



③ 3D View 3



② 3D View 2



① 3D View 1



④ 3D View 4



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WEST SANTA INEZ CONDOMINIUMS

TONY GUNDOGDU

4 WEST SANTA INEZ & 1 ENGLE ROAD
SAN MATEO, CA

3D VIEWS

PLANNING
APPLICATION

DATE
FEBRUARY 1, 2016
AUGUST 24, 2016
MARCH 1, 2017
JUNE 15, 2017

Revision Schedule		
Number	Date	Description

SCALE

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JOB NO.

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OF

SHEETS



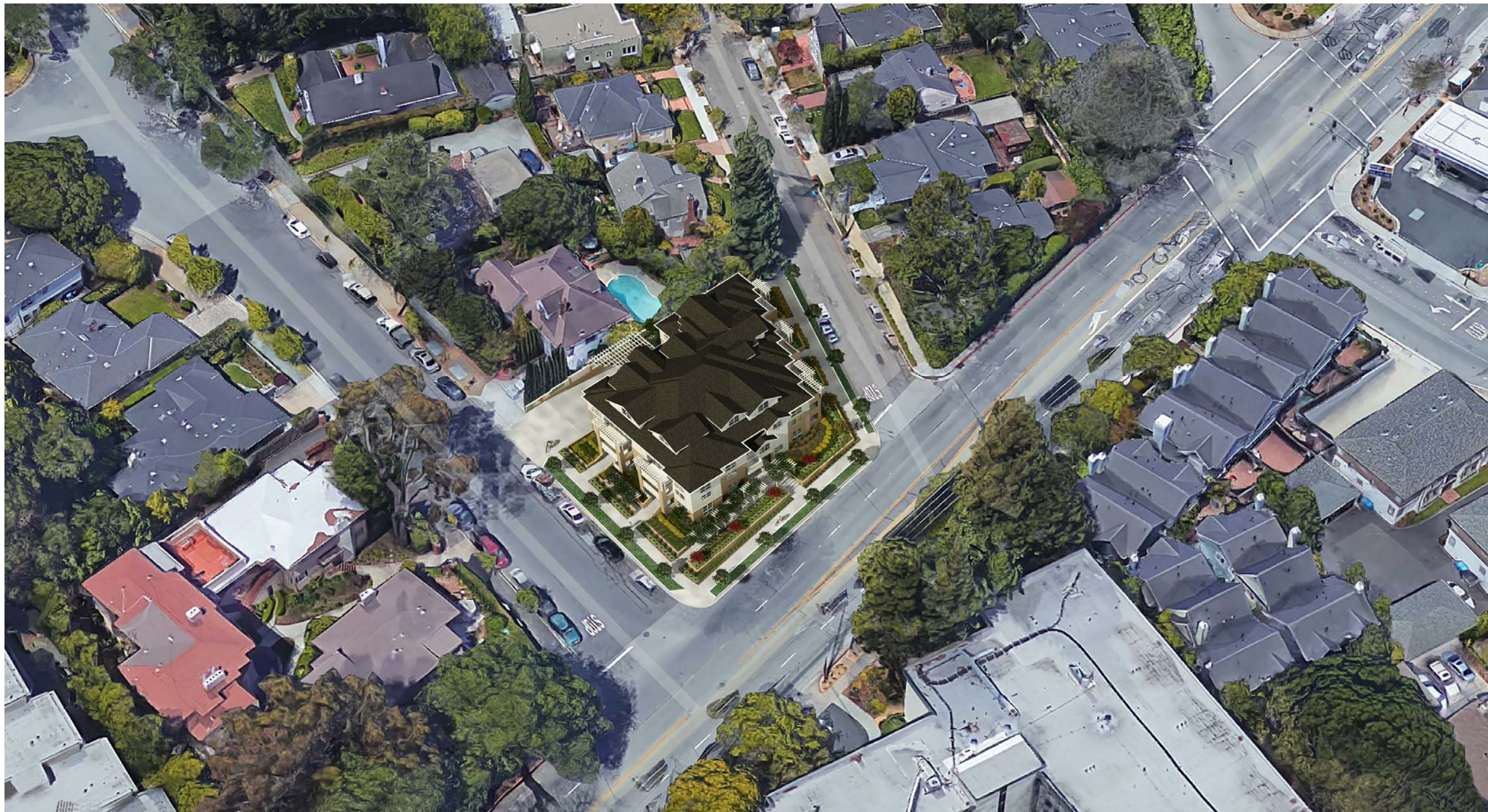
EL CAMINO REAL LOOKING NORTH + WEST TO WEST SANTA INEZ



WEST SANTA INEZ LOOKING EAST TOWARD EL CAMINO REAL



EL CAMINO REAL LOOKING SOUTH + WEST TO ENGLE



AERIAL VIEW



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WEST SANTA INEZ CONDOMINIUMS

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RENDERINGS

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ENGLE ROAD LOOKING EAST FRAMED VIEW



ENGLE ROAD LOOKING EAST



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1 SITE / PLOT PLAN
1/8" = 1'-0"

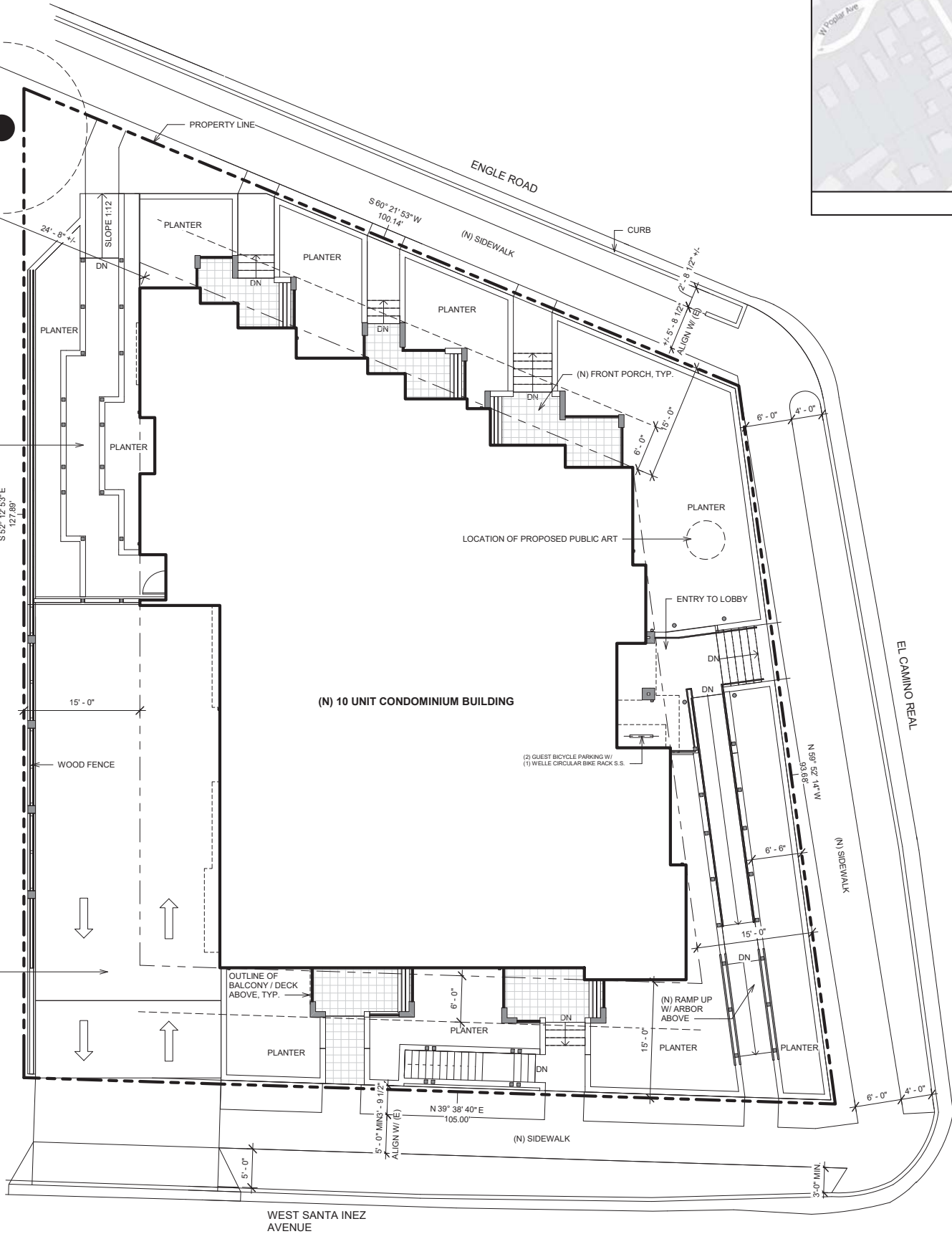
PROJECT NORTH

(N) DRIVEWAY TO
PARKING BELOW
GRADE

OUTLINE OF
ADJACENT
BUILDING

(N) WALKWAY W/ ARBOR ABOVE

OUTLINE OF
ADJACENT BUILDINGS



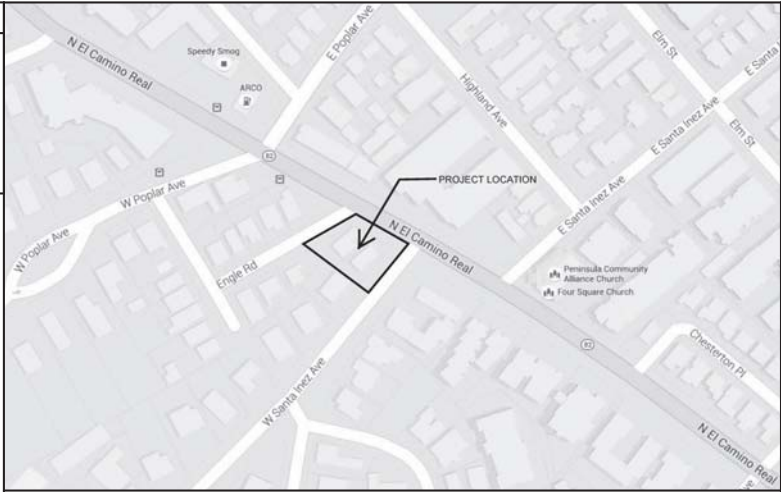
BICYCLE PARKING PROVIDED @ SUBTERRANEAN GARAGE:

SHORT TERM BICYCLE PARKING REQUIREMENT:
(1) BEDROOM = 0.05 / UNIT x 1 = .05
(2) BEDROOM = 0.10 / UNIT x 3 = .3
(3) BEDROOM = 0.15 / UNIT x 6 = .9
TOTAL REQUIRED = 1.25 ~ 1 SPACE

TOTAL PROVIDED = 2 SPACES

LONG TERM BICYCLE PARKING REQUIREMENT:
(1) BEDROOM = 1.0 / UNIT x 1 = 1
(2) BEDROOM = 1.25 / UNIT x 3 = 3.75
(3) BEDROOM = 1.5 / UNIT x 6 = 9
TOTAL REQUIRED = 14 SPACES

TOTAL PROVIDED = 19 SPACES



LOCATION MAP

CBC DATA

OCCUPANCY / CONSTRUCTION TYPE:

BUILDING TO BE FULLY PROTECTED BY AN AUTOMATIC FIRE SPRINKLER SYSTEM. PARKING LEVEL TO BE PROTECTED BY A FULL NFPA 13 SPRINKLER SYSTEM.

GARAGE : GROUP S / 1A CONSTRUCTION
CONDOMINIUMS : GROUP R2 / VA CONSTRUCTION OVER 1A GARAGE

APPLICABLE CODES:

1. ALL NEW WORK SHALL BE IN STRICT CONFORMANCE WITH THE FOLLOWING CODES & ORDINANCES INCLUDING BUT NOT LIMITED TO:

- * PART 1: 2013 CALIFORNIA ADMINISTRATIVE CODE
 - * PART 2: 2013 CALIFORNIA BUILDING CODE
 - * PART 2.5: 2013 CALIFORNIA RESIDENTIAL CODE
 - * PART 3: 2013 ELECTRICAL CODE
 - * PART 4: 2013 CALIFORNIA MECHANICAL CODE
 - * PART 5: 2013 CALIFORNIA PLUMBING CODE
 - * PART 6: 2013 CALIFORNIA ENERGY CODE
 - * PART 8: 2013 CALIFORNIA HISTORICAL BUILDING CODE
 - * PART 9: 2013 CALIFORNIA FIRE CODE
 - * PART 10: CALIFORNIA EXISTING BUILDING CODE
 - * PART 11: 2013 CALIFORNIA GREEN BUILDING STANDARDS CODE (CALGreen)
 - * PART 12: 2013 CALIFORNIA REFERENCED STANDARDS CODE
- ALL OTHER ADOPTED APPLICABLE CODES AND ALL OTHER APPLICABLE LOCAL AND STATE LAWS, REGULATIONS & ORDINANCES.

PROJECT DESCRIPTION

THE PROJECT WILL CONSIST OF A NEW, 10 UNIT MULTIFAMILY PROJECT WITH UNDERGROUND PARKING GARAGE. THE GARAGE WILL BE ONE BASEMENT LEVEL TYPE 1A CONSTRUCTION AND THE RESIDENTIAL BUILDINGS WILL BE FOUR STORIES TYPE VA. INDIVIDUAL PODIUM LEVEL UNITS WILL HAVE STOOPS PROVIDING DIRECT ACCESS TO THE PUBLIC SIDEWALK ALONG ENGLE ROAD AND SANTA INEZ. CHARACTER OF THIS SITE, THE GARAGE WILL PROVIDE 21 PARKING SPACES FOR RESIDENTS AND 2 PARKING SPACES WILL BE PROVIDED FOR GUESTS.

PROJECT DIRECTORY

APPLICANT:

TONY GUNDOGDU
727 LAUREL STREET
SAN CARLOS, CA 94070
650-592-3536

ARCHITECT:

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335a E. 4th AVENUE
SAN MATEO, CA 94401
650-340-1107/9484

LANDSCAPE ARCHITECT:

CALLANDER ASSOCIATES
LANDSCAPE ARCHITECTURE
311 7th AVENUE
SAN MATEO, CA 94401
650-375-1313

CIVIL ENGINEER:

BOHLEY CONSULTING
3150 ALMADEN EXPRESSWAY, SUITE 150
SAN JOSE, CA 95118
408-265-1602

DRAWING LIST

SHEET NAME	SHEET NUMBER
3D VIEWS	A-0.1
RENDERINGS	A-0.2
SITE PLAN	A-1.1
SITE REMOVAL PLAN & UNDERGROUND GARAGE PLAN	A-2.0
1ST & 2ND FLOOR PLANS	A-2.1
3RD & 4TH FLOOR PLANS	A-2.2
ROOF PLAN	A-2.3
SHADOW STUDY	A-2.4
1ST & 2ND FLOOR AREA DIAGRAMS	A-2.5
3RD & 4TH FLOOR AREA DIAGRAMS	A-2.6
SOUTH & NORTH ELEVATIONS	A-3.1
EAST & WEST ELEVATION	A-3.2
SECTIONS	A-3.3
DETAILS	C2.1
GROUND FLOOR GRADING PLAN	C3.1
GROUND FLOOR UTILITY PLAN	C3.2
GARAGE GRADING AND UTILITY PLAN	C3.3
DRAINAGE AREAS PLAN	C3.4
TENTATIVE PARCEL MAP	1 OF 1
PRELIMINARY LANDSCAPE PLAN	L-1.1
PLANTING PALETTE	L-1.2
TREE DISPOSITION PLAN	L-1.3
TREE PROTECTION PLAN & DETAILS	L-1.4
TREE PROTECTION SECTIONS	L-1.5

PLANNING DATA

APN'S: 032-075-010, 032-075-100
JURISDICTION: CITY OF SAN MATEO
ZONING: R-4 DISTRICT - MULTIPLE FAMILY DWELLING (HIGH DENSITY) ADJACENT TO R-1
LOT AREA: 10,763 SF
FAR: 1.5 1.5X10,763 = 16,145 SF
MAX. HEIGHT: 45'

YARDS:

TOP PLATE HEIGHT = 30'-0"
ENGLE FRONT YARD : 15'-0"
WEST SANTA INEZ FRONT YARD : 15'-0"
INTERIOR SIDE YARDS : 15'-0"
STREET SIDE YARD (EL CAMINO) : 15'-0"

PROPOSED FLOOR AREAS

FIRST FLOOR = 4522 SF
SECOND FLOOR = 4043 SF
THIRD FLOOR = 4413 SF
FOURTH FLOOR = 2344 SF
TOTAL = 15322 SF < 16145 SF

TOTAL NO. OF UNITS

FIRST FLOOR & SECOND FLOOR: (3) THREE BDRM UNITS,
(2) TWO BDRM UNITS,
THIRD FLOOR & FOURTH FLOOR: (3) THREE BDRM UNITS,
(1) TWO BDRM UNIT,
(1) ONE BEDROOM UNIT
SUBTOTAL: (6) THREE BDRM UNITS,
(3) TWO BDRM UNITS,
(1) ONE BEDROOM UNIT
(10) UNITS

AREA SCHEDULE UNIT #1	AREA SCHEDULE UNIT #6
-----------------------	-----------------------

NAME	AREA	LEVEL	NAME	AREA	LEVEL
2-BEDROOM UNIT #1	631 SF	1ST FLOOR	2-BEDROOM UNIT #6	764 SF	3RD FLOOR
2-BEDROOM UNIT #1	739 SF	2ND FLOOR	2-BEDROOM UNIT #6	244 SF	4TH FLOOR
TOTAL	1370 SF		TOTAL	1008 SF	

AREA SCHEDULE UNIT #2	AREA SCHEDULE UNIT #7
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NAME	AREA	LEVEL	NAME	AREA	LEVEL
3-BEDROOM UNIT #2	726 SF	1ST FLOOR	3-BEDROOM UNIT #7	726 SF	3RD FLOOR
3-BEDROOM UNIT #2	719 SF	2ND FLOOR	3-BEDROOM UNIT #7	716 SF	4TH FLOOR
TOTAL	1445 SF		TOTAL	1442 SF	

AREA SCHEDULE UNIT #3	AREA SCHEDULE UNIT #8
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NAME	AREA	LEVEL	NAME	AREA	LEVEL
2-BEDROOM UNIT #3	486 SF	1ST FLOOR	1-BEDROOM UNIT #8	486 SF	3RD FLOOR
2-BEDROOM UNIT #3	686 SF	2ND FLOOR	1-BEDROOM UNIT #8	280 SF	4TH FLOOR
TOTAL	1172 SF		TOTAL	766 SF	

AREA SCHEDULE UNIT #4	AREA SCHEDULE UNIT #9
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NAME	AREA	LEVEL	NAME	AREA	LEVEL
3-BEDROOM UNIT #4	834 SF	1ST FLOOR	3-BEDROOM UNIT #9	857 SF	3RD FLOOR
3-BEDROOM UNIT #4	991 SF	2ND FLOOR	3-BEDROOM UNIT #9	577 SF	4TH FLOOR
TOTAL	1825 SF		TOTAL	1434 SF	

AREA SCHEDULE UNIT #5	AREA SCHEDULE UNIT #10
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NAME	AREA	LEVEL	NAME	AREA	LEVEL
3-BEDROOM UNIT #5	854 SF	1ST FLOOR	3-BEDROOM UNIT #10	929 SF	3RD FLOOR
3-BEDROOM UNIT #5	846 SF	2ND FLOOR	3-BEDROOM UNIT #10	552 SF	4TH FLOOR
TOTAL	1700 SF		TOTAL	1481 SF	

PARKING REQUIREMENTS

PARKING REQUIRED PER CITY OF SAN MATEO ZONING
ONE-BDRM = 1 UNIT x 1.8 (RES.: 1.6 - VISITOR: 0.2)
= 1.8 SPACES

TWO-BDRM (UNDER 1400 SF) = 3 UNITS x 2.0 (RES.: 1.8 - VISITOR: 0.2)
= 6 SPACES
THREE-BDRM = 6 UNITS x 2.2 (RES.: 2.0 - VISITOR: 0.2)
= 13.2 SPACES
TOTAL = 21 SPACES

VEHICLE PARKING PROVIDED @ SUBTERRANEAN GARAGE:

RESIDENTS PARKING:
(17) INDIVIDUAL ACCESSED MECHANIZED PARKING SPACES
(3) REGULAR SPACES
(1) DISABLED ACCESSIBLE SPACE
TOTAL PROVIDED : 21 SPACES

GUEST PARKING:
(1) GUEST SPACE = 1 SPACE
(1) DISABLED ACCESSIBLE SPACE = 1 SPACE
TOTAL PROVIDED = 2 SPACES

TOTAL PARKING PROVIDED = 23 SPACES



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WEST SANTA INEZ CONDOMINIUMS
TONY GUNDOGDU

4 WEST SANTA INEZ & 1 ENGLE ROAD
SAN MATEO, CA

SITE PLAN

PLANNING APPLICATION

DATE: FEBRUARY 1, 2016
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Revision Schedule
Number Date Description

SCALE
1/8" = 1'-0"

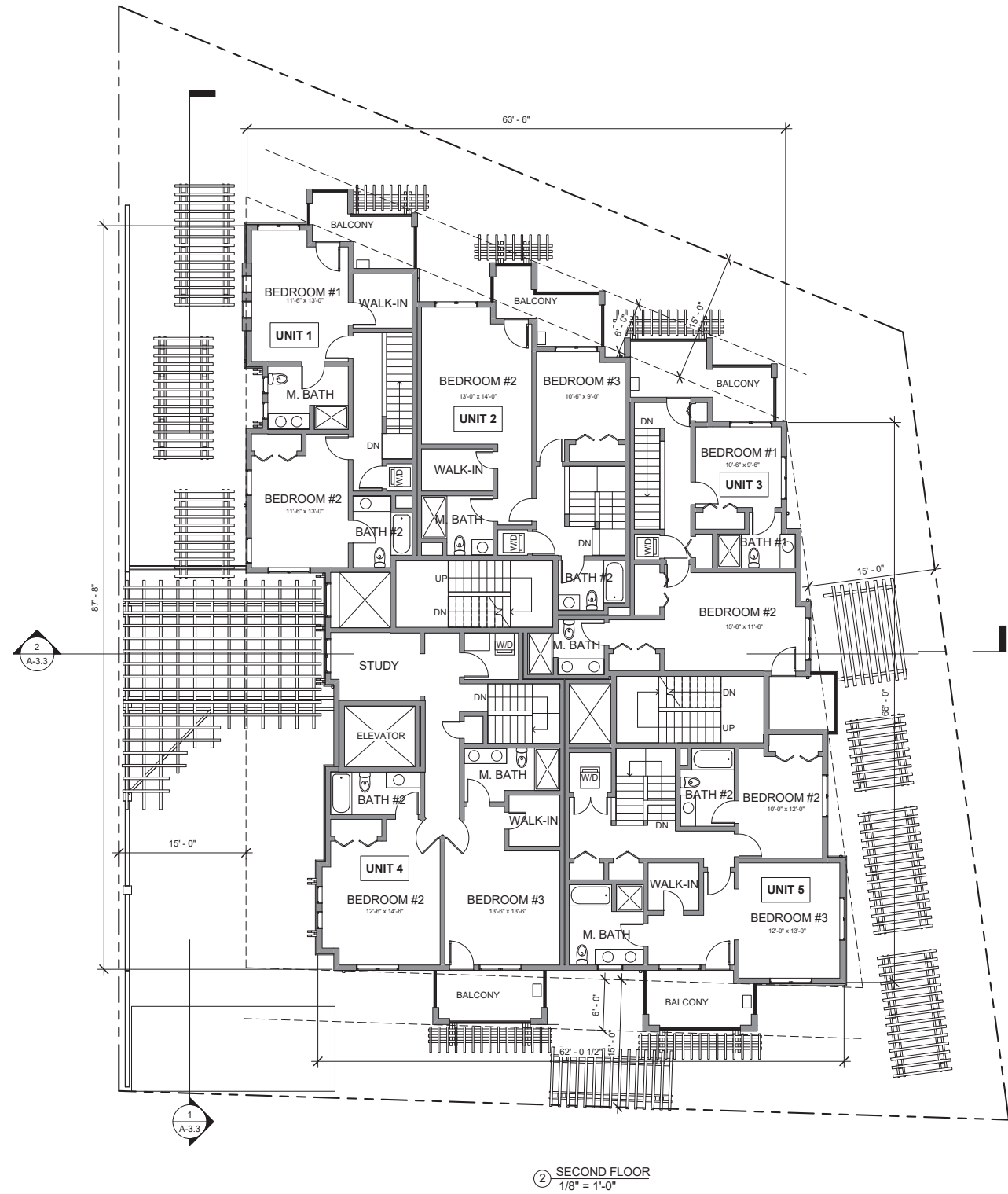
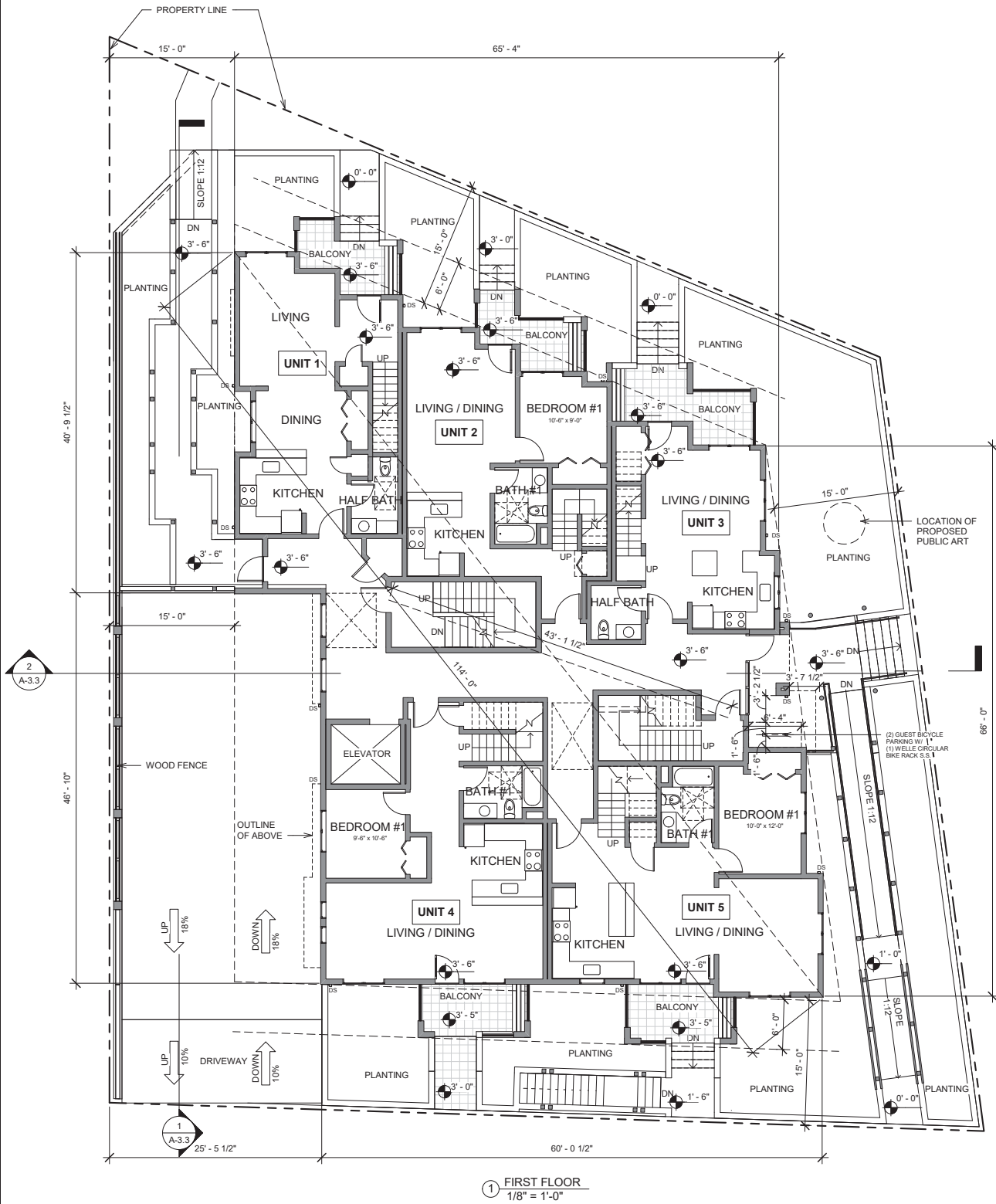
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PROJECT NORTH



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WEST SANTA INEZ CONDOMINIUMS
TONY GUNDOGDU

4 WEST SANTA INEZ & 1 ENGLE ROAD
SAN MATEO, CA

1ST & 2ND FLOOR
PLANS

PLANNING
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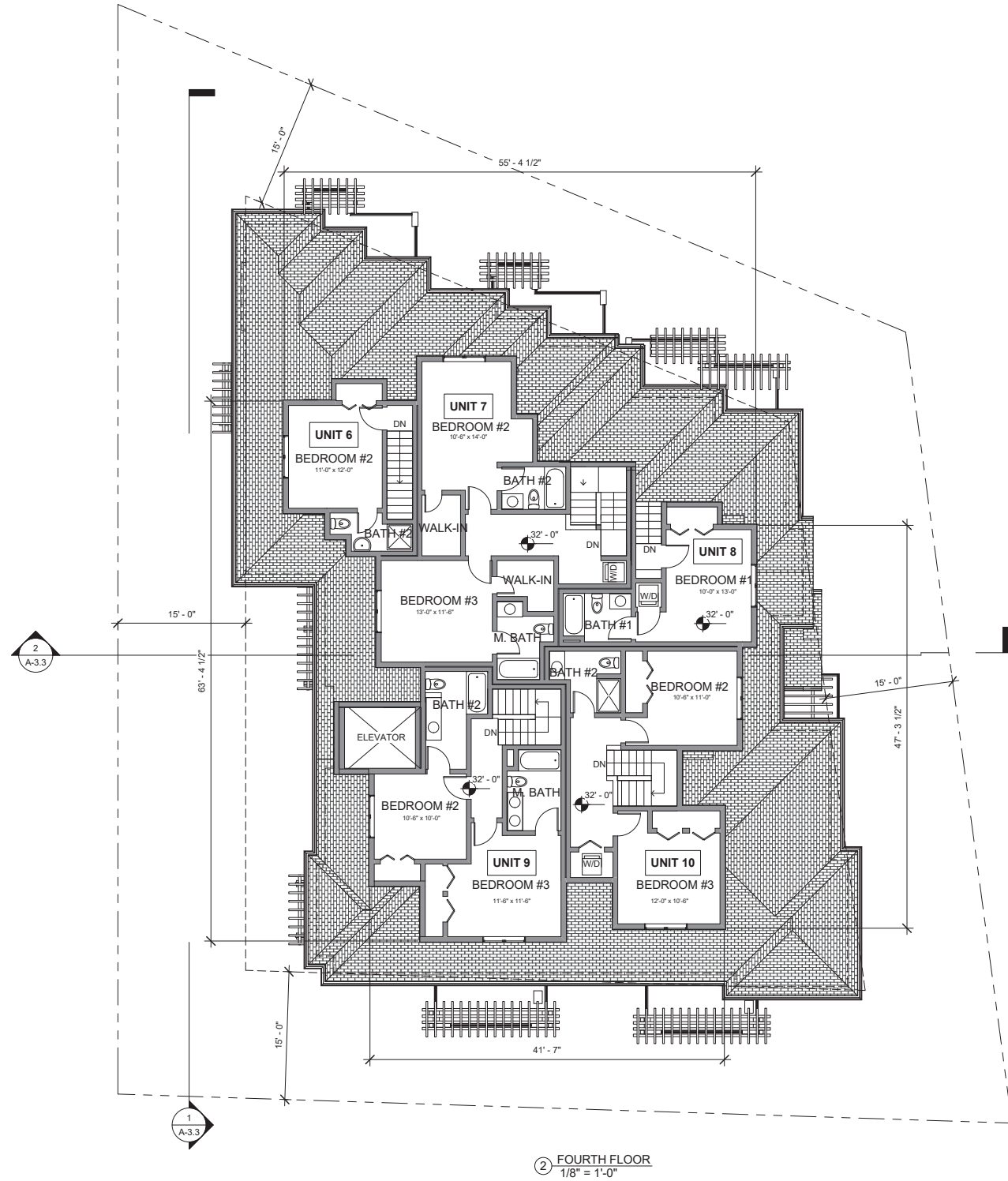
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① THIRD FLOOR
1/8" = 1'-0"



② FOURTH FLOOR
1/8" = 1'-0"



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SAN MATEO, CA

3RD & 4TH FLOOR
PLANS

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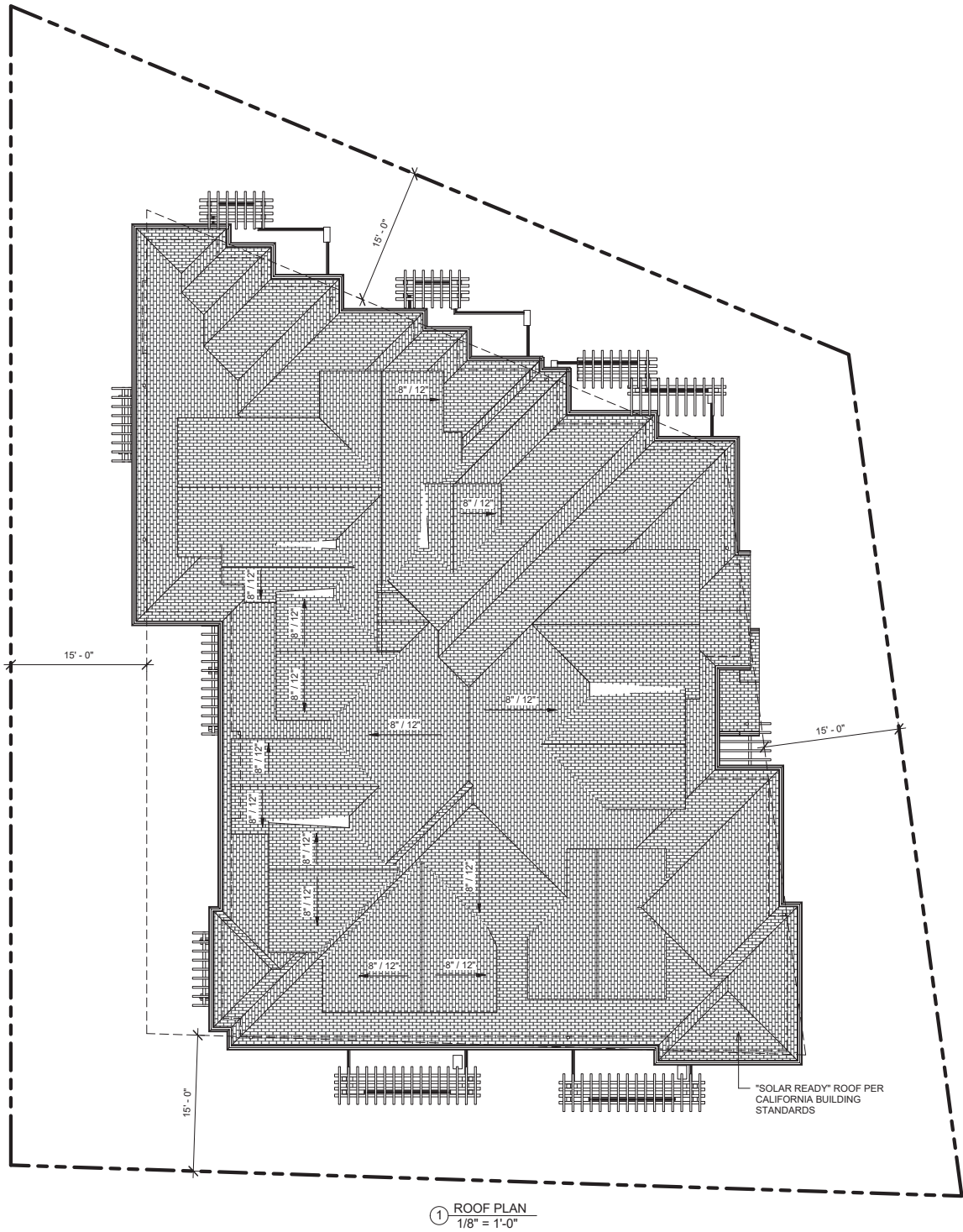
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WEST SANTA INEZ CONDOMINIUMS
TONY GUNDOGDU
4 WEST SANTA INEZ & 1 ENGLE ROAD
SAN MATEO, CA

ROOF PLAN

PLANNING
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SHEET

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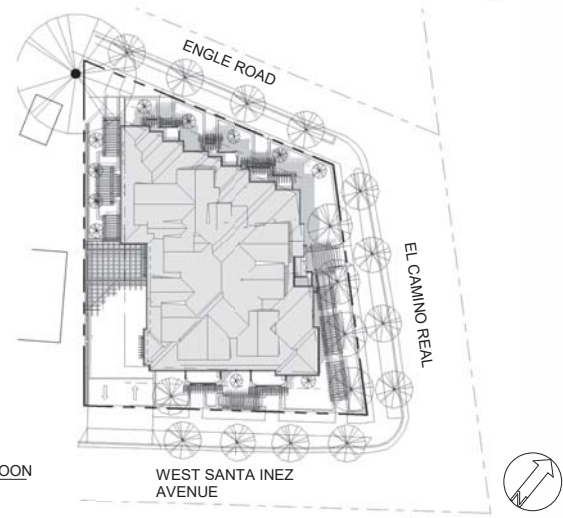
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Condominiums\05-Planning\West Santa Inez DD14.rvt

④ SITE / PLOT PLAN 9 AM
1/32" = 1'-0"



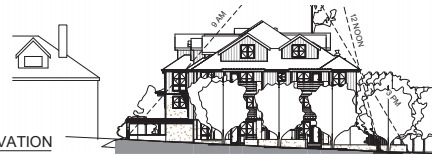
③ SITE / PLOT PLAN 12 NOON
1/32" = 1'-0"



② SITE / PLOT PLAN 3 PM
1/32" = 1'-0"

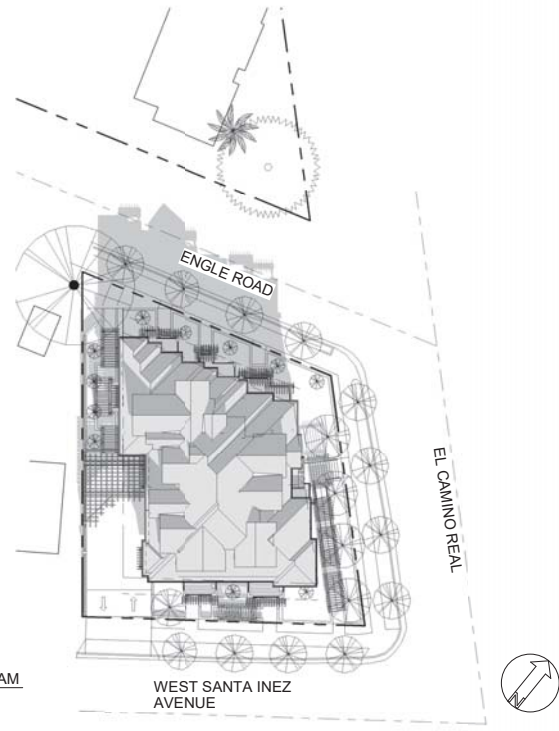


① SANTA INEZ ELEVATION
1/32" = 1'-0"

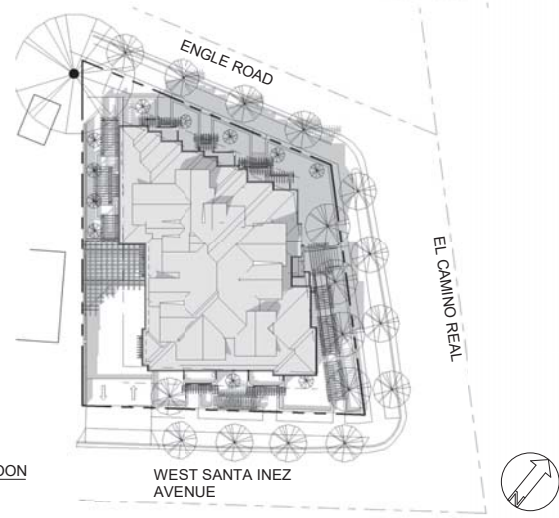


JUNE 21st
SUMMER SOLSTICE

⑧ SITE / PLOT PLAN 9 AM
1/32" = 1'-0"



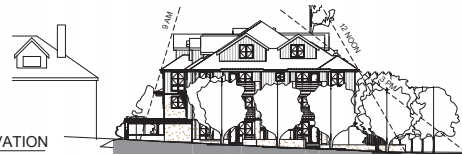
⑦ SITE / PLOT PLAN 12 NOON
1/32" = 1'-0"



⑥ SITE / PLOT PLAN 3 PM
1/32" = 1'-0"

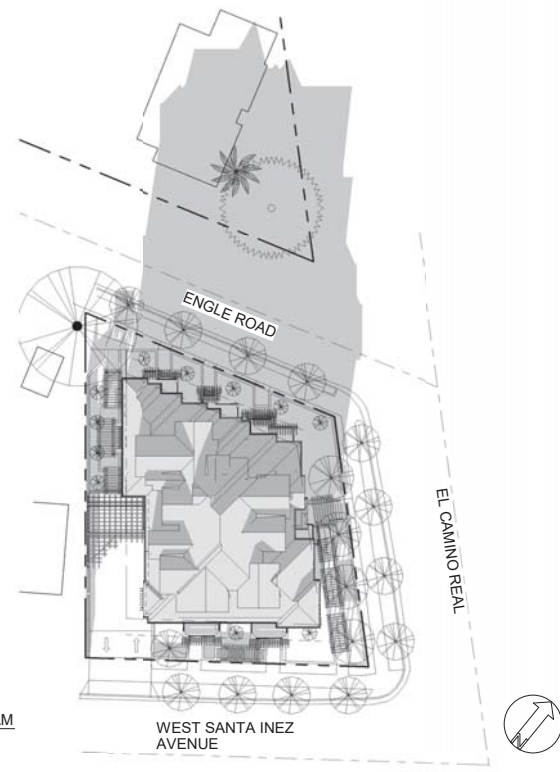


⑤ SANTA INEZ ELEVATION
1/32" = 1'-0"

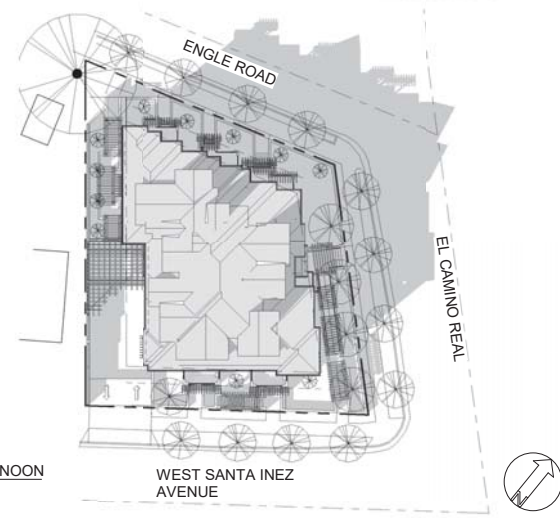


SEPTEMBER 21st & MARCH 21st
FALL / SPRING EQUINOX

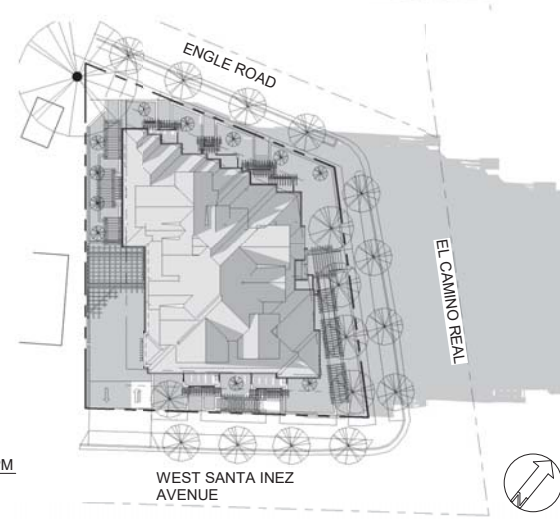
⑫ SITE / PLOT PLAN 9 AM
1/32" = 1'-0"



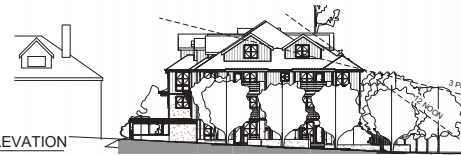
⑪ SITE / PLOT PLAN 12 NOON
1/32" = 1'-0"



⑩ SITE / PLOT PLAN 3 PM
1/32" = 1'-0"



⑨ SANTA INEZ ELEVATION
1/32" = 1'-0"



DECEMBER 21st
WINTER SOLSTICE



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SHADOW STUDY

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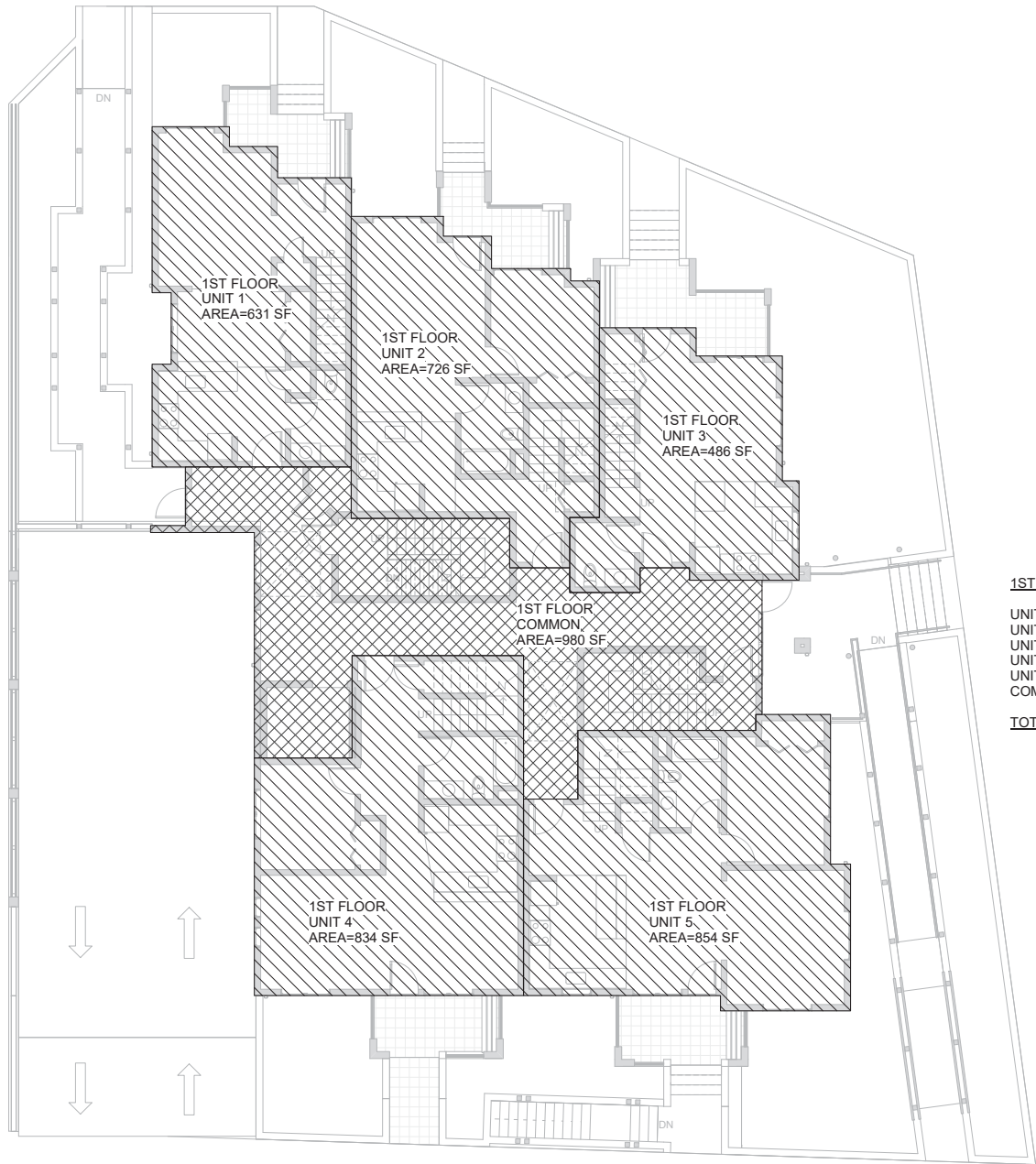
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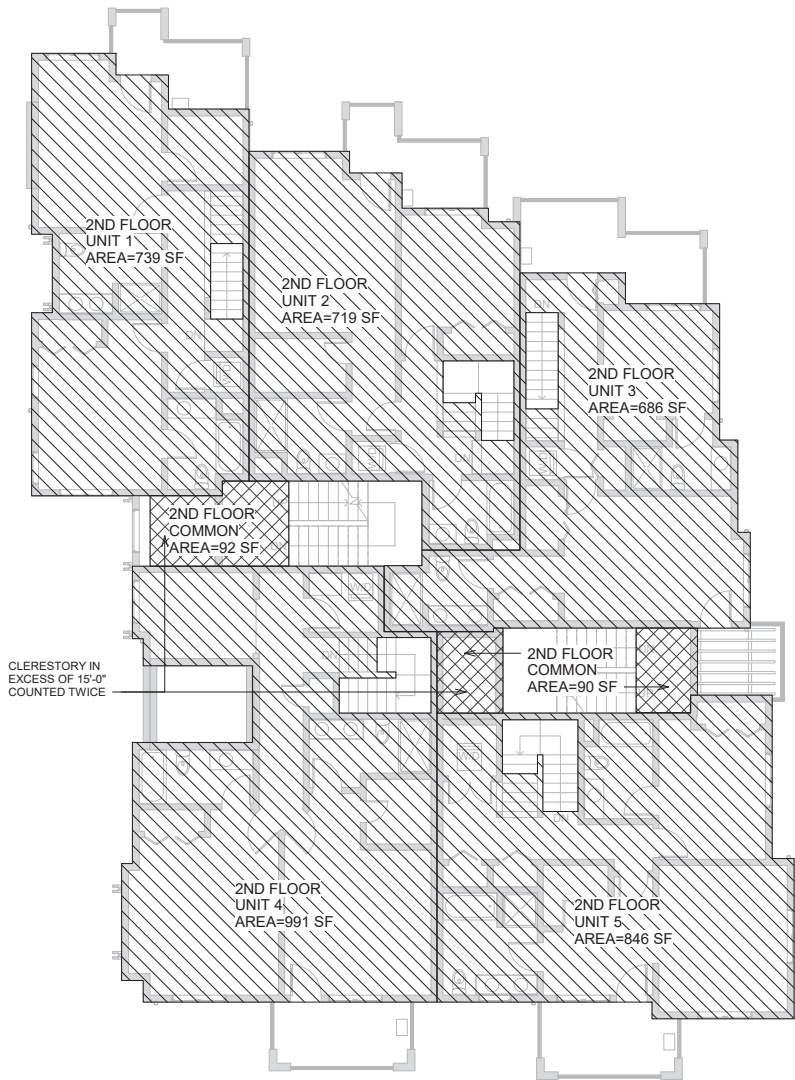
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① 1ST FLOOR
1/8" = 1'-0"



② 2ND FLOOR
1/8" = 1'-0"



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1ST & 2ND FLOOR
AREA DIAGRAMS

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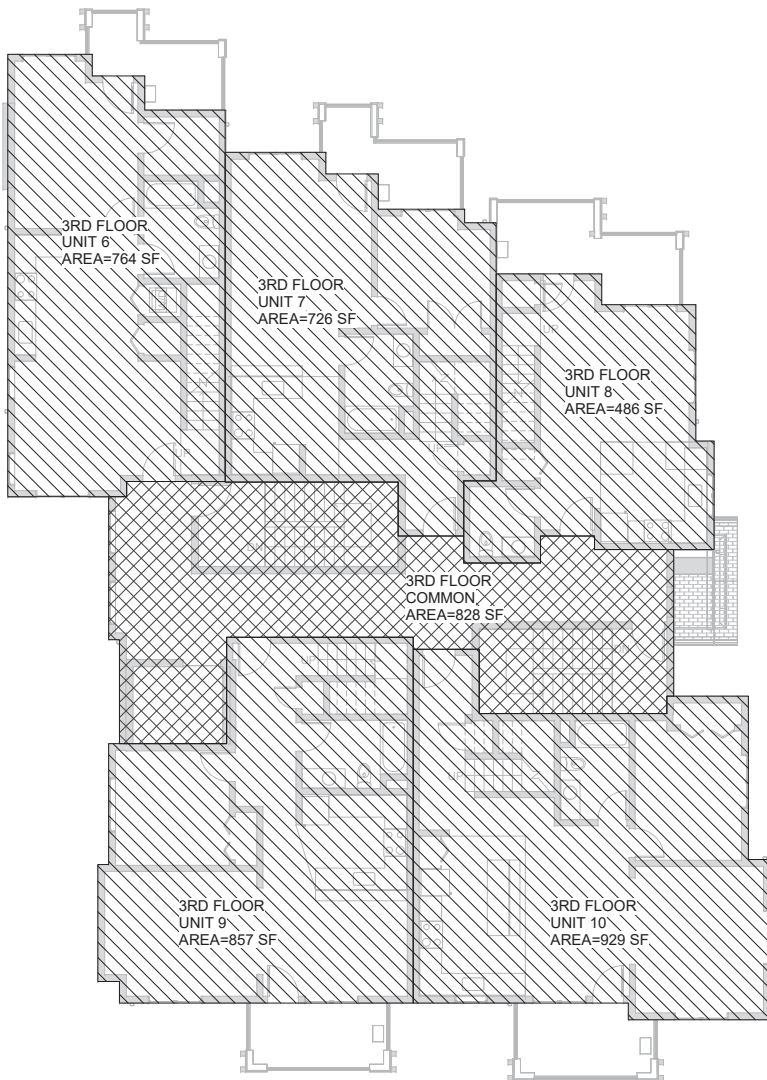
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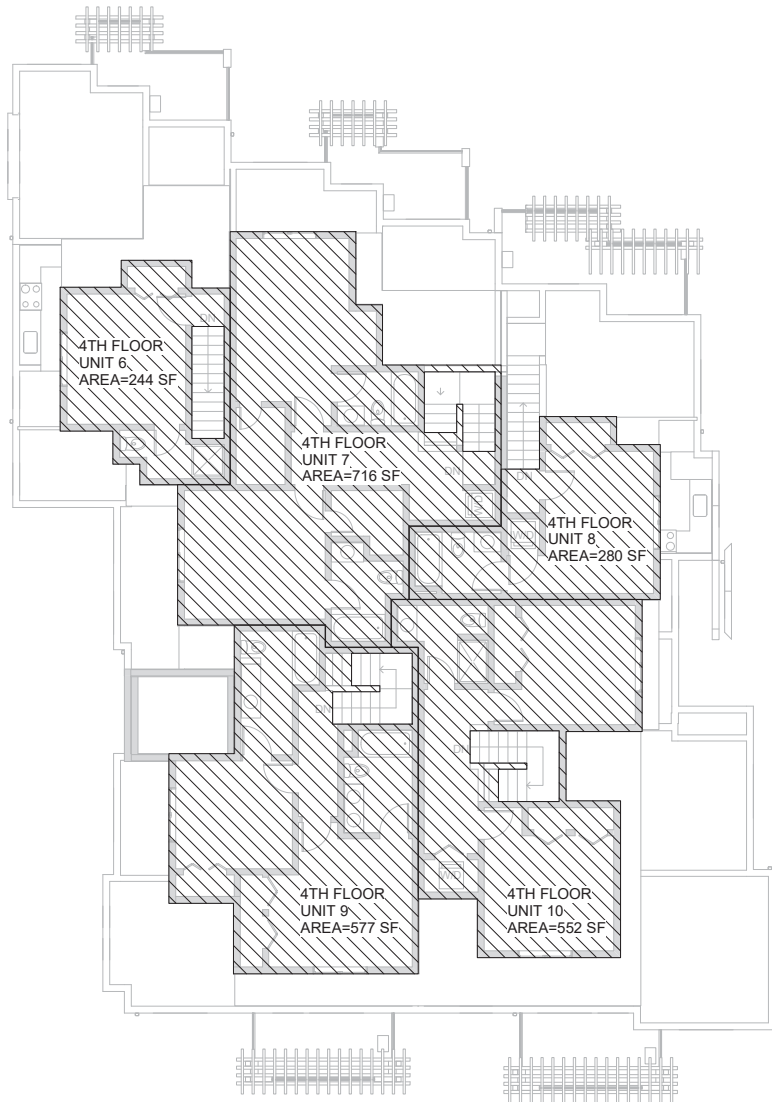
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① 3RD FLOOR
1/8" = 1'-0"

3RD FLOOR AREA CALCULATIONS:

UNIT 6	= 764 SF
UNIT 7	= 726 SF
UNIT 8	= 486 SF
UNIT 9	= 857 SF
UNIT 10	= 929 SF
COMMON AREA	= 828 SF
TOTAL	= 4590 SF



② 4TH FLOOR
1/8" = 1'-0"

4TH FLOOR AREA CALCULATIONS:

UNIT 6	= 244 SF
UNIT 7	= 716 SF
UNIT 8	= 280 SF
UNIT 9	= 577 SF
UNIT 10	= 552 SF
TOTAL	= 2369 SF



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3RD & 4TH FLOOR
AREA DIAGRAMS

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① SOUTH (SANTA INEZ) ELEVATION
1/8" = 1'-0"



② NORTH (ENGLE) ELEVATION
1/8" = 1'-0"



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SOUTH & NORTH
ELEVATIONS

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① EAST (EL CAMINO REAL) ELEVATION
1/8" = 1'-0"



② WEST (SIDE) ELEVATION
1/8" = 1'-0"



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EAST & WEST
ELEVATION

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MARCH 1, 2017
JUNE 15, 2017

Revision Schedule		
Number	Date	Description

SCALE
1/8" = 1'-0"

DRAWN
MK

JOB NO.
14555

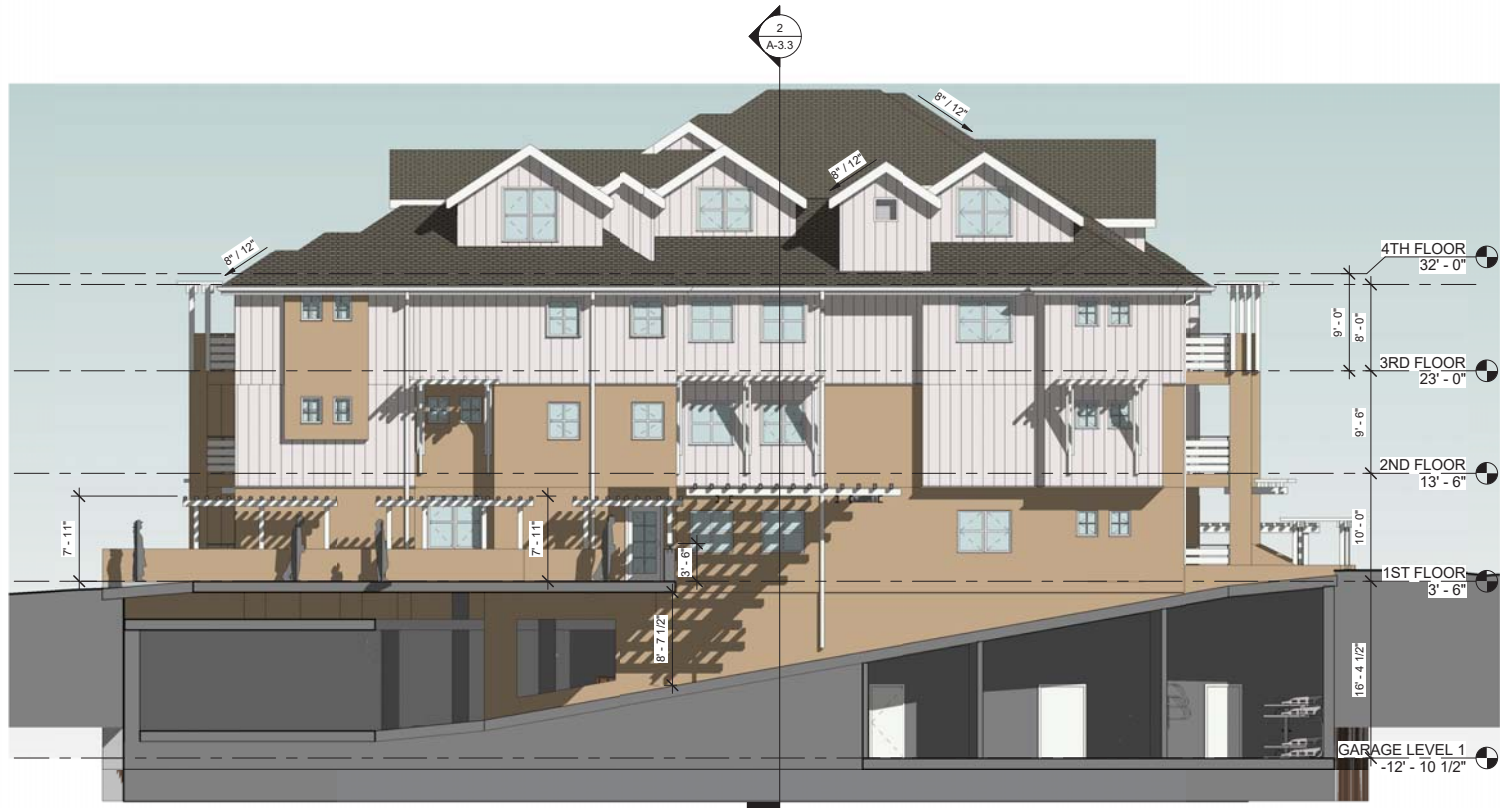
SHEET

A-3.2

OF SHEETS



② Section 2
1/8" = 1'-0"



① Section 1
1/8" = 1'-0"



JOHN
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ARCHITECTS

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WEST SANTA INEZ CONDOMINIUMS

TONY GUNDOGDU

4 WEST SANTA INEZ & 1 ENGLE ROAD
SAN MATEO, CA

SECTIONS

PLANNING
APPLICATION

DATE
FEBRUARY 1, 2016
AUGUST 24, 2016
MARCH 1, 2017
JUNE 15, 2017

Revision Schedule		
Number	Date	Description

SCALE
1/8" = 1'-0"

DRAWN

MK

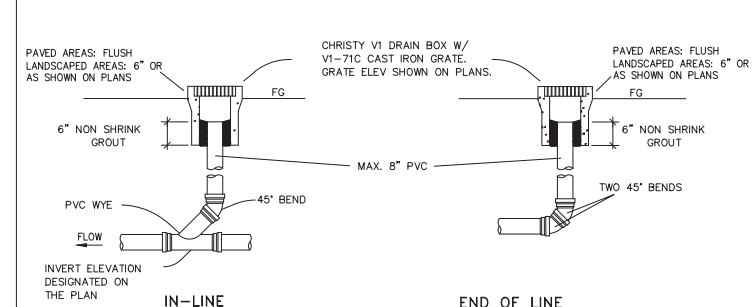
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14555

SHEET

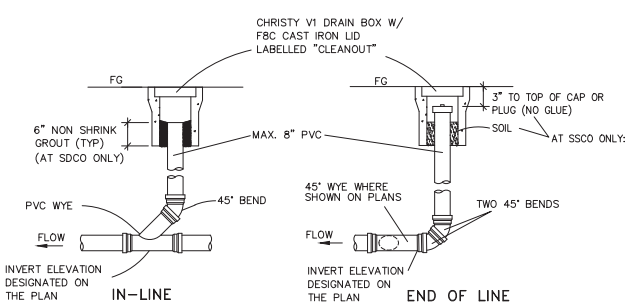
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OF

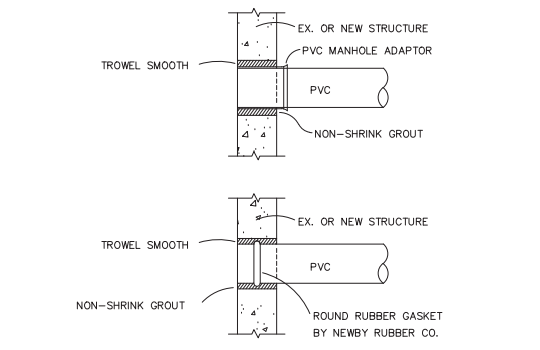
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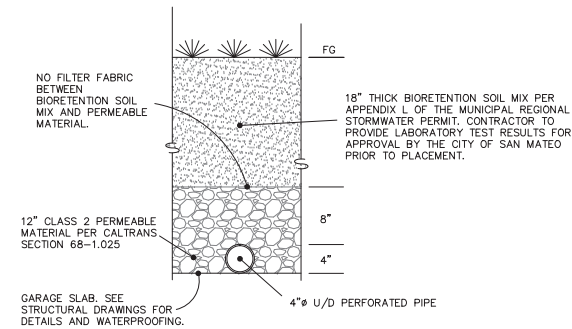
1 AREA DRAIN (AD) DETAIL
N.T.S.



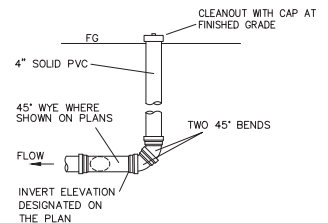
2 STORM DRAIN/SANITARY SEWER
CLEANOUT (CO)
N.T.S.



3 PLASTIC PIPE CONNECTION
TO DRAINAGE STRUCTURES
N.T.S.



4 TYPICAL SECTION THRU
BIO-DETENTION BASINS
N.T.S.



5 BIO-DETENTION BASIN
CLEANOUT (CO)
N.T.S.

BOHLEY CONSULTING
3150 ALAMADEN EXPRESSWAY, SUITE 150
SAN JOSE, CA 95118
(408) 265-1600 • FAX (408) 265-1604

WEST SANTA INEZ CONDOS

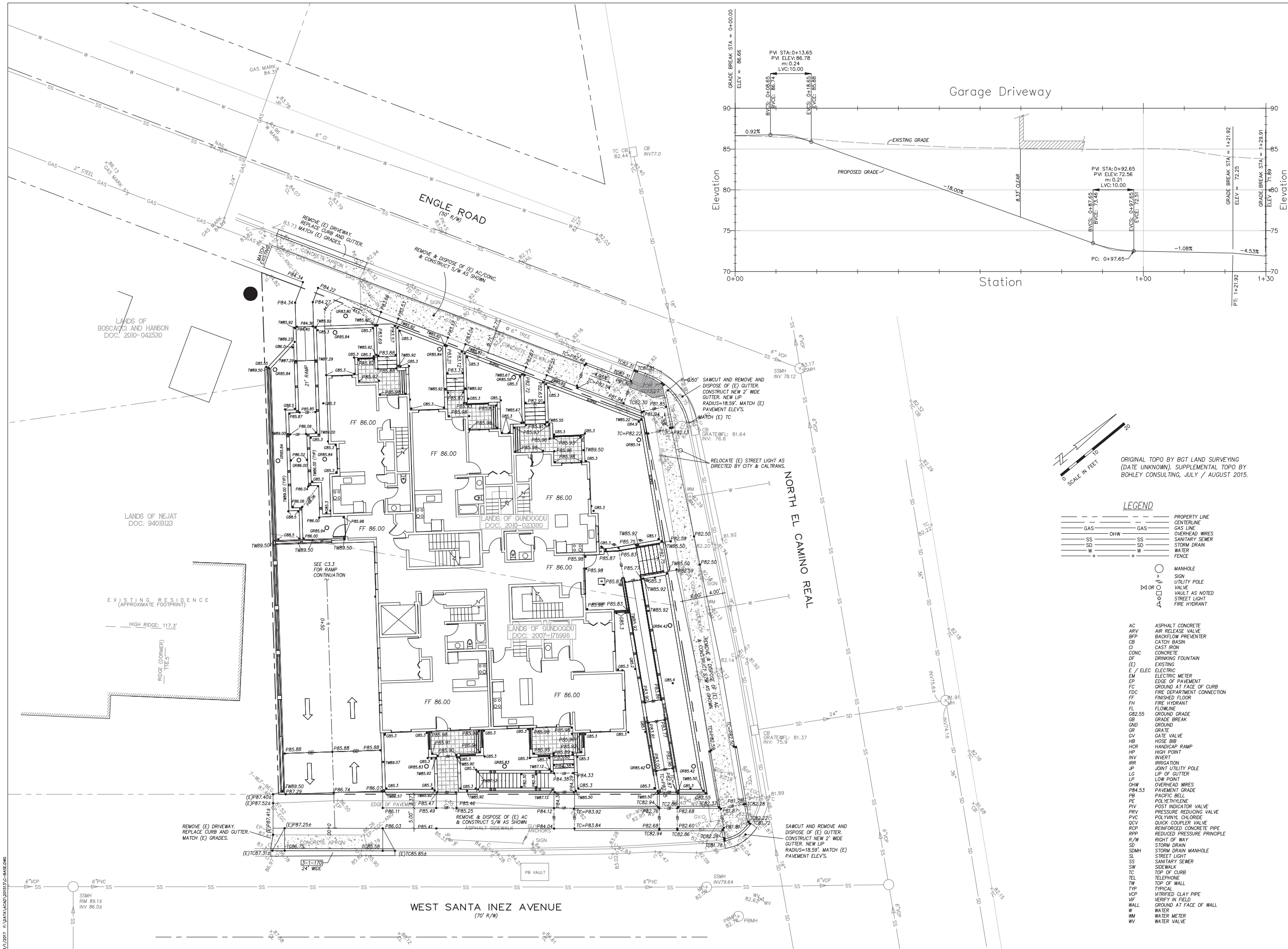
1 ENGLE ROAD
SAN MATEO, CA

Scale	NONE
Drawing	C-DETAILS.dwg
Job No	201513
Date	Description
12/10/15	PLANNING SUBMITTAL
8/24/15	REVISED SUBMITTAL
3/01/17	REVISED SUBMITTAL



DETAILS

C2.1



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SAN JOSE, CA 95118
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WEST SANTA INEZ CONDOS

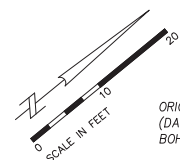
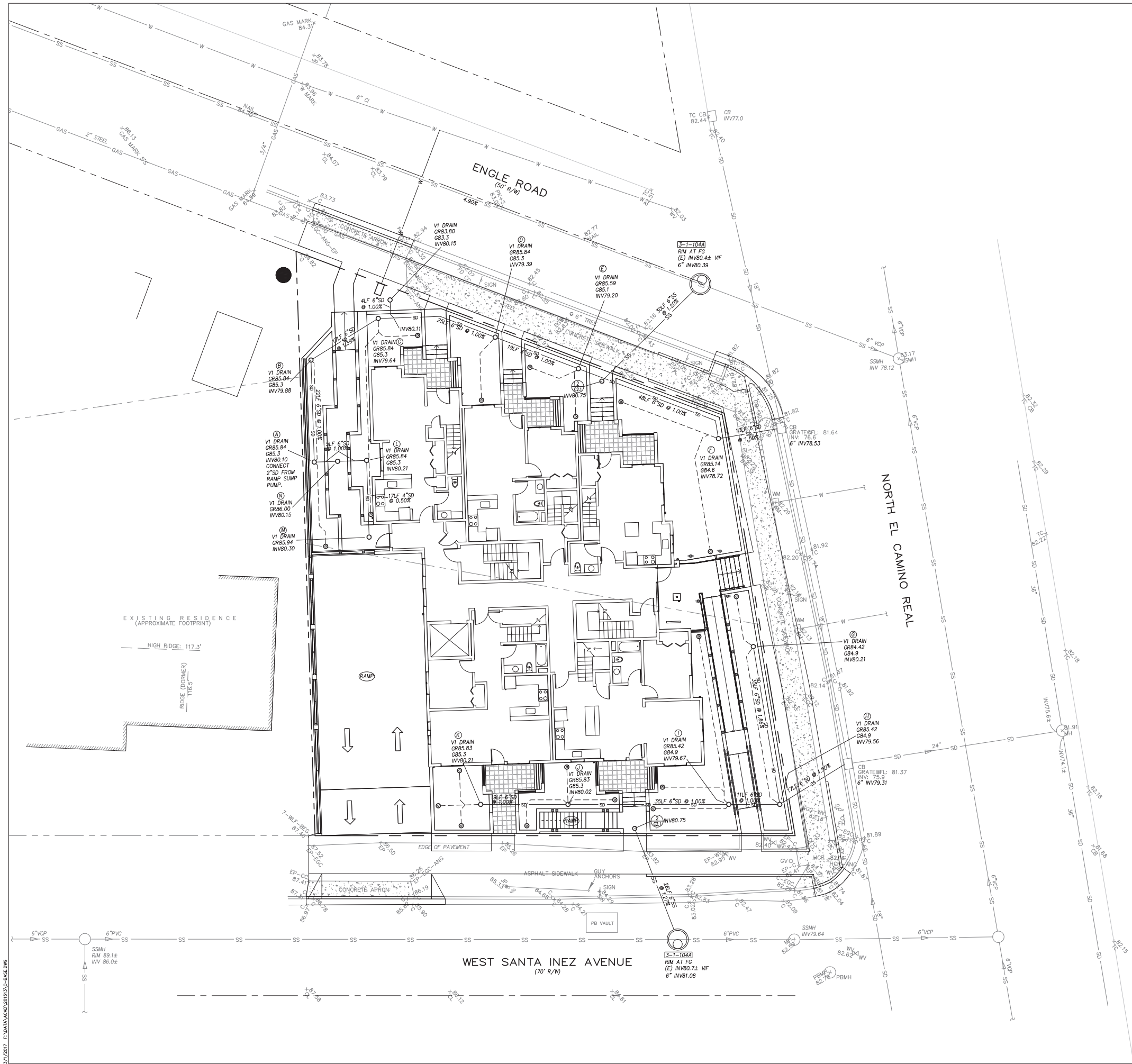
1 ENGLE ROAD
SAN MATEO, CA

Scale	1"=10'
Drawing	C-BASE.dwg
Job No	201513
Date	Description
12/10/15	PLANNING SUBMITTAL
8/24/15	REVISED SUBMITTAL
3/01/17	REVISED SUBMITTAL



GROUND FLOOR GRADING PLAN

C3.1



ORIGINAL TOPO BY BGT LAND SURVEYING
(DATE UNKNOWN). SUPPLEMENTAL TOPO BY
BOHLEY CONSULTING, JULY / AUGUST 2015.

LEGEND

- | | |
|-----|----------------|
| --- | PROPERTY LINE |
| --- | CENTERLINE |
| --- | GAS LINE |
| --- | OHW |
| --- | SS |
| --- | SD |
| --- | W |
| --- | FENCE |
| ○ | MANHOLE |
| + | SIGN |
| ⊕ | UTILITY POLE |
| ⊕ | VALVE |
| ⊕ | VAULT AS NOTED |
| ⊕ | STREET LIGHT |
| ⊕ | FIRE HYDRANT |

- | | |
|-------------|----------------------------|
| AC | ASPHALT CONCRETE |
| ARV | AIR RELEASE VALVE |
| BFP | BACKFLOW PREVENTER |
| CB | CATCH BASIN |
| CI | CAST IRON |
| CONC | CONCRETE |
| DF | DRINKING FOUNTAIN |
| (E) | EXISTING |
| E / ELEC | ELECTRIC |
| EM | ELECTRIC METER |
| EP | EDGE OF PAVEMENT |
| FC | GROUND AT FACE OF CURB |
| FDC | FIRE DEPARTMENT CONNECTION |
| FF | FINISHED FLOOR |
| FH | FIRE HYDRANT |
| FL | FLOWLINE |
| GB2.55 | GROUND GRADE |
| GB | GRADE BREAK |
| GND | GROUND |
| GR | GRATE |
| GV | GATE VALVE |
| HB | HOSE BIB |
| HCR | HANDICAP RAMP |
| HP | HIGH POINT |
| INV | INVERT |
| IRR | IRRIGATION |
| JP | JOINT UTILITY POLE |
| LG | LIP OF GUTTER |
| LP | LOW POINT |
| OHW | OVERHEAD WIRES |
| P84.53 | PAVEMENT GRADE |
| PB | PACIFIC BELL |
| PE | POLYETHYLENE |
| PIV | POST INDICATOR VALVE |
| PRV | PRESSURE REDUCING VALVE |
| PVC | POLYVINYL CHLORIDE |
| OCV | QUICK COUPLER VALVE |
| RCV | REINFORCED CONCRETE PIPE |
| RPP | REDUCED PRESSURE PRINCIPLE |
| R/W | RIGHT OF WAY |
| SD | STORM DRAIN |
| SDMH | STORM DRAIN MANHOLE |
| SL | STREET LIGHT |
| SS | SANITARY SEWER |
| SW | SIDEWALK |
| TC | TOP OF CURB |
| TEL | TELEPHONE |
| TW | TOP OF WALL |
| TYP | TYPICAL |
| VCP | VITRIFIED CLAY PIPE |
| VF | VERIFY IN FIELD |
| W | GROUND AT FACE OF WALL |
| WM | WATER METER |
| WV | WATER VALVE |
| U/D | UNDERDRAIN |
| DOWNSPOUT | DOWNSPOUT |
| V1 DRAINBOX | V1 DRAINBOX |

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(408) 265-1600 • FAX (408) 265-1604

WEST SANTA INEZ CONDOS

1 ENGLE ROAD
SAN MATEO, CA

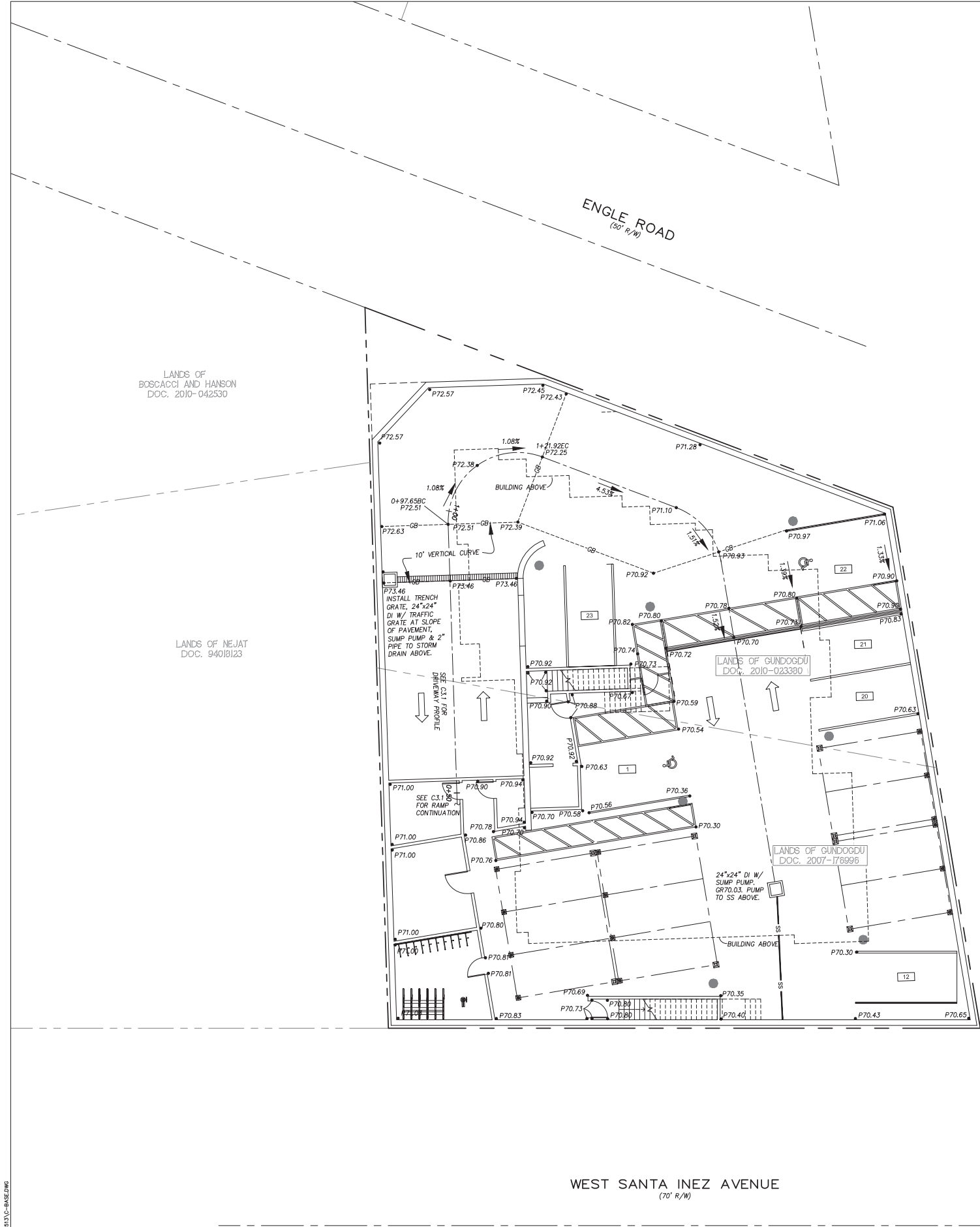
Scale	1"=10'
Drawing	C-BASE.dwg
Job No	201513
Date	Description
12/10/15	PLANNING SUBMITTAL
8/24/15	REVISED SUBMITTAL
3/01/17	REVISED SUBMITTAL



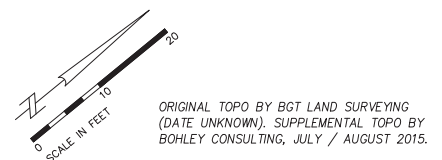
GROUND FLOOR
UTILITY PLAN

C3.2

5/1/2017 P:\SANTA INEZ\201513\C-BASE.dwg



NORTH EL CAMINO REAL



- LEGEND**
- | | | | |
|----------|----------------------------|----------|----------------------------|
| --- | PROPERTY LINE | --- | PROPERTY LINE |
| --- | CENTERLINE | --- | CENTERLINE |
| --- | GAS LINE | --- | GAS LINE |
| --- | OVERHEAD WIRES | --- | OVERHEAD WIRES |
| --- | SANITARY SEWER | --- | SANITARY SEWER |
| --- | STORM DRAIN | --- | STORM DRAIN |
| --- | WATER | --- | WATER |
| --- | FENCE | --- | FENCE |
| ○ | MANHOLE | ○ | MANHOLE |
| + | SIGN | + | SIGN |
| + | UTILITY POLE | + | UTILITY POLE |
| + | VALVE | + | VALVE |
| + | VAULT AS NOTED | + | VAULT AS NOTED |
| + | STREET LIGHT | + | STREET LIGHT |
| + | FIRE HYDRANT | + | FIRE HYDRANT |
| AC | ASPHALT CONCRETE | AC | ASPHALT CONCRETE |
| ARV | AIR RELEASE VALVE | ARV | AIR RELEASE VALVE |
| BFP | BACKFLOW PREVENTER | BFP | BACKFLOW PREVENTER |
| CB | CATCH BASIN | CB | CATCH BASIN |
| CI | CAST IRON | CI | CAST IRON |
| CONC | CONCRETE | CONC | CONCRETE |
| DF | DRINKING FOUNTAIN | DF | DRINKING FOUNTAIN |
| (E) | EXISTING | (E) | EXISTING |
| E / ELEC | ELECTRIC | E / ELEC | ELECTRIC |
| EM | ELECTRIC METER | EM | ELECTRIC METER |
| EP | EDGE OF PAVEMENT | EP | EDGE OF PAVEMENT |
| FC | GROUND AT FACE OF CURB | FC | GROUND AT FACE OF CURB |
| FDC | FIRE DEPARTMENT CONNECTION | FDC | FIRE DEPARTMENT CONNECTION |
| FF | FINISHED FLOOR | FF | FINISHED FLOOR |
| FH | FIRE HYDRANT | FH | FIRE HYDRANT |
| FL | FLOWLINE | FL | FLOWLINE |
| GBS.55 | GROUND GRADE | GBS.55 | GROUND GRADE |
| GB | GRADE BREAK | GB | GRADE BREAK |
| GND | GROUND | GND | GROUND |
| GR | GRATE | GR | GRATE |
| GV | GATE VALVE | GV | GATE VALVE |
| HB | HOSE BIB | HB | HOSE BIB |
| HCR | HANDICAP RAMP | HCR | HANDICAP RAMP |
| HP | HIGH POINT | HP | HIGH POINT |
| INV | INVERT | INV | INVERT |
| IRR | IRRIGATION | IRR | IRRIGATION |
| JP | JOINT UTILITY POLE | JP | JOINT UTILITY POLE |
| LG | LIP OF GUTTER | LG | LIP OF GUTTER |
| LP | LOW POINT | LP | LOW POINT |
| OHV | OVERHEAD WIRES | OHV | OVERHEAD WIRES |
| P84.53 | PAVEMENT GRADE | P84.53 | PAVEMENT GRADE |
| PB | PACIFIC BELL | PB | PACIFIC BELL |
| PE | POLYETHYLENE | PE | POLYETHYLENE |
| PIV | POST INDICATOR VALVE | PIV | POST INDICATOR VALVE |
| PRV | PRESSURE REDUCING VALVE | PRV | PRESSURE REDUCING VALVE |
| PVC | POLYVINYL CHLORIDE | PVC | POLYVINYL CHLORIDE |
| OCV | QUICK COUPLER VALVE | OCV | QUICK COUPLER VALVE |
| RCP | REINFORCED CONCRETE PIPE | RCP | REINFORCED CONCRETE PIPE |
| RPP | REDUCED PRESSURE PRINCIPLE | RPP | REDUCED PRESSURE PRINCIPLE |
| R/W | RIGHT OF WAY | R/W | RIGHT OF WAY |
| SD | STORM DRAIN | SD | STORM DRAIN |
| SDMH | STORM DRAIN MANHOLE | SDMH | STORM DRAIN MANHOLE |
| SL | STREET LIGHT | SL | STREET LIGHT |
| SS | SANITARY SEWER | SS | SANITARY SEWER |
| SW | SIDEWALK | SW | SIDEWALK |
| TC | TOP OF CURB | TC | TOP OF CURB |
| TEL | TELEPHONE | TEL | TELEPHONE |
| TW | TOP OF WALL | TW | TOP OF WALL |
| TYP | TYPICAL | TYP | TYPICAL |
| VCP | VITRIFIED CLAY PIPE | VCP | VITRIFIED CLAY PIPE |
| VF | VERIFY IN FIELD | VF | VERIFY IN FIELD |
| W | GROUND AT FACE OF WALL | W | GROUND AT FACE OF WALL |
| WM | WATER METER | WM | WATER METER |
| WV | WATER VALVE | WV | WATER VALVE |

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WEST SANTA INEZ CONDOS

1 ENGLE ROAD
SAN MATEO, CA

Scale 1"=10'

Drawing C-BASE.dwg

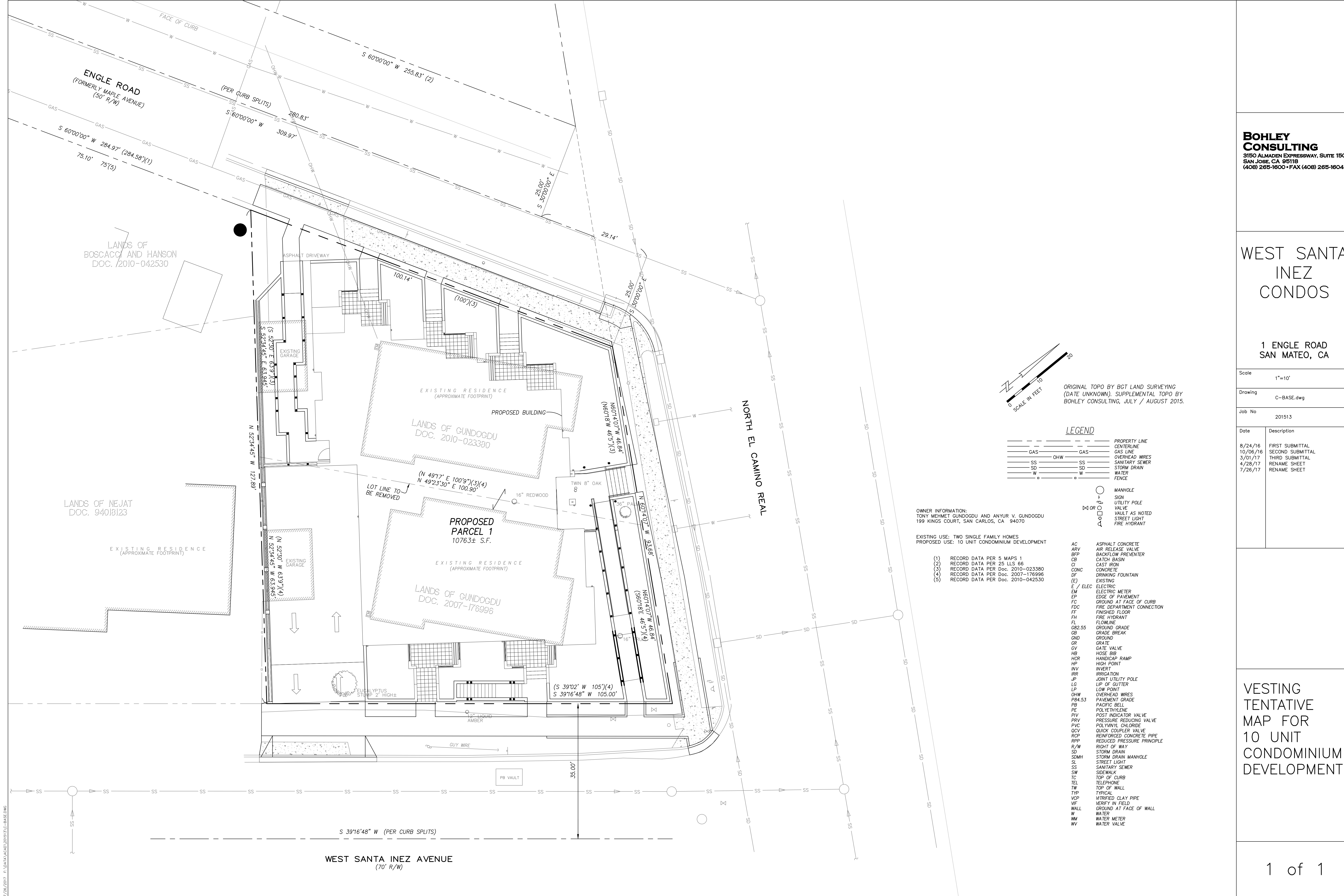
Job No 201513

Date	Description
12/10/15	PLANNING SUBMITTAL
8/24/15	REVISED SUBMITTAL
3/01/17	REVISED SUBMITTAL



GARAGE GRADING AND UTILITY PLAN

C3.3



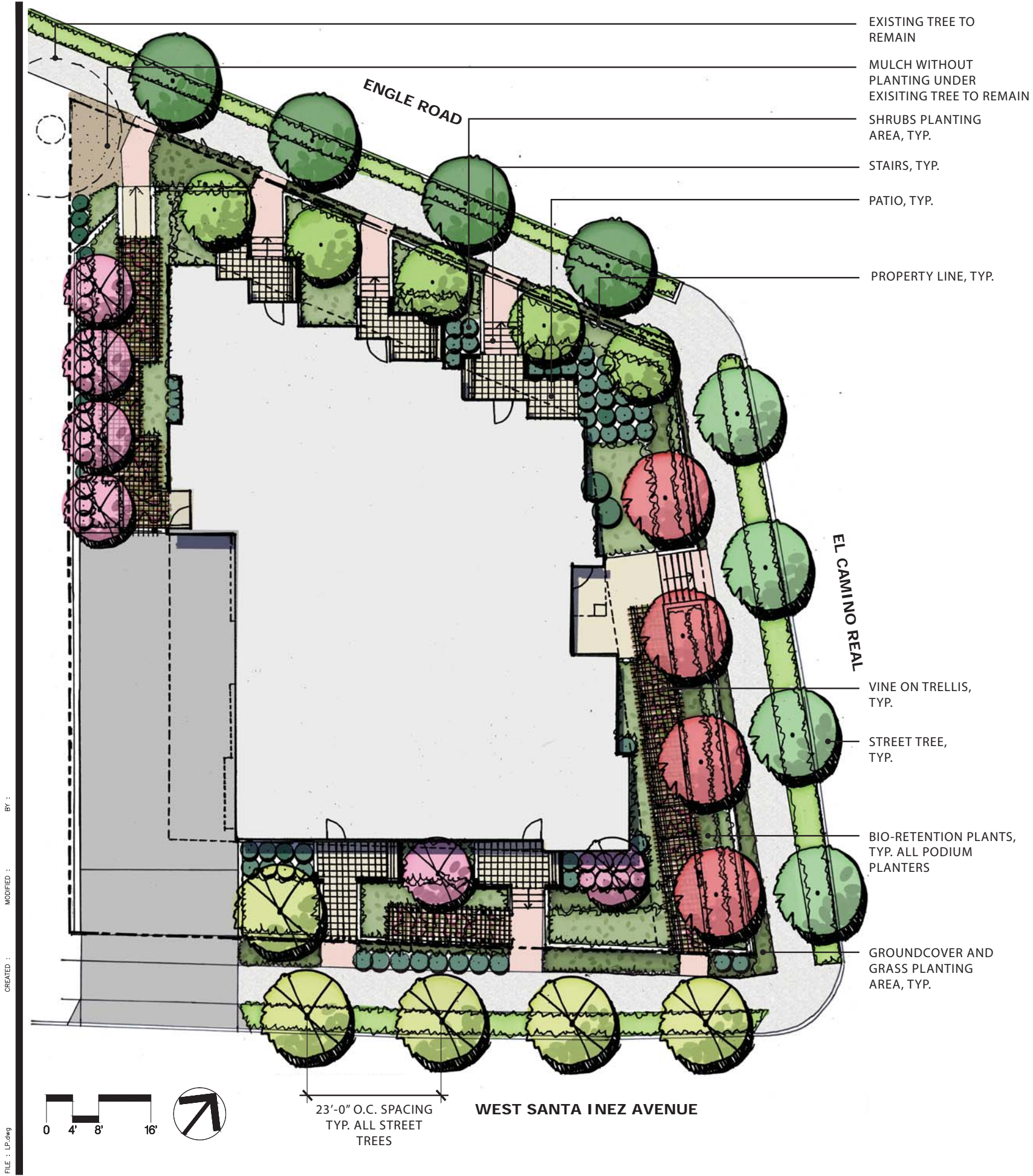
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3150 ALMADEN EXPRESSWAY, SUITE 150
SAN JOSE, CA 95118
(408) 265-1600 • FAX (408) 265-1604

WEST SANTA
INEZ
CONDOS

1 ENGLE ROAD
SAN MATEO, CA

Scale	1"=10'
Drawing	C-BASE.dwg
Job No	201513
Date	Description
8/24/16	FIRST SUBMITTAL
10/06/16	SECOND SUBMITTAL
3/01/17	THIRD SUBMITTAL
4/28/17	RENAME SHEET
7/26/17	RENAME SHEET

VESTING
TENTATIVE
MAP FOR
10 UNIT
CONDOMINIUM
DEVELOPMENT



PLANT LIST

Scientific Name	Common Name	Water Use	Size	Spacing	Quantity
Trees					
*Acer circinatum or Eriobotrya deflexa	Vine Maple Bronze Loquat	Moderate Moderate	See note #4 See note #4	As shown	6
Acer platanoides 'Crimson King'	Red Norway Maple	Moderate	See note #4	As shown	4
Crataegus laevigata	English Hawthorn	Moderate	See note #4	As shown	4
Ginkgo biloba 'Princeton Sentry'	Maidenhair Tree	Moderate	See note #4	As shown	5
Lagerstroemia indica or Tristania laurina 'Elegant'	Crape Myrtle Elegant Water Gum	Low Moderate	See note #4 See note #4	As shown	5
Ulmus propinqua 'Accolade'	Accolade Elm	Low	See note #4	As shown	4
Total Trees					28

Shrubs					
Alyogyne huegelii	Blue Hibiscus	Low	5 Gallon	5'-0" O.C.	
Grevillea rosmarinifolia	Rosemary Grevillea	Low	5 Gallon	4'-0" O.C.	
Phormium 'Yellow Wave'	New Zealand Flax	Low	5 Gallon	4'-0" O.C.	
*Salvia clevelandii 'Winifred Gilman'	Blue Sage	Low	1 Gallon	3'-0" O.C.	
Westringia fruticosa 'Wynyabbie Gem'	Coast Rosemary	Low	5 Gallon	5'-0" O.C.	

Groundcovers And Grasses					
Carex tumulicola	Berkeley sedge	Low	1 Gallon	2'-0" O.C.	
Dianella revoluta	Black Anther Flax Lily	Moderate	1 Gallon	1'-6" O.C.	
Genista lydia	Lydia Broom	Moderate	1 Gallon	2'-6" O.C.	
Lantana camara 'Yellow Trailing'	Yellow Spreading Lantana	Low	1 Gallon	3'-0" O.C.	
*Juncus patens	California Gray Rush	Low	1 Gallon	2'-0" O.C.	
*Muhlenbergia rigens	Deer Grass	Low	1 Gallon	3'-0" O.C.	
*Zauschneria californica	California Fuchsia	Low	1 Gallon	2'-0" O.C.	

Vines					
Gelsemium sempervirens	Carolina Jesssamine	Low	5 Gallon	As shown	
Wisteria sinensis 'Cooke's Purple'	Purple Chinese Wisteria	Moderate	5 Gallon	As shown	
Distictis buccinatoria	Red Trumpet Vine	Moderate	5 Gallon	As shown	

LANDSCAPE NOTES

- The irrigation system shall be designed to meet all requirements of the model water efficient landscape ordinance (mwelo) and all local codes and ordinances. This includes a dedicated water meter and backflow preventer for the irrigation, a smart irrigation controller that utilizes a weather sensor, low volume irrigation, a watering schedule, and valves separated by hydrozone
- Soil amendments shall be added to the soils based on a soils analysis.
- There shall be a plant establishment period of a minimum of 3 months.
- All trees within the property line will be 24" box trees and all street trees will be 36" box trees.

LANDSCAPE AREA CALCULATIONS

Ratio of new trees to be planted per landscape area (planted area in sf): 28 trees/2520 sf or 5 trees/400 sf landscape area (min. 1 tree/400 sf SMMC section 27.71.120(f)1)

Total square footage of all annual areas: 0 sf
Total square footage of all turf areas (including water feature areas): 0 sf

Low water use plants.....80%
Medium water use plants.....20%

Total landscape area.....2520 sf
Total square footage of all ground level patios, decks and plazas:.....3185 sf

* Denotes bio-retention plants



JOHN
MATTHEWS
ARCHITECTS

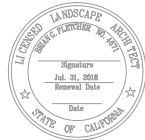
1335A EAST FOURTH AVENUE
SAN MATEO, CA 94401
650 / 340-1107 VOICE
340-1677 FAX

Consultant
a
YEAVE
Callander Associates
1433 Old Bayshore Highway
Suite 133
Burlingame, CA 94010
F 650.272.1313
F 650.344.3250

W. SANTA INEZ CONDOS
4 W. SANTA INEZ AVE

SAN MATEO, CA 94401

CA PROJECT # 15042



DATE
June 13, 2017
**PRELIMINARY
LANDSCAPE
PLAN**

SCALE
AS SHOWN

DRAWN
AD

JOB NO.
15042

SHEET

L-1.1

OF SHEETS

Trees



Acer circinatum



Crataegus laevigata



Acer platanoides 'Crimson King'



Eriobotrya deflexa



Ginkgo biloba



Tristania laurina 'Elegant'



Lagerstroemia indica



Ulmus propinqua 'Accolade'

Vines



Gelsemium sempervirens



Wisteria sinensis 'Cooke's Purple'



Distictis buccinatoria

Shrubs, Groundcovers And Grasses



Alyogyne huegelii



Carex tumulicola



Lantana camara 'Yellow Trailing'



Grevillea rosmarinifolia



Dianella revoluta



Juncus patens



Phormium 'Yellow Wave'



Muhlenbergia rigens



Salvia clevelandii 'winifred gilman'



Westringia fruticosa 'Wynyabbie Gem'



Genista lydia



Zauschneria californica

FILE : LP.dwg
CREATED :
MODIFIED :
BY :



JOHN
MATTHEWS
ARCHITECTS

135A EAST FOURTH AVENUE
SAN MATEO, CA 94401
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4 W. SANTA INEZ AVE

SAN MATEO, CA 94401

CA PROJECT # 15042



DATE
June 13, 2017
**PLANTING
PALETTE**

SCALE
AS SHOWN

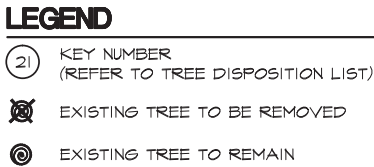
DRAWN
AD

JOB NO.
15042

SHEET

L-1.2

OF SHEETS



KEY #	DIA.*	BOTANICAL NAME	COMMON NAME	TO BE REMOVED	COMMENTS	CONDITION	HERITAGE	L.V.VALUE
1	12"	LIQUIDAMBER STYRACIFLUA	SWEET GUM	YES	ROOTS LIFTING ASPHALT	GOOD CONDITION	NO	2.3
2	10"	QUERCUS AGRIFOLIA	COAST LIVE OAK	YES	COVERED WITH IVY	GOOD CONDITION	YES	9.0
3	4"	PRUNUS CERASIFERA	FLOWERING PLUM	YES	COVERED WITH IVY	GOOD CONDITION	NO	0.8
4	8"	QUERCUS AGRIFOLIA	COAST LIVE OAK	YES	COVERED WITH IVY	GOOD CONDITION	NO	5.8
5	8"	QUERCUS AGRIFOLIA	COAST LIVE OAK	YES	COVERED WITH IVY	GOOD CONDITION	NO	5.8
6	6"	ACER CAMPESTRE	FIELD MAPLE	YES	COVERED WITH IVY	GOOD CONDITION	NO	2.6
7	8"	ACER CAMPESTRE	FIELD MAPLE	YES	COVERED WITH IVY	GOOD CONDITION	NO	3.5
8	15"	MALUS DOMESTICA	APPLE TREE	YES	FUNGUS EVIDENT	GOOD CONDITION	NO	0.2
9	8"/6"	ACER CAMPESTRE	FIELD MAPLE	YES	MULTI-TRUNK	GOOD CONDITION	NO	4.0
10	10"	ACER CAMPESTRE	FIELD MAPLE	YES	MULTI-TRUNK	GOOD CONDITION	NO	5.0
11	8"/6"	ACER CAMPESTRE	FIELD MAPLE	YES	MULTI-TRUNK	GOOD CONDITION	NO	4.0
12	32"	PHOENIX CANARIENSIS	CANARY IS. DATE PALM	YES	PRUNE OLD FRONDS	GOOD CONDITION	YES	26.9
13	18"/16"	QUERCUS AGRIFOLIA	COAST LIVE OAK	YES	ADJACENT TO HOUSE	GOOD CONDITION	YES	16.2
14	28"	SEQUOIA SEMPERVIRENS	COAST REDWOOD	YES	ADJACENT TO HOUSE	GOOD CONDITION	YES	34.3
15	7"	CRATAEGUS LAEVIGATA	ENGLISH HAWTHORN	YES	STRESSED	GOOD CONDITION	NO	2.1
16	6"	MYRTUS COMMUNIS	MYRTLE	YES		GOOD CONDITION	NO	0.9
17	6"	FEIJOA SELLOWIANA	PINEAPPLE GUAVA	YES		GOOD CONDITION	NO	0.9
18	8"	LIGUSTRUM LUCIDUM	CALIFORNIA PRIVET	YES	COVERED WITH IVY	GOOD CONDITION	NO	2.3
19	20"	SCHINUS MOLLE	CALIFORNIA PEPPER	YES		GOOD CONDITION	YES	14.7
20	12"	FIG	FIG TREE	YES		GOOD CONDITION	NO	1.7
21	6"	CITRUS SPP.	LEMON TREE	YES		GOOD CONDITION	NO	1.0
22	8"	LIGUSTRUM LUCIDUM	CALIFORNIA PRIVET	YES		GOOD CONDITION	NO	2.3
23	40"	SEQUOIA SEMPERVIRENS	COAST REDWOOD	NO	NEIGHBORING PROPERTY	GOOD CONDITION	YES	70.0
24	4"	CUPRESSUS SEMPERVIRENS	ITALIAN REDWOOD	NO	NEIGHBORING PROPERTY	GOOD CONDITION	NO	2.5
25	4"	CUPRESSUS SEMPERVIRENS	ITALIAN REDWOOD	NO	NEIGHBORING PROPERTY	GOOD CONDITION	NO	2.5
26	4"	CUPRESSUS SEMPERVIRENS	ITALIAN REDWOOD	NO	NEIGHBORING PROPERTY	GOOD CONDITION	NO	2.5
27	4"	CUPRESSUS SEMPERVIRENS	ITALIAN REDWOOD	NO	NEIGHBORING PROPERTY	GOOD CONDITION	NO	2.5
28	4"	CUPRESSUS SEMPERVIRENS	ITALIAN REDWOOD	NO	NEIGHBORING PROPERTY	GOOD CONDITION	NO	2.5
29	4"	CUPRESSUS SEMPERVIRENS	ITALIAN REDWOOD	NO	NEIGHBORING PROPERTY	GOOD CONDITION	NO	2.5
30	4"	CUPRESSUS SEMPERVIRENS	ITALIAN REDWOOD	NO	NEIGHBORING PROPERTY	GOOD CONDITION	NO	2.5
31	4"	CUPRESSUS SEMPERVIRENS	ITALIAN REDWOOD	NO	NEIGHBORING PROPERTY	GOOD CONDITION	NO	2.5
32	4"	CUPRESSUS SEMPERVIRENS	ITALIAN REDWOOD	NO	NEIGHBORING PROPERTY	GOOD CONDITION	NO	2.5
33	4"	CUPRESSUS SEMPERVIRENS	ITALIAN REDWOOD	NO	NEIGHBORING PROPERTY	GOOD CONDITION	NO	2.5

TOTALS	33	TREES EXISTING BEFORE DEMOLITION	
	22	TREES TO BE REMOVED	TOTAL L.U. VALUE OF TREES TO BE REMOVED: 146.2
	11	TREES TO REMAIN	TOTAL L.U. VALUE OF PROPOSED TREES: 70.0

Required Tree Planting

Required Trees:

As per the requirement of the Zoning Code, Section 27.71 – Landscape, all projects must have a minimum ratio of **1 tree per 400 square feet** of landscaped area. Existing trees that are a minimum of 6 inch diameter may count toward this total. Any trees with a 6 inch or greater diameter that are being removed must be replaced with an equivalent value of trees. Values are to be determined as stated in Section 27.71.180 of the zoning code and recorded on the Tree Evaluation Schedule and/or any required arborist report.

New Trees:

A minimum number of trees equivalent to (a), above, must be planted (or existing on the site). In order to make up the required LU value from the removal of trees, additional or larger trees may be planted. If the LU value shown at (e) is not equal or greater than (d), then an in-lieu fee must be paid to the City's street tree planting fund at the rate defined annually in the City's Comprehensive Fee Schedule for each deficient LU.

New Trees Being Planted			
Quantity	Size	LU Value	Total LU Value
	15 gallon	1	
16	24 inch box	2	32
12	36 inch box	3	36
	48 inch box	4	

Total LU Value of new trees being proposed: 68 (e)

Fees Owed to the City Street Tree Planting Fund:

If (d) is greater than (e), there will be an LU value deficit calculated as follows:

$[d - e = 83.5 \times \$294 = \$24,549]$
 (151.5 - 68 = -83.5) LU value of trees removed exceeds LU value of proposed trees so \$24,549 is owed to the City.

Q:\CDD\Planning\FORMS\Trees Preservation & Site Development\Required Tree Planting Form.doc



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SAN MATEO, CA 94401

CA PROJECT # 15042



DATE _____

June 13, 2017

TREE DISPOSITION PLAN

SCAL

AS SHOWN

DRAW

AD

JOB NO

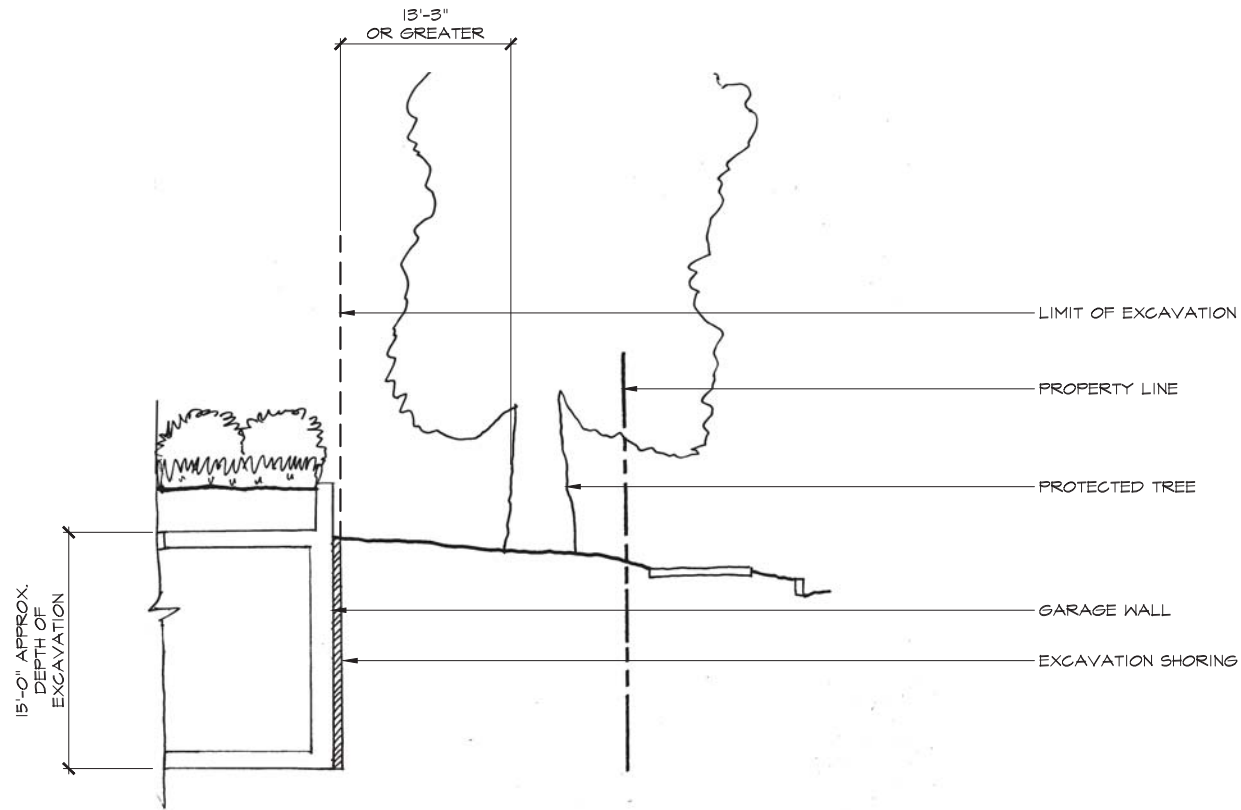
15042

SHEE

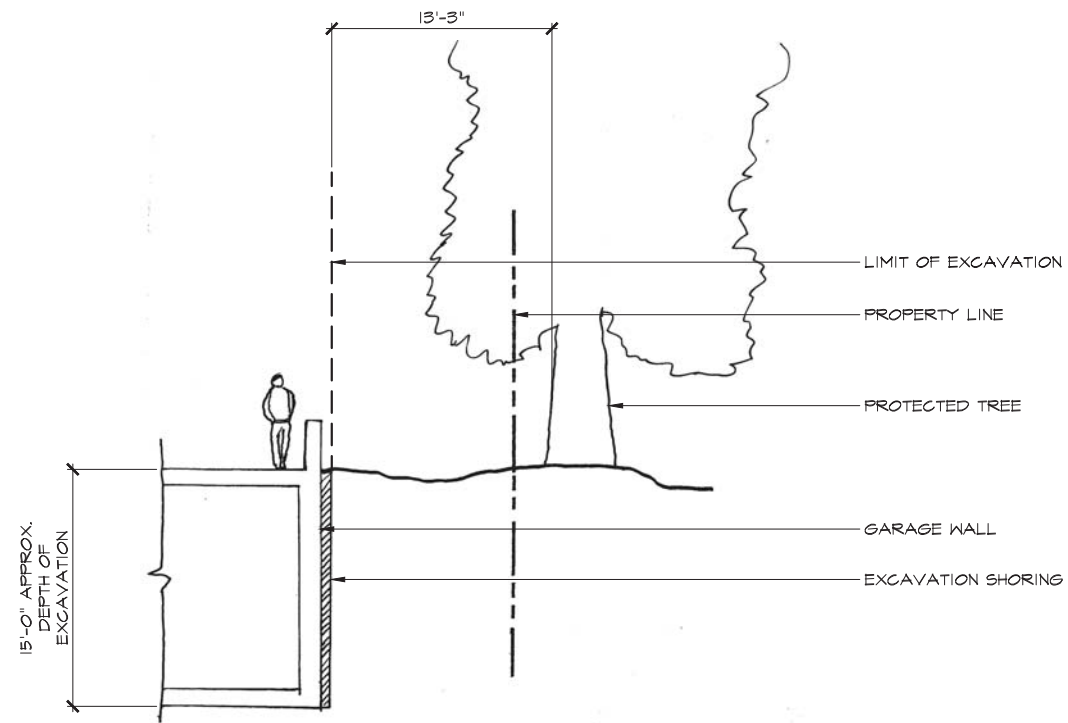
L-1.3

OF

SHEET



1 INTERIOR PROPERTY LINE
L-15 SECTION



2 EAST WEST VIEW
L-15 SECTION



JOHN
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ARCHITECTS

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CA PROJECT # 15042



DATE
June 13, 2017

TREE
PROTECTION
SECTIONS

SCALE
AS SHOWN

DRAWN
AD

JOB NO.
15042

SHEET

L-15

OF SHEETS