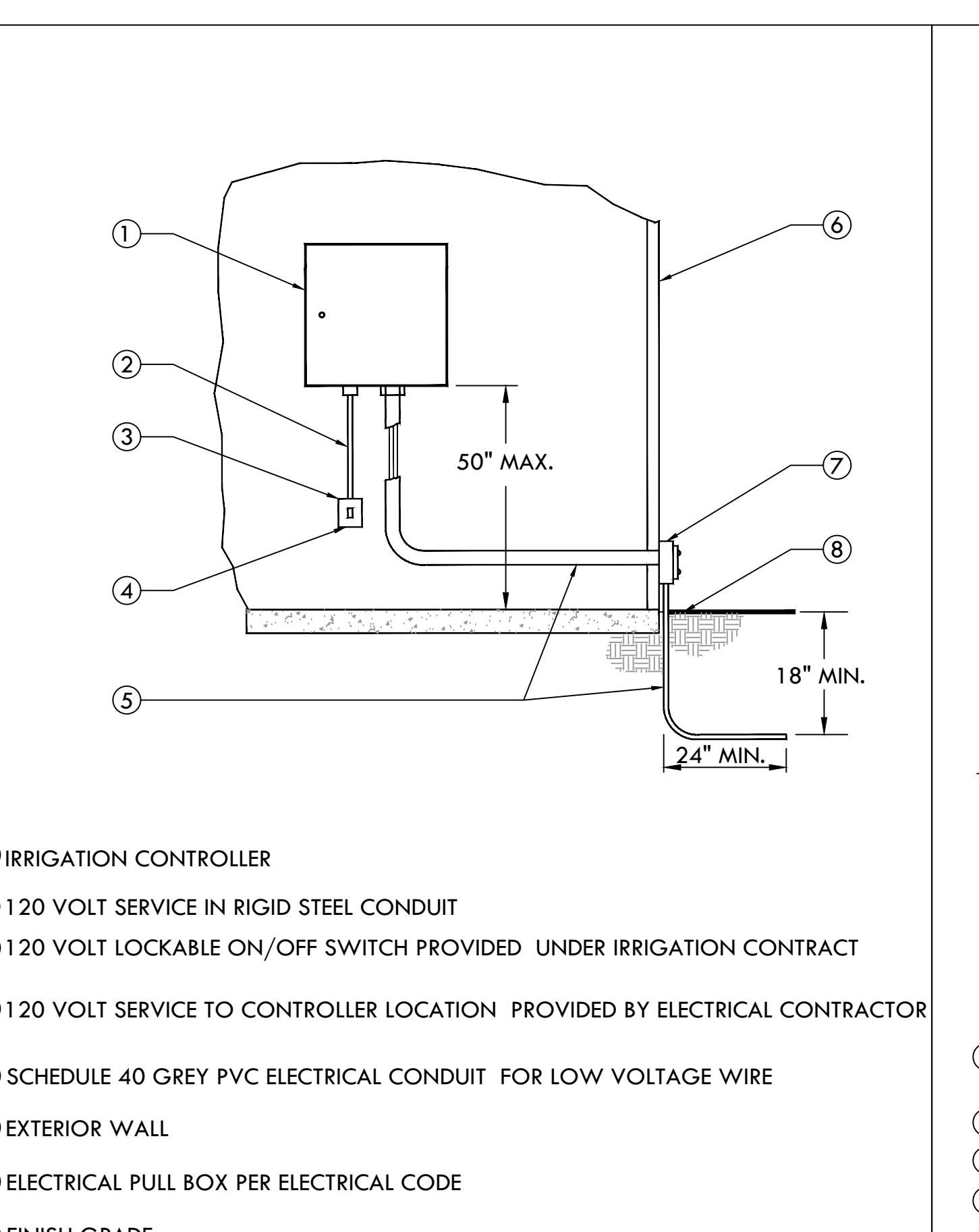
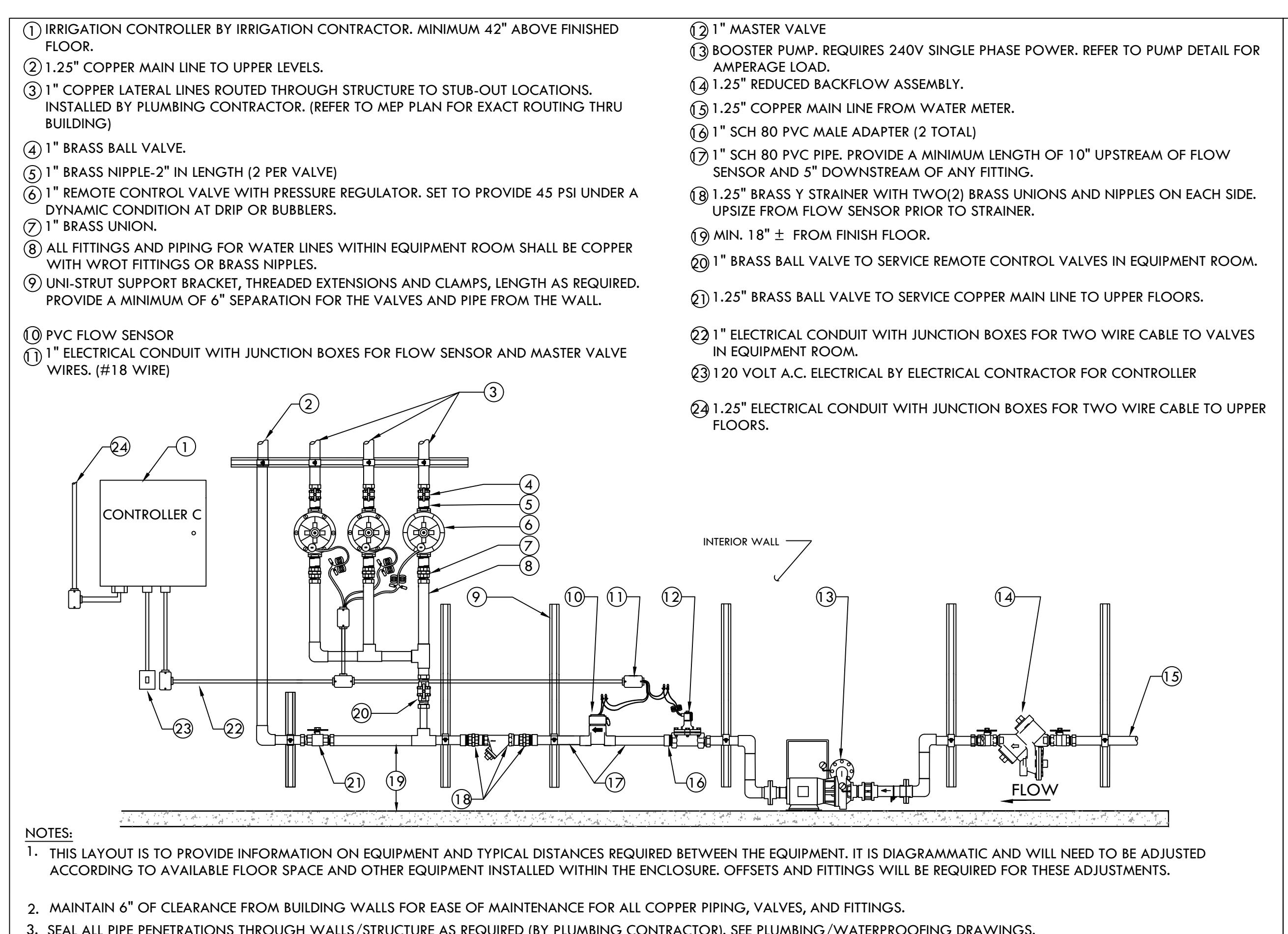
0.62 = CONVERSION FACTOR (GALLONS/SQ.FT/YR)

IE = IRRIGATION EFFICIENCY (0.81)-BUBBLER/DRIP

IE = IRRIGATION EFFICIENCY (0.75)-ROTORS/SPRAY

ETWU = ((ETO)(0.62)(Lx x 45)) + (0.55 x SLA))

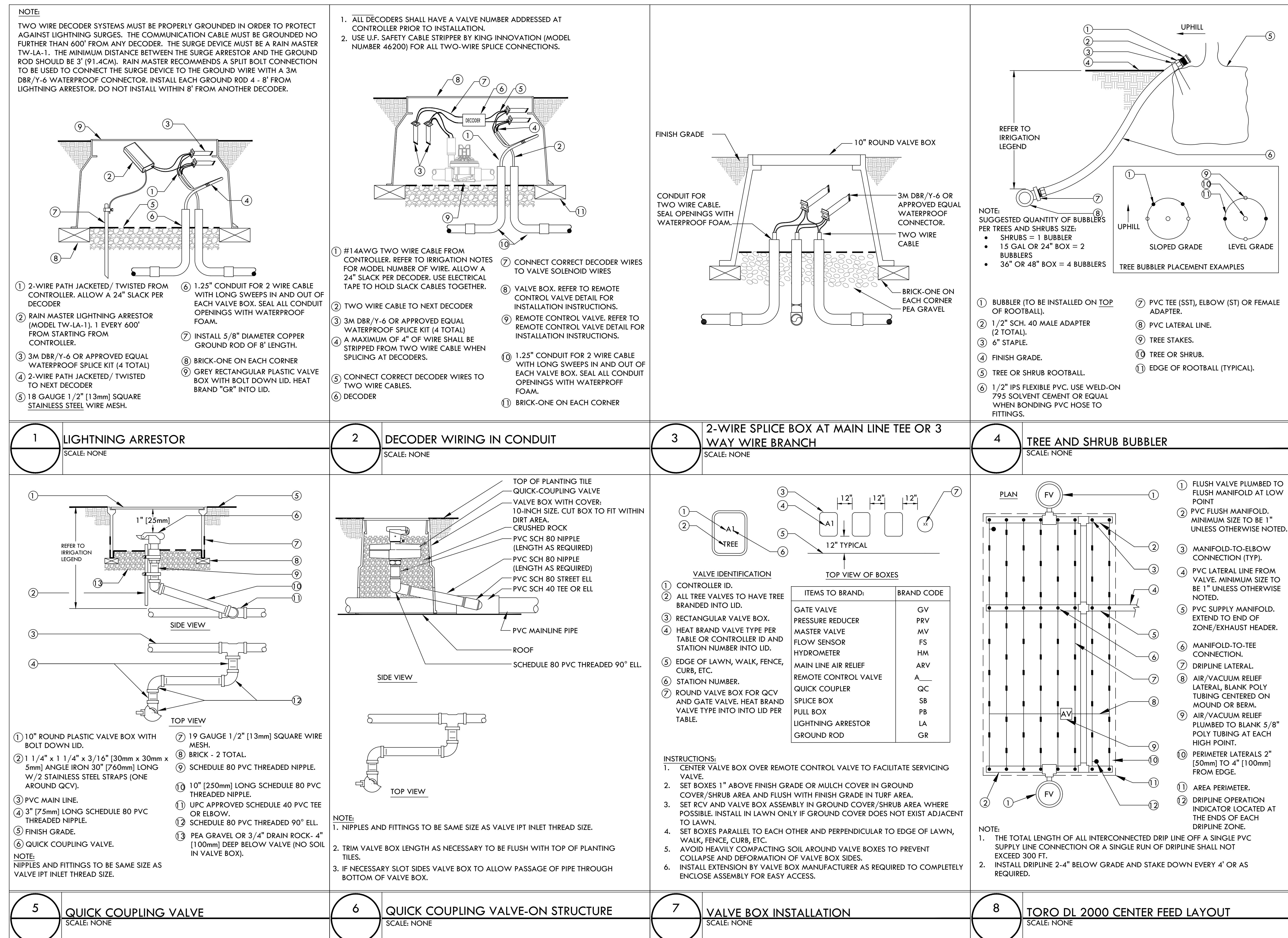
MAWA = (ETWU)(0.62)(ETAF



1	IRRIGATION EQUIPMENT LAYOUT DIAGRAM DETAIL	2	INTERIOR MOUNTED CONTROLLER	3	WIRELESS RAIN SENSOR-WALL MOUNT	4	REMOTE CONTROL VALVE
SCALE: NONE	SCALE: NONE	SCALE: NONE	SCALE: NONE	SCALE: NONE	SCALE: NONE	SCALE: NONE	SCALE: NONE

1	IRRIGATION EQUIPMENT LAYOUT DIAGRAM DETAIL	2	INTERIOR MOUNTED CONTROLLER	3	WIRELESS RAIN SENSOR-WALL MOUNT	4	REMOTE CONTROL VALVE
SCALE: NONE	SCALE: NONE	SCALE: NONE	SCALE: NONE	SCALE: NONE	SCALE: NONE	SCALE: NONE	SCALE: NONE
<p>① FINISH GRADE ② RECTANGULAR PLASTIC VALVE BOX WITH BOLT DOWN LID. ONE VALVE PER BOX- NO EXCEPTIONS. INSTALL BOX AS SHOWN IN BOX INSTALLATION DETAIL. ③ SCHEDULE 40 MALE ADAPTER (2 TOTAL) ④ PRESSURE REGULATOR (INCLUDED IN DRIP ZONE KIT) ⑤ REMOTE CONTROL VALVE DRIP ZONE KIT. (SHALL INCLUDE VALVE, FILTER AND A 40 PSI PRESSURE REDUCING VALVE) ⑥ PVC LATERAL LINE. ⑦ BRICK-1 EACH CORNER. ⑧ PVC MAIN LINE. ⑨ UPC APPROVED SCHEDULE 40 PVC TEE. ⑩ SCHEDULE 40 PVC ⑪ PEA GRAVEL OR 3/4" (20mm) DRAIN ROCK - 4" (102mm) DEEP BELOW VALVE (NO SOIL IN VALVE BOX). ⑫ 19 GAUGE 1/2" (13mm) SQUARE WIRE MESH. ⑬ SCHEDULE 40 PVC 90° ELBOW (5xS). ⑭ VALVE CONTROL WIRE. PROVIDE SEAL PACKS AT ALL SPLICES AND 2' (1m) OF EXCESS OF WIRE IN A 1" (25mm) DIAMETER COIL. ⑮ Y-FILTER (INCLUDED IN DRIP ZONE KIT)</p>	<p>NOTE: MAXIMUM # OF WIRES PER CONNECTOR: • 3-#14 GAUGE • 2-#12 GAUGE</p> <p>INSTRUCTIONS: 1. STRIP WIRES APPROXIMATELY 1/2" FROM ENDS TO EXPOSE WIRE. 2. TWIST CONNECTOR AROUND WIRES CLOCKWISE UNTIL HAND TIGHT, DO NOT OVERTIGHTEN. 3. INSERT WIRE ASSEMBLY TO BOTTOM OF GEL-FILLED TUBE. CHECK TO MAKE SURE CONNECTOR HAS BEEN PUSHED PAST LOCKING FINGERS AND IS SEATED AT THE BOTTOM OF THE TUBE. 4. PLACE WIRES WHICH EXIT TUBE IN WIRE EXIT HOLES AND CLOSE CAP UNTIL IT SNAPS. 5. INSPECT FINAL SPLICE ASSEMBLY THAT IT IS SECURED.</p> <p>STEP 1 STEP 2 STEP 3 STEP 4 STEP 5</p>	<p>NOTES: 1. ALL MAIN SUPPLY LINES AND LATERAL LINES SHALL BE PLACED IN SLEEVES UNDER PAVED SURFACES. INSTALL LOW VOLTAGE WIRES WITHIN A SEPARATE CONDUIT UNDER PAVED SURFACES. DO NOT TAPE WIRES WITHIN CONDUIT. 2. REUSE SALVAGED EXCAVATED FILL AND COMPACT TO ORIGINAL DENSITY IN LANDSCAPE AREAS. ALL OTHER AREAS SHALL BE AT 95% COMPACTION. BACKFILL MATERIAL SHALL BE THE EARTH EXCAVATED FROM THE TRENCHES, FREE FROM ROCKS (ANYTHING LARGER THAN 2"), CONCRETE CHUNKS, AND OTHER FOREIGN OR COARSE MATERIALS. 3. WHEN 12" POP-UP SPRINKLER HEADS ARE USED, INCREASE THE DEPTH OF LATERAL TO 18" AT THE SPRINKLER LOCATION ONLY.</p> <p>① FINISH GRADE. ② CLEAN BACKFILL MATERIAL. ③ LATERAL LINE. ④ 3" DETECTABLE WARNING TAPE OVER MAIN LINE. INSTALL 3" ABOVE MAIN LINE. USE CHRISTY MODEL #TA-DT-3-BIRR FOR POTABLE IRRIGATION SYSTEMS OR #TA-DT-3-PRW FOR RECYCLED IRRIGATION WATER SYSTEMS ⑤ MAIN LINE. ⑥ TWO WIRE CABLE IN CONDUIT</p>	<p>NOTES: 1. ALL MAIN SUPPLY LINES AND LATERAL LINES SHALL BE PLACED IN SLEEVES UNDER PAVED SURFACES. INSTALL LOW VOLTAGE WIRES WITHIN A SEPARATE CONDUIT UNDER PAVED SURFACES. DO NOT TAPE WIRES WITHIN CONDUIT. 2. REUSE SALVAGED EXCAVATED FILL AND COMPACT TO ORIGINAL DENSITY IN LANDSCAPE AREAS. ALL OTHER AREAS SHALL BE AT 95% COMPACTION. BACKFILL MATERIAL SHALL BE THE EARTH EXCAVATED FROM THE TRENCHES, FREE FROM ROCKS (ANYTHING LARGER THAN 2"), CONCRETE CHUNKS, AND OTHER FOREIGN OR COARSE MATERIALS. 3. WHEN 12" POP-UP SPRINKLER HEADS ARE USED, INCREASE THE DEPTH OF LATERAL TO 18" AT THE SPRINKLER LOCATION ONLY.</p> <p>① FINISH GRADE. ② 24" LOOP OF TWO WIRE CABLE. ③ GREY RECTANGULAR PLASTIC VALVE BOX WITH BOLT DOWN LID. HEAT BRAND "PB" INTO LID. ④ 18 GAUGE 1/2" (13mm) SQUARE STAINLESS STEEL WIRE MESH. ⑤ BRICK-1 ON EACH CORNER</p>				
5	REMOTE CONTROL VALVE (Dripzone)	6	WEATHERPROOF WIRE SPLICE ASSEMBLY	7	TRENCHING	8	IRRIGATION TWO WIRE PULL BOX
SCALE: NONE	SCALE: NONE	SCALE: NONE	SCALE: NONE	SCALE: NONE	SCALE: NONE	SCALE: NONE	SCALE: NONE

REVISIONS:	DESCRIPTION	DATE
1	PLANNING APPLICATION	11/16/2022
2	PLANNING APPLICATION RESUBMITTAL #1	03/10/2023
3	PLANNING APPLICATION RESUBMITTAL #2	07/21/2023
4	PLANNING APPLICATION RESUBMITTAL #3	11/03/2023
4	PLANNING APPLICATION RESUBMITTAL #4	05/06/2024

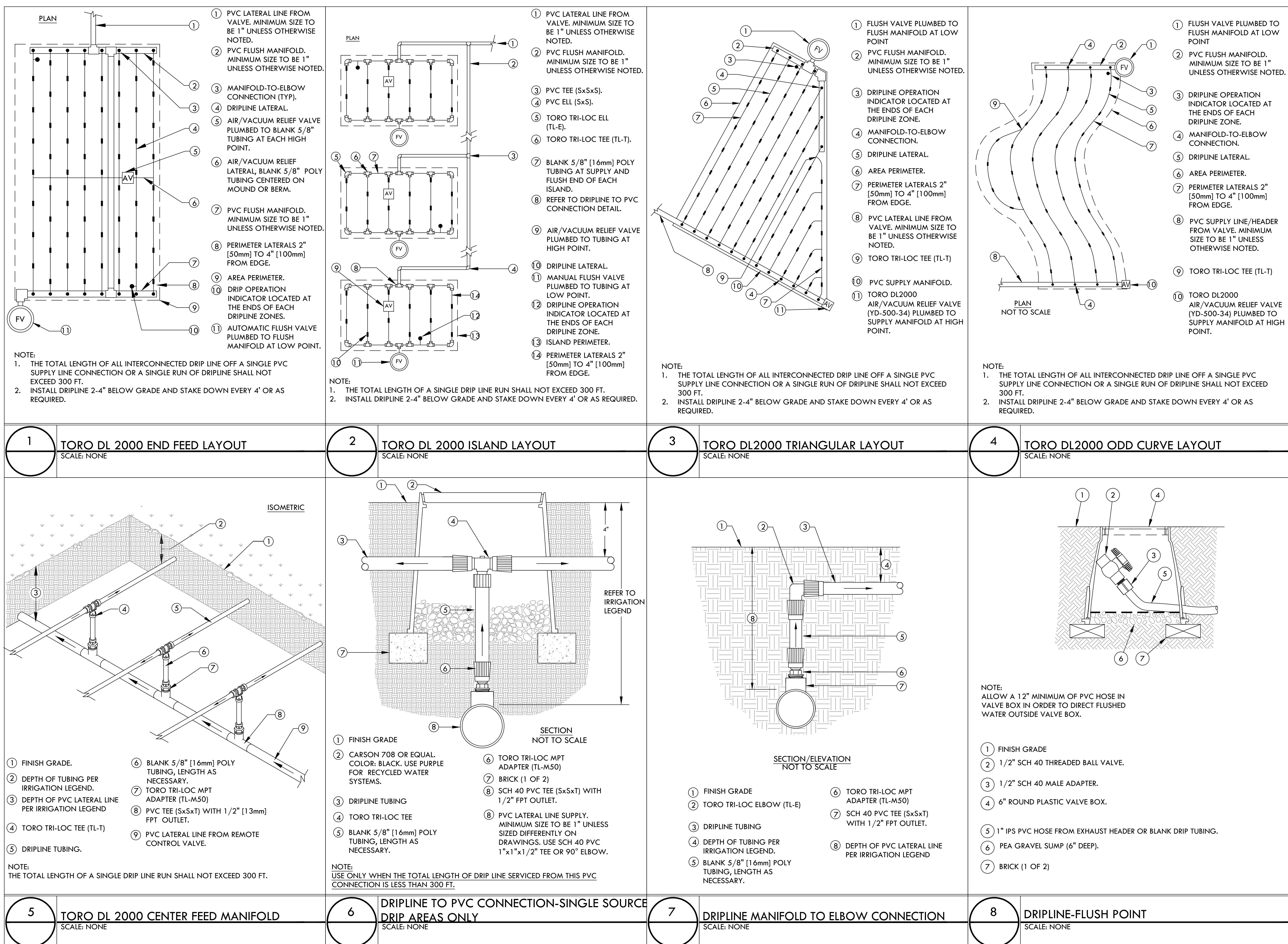


NOT FOR  
CONSTRUCTION

IRRIGATION  
DETAILS

SHEET NAME:  
IRRIGATION  
DETAILS

SHEET NUMBER:  
L3.06

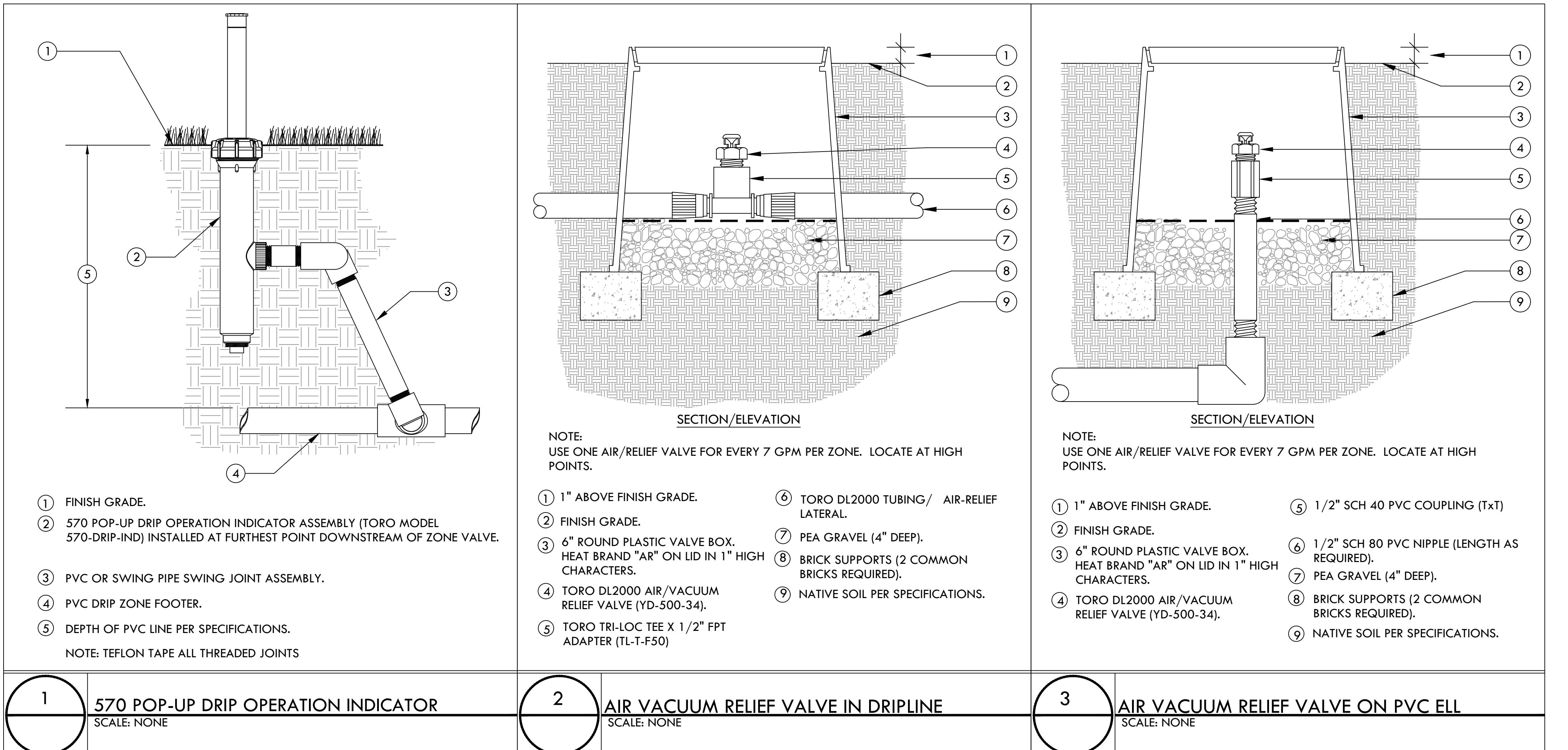


# NOT FOR CONSTRUCTION

# IRRIGATION DETAILS

SET NUMBER:  
**L3.07**

ISSUE:	PLANNING APPLICATION RESUBMITTAL #4
ISSUE DATE:	05/06/2024
REVISIONS:	
1	PLANNING APPLICATION
2	11/16/2022
3	PLANNING APPLICATION RESUBMITTAL
4	03/10/2023
5	PLANNING APPLICATION RESUBMITTAL #2
6	07/21/2023
7	PLANNING APPLICATION RESUBMITTAL #3
8	11/03/2023
9	PLANNING APPLICATION RESUBMITTAL #4
	05/06/2024



1 570 POP-UP DRIP OPERATION INDICATOR  
SCALE: NONE

2 AIR VACUUM RELIEF VALVE IN DRIPLINE  
SCALE: NONE

3 AIR VACUUM RELIEF VALVE ON PVC ELL  
SCALE: NONE

SCALE:  
PROJECT NUMBER: 2202017.00  
DRAWN BY: YW  
CHECKED BY: MM  
STAMP:

NOT FOR  
CONSTRUCTION

SHEET NAME:  
IRRIGATION  
DETAILS

SHEET NUMBER:  
L3.08

ISSUE:	PLANNING APPLICATION RESUBMITTAL #4
ISSUE DATE:	05/06/2024
REVISIONS:	
△	
DESCRIPTION	DATE
1 PLANNING APPLICATION	11/16/2022
2 PLANNING APPLICATION RESUBMITTAL	03/10/2023
3 PLANNING APPLICATION RESUBMITTAL #2	07/21/2023
4 PLANNING APPLICATION RESUBMITTAL #3	11/03/2023
4 PLANNING APPLICATION RESUBMITTAL #4	05/06/2024



1 BIRDSEYE VIEW OF SOUTHWEST CORNER PLAZA AND STREETSCAPE



2 LOBBY ENTRANCE



3 LOOKING SOUTH TOWARDS 1ST AVE ON S. B. STREET



4 SOUTHWEST CORNER PLAZA

SCALE:  
PROJECT NUMBER: 2202017.00  
DRAWN BY: MM  
CHECKED BY: CB  
STAMP:

NOT FOR  
CONSTRUCTION

SHEET NAME:  
LANDSCAPE  
RENDERINGS  
(GROUND LEVEL)  
SHEET NUMBER:

L4.00



1 S. B STREET



2 SOUTHEAST CORNER AT 1ST AVE



3 LOOKING WEST ON 1ST AVE



4 SOUTHEAST CORNER PLAZA AT ALLEY

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CLIENT:  
  
**HARVEST**  
PROPERTIES

PROJECT NAME & ADDRESS:  
**57 S. B STREET**

**57 S. B STREET**  
SAN MATEO, CA 94401

ISSUE:	PLANNING APPLICATION RESUBMITTAL #4
ISSUE DATE:	05/06/2024
REVISIONS:	
4	
DESCRIPTION	DATE
1 PLANNING APPLICATION	11/16/2022
2 PLANNING APPLICATION RESUBMITTAL	03/10/2023
3 PLANNING APPLICATION RESUBMITTAL #2	07/21/2023
4 PLANNING APPLICATION RESUBMITTAL #3	11/03/2023
4 PLANNING APPLICATION RESUBMITTAL #4	05/06/2024

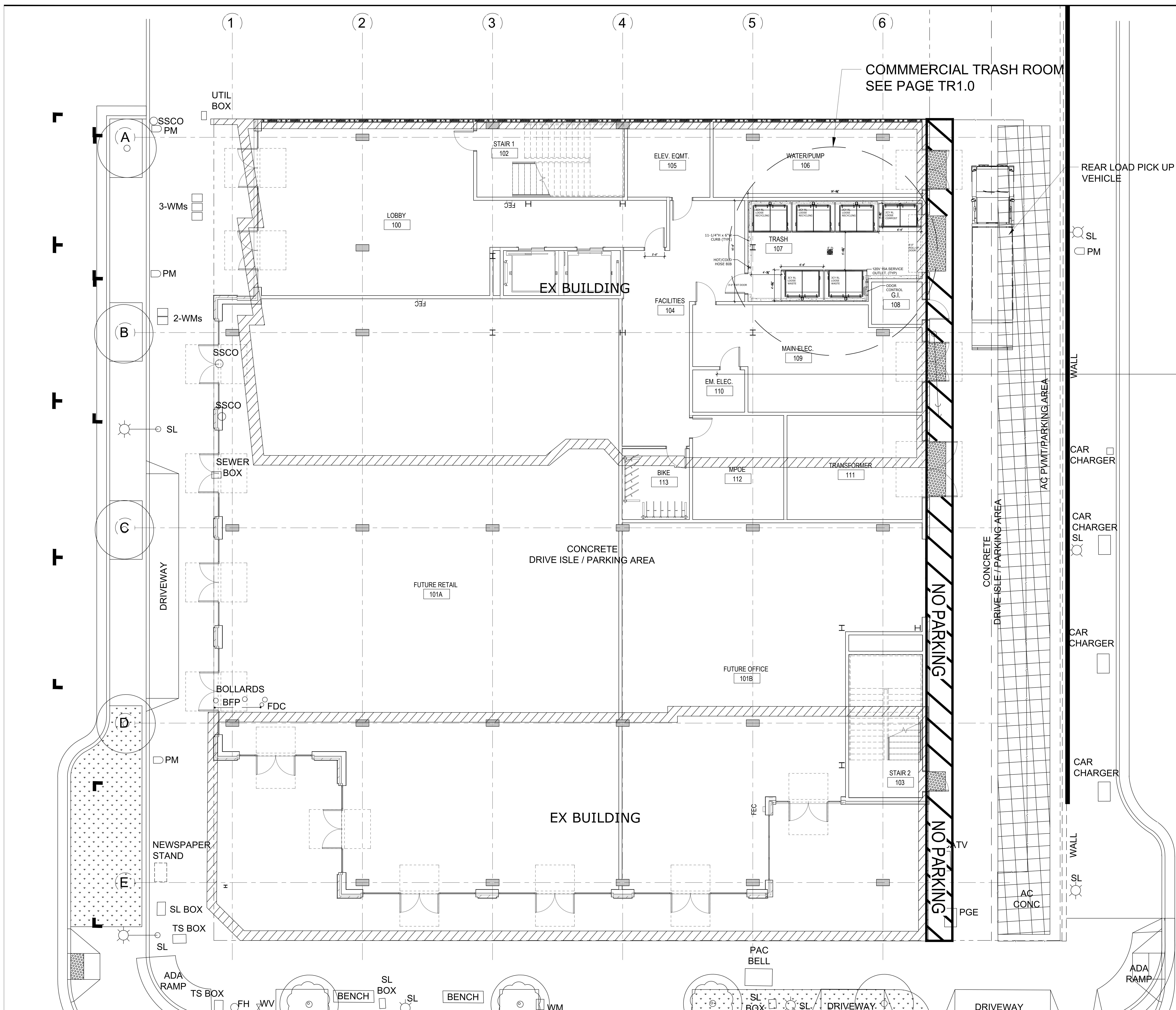
SCALE:  
PROJECT NUMBER: 2202017.00  
DRAWN BY: MMc  
CHECKED BY: CB  
STAMP:

**NOT FOR  
CONSTRUCTION**

SHEET NAME:  
**LANDSCAPE  
RENDERINGS  
(GROUND LEVEL)**

SHEET NUMBER:

**L4.01**



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CLIENT:

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PROJECT NAME & ADDRESS:  
**57 S. B STREET**

57 S. B STREET  
SAN MATEO, CA 94401

ISSUE: Project  
ISSUE DATE:  

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**REVISIONS:**

SCALE: \_\_\_\_\_

PROJECT NUMBER: \_\_\_\_\_ 220

DRAWN BY: \_\_\_\_\_

CHECKED BY: \_\_\_\_\_

# NOT FOR CONSTRUCTION

SHEET NAME:  
**OVERALL  
SITE PLAN  
LEVEL 1**

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SHEET NUMBER:

# TR0.1

**SHEET NOTES:**

**COMMERCIAL TRASH COLLECTION AREA**

- CENTRAL TRASH COLLECTION AREA IS 1HR FIRE-RATED - RESTRICTED ACCESS.
- FLOOR SHALL BE FINISHED WITH WATERPROOF COATING. FLOOR TO HAVE MINIMAL SLOPE (1° MAX) AND FLOOR DRAIN.
- WALLS SHALL BE FINISHED WITH WASHABLE WATERPROOF SURFACE SUCH AS FRP OR HIGH-GLOSS ENAMEL PAINT, 8'-0" AFF.
- INSTALL WALL PROTECTION: 11-1/4"Hx6"W CONCRETE CURB AT BASE OF ALL NON-CONCRETE WALLS.
- 8'-6" DOUBLE-SWING DOOR AND 3'-0" EXIT DOOR.
- (1) 3CY RL BIN FOR WASTE, (3) 3CY RL BINS FOR RECYCLING, (1) 2CY RL BIN FOR COMPOST.
- OC: ODOR CONTROL UNIT SHALL BE WALL-MOUNTED 60" AFF. REQUIRES 120V 15A SERVICE OUTLET.
- HB: HOT AND COLD HOSE BIB SHALL BE WALL-MOUNTED 60" AFF.
- (1) UNDEDICATED 120V 15A SERVICE OUTLET REQUIRED FOR STAFF MAINTENANCE PURPOSE.

**GENERAL NOTES:**

- ANY DESIGNS OR DESIGN SOLUTIONS PRESENTED IN THIS DRAWING OR SPECIFICATION, WHICH ARE DIRECT OR IMPLIED, INCLUDING NARRATIVES, DRAWINGS, OR DIAGRAMS, ARE HEREBY CLARIFIED AS EXAMPLES AND SHALL NOT BE CONSIDERED COMPLETE DESIGNS OR DESIGNS SUITABLE FOR CONSTRUCTION.
- OMISSIONS FROM DRAWINGS OR SPECIFICATIONS, OR THE INACCURATE DESCRIPTION OF DETAILS OF WORK, WHICH ARE MANIFESTLY NECESSARY TO CARRY OUT THE INTENT OF THE DRAWINGS AND SPECIFICATIONS, OR WHICH ARE CUSTOMARILY PERFORMED, SHALL NOT RELIEVE THE CONTRACTOR FROM PERFORMING SUCH OMITTED OR INACCURATELY DESCRIBED DETAILS OF THE WORK. WORK SHALL BE PERFORMED AS IF FULLY AND CORRECTLY SET FORTH AND DESCRIBED IN THE DRAWINGS AND SPECIFICATIONS.
- CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS AND CONDITIONS PRIOR TO START OF CONSTRUCTION. THE ARCHITECT SHALL BE NOTIFIED IMMEDIATELY OF ALL EXISTING FIELD CONDITIONS AND ANY DISCREPANCIES OR INCONSISTENCIES.

CLIENT:

PROJECT NAME & ADDRESS:  
57 S. B STREET

