



EXTERIOR RENDERING - INTERSECTION OF S. CLAREMONT ST & E. 4TH AVE.



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In Association with:

PLANNING APPLICATION FOR:
WINDY HILL PROPERTY VENTURES
BLOCK 20
SAN MATEO, CA 94401

DATE	DESCRIPTION
08.22.2022	ZONING PRE-APPLICATION
01.13.2022	FIRST PLANNING SUBMITTAL

RENDERING

A 0.01

PROJECT NO: 215513



EXTERIOR RENDERING - RESIDENTIAL ENTRANCE S. CLAREMONT ST.



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EXTERIOR RENDERING - OFFICE ENTRANCE INTERSECTION OF S. CLAREMONT ST. & E. 4TH AVE.



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EXTERIOR RENDERING - VIEW FROM E. 4TH AVENUE



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EXTERIOR RENDERING - BIRD'S EYE VIEW OFFICE BALCONIES 3RD & 4TH FLOOR



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EXTERIOR RENDERING - BIRD'S EYE VIEW OFFICE/ RESIDENTIAL BALCONIES 3RD & 4TH FLOOR ALONG E. 5TH AVE.



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 SAN MATEO, CA 94401

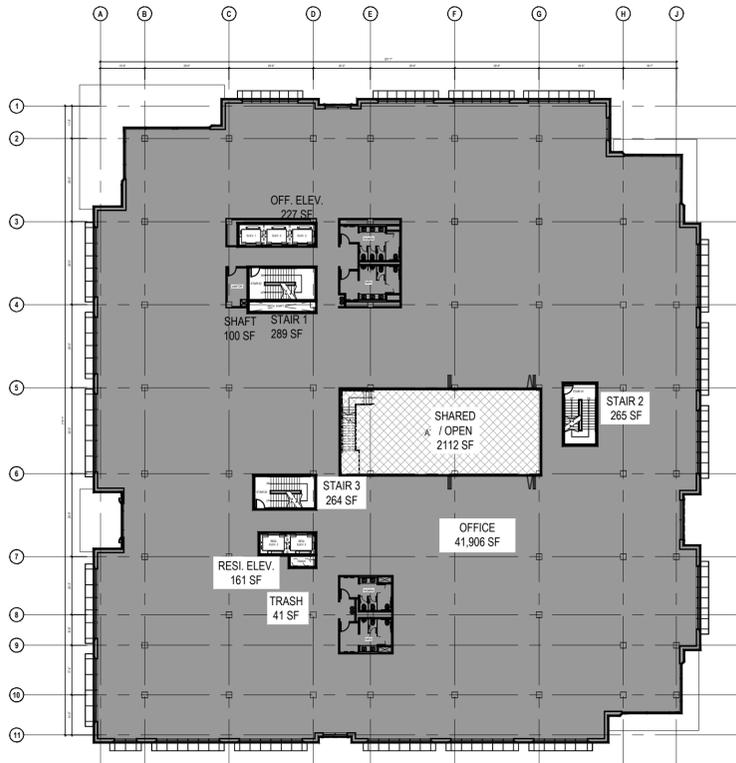
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RENDERING

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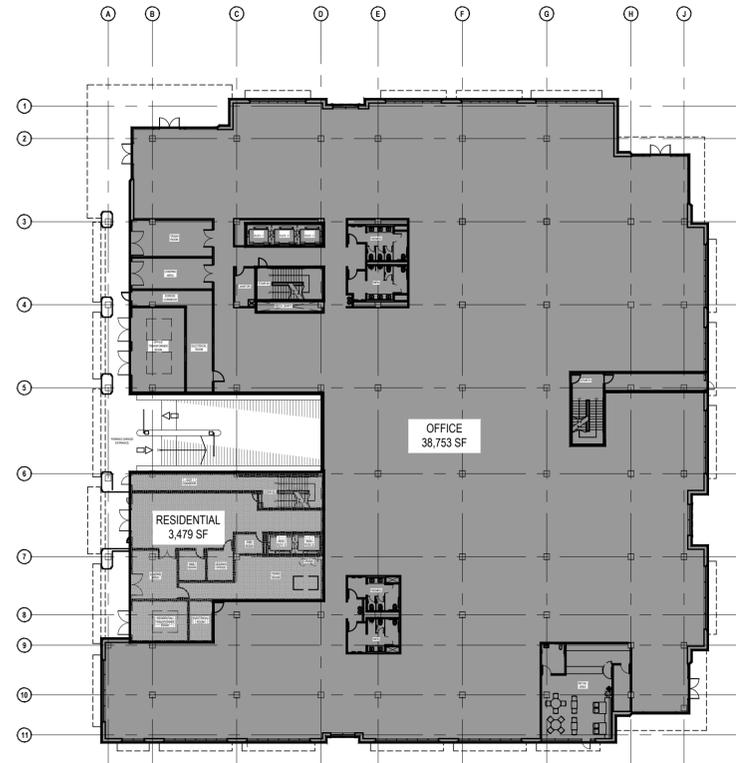
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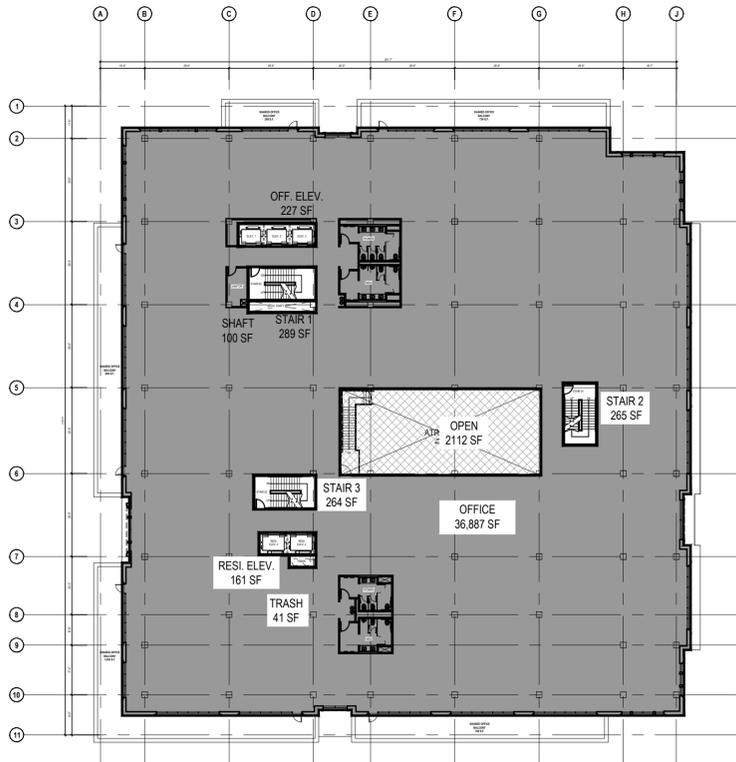
SECOND LEVEL AREA PLAN

SCALE: 1/32" = 1'-0"



FIRST LEVEL AREA PLAN

SCALE: 1/32" = 1'-0"



THIRD LEVEL AREA PLAN

SCALE: 1/32" = 1'-0"



FAR AREA CALCULATIONS

FIRST LEVEL:			
OFFICE AREA: (INCLUDES STAIRS & ELEV)	38,753 SQ. FT.		
RESIDENTIAL: (INCLUDES STAIRS & ELEV)	3,479 SQ. FT.		
SECOND LEVEL:			
GROSS OFFICE FLOOR	45,365 SQ. FT.		
OFFICE ELEVATORS	(227 SQ. FT.)		
STAIR #1	(289 SQ. FT.)		
SHAFT	(100 SQ. FT.)		
STAIR #2	(265 SQ. FT.)		
STAIR #3	(264 SQ. FT.)		
RESIDENTIAL ELEVATORS	(161 SQ. FT.)		
TRASH CHUTE	(41 SQ. FT.)		
OPEN TO BELOW	(2,112 SQ. FT.)		
NET OFFICE AREA:	41,906 SQ. FT.		
THIRD LEVEL:			
GROSS OFFICE FLOOR	40,346 SQ. FT.		
OFFICE ELEVATORS	(227 SQ. FT.)		
STAIR #1	(289 SQ. FT.)		
SHAFT	(100 SQ. FT.)		
STAIR #2	(265 SQ. FT.)		
STAIR #3	(264 SQ. FT.)		
RESIDENTIAL ELEVATORS	(161 SQ. FT.)		
TRASH CHUTE	(41 SQ. FT.)		
OPEN TO BELOW	(2,112 SQ. FT.)		
NET OFFICE AREA:	36,887 SQ. FT.		
FOURTH LEVEL:			
GROSS AREA	32,978 SQ. FT.		
RESIDENTIAL AREA	(21,883 SQ. FT.)		
OFFICE ELEVATORS	(227 SQ. FT.)		
STAIR #1	(289 SQ. FT.)		
SHAFT	(100 SQ. FT.)		
STAIR #2	(265 SQ. FT.)		
STAIR #3	(264 SQ. FT.)		
RESIDENTIAL ELEVATORS	(161 SQ. FT.)		
TRASH CHUTE	(50 SQ. FT.)		
OPEN TO BELOW	(2,662 SQ. FT.)		
NET OFFICE AREA:	7,077 SQ. FT.		

FIFTH LEVEL:			
GROSS AREA	32,302 SQ. FT.		
RESIDENTIAL AREA	(21,884 SQ. FT.)		
OFFICE ELEVATORS	(227 SQ. FT.)		
STAIR #1	(289 SQ. FT.)		
SHAFT	(100 SQ. FT.)		
STAIR #2	(265 SQ. FT.)		
STAIR #3	(264 SQ. FT.)		
RESIDENTIAL ELEVATORS	(161 SQ. FT.)		
TRASH CHUTE	(50 SQ. FT.)		
OPEN TO BELOW	(2,092 SQ. FT.)		
NET OFFICE AREA:	6,970 SQ. FT.		
SIXTH LEVEL:			
GROSS AREA	23,940 SQ. FT.		
RESIDENTIAL AREA	(22,811 SQ. FT.)		
STAIR #1	(289 SQ. FT.)		
SHAFT	(100 SQ. FT.)		
STAIR #2	(265 SQ. FT.)		
STAIR #3	(264 SQ. FT.)		
RESIDENTIAL ELEVATORS	(161 SQ. FT.)		
TRASH CHUTE	(50 SQ. FT.)		
NET OFFICE AREA:	0 SQ. FT.		

BICYCLE PARKING CALCULATIONS

BICYCLE PARKING REQUIRED:		
(PER SAN MATEO CITY CHARTER AND MUNICIPAL CODE SECTION 27.64.262)		
GENERAL OFFICE:	1 SHORT-TERM SPACE PER 20,000 S.F.	131,593 S.F. / 20,000 S.F. = 7 SPACES
RESIDENTIAL:	.05 SHORT-TERM SPACES PER UNIT (STUDIO AND ONE BEDROOM)	76 UNITS X .05 = 4 SPACES
NET OFFICE AREA:	41,906 SQ. FT.	1 LONG-TERM SPACE PER 10,000 S.F.
		131,593 S.F. / 10,000 S.F. = 14 SPACES
RESIDENTIAL:	.10 SHORT-TERM SPACES PER UNIT (2 BEDROOM UNIT)	10 UNITS X .10 = 1 SPACE
NET OFFICE AREA:	36,887 SQ. FT.	1.0 LONG-TERM SPACES PER UNIT (STUDIO AND ONE BEDROOM)
		76 UNITS X 1.0 = 76 SPACES
NET OFFICE AREA:	7,077 SQ. FT.	1.25 LONG-TERM SPACES PER UNIT (2 BEDROOM UNIT)
		10 UNITS X 1.25 = 13 SPACES
BICYCLE PARKING PROVIDED:	5 SHORT-TERM SPACES	
	90 LONG-TERM SPACES	

ZONING NOTES

- *PER San Mateo Municipal Code 27.04.200 (b) Measurement, other than single-family dwellings in r1 zoning districts.
- (1) Floor area is measured from the exterior façade of the building's wall planes, from the centerline of party walls, or from a line three feet from the edge of an eave, whichever produces the largest floor area. Stories exceeding 15 feet in height shall be counted as additional floor area, with the exception that ground floor retail may be up to 18 feet in height measured from first finish floor to second finish floor before being counted as additional floor area. Floor area also includes all accessory structures on the site and basements that meet the definition in subsection (c)(5).
- (2) Exclusions. The following are not counted as floor area:
 - (A) Covered or open courts, and atriums, on the ground floor, provided that the area is not used as dwelling, office, retailing, or required access;
 - (B) In multiple-level buildings, covered courts, if the retailing uses are open to the public. Multiple-level stairwells and elevators shall be counted only as ground floor area;
 - (C) Covered walkways and balconies;
 - (D) First floors, mechanical areas, penthouse, and top floors are counted only once as floor area, regardless of height;
 - (E) Bicycle parking facilities;
 - (F) Floor area designated for day care centers accessory to and intended to serve a multi-family, commercial, office or manufacturing use. Such floor area may be located within the primary structure or may be in a freestanding structure accessory to the primary structure;
 - (G) Covered parking for office use shall not be counted as floor area in areas delineated for exclusion within an adopted plan, such as the Mariner's Island Specific Plan or the Bay Meadows Specific Plan.

TOTAL FAR FLOOR AREA OFFICE: 131,593 SQ.FT.
TOTAL FAR FLOOR AREA RESIDENTIAL: 70,057 SQ.FT.

FLOOR AREA	Use	L1	L2	L3	L4	L5	L6	Total Area	Project FAR
		Residential Area Per Floor	3,479	0	0	21,883	21,884		
	Office / Commercial	38,753	41,906	36,887	7,077	6,970	0	131,593	
	Total FAR Floor Area							201650	3.99

FAR AREA DESIGNATION

- OFFICE AREA
- RESIDENTIAL AREA
- AREAS EXCLUDED FROM FAR CALCULATIONS
- OPEN TO BELOW AREA NOT ADDED TO FAR CALCULATIONS



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PLANNING DEPARTMENT AREA CALCULATIONS

A0.21

PROJECT NO: 215513



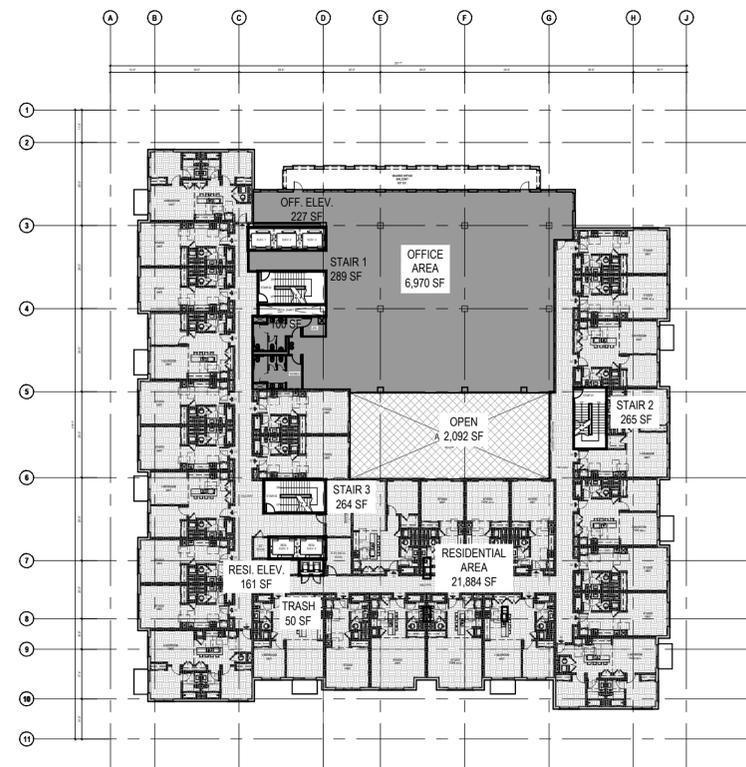
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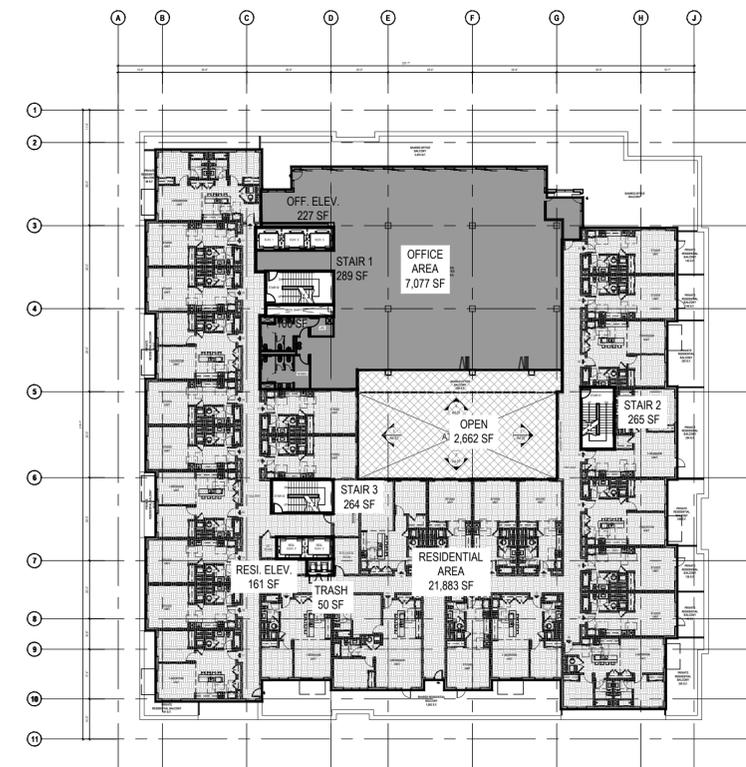
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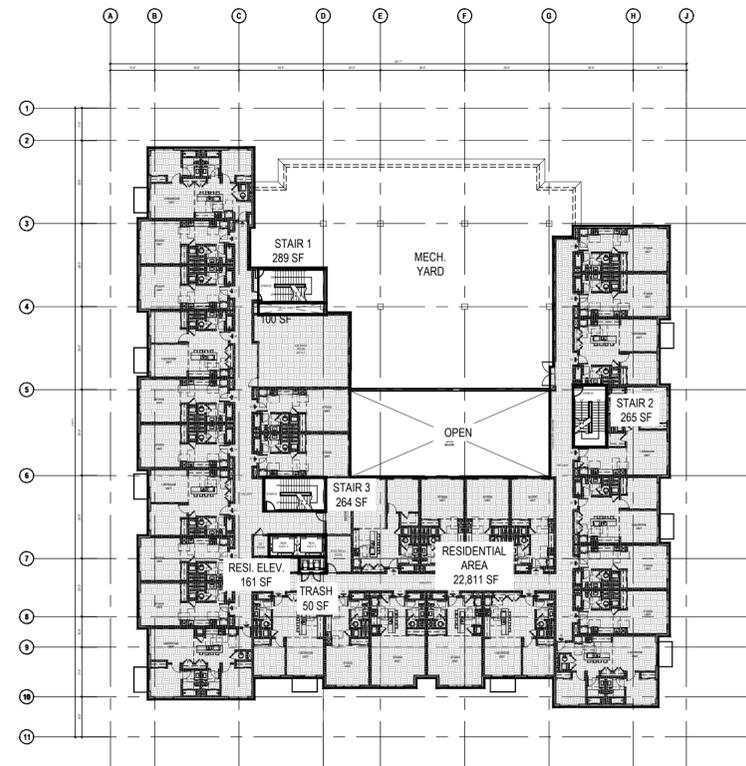
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FIFTH LEVEL AREA PLAN
SCALE: 1/32" = 1'-0"



FOURTH LEVEL AREA PLAN
SCALE: 1/32" = 1'-0"



SIXTH LEVEL AREA PLAN
SCALE: 1/32" = 1'-0"

FAR AREA CALCULATIONS

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TRASH CHUTE	(41 SQ. FT.)
OPEN TO BELOW	(2,112 SQ. FT.)
NET OFFICE AREA:	41,906 SQ. FT.
THIRD LEVEL:	
GROSS OFFICE FLOOR	40,346 SQ. FT.
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BICYCLE PARKING CALCULATIONS

BICYCLE PARKING REQUIRED:
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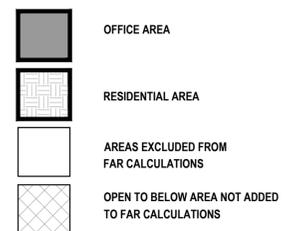
BICYCLE PARKING PROVIDED:
5 SHORT-TERM SPACES
90 LONG-TERM SPACES

ZONING NOTES

*PER San Mateo Municipal Code 27.04.200 (b) Measurement, other than single-family dwellings in r1 zoning districts.
(1) Floor area is measured from the exterior façade of the building's wall planes, from the centerline of party walls, or from a line three feet from the edge of an eave, whichever produces the largest floor area. Stories exceeding 15 feet in height shall be counted as additional floor area, with the exception that ground floor retail may be up to 18 feet in height measured from first finish floor to second finish floor before being counted as additional floor area. Floor area also includes all accessory structures on the site and basements that meet the definition in subsection (c)(5).
(2) Exclusions. The following are not counted as floor area:
(A) Covered or open courts, and atriums, on the ground floor, provided that the area is not used as dwelling, office, retailing, or required access;
(B) In multiple-level buildings, covered courts, if the retailing uses are open to the public. Multiple-level stairwells and elevators shall be counted only as ground floor area;
(C) Covered walkways and balconies;
(D) First floors, mechanical areas, penthouse, and top floors are counted only once as floor area, regardless of height;
(E) Bicycle parking facilities;
(F) Floor area designated for day care centers accessory to and intended to serve a multi-family, commercial, office or manufacturing use. Such floor area may be located within the primary structure or may be in a freestanding structure accessory to the primary structure;
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TOTAL FAR FLOOR AREA RESIDENTIAL: 70,057 SQ.FT.

FAR AREA DESIGNATION



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01.13.2022	FIRST PLANNING SUBMITTAL

PLANNING DEPARTMENT AREA CALCULATIONS

A0.22

PROJECT NO: 215513

P:\2021\20210513\Windy Hill\2021 Planning Application\2021 FAR Area Calculations.dwg, Jan 13, 2022, 5:07pm, jason

FIRE RESISTANCE CODE SUMMARY

FIRE-RESISTANCE RATING REQUIREMENTS FOR BUILDING ELEMENTS (HOURS) (TABLE 601)												
BUILDING ELEMENT	TYPE I		TYPE II		TYPE III		TYPE IV			TYPE V		
	IA	IB	IIA ^d	IIB	IIIA	IIIB	A	B	C	HT	VA	VB
Primary Structural Frame ^a (See Section 202)	3 ^{a,b}	2 ^{a,b,c}	1 ^{a,b,c}	0 ^c	2 ^{a,b,c}	0	3 ^a	2 ^a	2 ^a	HT	1 ^{a,b,c}	0
Bearing Walls												
Exterior ^{a,1}	3	2	1	0	2	0				2	1	0
Interior	3 ^a	2 ^a	1	0	2	0				1HT ⁹	1	0
Nonbearing Walls And Partitions - Exterior	See Table 705.5											
Nonbearing Walls And Partitions - Interior ^d	0	0	0	0	0	0				See Section 2304.11.2	0	0
Floor Construction and Associated Secondary Members (see Section 202)	2	2	1	0	1	0				HT	1	0
Roof Construction and Associated Secondary Members (see Section 202)	1 1/2 ^b	1 ^{b,c}	1 ^{b,c}	0 ^c	1 ^{b,c}	0				HT	1 ^{b,c}	0

For SI: 1 foot = 304.8 mm.

- Roof supports: Fire-resistance ratings of primary structural frame and bearing walls are permitted to be reduced by 1 hour where supporting a roof only.
- Except in Group A, E, F-1, H, I, L, M, R-1, R-2, R-2.1 and S-1 occupancies, high-rise buildings, and other applications listed in Section 1.11 regulated by the Office of the State Fire Marshal, fire protection of structural members in roof construction shall not be required, including protection of primary structural frame members, roof framing and decking where every part of the roof construction is 20 feet or more above any floor immediately below. Fire-retardant-treated wood members shall be allowed to be used for such unprotected members.
 - For Group A, E, I, L, R-1, R-2, and R-2.1 occupancies, high-rise buildings, and other applications listed in Section 1.11 regulated by the Office of the State Fire Marshal, fire protection of members other than the primary structural frame shall not be required, including protection of roof framing and decking where every part of the roof construction is 20 feet or more above any floor immediately below. Fire-retardant-treated wood members shall be allowed to be used for such unprotected members.
 - One-story portions of Group A and E assembly occupancies the roof-framing system of Type II A or Type III A construction may be of unprotected construction when such roof-framing system is open to the assembly area and does not contain concealed spaces.
- In all occupancies, heavy timber complying with Section 2304.11 shall be allowed for roof construction including primary structural frame members where a 1-hour or less fire-resistance rating is required.
- Not less than the fire-resistance rating required by other sections of this code.
- Not less than the fire-resistance rating based on fire separation distance (see Table 705.5).
- Not less than the fire-resistance rating as referenced in Section 704.10.
- Heavy timber bearing walls supporting more than two floors or more than a floor and a roof shall have a fire-resistance rating of not less than 1 hour.

FIRE-RESISTANCE RATING FOR EXTERIOR WALLS BASED ON FIRE SEPARATION DISTANCE (TABLE 705.5) ^{1,d,g}				
FIRE SEPARATION DISTANCE = X (FEET)	TYPE OF CONSTRUCTION	OCCUPANCY GROUP H ¹	OCCUPANCY GROUP F-1, M, S-1 ¹	OCCUPANCY GROUP A, B, E, F-2, I, R ² , S-2, U ^h
x < 5 ⁵	All	3	2	1
5 ≤ X < 10	IA, IVA Others	3 2	2 1	1 1
10 ≤ X < 30	IA, IB, IVA, IVB II B, VB Others	2 1 1	1 0 1	1 ^c 0 1 ^c
X ≥ 30	All	0	0	0

For SI: 1 foot = 304.8 mm.

- Load-bearing exterior walls shall also comply with the fire-resistance rating requirements of Table 601.
- See Section 706.1.1 for party walls.
- Open parking garages complying with Section 406 shall not be required to have a fire-resistance rating.
- The fire-resistance rating of an exterior wall is determined based upon the fire separation distance of the exterior wall and the story in which the wall is located.
- For special requirements for Group H occupancies, see Section 415.6.
- For special requirements for Group S aircraft hangars, see Section 412.3.1.
- Where Table 705.8 permits nonbearing exterior walls with unlimited area of unprotected openings, the required fire-resistance rating for the exterior walls is 0 hours.
- For a building containing only a Group U occupancy private garage or carport, the exterior wall shall not be required to have a fire-resistance rating where the fire separation distance is 5 feet (1523 mm) or greater or where equipped throughout with an automatic sprinkler system in accordance with Section 903.3 the fire-resistance rating shall not be required where the fire separation distance is 3 feet or greater.
- For a Group R-3 building of Type II-B or Type V-B construction, the exterior wall shall not be required to have a fire-resistance rating where the fire separation distance is 5 feet (1523 mm) or greater or where equipped throughout with an automatic sprinkler system in accordance with Section 903.3 the fire-resistance rating shall not be required where the fire separation distance is 3 feet or greater.

CORRIDOR FIRE-RESISTANCE RATING (Table 1020.2)			
Occupancy	Occupant Load Served by Corridor	Required Fire-Resistance Rating (hours)	
		Without Sprinkler System	With Sprinkler System
H-1, H-2, H-3	All	Not Permitted	1 ^c
H-4, H-5, L	Greater Than 30	Not Permitted	1 ^c
A, B, E, F, M, S, U	Greater Than 30	1	0
R-1, R-2, R-3, R-3.1, R-4	Greater Than 10	1 ^d	1
I-2 ¹ , I-2.1	Greater Than 6	Not Permitted	1
I-3, R-2.1	Greater Than 6	Not Permitted	1 ^{b,c}
I-4	All	1	0
E	Greater Than 10	1	0

- For requirements for occupancies in Group I-2 and I-2.1, see Sections 407.2 and 407.3.
- For a reduction in the fire-resistance rating for occupancies in Group I-3, see Section 408.8.
- Buildings equipped throughout with an automatic sprinkler system in accordance with Section 903.3.1.1 or 903.3.1.2 where allowed.
- Group R-3 and R-4 buildings equipped throughout with an automatic sprinkler system in accordance with section 903.3.1.3. See Section 903.2.8 for occupancies where automatic sprinkler systems are permitted in accordance with section 903.3.1.3.

PLUMBING FIXTURE TABULATIONS

LEVEL 01 FLOOR (OFFICE)

B OCCUPANCY NET AREA: 38,753 S.F.

38,753 S.F. / 150 S.F. PER PERSON = 258.35 PERSONS; ROUND UP TO 259 PERSONS
OR 129 MEN & 130 WOMEN

MEN'S FIXTURES	REQUIRED:	WOMEN'S FIXTURES	REQUIRED:
WATER CLOSETS:	129 OCCUPANTS or 3	WATER CLOSETS:	130 OCCUPANTS or 7
URINALS:	129 OCCUPANTS or 2	LAVATORIES:	130 OCCUPANTS or 3
LAVATORIES:	129 OCCUPANTS or 2		

RESTROOM FIXTURE REQUIREMENTS AND PROVIDED TOTALS FOR LEVEL 01 FLOOR OFFICE

PER CBC SECTION 422.1: WHERE APPLYING THE FIXTURE RATIOS IN TABLE 422.1 RESULTS IN FRACTIONAL NUMBERS, SUCH NUMBERS SHALL BE ROUNDED TO THE NEXT WHOLE NUMBER. FOR MULTIPLE OCCUPANCIES, FRACTIONAL NUMBERS SHALL BE FIRST SUMMED AND THEN ROUNDED TO THE NEXT WHOLE NUMBER.

MEN'S FIXTURES	REQUIRED:	WOMEN'S FIXTURES	REQUIRED:
WATER CLOSETS:	3	WATER CLOSETS:	7
URINALS:	2	LAVATORIES:	3
LAVATORIES:	2		
HI-LOW DRINKING FOUNTAIN SERVICE SINK	1		
MEN'S FIXTURES	PROVIDED:	WOMEN'S FIXTURES	PROVIDED:
WATER CLOSETS:	4	WATER CLOSETS:	7
URINALS:	3	LAVATORIES:	5
LAVATORIES:	5		
HI-LOW DRINKING FOUNTAIN SERVICE SINK	2		

LEVEL 02 FLOOR (OFFICE)

B OCCUPANCY NET AREA: 41,906 S.F.

41,906 S.F. / 150 S.F. PER OCCUPANT = 279.37 OCCUPANTS; ROUND UP TO 280 OCCUPANTS
OR 140 MEN & 140 WOMEN

MEN'S FIXTURES	REQUIRED:	WOMEN'S FIXTURES	REQUIRED:
WATER CLOSETS:	140 OCCUPANTS or 3	WATER CLOSETS:	140 OCCUPANTS or 7
URINALS:	140 OCCUPANTS or 2	LAVATORIES:	140 OCCUPANTS or 3
LAVATORIES:	140 OCCUPANTS or 2		

RESTROOM FIXTURE REQUIREMENTS AND PROVIDED TOTALS FOR LEVEL 02 FLOOR

MEN'S FIXTURES	REQUIRED:	WOMEN'S FIXTURES	REQUIRED:
WATER CLOSETS:	3	WATER CLOSETS:	7
URINALS:	2	LAVATORIES:	3
LAVATORIES:	2		
HI-LOW DRINKING FOUNTAIN SERVICE SINK	1		
MEN'S FIXTURES	PROVIDED:	WOMEN'S FIXTURES	PROVIDED:
WATER CLOSETS:	4	WATER CLOSETS:	7
URINALS:	3	LAVATORIES:	5
LAVATORIES:	5		
HI-LOW DRINKING FOUNTAIN SERVICE SINK	2		

LEVEL 03 FLOOR (OFFICE)

B OCCUPANCY NET AREA: 36,887 S.F.

36,887 S.F. / 150 S.F. PER OCCUPANT = 245.91 OCCUPANTS; ROUND UP TO 246 OCCUPANTS
OR 123 MEN & 123 WOMEN

MEN'S FIXTURES	REQUIRED:	WOMEN'S FIXTURES	REQUIRED:
WATER CLOSETS:	123 OCCUPANTS or 3	WATER CLOSETS:	123 OCCUPANTS or 7
URINALS:	123 OCCUPANTS or 2	LAVATORIES:	123 OCCUPANTS or 3
LAVATORIES:	123 OCCUPANTS or 2		

RESTROOM FIXTURE REQUIREMENTS AND PROVIDED TOTALS FOR LEVEL 03 FLOOR

MEN'S FIXTURES	REQUIRED:	WOMEN'S FIXTURES	REQUIRED:
WATER CLOSETS:	3	WATER CLOSETS:	7
URINALS:	2	LAVATORIES:	3
LAVATORIES:	2		
HI-LOW DRINKING FOUNTAIN SERVICE SINK	1		
MEN'S FIXTURES	PROVIDED:	WOMEN'S FIXTURES	PROVIDED:
WATER CLOSETS:	4	WATER CLOSETS:	7
URINALS:	3	LAVATORIES:	5
LAVATORIES:	5		
HI-LOW DRINKING FOUNTAIN SERVICE SINK	2		

LEVEL 04 FLOOR (OFFICE)

B OCCUPANCY NET AREA: 6,420 S.F.

6,420 S.F. / 150 S.F. PER OCCUPANT = 42.80 OCCUPANTS; ROUND UP TO 43 OCCUPANTS
OR 21 MEN & 22 WOMEN

MEN'S FIXTURES	REQUIRED:	WOMEN'S FIXTURES	REQUIRED:
WATER CLOSETS:	21 OCCUPANTS or 1	WATER CLOSETS:	22 OCCUPANTS or 2
URINALS:	21 OCCUPANTS or 1	LAVATORIES:	22 OCCUPANTS or 1
LAVATORIES:	21 OCCUPANTS or 1		

RESTROOM FIXTURE REQUIREMENTS AND PROVIDED TOTALS FOR LEVEL 04 FLOOR

MEN'S FIXTURES	REQUIRED:	WOMEN'S FIXTURES	REQUIRED:
WATER CLOSETS:	1	WATER CLOSETS:	2
URINALS:	1	LAVATORIES:	1
LAVATORIES:	1		
HI-LOW DRINKING FOUNTAIN SERVICE SINK	1		
MEN'S FIXTURES	PROVIDED:	WOMEN'S FIXTURES	PROVIDED:
WATER CLOSETS:	2	WATER CLOSETS:	3
URINALS:	1	LAVATORIES:	2
LAVATORIES:	2		
HI-LOW DRINKING FOUNTAIN SERVICE SINK	1		

LEVEL 05 FLOOR (OFFICE)

B OCCUPANCY NET AREA: 6,970 S.F.

6,970 S.F. / 150 S.F. PER OCCUPANT = 46.46 OCCUPANTS; ROUND UP TO 47 OCCUPANTS
OR 23 MEN & 24 WOMEN

MEN'S FIXTURES	REQUIRED:	WOMEN'S FIXTURES	REQUIRED:
WATER CLOSETS:	23 OCCUPANTS or 1	WATER CLOSETS:	24 OCCUPANTS or 1
URINALS:	23 OCCUPANTS or 1	LAVATORIES:	24 OCCUPANTS or 1
LAVATORIES:	23 OCCUPANTS or 1		

RESTROOM FIXTURE REQUIREMENTS AND PROVIDED TOTALS FOR LEVEL 05 FLOOR

MEN'S FIXTURES	REQUIRED:	WOMEN'S FIXTURES	REQUIRED:
WATER CLOSETS:	1	WATER CLOSETS:	1
URINALS:	1	LAVATORIES:	1
LAVATORIES:	1		
HI-LOW DRINKING FOUNTAIN SERVICE SINK	1		
MEN'S FIXTURES	PROVIDED:	WOMEN'S FIXTURES	PROVIDED:
WATER CLOSETS:	2	WATER CLOSETS:	3
URINALS:	1	LAVATORIES:	2
LAVATORIES:	2		
HI-LOW DRINKING FOUNTAIN SERVICE SINK	1		

ALLOWABLE BUILDING AREA

ABOVE-GRADE BUILDING (OFFICE AND RESIDENTIAL)			
AUTOMATIC SPRINKLER CONFIGURATION:	SM (BUILDING TWO OR MORE STORIES ABOVE GRADE PLANE, EQUIPPED THROUGHOUT WITH AN AUTOMATIC SPRINKLER SYSTEM IN ACCORDANCE WITH SECTION 903.3.1.1).		
BELOW 3RD FLOOR	CONSTRUCTION TYPE: I-A		
ABOVE 3RD FLOOR	CONSTRUCTION TYPE: III-A		
	OCCUPANCY CLASSIFICATION		
	B	R-2	
MAXIMUM HEIGHT (TABLE 504.2)	85'-0"	85'-0"	
MAXIMUM NUMBER OF STORIES (TABLE 504.4)	6	5	
SM ALLOWABLE AREA FACTOR (TABLE 506.2)	85,500 S.F.	72,000 S.F.	
NS AREA FACTOR (TABLE 506.2)	28,500 S.F.	24,000 S.F.	
HEIGHT OF PROPOSED BUILDING	85'-0" (AVG. T.O. ROOF RIDGE)		
NUMBER OF STORIES ABOVE GRADE (STARTS AT TOP OF I-A PODIUM PER 510.2)	2	3	
PROPOSED AREA PER FLOOR	B	B	
LEVEL 01	38,753 S.F.	3,479 S.F.	42,232 S.F.
LEVEL 02	41,906 S.F.		41,906 S.F.
LEVEL 03	36,887 S.F.		36,887 S.F.
LEVEL 04	7,077 S.F.	21,883 S.F.	28,960 S.F.
LEVEL 05	6,970 S.F.	28,884 S.F.	35,854 S.F.
LEVEL 06		22,811 S.F.	22,811 S.F.
TOTAL BUILDING AREA ABOVE GRADE	131,593 S.F.	77,057 S.F.	208,650 S.F.

BELOW GRADE BUILDING (PARKING GARAGE)		
CONSTRUCTION TYPE: I - A		
OCCUPANCY CLASSIFICATION: S-2		
AUTOMATIC SPRINKLER CONFIGURATION:	S1 (BUILDING A MAXIMUM OF ONE STORY ABOVE GRADE PLANE, EQUIPPED THROUGHOUT WITH AN AUTOMATIC SPRINKLER SYSTEM IN ACCORDANCE WITH SECTION 903.3.1.1).	
	OCCUPANCY CLASSIFICATION	
	S-2	
MAXIMUM HEIGHT (TABLE 504.2)	UNLIMITED	
MAXIMUM NUMBER OF STORIES (TABLE 504.4)	UNLIMITED	
S1 ALLOWABLE AREA FACTOR (TABLE 506.2)	UNLIMITED	
NS AREA FACTOR (TABLE 506.2)	UNLIMITED	
PROPOSED AREA PER FLOOR		
BUILDING LEVEL	BUILDING AREA	
PARKING LEVEL -2	48,222 S.F.	
PARKING LEVEL -1	48,222 S.F.	
TOTAL BUILDING AREA BELOW GRADE	96,444 S.F.	

SUMMARY:

ABOVE GRADE OFFICE AND RESIDENTIAL:
TYPE III-A CONSTRUCTION (BUSINESS B OCCUPANCY LEVEL 01 TO LEVEL 03)
TYPE III-A CONSTRUCTION (RESIDENTIAL R-2 OCCUPANCY LEVEL 04 TO LEVEL 06)

BELOW GRADE PARKING STRUCTURE: TYPE I-A CONSTRUCTION

- Below grade Parking Structure: Type I-A construction.
- Three-hour rated construction is required for exterior walls and concrete slab separating garage from the office building.
- Minimum concrete thickness to be 6.2".
- Two-hour rating is required for other floors with minimum concrete thickness of 5".
- All shafts and stairs to be constructed with two-hour partitions.



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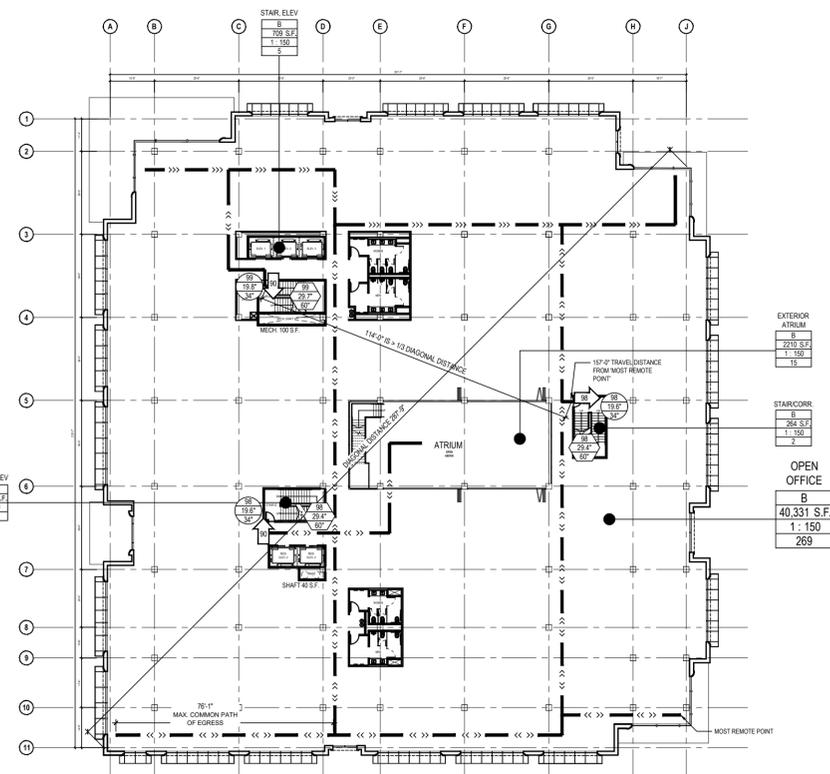
PLANNING APPLICATION FOR:
WINDY HILL PROPERTY VENTURES
BLOCK 20
SAN MATEO, CA 94401

DATE	DESCRIPTION
08.22.2022	ZONING PRE-APPLICATION
01.13.2022	FIRST PLANNING SUBMITTAL

BUILDING CODE PROJECT DATA

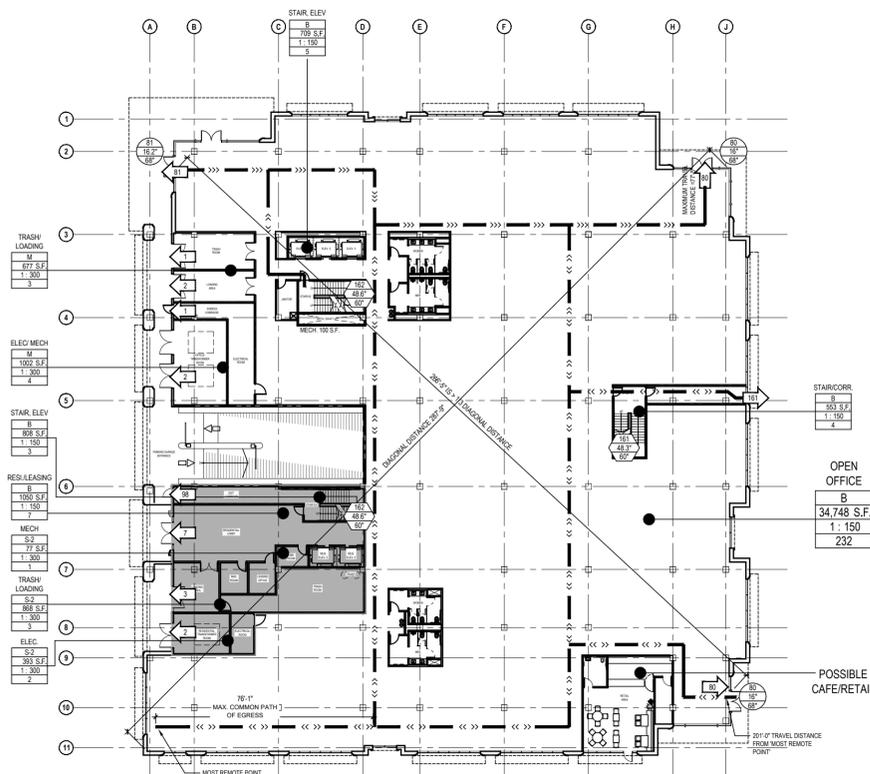
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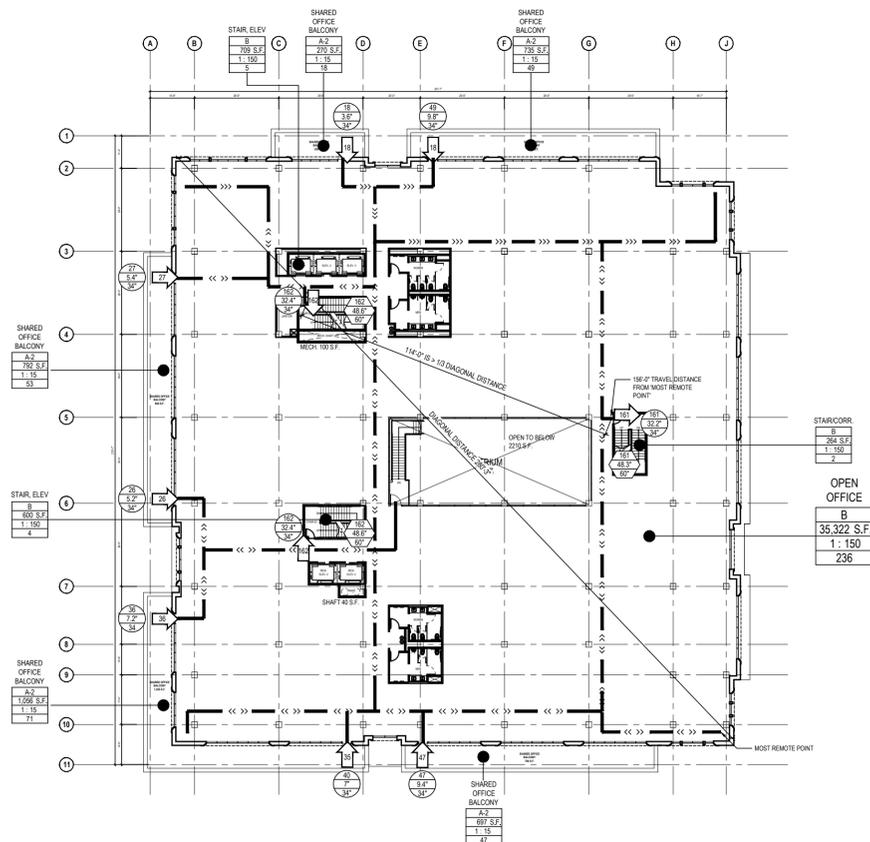
SECOND LEVEL EGRESS PLAN

SCALE: 1/32" = 1'-0"



FIRST LEVEL EGRESS PLAN

SCALE: 1/32" = 1'-0"



THIRD LEVEL EGRESS PLAN

SCALE: 1/32" = 1'-0"



SYMBOL KEY

AREA OCCUPANT LOAD DESIGNATION		DOORWAY OCCUPANT LOAD DESIGNATION	
ROOM NAME	OCCUPANCY CLASSIFICATION OF THE SPACE	100	NUMBER OF OCCUPANTS
12,444 S.F.	SQUARE FOOTAGE	20.0	EXIT WIDTH REQUIRED
1: 150	OCCUPANT LOAD FACTOR	34	EXIT WIDTH PROVIDED
-	NUMBER OF OCCUPANTS		
STAIRWAY OCCUPANT LOAD DESIGNATION		PATH OF TRAVEL DESIGNATION	
100	NUMBER OF OCCUPANTS	← ← ←	EXIT IN ONE DIRECTION
30.0	STAIR WIDTH REQUIRED (INCHES)	← ← →	EXIT IN BOTH DIRECTIONS
60	STAIR WIDTH PROVIDED (INCHES)		
DIRECTION OF EGRESS/OCCUPANT LOAD DESIGNATION		FIRE EXTINGUISHERS AND FIRE HOSES	
25	DIRECTION OF EGRESS	F.E.	FIRE EXTINGUISHER
	OCCUPANT LOAD	F.E.C.	BRACKET-MOUNTED
		F.E.C.	
EXIT SIGNAGE DESIGNATION		RATED SEPARATION DESIGNATION	
→	SIGN FACE DIRECTION	— — — — —	1-HOUR RATED FIRE SEPARATION
←	DIRECTION OF TRAVEL	— — — — —	2-HOUR RATED FIRE SEPARATION

EXITING WIDTH TABULATIONS

THIS BUILDING IS EQUIPPED WITH AUTOMATIC SPRINKLER SYSTEM. EXIT WIDTH REQUIRED IS 0.3" PER PERSON FOR STAIRS AND 0.2" PER DOORS AND OTHER EXIT ELEMENTS, PER CBC SECTION 1005.3.



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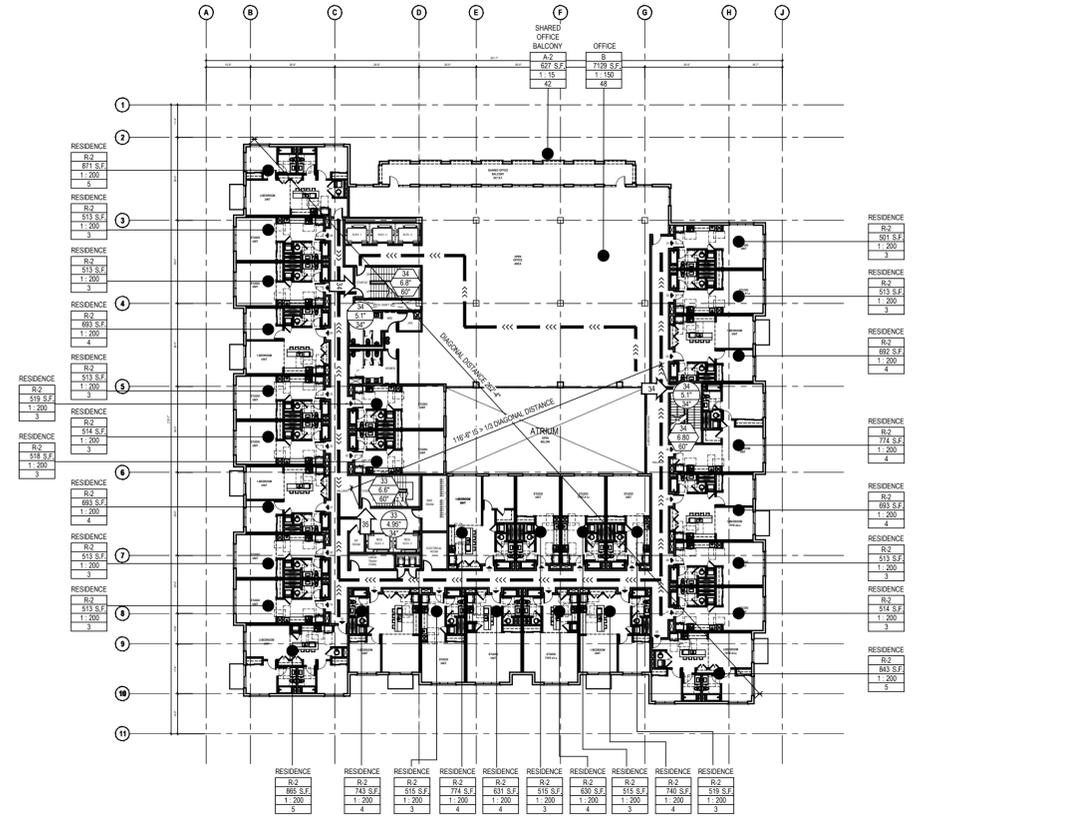
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EGRESS DIAGRAMS

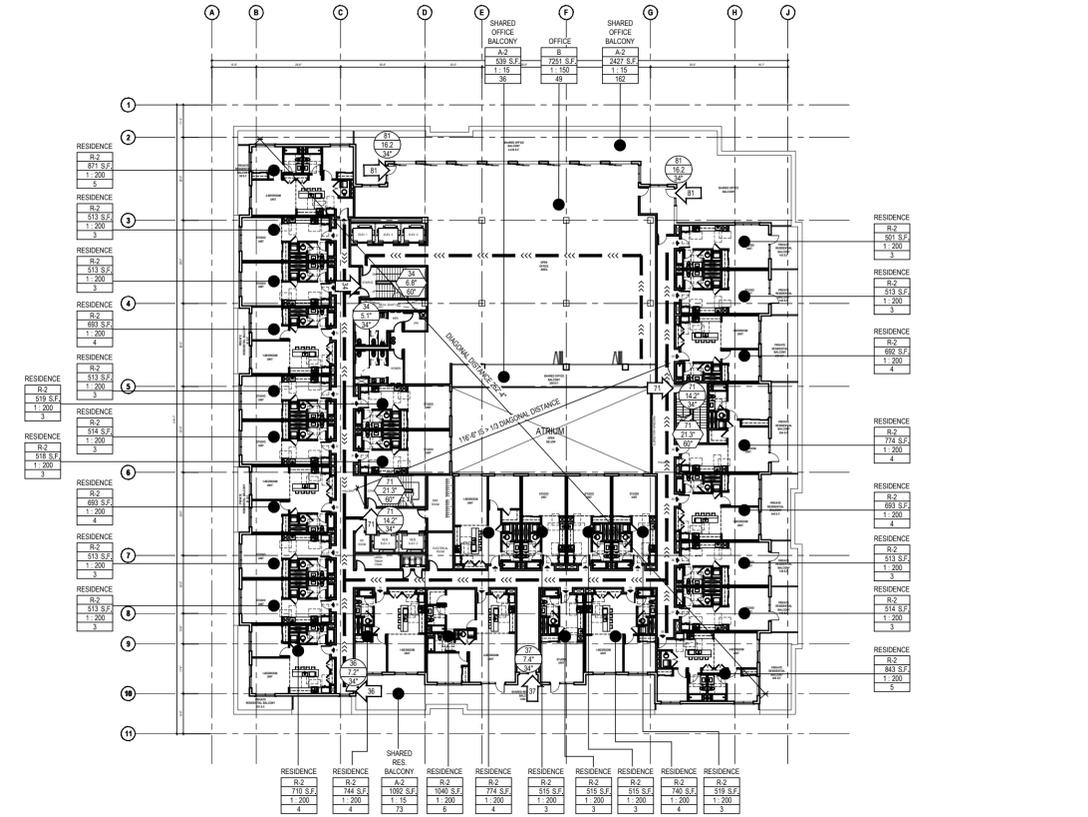
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PROJECT NO: 215513



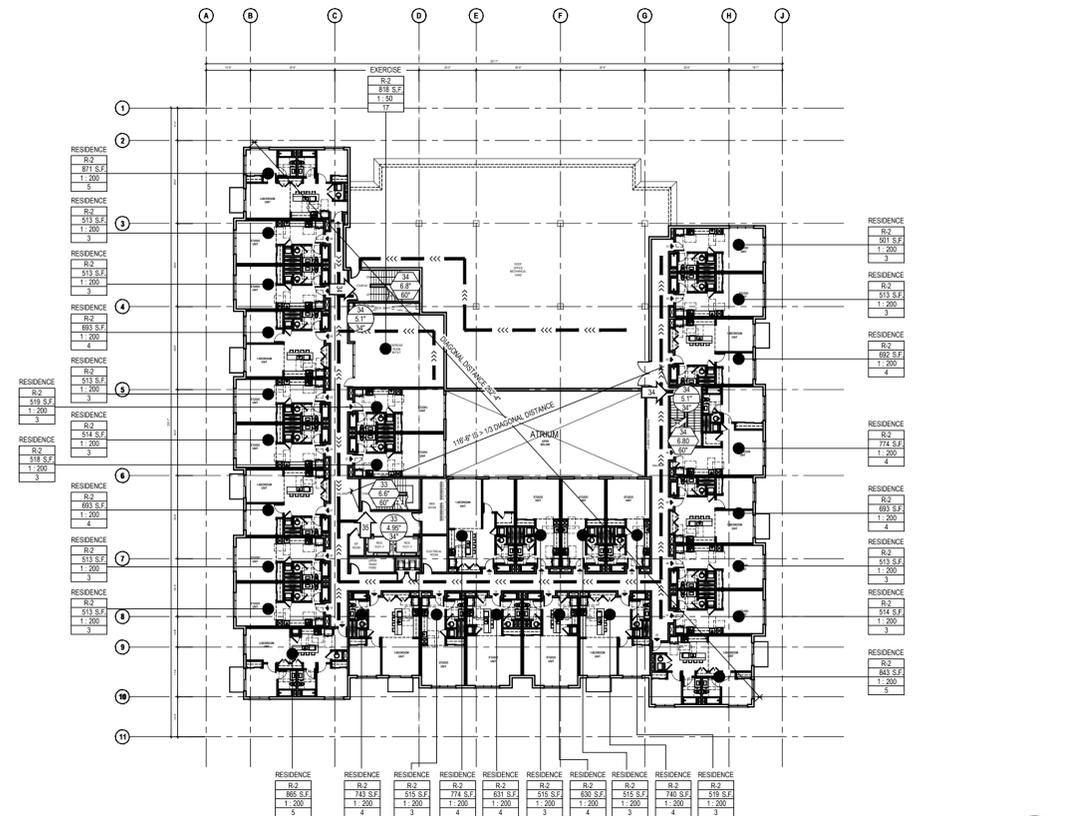
FIFTH LEVEL EGRESS PLAN

SCALE: 1/32" = 1'-0"



FOURTH LEVEL EGRESS PLAN

SCALE: 1/32" = 1'-0"



SIXTH LEVEL EGRESS PLAN

SCALE: 1/32" = 1'-0"

SYMBOL KEY

AREA OCCUPANT LOAD DESIGNATION		DOORWAY OCCUPANT LOAD DESIGNATION	
ROOM NAME	OCCUPANCY CLASSIFICATION OF THE SPACE	100	NUMBER OF OCCUPANTS
B	SQUARE FOOTAGE	20.0	EXIT WIDTH REQUIRED
12,444 S.F.	OCCUPANT LOAD FACTOR	34	EXIT WIDTH PROVIDED
1: 150	NUMBER OF OCCUPANTS		
STAIRWAY OCCUPANT LOAD DESIGNATION		PATH OF TRAVEL DESIGNATION	
100	NUMBER OF OCCUPANTS	← ← ←	EXIT IN ONE DIRECTION
30.0	STAIR WIDTH REQUIRED (INCHES)	← ← →	EXIT IN BOTH DIRECTIONS
60	STAIR WIDTH PROVIDED (INCHES)		
DIRECTION OF EGRESS/OCCUPANT LOAD DESIGNATION		FIRE EXTINGUISHERS AND FIRE HOSES	
25	DIRECTION OF EGRESS	F.E.	FIRE EXTINGUISHER
	OCCUPANT LOAD	F.E.C.	BRACKET-MOUNTED
EXIT SIGNAGE DESIGNATION		RATED SEPARATION DESIGNATION	
→	SIGN FACE DIRECTION	— — — — —	1-HOUR RATED FIRE SEPARATION
→	DIRECTION OF TRAVEL	— — — — —	2-HOUR RATED FIRE SEPARATION

EXITING WIDTH TABULATIONS

THIS BUILDING IS EQUIPPED WITH AUTOMATIC SPRINKLER SYSTEM, EXIT WIDTH REQUIRED IS 0.3" PER PERSON FOR STAIRS AND 0.2" PER DOORS AND OTHER EXIT ELEMENTS, PER CBC SECTION 1005.3.



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01.13.2022	FIRST PLANNING SUBMITTAL

EGRESS DIAGRAMS

A 0.33

PROJECT NO: 215513

E. 4TH AVE.

PROJECT DATA

ASSESSOR'S PARCEL NO.: 034186110, 034186090, 034186080, 034186070, 034186060

ZONING CBD/S - CENTRAL BUSINESS SUPPORT
 SITE AREA ±50,499 S.F. / 1.16 ACRES
 BUILDING HEIGHT 55'-0" MAXIMUM
 MAX F.A.R. 3.0 / 151,497 S.F.
 MAX RESIDENTIAL UNITS (50 PER ACRE) 58 UNITS*
 *CALIFORNIA DENSITY BONUS (ADDITIONAL 1.50) 87 UNITS
 BUILD TO REQUIREMENT PROVIDED ON E. 4TH AVE & S. CLAREMONT ST.**
 ** EXCEPTIONS ALLOWED UP 40% ON FRONTAGE
 STREETWALL 26' MIN HEIGHT
 STREETWALL STEP BACK REQUIRED THREE SIDES



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Use	L1	L2	L3	L4	L5	L6	Total Area	Project FAR
Residential Area Per Floor	3,479	0	0	21,883	21,884	22,811	70,057	
Office / Commercial	38,753	41,906	36,887	7,077	6,970	0	131,593	
Total FAR Floor Area							201650	3.99

TOTAL FLOOR AREA RATIO (201,650 S.F./50,499 S.F.) **3.99**
 OFFICE AREA **131,593 S.F.**
 OFFICE BALCONY **7,405 S.F.**
 OFFICE TOTAL **138,998 S.F.**

DWELLING UNIT CALCULATION
 FOURTH FLOOR 28 D.U.
 FIFTH FLOOR 29 D.U.
 SIXTH FLOOR 29 D.U.
 TOTAL # DWELLING UNITS **86 D.U.**

PROPOSED DWELLING UNIT MIX (ALL FLOORS)
 (52) STUDIOS OR 60%
 (25) ONE-BEDROOM UNITS OR 29%
 (9) TWO-BEDROOM UNITS OR 11%

TOTAL RESIDENTIAL AREA (BALCONY AREAS NOT INCLUDED IN N.S.F.) **70,057 S.F.**

PARKING ANALYSIS

PARKING - REQUIRED
 OFFICE (1.87/1,000) 246 SPACES
 RESIDENTIAL (.5 / DWELLING UNIT - ALL UNIT TYPES) - DEDICATED 43 SPACES
 TOTAL PARKING **289 SPACES**

PARKING - PROVIDED
 OFFICE - STANDARD/ COMPACT AND H.C. 142 SPACES
 OFFICE - TANDEM 84 SPACES
 RESIDENTIAL 43 SPACES
 TOTAL PARKING **269 SPACES**

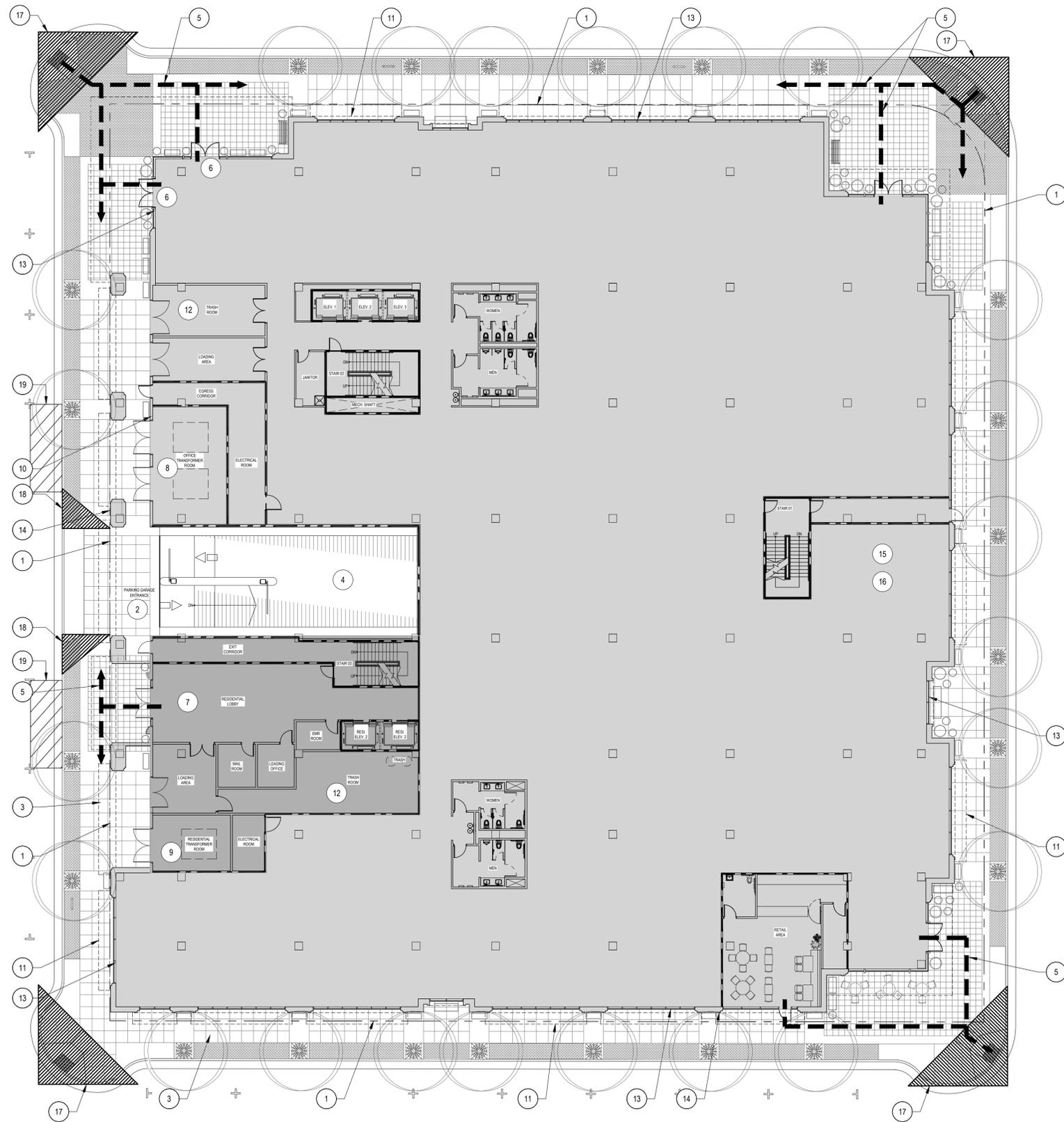
Use	Bike S-Term	Bike L-Term	Bike Total	Standard	Compact	Parking Provided
Ground level (res + office)	12		12			
P1 Level (Office)		14	14	88	40	132
P2 Level (Residential)				41	0	43
P2 Level (Office)				47	44	94
4th floor (Residential)		30	30			
5th floor (Residential)		30	30			
6th floor (Residential)		30	30			
Total Parking Provided			116	172	88	269

KEYNOTES

- 1 EXISTING PROPERTY LINE
- 2 VEHICLE ENTRY TO ON GRADE PARKING GARAGE w/ VISUAL AND AUDIBLE WARNINGS
- 3 SIDEWALK
- 4 RAMP TO UNDERGROUND PARKING STRUCTURE w/TRANSITION SLOPE TOP & BOTTOM
- 5 ACCESSIBLE PATH OF TRAVEL SHOWN DASHED
- 6 PRIMARY OFFICE ENTRY
- 7 PRIMARY RESIDENTIAL ENTRY
- 8 OFFICE TRANSFORMER ROOM
- 9 RESIDENTIAL TRANSFORMER ROOM
- 10 EXTERIOR WALL
- 11 DASHED LINE INDICATES CANOPIES ABOVE
- 12 TRASH ROOM
- 13 EXTERIOR GLAZING SYSTEM
- 14 MOLDING
- 15 FIRE CONTROL ROOM
- 16 FIRE PUMP ROOM
- 17 25'-0"x25'-0" VISION TRIANGLE
- 18 10'-0"x10'-0" VISION TRIANGLE
- 19 ON-STREET LOADING AREA (8'-0"x22'-0"). SOUTH LOADING AREA SHOULD BE RESIDENTIAL LOADING ZONE FOR PASSENGER DROP-OFF AREA/ FOOD AND GOOD DELIVERIES

CLAREMONT ST

DELAWARE ST



E. 5TH AVE.

SITE PLAN

SCALE: 1/16" = 1'-0"



PLANNING APPLICATION FOR:
WINDY HILL PROPERTY VENTURES
 BLOCK 20
 SAN MATEO, CA 94401

DATE	DESCRIPTION
08.22.2022	ZONING PRE-APPLICATION
01.13.2022	FIRST PLANNING SUBMITTAL

SITE PLAN

A1.01

PROJECT NO: 215513



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PLANNING APPLICATION FOR:
WINDY HILL PROPERTY VENTURES
BLOCK 20
SAN MATEO, CA 94401

DATE	DESCRIPTION
08.22.2022	ZONING PRE-APPLICATION
01.13.2022	FIRST PLANNING SUBMITTAL

FIRST LEVEL PLAN

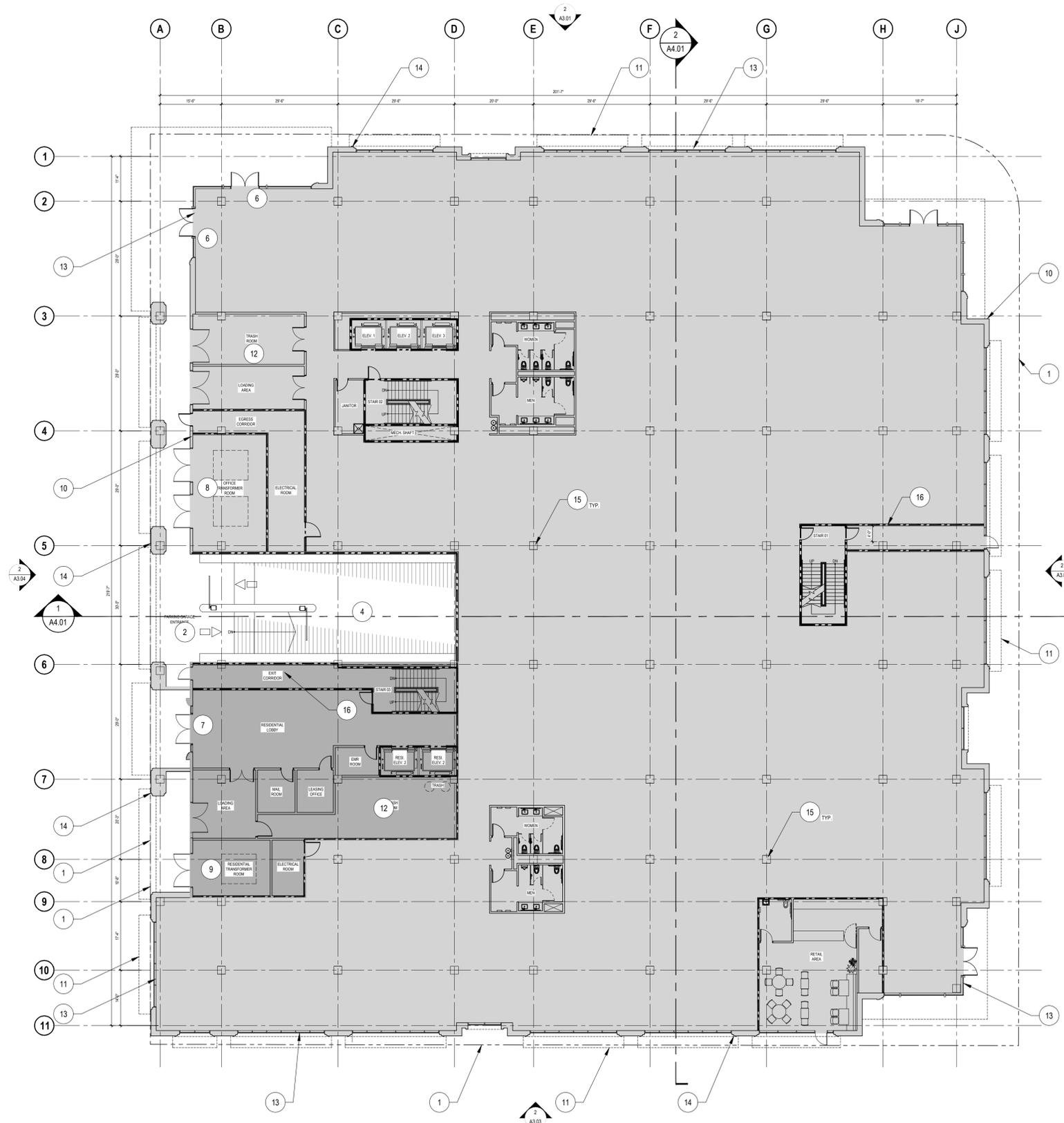
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PROJECT NO: 215513

KEYNOTES

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- 1 EXISTING PROPERTY LINE
- 2 VEHICLE ENTRY TO ON GRADE PARKING GARAGE w/ VISUAL AND AUDIBLE WARNINGS
- 3 SIDEWALK
- 4 RAMP TO UNDERGROUND PARKING STRUCTURE w/TRANSITION SLOPE TOP & BOTTOM
- 5 ACCESSIBLE PATH OF TRAVEL SHOWN DASHED
- 6 PRIMARY OFFICE ENTRY
- 7 PRIMARY RESIDENTIAL ENTRY
- 8 OFFICE TRANSFORMER ROOM
- 9 RESIDENTIAL TRANSFORMER ROOM
- 10 EXTERIOR WALL
- 11 DASHED LINE INDICATES CANOPIES ABOVE
- 12 TRASH ROOM
- 13 EXTERIOR GLAZING SYSTEM
- 14 MOLDING
- 15 STRUCTURAL COLUMN
- 16 EXIT PASSAGEWAY



FIRST LEVEL PLAN

SCALE: 1/16" = 1'-0"





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THIRD LEVEL PLAN

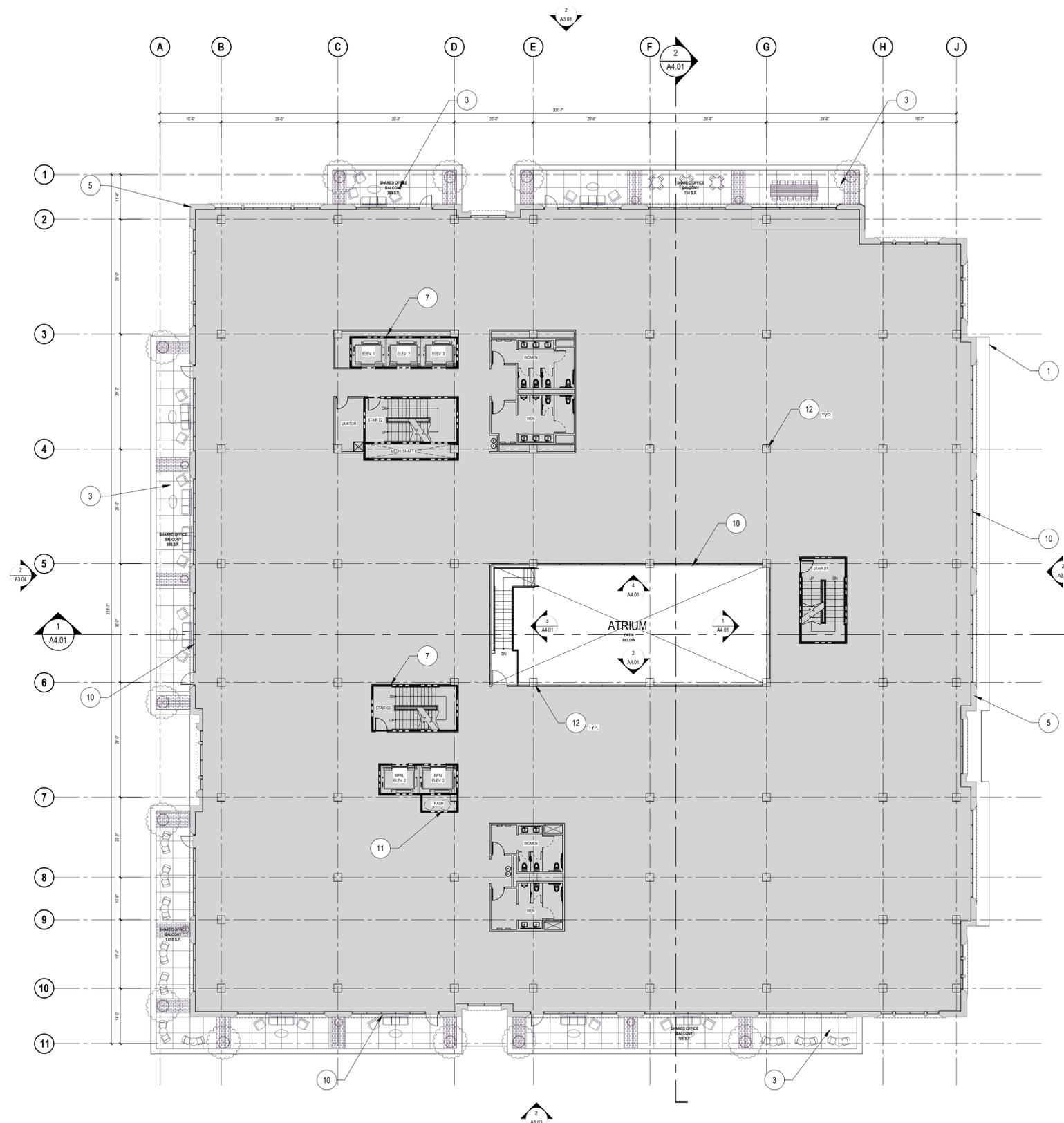
A 2.03

PROJECT NO: 215513

KEYNOTES

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- 1 DASHED LINE INDICATES CANOPY ABOVE
- 2 CANOPY BELOW
- 3 BALCONIES
- 4 PATIO DIVIDERS
- 5 EXTERIOR WALL
- 6 1-HOUR FIRE RATED WALL
- 7 2-HOUR FIRE RATED WALL
- 8 NANAWALL SYSTEM; FRAMED FOLDING GLASS WALLS
- 9 SLIDING GLASS DOOR
- 10 EXTERIOR WINDOW GLAZING SYSTEM
- 11 TRASH CHUTE
- 12 CONCRETE COLUMN



THIRD LEVEL PLAN

SCALE: 1/16" = 1'-0"





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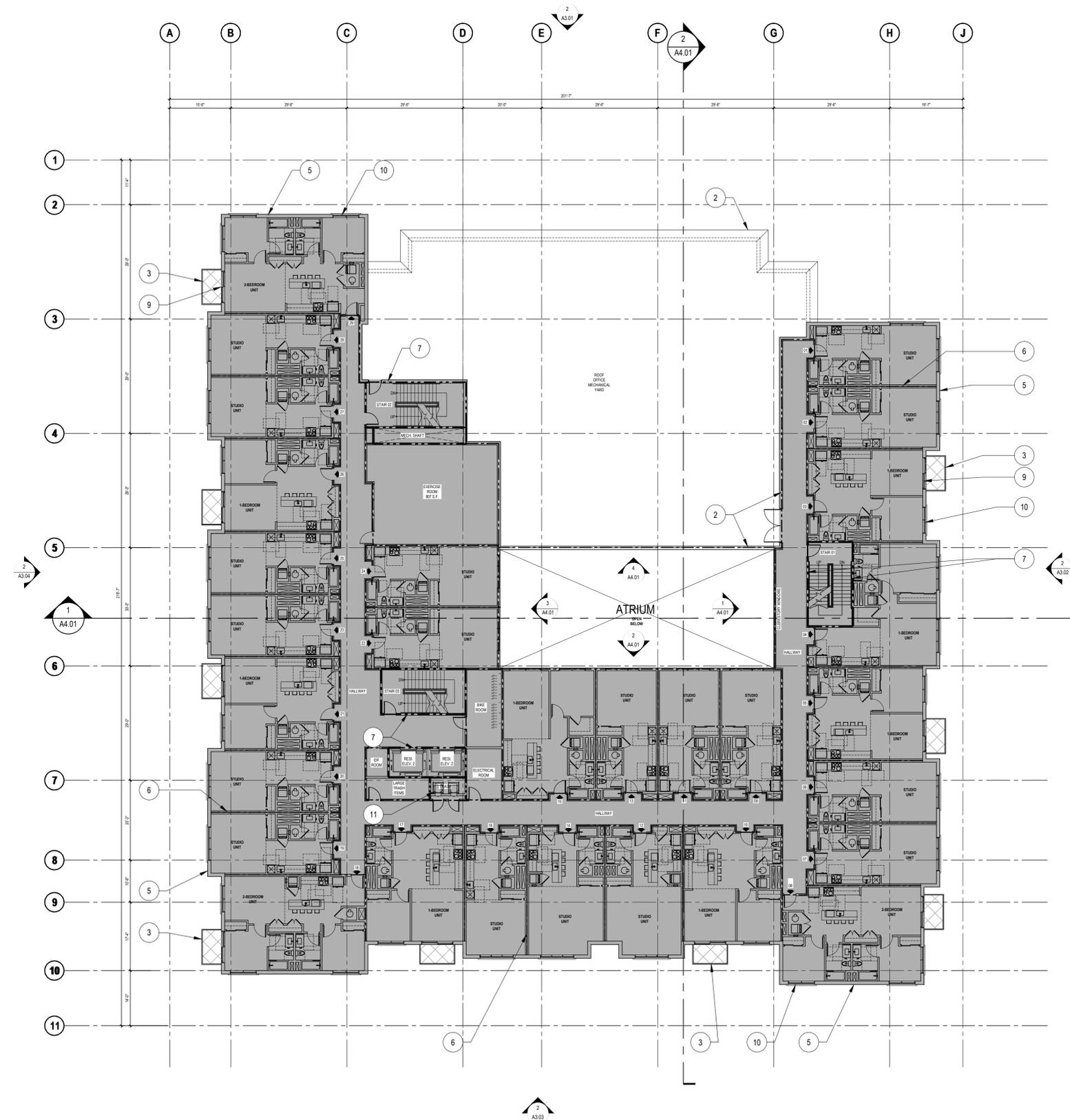
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- 9 SLIDING GLASS DOOR
- 10 EXTERIOR WINDOW GLAZING SYSTEM
- 11 TRASH CHUTE
- 12 CONCRETE COLUMN



PROJECT DATA:

RESIDENTIAL	Unit Type	Unit Area	Balcony Area	Unit Area w/Balcony	4TH	5TH	6TH	Density Bonus Parking Req'd	Short-Term Bike Pkg Req	Long-Term Bike Pkg Req
STUDIO / 1 BA	A0.1	513	145	658	4			0.50	0.05	1.00
	A0.2	515	0	515	12	16	16	0.50	0.05	1.00
	A0.3	631	0	631		2	2	0.50	0.05	1.00
1 BR / 1 BA	A1.1	693	293/248	986/941	2			0.50	0.05	1.00
	A1.1B	774	0	774	1	1	1	0.50	0.05	1.00
	A1.2	693 or 744	91	784	4			0.50	0.05	1.00
	A1.2B	710	191	901	1			0.50	0.05	1.00
	A1.3	774	294	1,068	1			0.50	0.05	1.00
	A1.4	774	0	774		1	1	0.50	0.05	1.00
2 BR / 2 BA	A1.5	693	45	738		4	4	0.50	0.05	1.00
	A1.5B	740	45	785		2	2	0.50	0.05	1.00
	A2.1	843	305	1,148	1			0.50	0.10	1.25
	A2.2	1,040	Shared	1,040	1			0.50	0.10	1.25
	A2.3	871	98	969	1			0.50	0.10	1.25
	A2.4	843	45	888		1	1	0.50	0.10	1.25
	A2.5	865	45	910		1	1	0.50	0.10	1.25
	A2.6	871	45	916		1	1	0.50	0.10	1.25
					TOTAL UNITS: 86					

SIXTH LEVEL PLAN

SCALE: 1/16" = 1'-0"



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SIXTH LEVEL PLAN
REVISED

A 2.06

PROJECT NO: 215513



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ROOF PLAN

A 2.31

PROJECT NO: 215513

KEYNOTES

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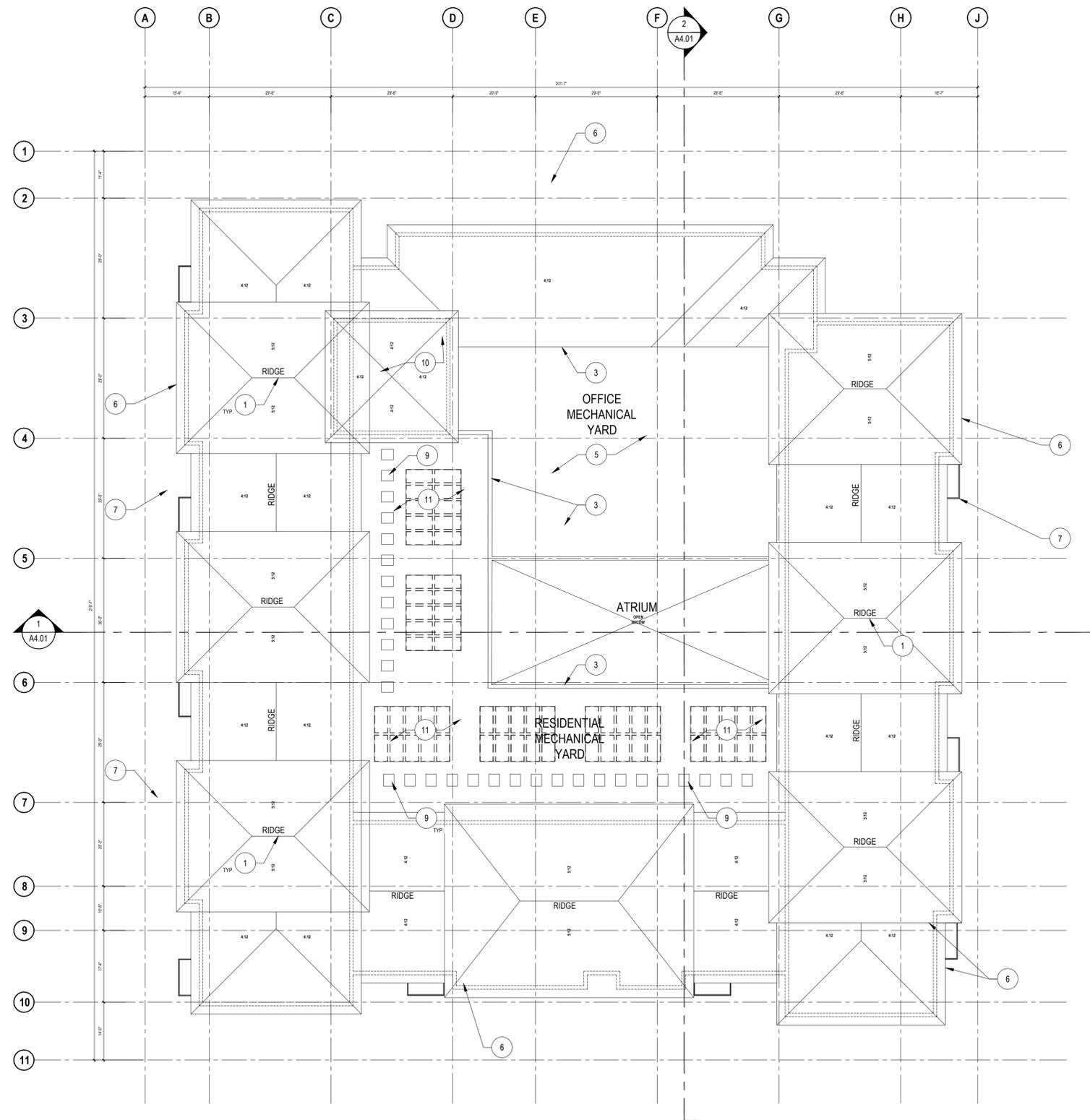
- 1 RIDGE
- 2 EXISTING PROPERTY LINE
- 3 PARAPET WALL, SEE ELEVATION FOR HEIGHTS
- 4 ROOF SCREEN, SEE ELEVATION FOR HEIGHTS
- 5 MECHANICAL UNITS BELOW
- 6 FASCIA
- 7 BALCONY BELOW
- 8 ROOF ACCESS HATCH, 4'X6' MIN. (TO MEET SMMC 23.54.090.02 SECURITY STANDARDS)
- 9 RESIDENTIAL ROOF TOP MECHANICAL UNITS; FINAL SIZE AND LOCATION TO BE DETERMINED
- 10 ELEVATOR SHAFT
- 11 PER SMMC 23.24.030 (SAN MATEO MANDATORY SOLAR INSTALLATION)

SOLAR PHOTOVOLTAIC SYSTEMS SHALL BE INSTALLED AS FOLLOW:

A 5 KW PHOTOVOLTAIC SYSTEM REQUIRED FOR NEW NON-RESIDENTIAL GREATER THAN 10,000 SQUARE FEET
A 3 KW PHOTOVOLTAIC SYSTEM REQUIRED FOR NEW MULTI-FAMILY RESIDENTIAL FOUR STORIES OR MORE AT 15.8% EFFICIENCY 1 SQUARE FOOT = 15 WATTS
TOTAL 8KW/ 15 WATTS = TOTAL SQUARE FEET REQUIRED
533.33 SQUARE FEET REQUIRED
OPTION 1 & 2 CONSIST OF ARRAYS OF 26 PANELS @ STANDARD 77"X39"
EACH OPTION PROVIDES 542 SQUARE FEET

ROOF PLAN GENERAL NOTES

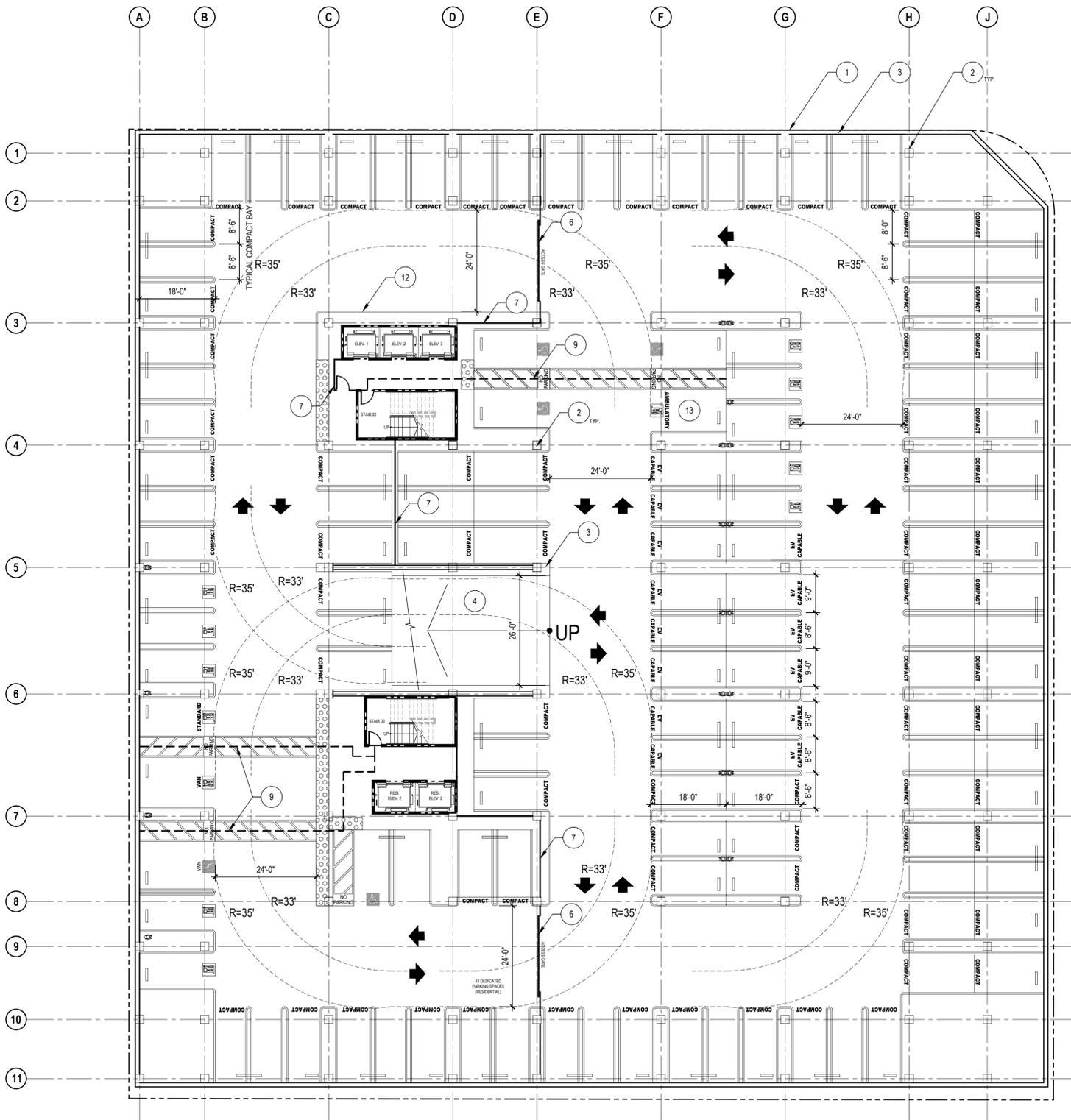
1. ROOFING TO A MINIMUM AGED SOLAR REFLECTANCE OF 0.70 AND A MINIMUM THERMAL EMITTANCE OF 0.85
- OR
2. A MINIMUM SOLAR REFLECTANCE INDEX (SRI) OF 85



ROOF PLAN

SCALE: 1/16" = 1'-0"





P2 LEVEL PLAN

SCALE: 1/16" = 1'-0"



KEYNOTES

NOTE: NOT ALL KEYNOTES LISTED MAY APPLY TO THIS DRAWING.

- 1 PROPERTY LINE
- 2 CONCRETE COLUMN
- 3 CAST-IN-PLACE CONCRETE WALLS
- 4 CONCRETE RAMP
- 5 LONG-TERM SECURE OFFICE BICYCLE PARKING
- 6 MOTORIZED SLIDING ENTRY GATE TO RESIDENTIAL PARKING AREA
- 7 METAL FENCE
- 8 DASHED LINE INDICATES RAMP ABOVE
- 9 ACCESSIBLE PATH OF TRAVEL PER CBC 11B-402, SHOWN DASHED
- 10 VAN ACCESSIBLE EVCS
- 11 STANDARD ACCESSIBLE EVCS
- 12 PARKING STRIPE
- 13 AMBULATORY EVCS

FLOOR AREA

P1 LEVEL:	OFFICE:	36,887 SF
	RESIDENTIAL:	11,335 SF
P2 LEVEL:	OFFICE:	38,245 SF
	RESIDENTIAL:	9,977 SF
TOTAL AREA:		96,444 SF

PARKING CALCULATIONS

BELOW GRADE PARKING PROVIDED

P1 LEVEL	OFFICE - TANDEM /TANDEM COMPACT STALLS	40 SPACES
	OFFICE - STANDARD/COMPACT STALL STALLS ¹	88 SPACES
	OFFICE - ADA/VAN ADA STALLS	4 SPACES
TOTAL OFFICE PROVIDED:		132 SPACES
P2 LEVEL	RESIDENTIAL- STANDARD/COMPACT STALL STALLS ¹	41 SPACES
	RESIDENTIAL- ADA/VAN ADA STALLS	2 SPACES
TOTAL RESIDENTIAL PROVIDED:		43 SPACES
	OFFICE - TANDEM /TANDEM COMPACT STALLS ¹	44 SPACES
	OFFICE - STANDARD/COMPACT STALL STALLS	47 SPACES
	OFFICE - ADA/VAN ADA STALLS	3 SPACES
TOTAL OFFICE PROVIDED:		94 SPACES
TOTAL PARKING PROVIDED:		269 SPACES

PARKING NOTES:
1. INCLUDES REQUIRED EV AND EVSE. SEE TABLE BELOW FOR SPECIFIC EV COUNTS.

	REQUIRED	PROVIDED
COMMERCIAL USE		
TOTAL NUMBER OF STALLS	263	226
TOTAL NUMBER OF ACCESSIBLE STALLS	7	7
TOTAL NUMBER OF VAN ACCESSIBLE STALLS	1	1
ASSIGNED RESIDENTIAL USE		
TOTAL NUMBER OF DEDICATED STALLS	43	43
TOTAL NUMBER OF DEDICATED ACCESSIBLE STALLS	2	2
TOTAL NUMBER OF DEDICATED VAN ACCESSIBLE STALLS	1	1

	REQUIRED	PROVIDED
COMMERCIAL USE		
TOTAL NUMBER OF STALLS	263	226
TOTAL NUMBER OF EV CAPABLE STALLS (EV) ¹	20%	45
TOTAL NUMBER OF EV CAPABLE STALLS (EVCS) ^{1,2}	25% OF EV CAPABLE	12
TOTAL NUMBER OF EV VAN ACCESSIBLE ³	1	1
TOTAL NUMBER OF EV STANDARD ACCESSIBLE STALLS ³	1	1
TOTAL NUMBER OF EV AMBULATORY STALLS ³	1	1
ASSIGNED RESIDENTIAL USE		
TOTAL NUMBER OF DEDICATED STALLS	43	43
TOTAL NUMBER OF LEVEL 2 EVCS STALLS ¹	15%	7
TOTAL NUMBER OF LEVEL 2 EV READY (LOW POWER) STALLS ¹	85%	36
TOTAL NUMBER OF EV STANDARD ACCESSIBLE STALLS ³	1	1

EV NOTES:
1. EV AND EVSE PER SMMC SECTION 23.70.040 FOR MULTIFAMILY AND 23.70.050 FOR COMMERCIAL.
2. PER COBS SECTION 5.106.5.2 AND TABLE 5.106.5.2 8% LE. FE, CARPOOL/VANPOOL INCLUDED IN THE 10% DESIGNATED EV CAPABLE STALLS.
3. PER CBC TABLE 11B.228.3.2.1

REQUIRED NUMBER OF ACCESSIBLE PARKING STALLS (CBC TABLE 11B-208.2)

TOTAL PARKING SPACES	MINIMUM REQUIRED	COMPLIANT
201-300	7	YES



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BLOCK 20
SAN MATEO, CA 94401

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P2 LEVEL PLAN

AP 2.12

PROJECT NO: 215513



EAST 4TH AVENUE - NORTH ELEVATION



S. DELAWARE STREET - EAST ELEVATION



KEYNOTES

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- 1 EXISTING PROPERTY LINE
- 2 EXTERIOR STONE CLADDING
- 3 1" INSULATED GLAZING SYSTEM - REFER TO SPECIFICATIONS ON THIS SHEET
- 4 ALUMINUM/GLASS EXTERIOR STORE FRONT SYSTEM. REFER TO SPECIFICATIONS ON THIS SHEET
- 5 EXTRUDED ALUMINUM CANOPY SYSTEM - REFER TO COLOR SPECIFICATION ON THIS SHEET
- 6 PRE-CAST CROWN MOLDING
- 7 PAINTED STUCCO FINISH AND EXTERIOR SHEATHING OVER METAL STUD FRAMING
- 8 SURFACE MOUNT LIGHT FIXTURE - REFER TO SPECIFICATION ON THIS SHEET.
- 9 ALUMINUM FASCIA AND SIDING TRIM. REFER TO SPECIFICATION ON THIS SHEET
- 10 CORBEL AND BRACKETS. REFER TO SPECIFICATIONS ON THIS SHEET.
- 11 BALCONY RAILING SYSTEM - 1/4" ROD RAILING SYSTEM - REFER TO COLOR SPECIFICATION ON THIS SHEET
- 12 PRE-CAST WALL CAP - REFER TO COLOR SPECIFICATION ON THIS SHEET
- 13 EXTERIOR ALUMINUM / GLASS ENTRY/EXIT STOREFRONT DOOR. STOREFRONT SYSTEM: YKK AP YES 40 FI - COMMERCIAL STOREFRONT SYSTEM (2"x4") CENTER SET, FLUSH GLAZING SYSTEM WITH 1" INSULATED GLASS (DATA SHEET ATTACHED). ANY OTHER PRODUCT COMPLYING WITH BASIS OF DESIGN TO BE SUBMITTED FOR FURTHER APPROVAL.
- 14 CONCRETE ROOF TILE - REFER TO SPECIFICATIONS ON THIS SHEET.
- 15 EXTERIOR ALUMINUM / FRAMED FIXED GLASS WINDOW SYSTEM - REFER TO SPECIFICATIONS ON THIS SHEET.
- 16 EXPRESSED MULLION - REFER TO COLOR SPECIFICATION ON THIS SHEET
- 17 ALUMINUM / FRAMED SLIDING GLASS DOOR - REFER TO COLOR SPECIFICATION ON THIS SHEET
- 18 EXTERIOR PAINTED STEEL DOOR AND H.M. FRAME - COLOR TO MATCH ADJACENT WALL COLOR
- 19 ENTRY TO BELOW GRADE PARKING STRUCTURE/GARAGE
- 20 BUILDING SIGNAGE - UNDER SEPARATE PERMIT
- 21 WOOD CLADDING. REFER TO SPECIFICATIONS ON THIS SHEET.
- 22 STANDING SEAM METAL ROOF. REFER TO SPECIFICATIONS ON THIS SHEET.

MATERIAL PALETTE

* GLAZING SPECIFIED INDICATES GENERAL TONE AND COLOR. FINAL PERCEIVED COLOR AND CLARITY WILL VARY DEPENDING ON 1" INSULATED GLAZING SPECIFICATION TO BE DETERMINED AT TIME OF CONSTRUCTION DOCUMENTATION.

G1	TYPE: COLOR: PRODUCT REF.:	1" INSULATED GLAZING LIGHT BLUE TINT LOW TINT: VIRACON1" INSULATED VRE1-4725-OITC30 (1" CLEAR WITH VRE-4725 #2 - 1/2" AIRSPACE - 1/2" CLEAR HS). PROVIDED MANUFACTURER AND SPECIFICATIONS AS BASIS OF DESIGN ONLY. ANY OTHER PRODUCT COMPLYING WITH BASIS OF DESIGN TO BE SUBMITTED FOR FURTHER APPROVAL.
M1	TYPE: COLOR: PRODUCT REF.:	EXTRUDED ALUMINUM CANOPY SYSTEM - ARCHITECTURAL CANOPIES PPG MOCHA-COINO #UC105758XL EXTRUDED CANTILEVER WITH SINGLE BEAD FASCIA
M2	TYPE: COLOR: PRODUCT REF.:	EXTRUDED ALUMINUM CANOPY SYSTEM - ARCHITECTURAL CANOPIES PPG MOCHA-COINO #UC105758XL EXTRUDECK WITH SINGLE BEAD FASCIA AND HANGER RODS
M3	TYPE: COLOR: PRODUCT REF.:	EXTERIOR STOREFRONT DOOR/ WINDOW FRAME PPG SUMMER SUEDE METALLIC #UC106712XL YKK AP YES 40FI COMMERCIAL STOREFRONT SYSTEM CENTER SET FLUSH GLAZING WITH 1" INSULATED GLASS. ANY OTHER PRODUCT COMPLYING WITH BASIS OF DESIGN TO BE SUBMITTED FOR FURTHER APPROVAL.
L1	TYPE: COLOR: PRODUCT REF.:	SURFACE MOUNT LIGHT FIXTURE GRAY BROWN DELTA LIGHTING (OR APPROVED EQUAL) - TOPIX LX
P1	TYPE: COLOR: PRODUCT REF.:	EXTERIOR PAINT PAVILION BEIGE SHERWIN WILLIAMS - SW7512
P2	TYPE: COLOR: PRODUCT REF.:	EXTERIOR PAINT BUNGALOW BEIGE SHERWIN WILLIAMS - SW7511
P3	TYPE: COLOR: PRODUCT REF.:	EXTERIOR PAINT CANVAS TAN SHERWIN WILLIAMS - SW7531
P4	TYPE: COLOR: PRODUCT REF.:	EXTERIOR PAINT CREAMY SHERWIN WILLIAMS - SW7012
P5	TYPE: COLOR: PRODUCT REF.:	EXTERIOR PAINT SUMMER SUEDE METALLIC PPG - UC106712XL
P6	TYPE: COLOR: PRODUCT REF.:	EXTERIOR PAINT HIGH REFLECTIVE WHITE SHERWIN WILLIAMS - SW7757
T1	TYPE: COLOR: PRODUCT REF.:	CONCRETE ROOF TILE CORONA DEL MAR BLEND CAPISTRANO #SCC8825
T2	TYPE: COLOR: PRODUCT REF.:	STANDING SEAM METAL ROOF PPG - SUMMER SUEDE METALLIC #UC106712XL MECHANICALLY SEALED METAL PANEL W/ CONCEALED FASTENERS RIB HEIGHT: 2"
W1	TYPE: COLOR: PRODUCT REF.:	EXTERIOR WOOD CLADDING MOJAVE THERMAL HEMLOCK VG 2.0 DELTA THERMWORKS 1"x6"XL
ST1	TYPE: COLOR: PRODUCT REF.:	EXTERIOR STONE VENEER LIMESTONE - CORSICA BLEND STACKED STONE 6"x24"



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01.13.2022	FIRST PLANNING SUBMITTAL

EXTERIOR ELEVATIONS

KEYNOTES

NOTE: NOT ALL KEYNOTES LISTED MAY APPLY TO THIS DRAWING.

- 1 EXISTING PROPERTY LINE
- 2 EXTERIOR STONE CLADDING
- 3 1" INSULATED GLAZING SYSTEM - REFER TO SPECIFICATIONS ON THIS SHEET
- 4 ALUMINUM/GLASS EXTERIOR STORE FRONT SYSTEM. REFER TO SPECIFICATIONS ON THIS SHEET
- 5 EXTRUDED ALUMINUM CANOPY SYSTEM - REFER TO COLOR SPECIFICATION ON THIS SHEET
- 6 PRE-CAST CROWN MOLDING
- 7 PAINTED STUCCO FINISH AND EXTERIOR SHEATHING OVER METAL STUD FRAMING
- 8 SURFACE MOUNT LIGHT FIXTURE - REFER TO SPECIFICATION ON THIS SHEET.
- 9 ALUMINUM FASCIA AND SIDING TRIM. REFER TO SPECIFICATION ON THIS SHEET
- 10 CORBEL AND BRACKETS. REFER TO SPECIFICATIONS ON THIS SHEET.
- 11 BALCONY RAILING SYSTEM - 1/4" ROD RAILING SYSTEM - REFER TO COLOR SPECIFICATION ON THIS SHEET
- 12 PRE-CAST WALL CAP - REFER TO COLOR SPECIFICATION ON THIS SHEET
- 13 EXTERIOR ALUMINUM / GLASS ENTRY/EXIT STOREFRONT DOOR. STOREFRONT SYSTEM: YKK AP YES 40 FI - COMMERCIAL STOREFRONT SYSTEM (2"x4") CENTER SET, FLUSH GLAZING SYSTEM WITH 1" INSULATED GLASS (DATA SHEET ATTACHED). ANY OTHER PRODUCT COMPLYING WITH BASIS OF DESIGN TO BE SUBMITTED FOR FURTHER APPROVAL.
- 14 CONCRETE ROOF TILE - REFER TO SPECIFICATIONS ON THIS SHEET.
- 15 EXTERIOR ALUMINUM / FRAMED FIXED GLASS WINDOW SYSTEM - REFER TO SPECIFICATIONS ON THIS SHEET.
- 16 EXPRESSED MULLION - REFER TO COLOR SPECIFICATION ON THIS SHEET
- 17 ALUMINUM / FRAMED SLIDING GLASS DOOR - REFER TO COLOR SPECIFICATION ON THIS SHEET
- 18 EXTERIOR PAINTED STEEL DOOR AND H.M. FRAME - COLOR TO MATCH ADJACENT WALL COLOR
- 19 ENTRY TO BELOW GRADE PARKING STRUCTURE/GARAGE
- 20 BUILDING SIGNAGE - UNDER SEPARATE PERMIT
- 21 WOOD CLADDING. REFER TO SPECIFICATIONS ON THIS SHEET.
- 22 STANDING SEAM METAL ROOF. REFER TO SPECIFICATIONS ON THIS SHEET.



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EAST 5TH AVENUE - SOUTH ELEVATION



S. CLAREMONT STREET - WEST ELEVATION



MATERIAL PALETTE

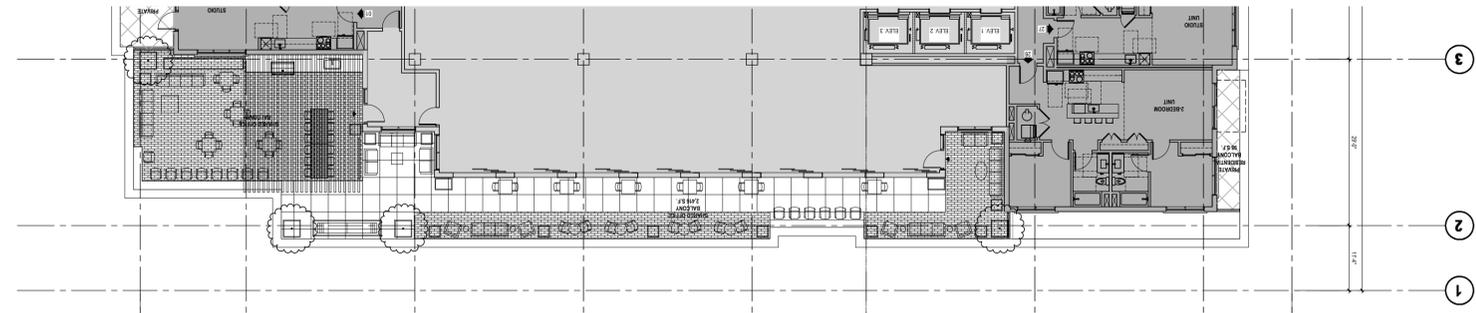
* GLAZING SPECIFIED INDICATES GENERAL TONE AND COLOR. FINAL PERCEIVED COLOR AND CLARITY WILL VARY DEPENDING ON 1" INSULATED GLAZING SPECIFICATION TO BE DETERMINED AT TIME OF CONSTRUCTION DOCUMENTATION.

G1	TYPE: COLOR: PRODUCT REF.:	1" INSULATED GLAZING LIGHT BLUE TINT LOW TINT: VIRACON 1" INSULATED VRE1-4725-OITC30 (1" CLEAR WITH VRE-4725 #2 - 1/2" AIRSPACE - 1/2" CLEAR HS). PROVIDED MANUFACTURER AND SPECIFICATIONS AS BASIS OF DESIGN ONLY. ANY OTHER PRODUCT COMPLYING WITH BASIS OF DESIGN TO BE SUBMITTED FOR FURTHER APPROVAL.
M1	TYPE: COLOR: PRODUCT REF.:	EXTRUDED ALUMINUM CANOPY SYSTEM - ARCHITECTURAL CANOPIES PPG MOCHA-COINO #UC105758XL EXTRUDED CANTILEVER WITH SINGLE BEAD FASCIA
M2	TYPE: COLOR: PRODUCT REF.:	EXTRUDED ALUMINUM CANOPY SYSTEM - ARCHITECTURAL CANOPIES PPG MOCHA-COINO #UC105758XL EXTRUDECK WITH SINGLE BEAD FASCIA AND HANGER RODS
M3	TYPE: COLOR: PRODUCT REF.:	EXTERIOR STOREFRONT DOOR/ WINDOW FRAME PPG SUMMER SUEDE METALLIC #UC106712XL YKK AP YES 40FI COMMERCIAL STOREFRONT SYSTEM CENTER SET FLUSH GLAZING WITH 1" INSULATED GLASS. ANY OTHER PRODUCT COMPLYING WITH BASIS OF DESIGN TO BE SUBMITTED FOR FURTHER APPROVAL.
L1	TYPE: COLOR: PRODUCT REF.:	SURFACE MOUNT LIGHT FIXTURE GRAY BROWN DELTA LIGHTING (OR APPROVED EQUAL) - TOPIX LX
P1	TYPE: COLOR: PRODUCT REF.:	EXTERIOR PAINT PAVILION BEIGE SHERWIN WILLIAMS - SW7512
P2	TYPE: COLOR: PRODUCT REF.:	EXTERIOR PAINT BUNGALOW BEIGE SHERWIN WILLIAMS - SW7511
P3	TYPE: COLOR: PRODUCT REF.:	EXTERIOR PAINT CANVAS TAN SHERWIN WILLIAMS - SW7531
P4	TYPE: COLOR: PRODUCT REF.:	EXTERIOR PAINT CREAMY SHERWIN WILLIAMS - SW7012
P5	TYPE: COLOR: PRODUCT REF.:	EXTERIOR PAINT SUMMER SUEDE METALLIC PPG - UC106712XL
P6	TYPE: COLOR: PRODUCT REF.:	EXTERIOR PAINT HIGH REFLECTIVE WHITE SHERWIN WILLIAMS - SW7757
T1	TYPE: COLOR: PRODUCT REF.:	CONCRETE ROOF TILE CORONA DEL MAR BLEND CAPISTRANO #SCC8825
T2	TYPE: COLOR: PRODUCT REF.:	STANDING SEAM METAL ROOF PPG - SUMMER SUEDE METALLIC #UC106712XL MECHANICALLY SEALED METAL PANEL W/ CONCEALED FASTENERS RIB HEIGHT: 2"
W1	TYPE: COLOR: PRODUCT REF.:	EXTERIOR WOOD CLADDING MOJAVE THERMAL HEMLOCK VG 2.0 DELTA MILLWORKS 1"x6"XL
ST1	TYPE: COLOR: PRODUCT REF.:	EXTERIOR STONE VENEER LIMESTONE - CORSICA BLEND STACKED STONE 6"x24"

PLANNING APPLICATION FOR:
WINDY HILL PROPERTY VENTURES
 BLOCK 20
 SAN MATEO, CA 94401

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01.13.2022	FIRST PLANNING SUBMITTAL

EXTERIOR ELEVATIONS



EAST 4TH AVENUE - PARTIAL FOURTH FLOOR PLAN

SCALE: 1/16" = 1'-0"

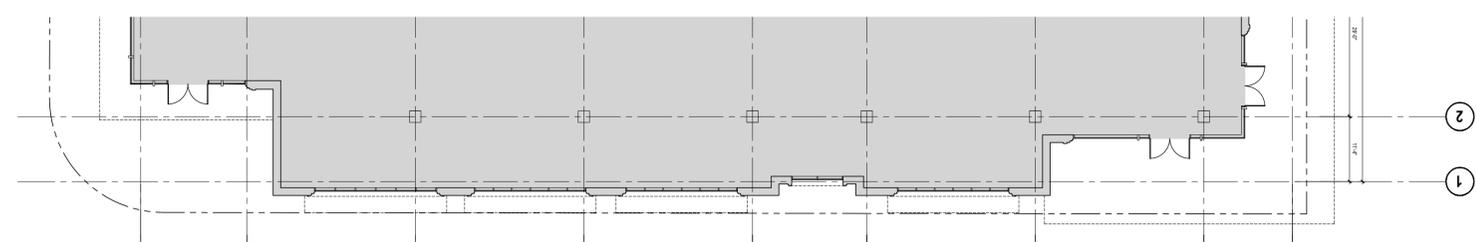
3



EAST 4TH AVENUE - NORTH ELEVATION

SCALE: 1/16" = 1'-0"

2



EAST 4TH AVENUE - PARTIAL FIRST FLOOR PLAN

SCALE: 1/16" = 1'-0"

1



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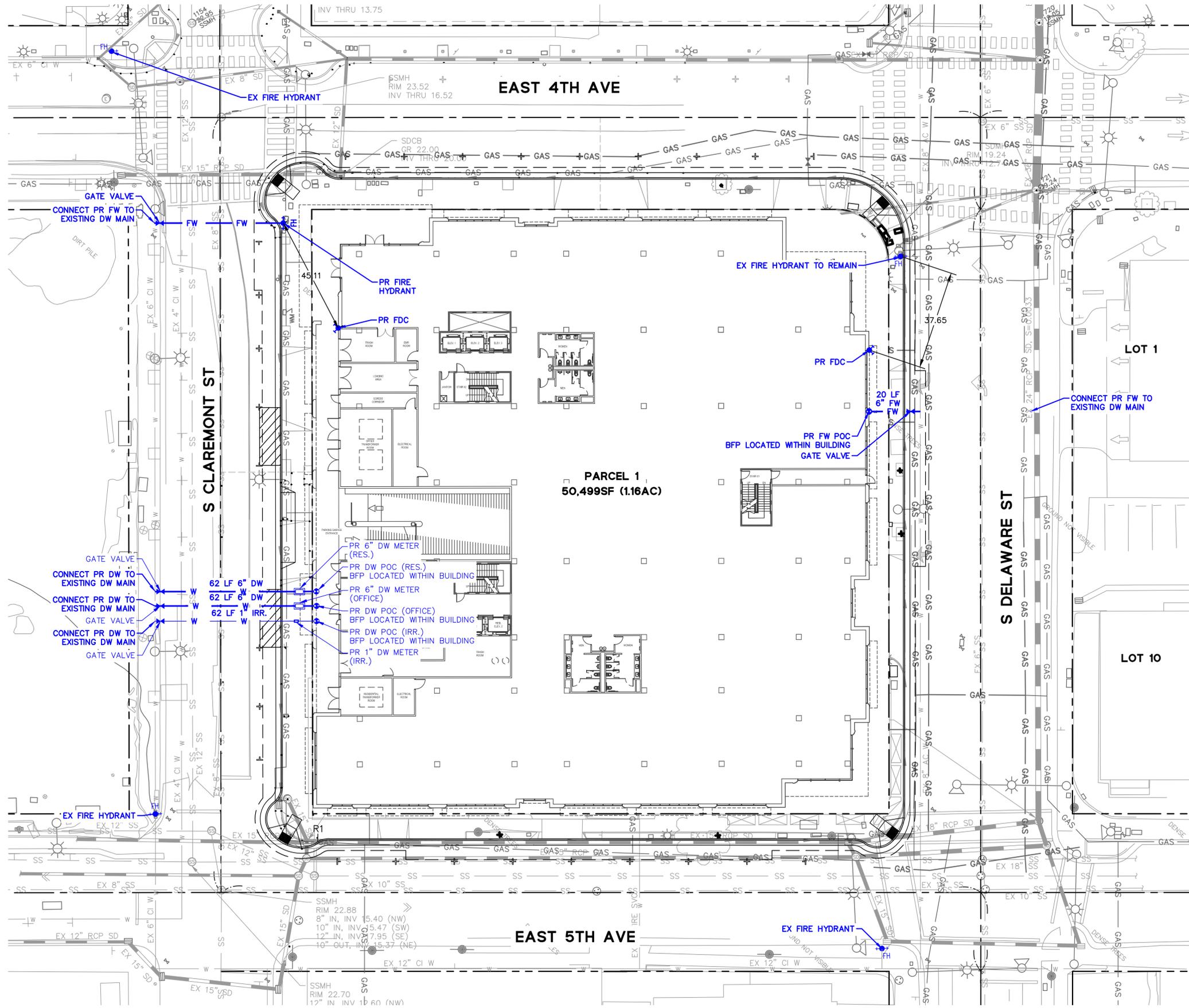
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BLOCK 20
SAN MATEO, CA 94401

DATE	DESCRIPTION
08.22.2022	ZONING PRE-APPLICATION
01.13.2022	FIRST PLANNING SUBMITTAL

PARTIAL FLOOR PLANS
/ EXTERIOR ELEVATION
EAST 4TH AVENUE

A 3.03

PROJECT NO: 215513



FIRE FLOW REQUIREMENTS BASED UPON CALIFORNIA FIRE CODE (2019 EDITION) - SECTION 507, APP. B & C

1. BUILDING AREA CONSTRUCTION TYPE:
 - 1.1. TOTAL BUILDING AREA = 295,922 SF
 - 1.2. TYPE 1A - BASEMENT (P1-P2) = 96,444 SF
 - 1.3. TYPE 1A - FLOORS (1-3) = 121,024 SF
 - 1.4. TYPE VB - FLOORS (4-6) = 78,454 SF
2. PER TABLE B105.1 OF THE CALIFORNIA FIRE CODE, THE REQUIRED FIRE FLOW IS:
 - 2.1. BY CONSTRUCTION TYPE:
 - 2.1.1. TYPE 1A - 6,000 GPM
 - 2.1.1. TYPE VB - 8,000 GPM
 - 2.2. PERCENTAGE OF BUILDING:
 - 2.2.1. TYPE 1A - 73.5%
 - 2.2.2. TYPE VB - 26.5%
 - 2.3. TOTAL FIRE FLOW:
 - 2.3.1. 6,530 GPM
3. THE REQUIRED FIRE FLOW WITH A 50% REDUCTION IS 3,265 GPM.
4. PER TABLE C102.1 OF THE CALIFORNIA FIRE CODE, THE NUMBER OF HYDRANTS BASED ON THE REDUCED FIRE FLOW IS 4.
5. PER TABLE C102.1 AND OF THE CALIFORNIA FIRE CODE, FOR BUILDINGS WITH A FIRE FLOW REQUIREMENT OF 2,880, THE AVERAGE SPACING BETWEEN FIRE HYDRANTS SHALL BE 350'.

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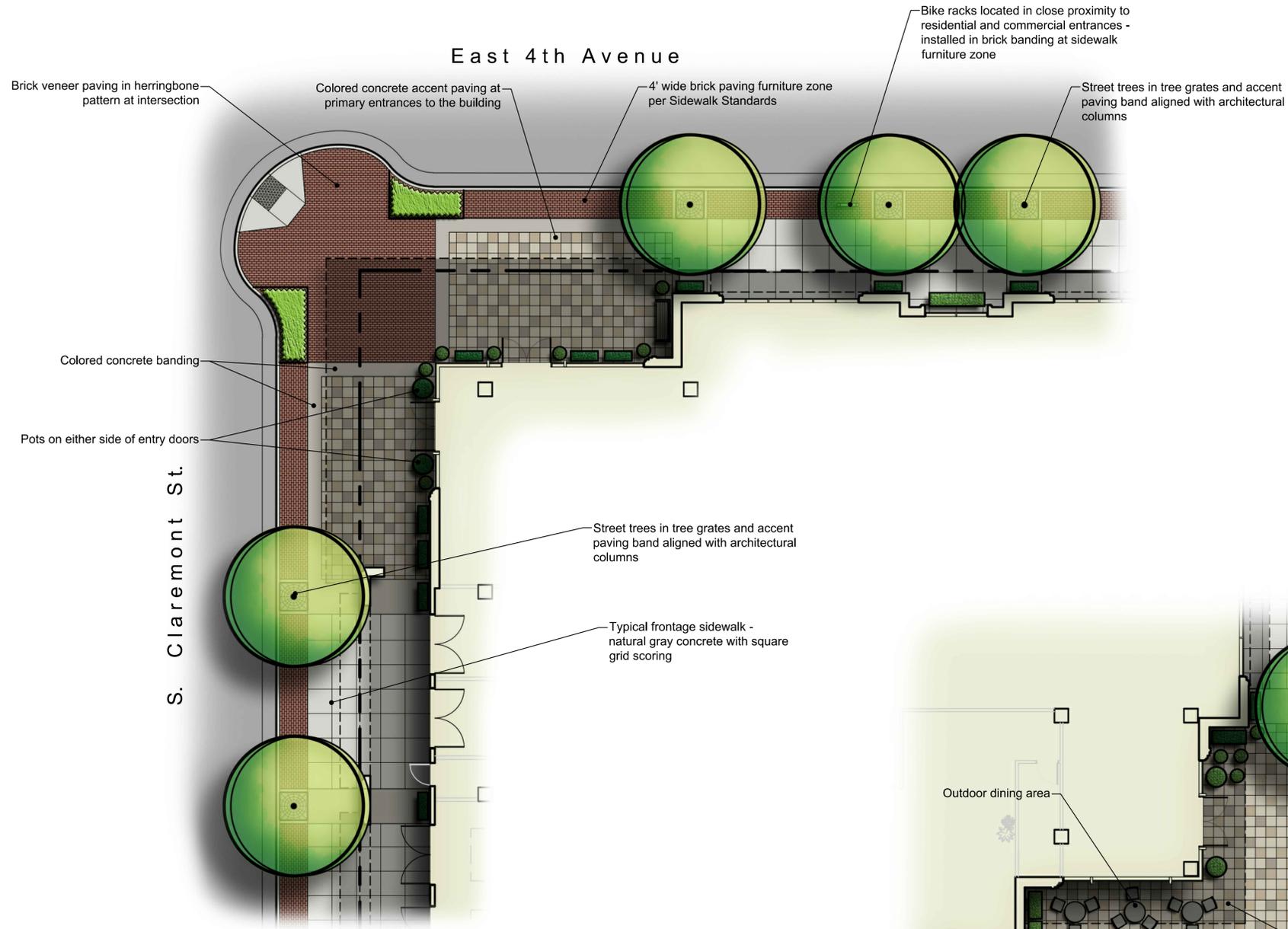
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PRELIMINARY
 FIRE ACCESS
 PLAN

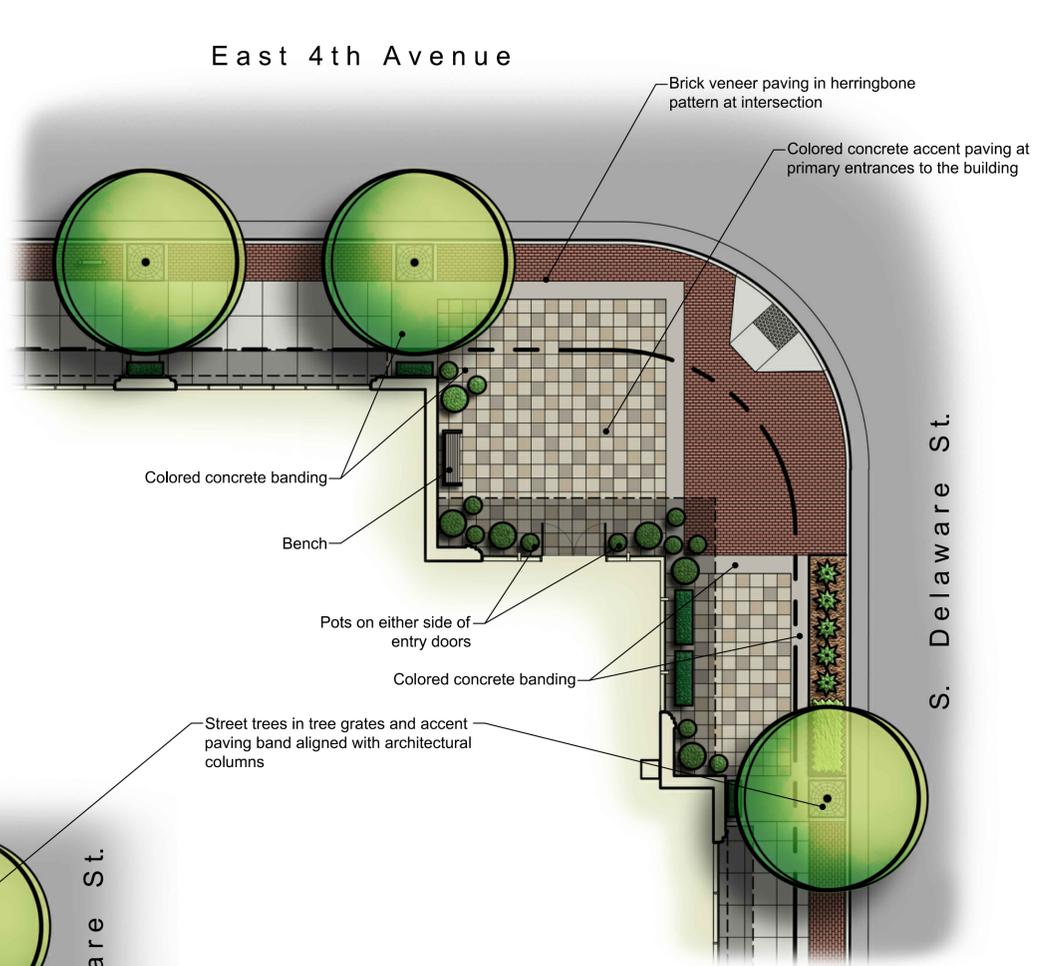


C7.01



Open Space Enlargement - 4th and Claremont Intersection

SCALE: 1" = 10'-0"



Open Space Enlargement - 4th and Delaware Intersection

SCALE: 1" = 10'-0"



Open Space Enlargement - 5th and Delaware Intersection

SCALE: 1" = 10'-0"



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Landscape Plan - Enlargements

L0.2

PROJECT NO. 22-2444

