



(3) 3D View 3



(2) 3D View 2



(4) 3D View 4

WEST SANTA INEZ CONDOMINIUMS
TONY GUNDOGDU

4 WEST SANTA INEZ & 1 ENGLE ROAD
 SAN MATEO, CA

3D VIEWS

PLANNING APPLICATION

DATE
 FEBRUARY 1, 2016
 AUGUST 24, 2016
 MARCH 1, 2017
 JUNE 15, 2017

Revision Schedule
 Number Date Description

SCALE

DRAWN
 MK
 JOB NO.
 1455

SHEET

A-0.1
 OF SHEETS



**JOHN
 MATTHEWS
 ARCHITECTS**

335-A EAST FOURTH AVENUE
 SAN MATEO, CA 94401
 TELE: (650) 340-1107
 FAX: (650) 340-1677



JOHN
MATTHEWS
ARCHITECTS

335-A EAST FOURTH AVENUE
SAN MATEO, CA 94401
TELE: (650) 340-1107
FAX: (650) 340-1677



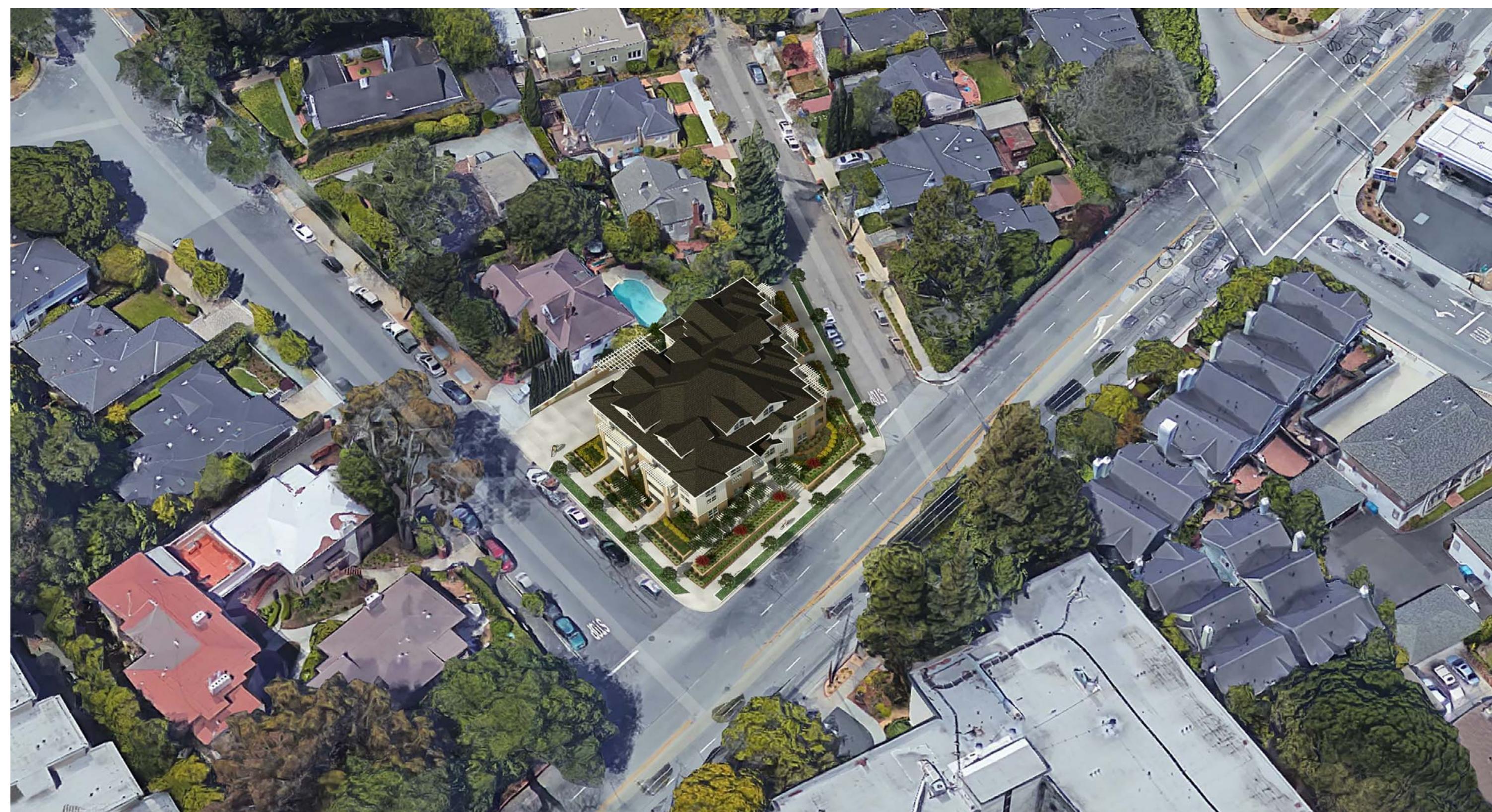
EL CAMINO REAL LOOKING NORTH + WEST TO WEST SANTA INEZ



WEST SANTA INEZ LOOKING EAST TOWARD EL CAMINO REAL



EL CAMINO REAL LOOKING SOUTH + WEST TO ENGLE



AERIAL VIEW

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Condominiums\05-Planning\West Santa Inez\DD14_2018.rvt

WEST SANTA INEZ CONDOMINIUMS
TONY GUNDOGDU

4 WEST SANTA INEZ & 1 ENGLE ROAD
SAN MATEO, CA

RENDERINGS

PLANNING
APPLICATION

DATE
FEBRUARY 1, 2016
AUGUST 24, 2016
MARCH 1, 2017
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Revision Schedule

Number Date Description

SCALE

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JOB NO.
14555
SHEET

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OF
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ENGLE ROAD LOOKING EAST FRAMED VIEW



ENGLE ROAD LOOKING EAST

WEST SANTA INEZ CONDOMINIUMS
TONY GUNDOGDU

4 WEST SANTA INEZ & 1 ENGLE ROAD
SAN MATEO, CA

RENDERS

**PLANNING
APPLICATION**

DATE
FEBRUARY 1, 2016
AUGUST 24, 2016
MARCH 1, 2017
JUNE 15, 2017

Revision Schedule
Number Date Description

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JOB NO.
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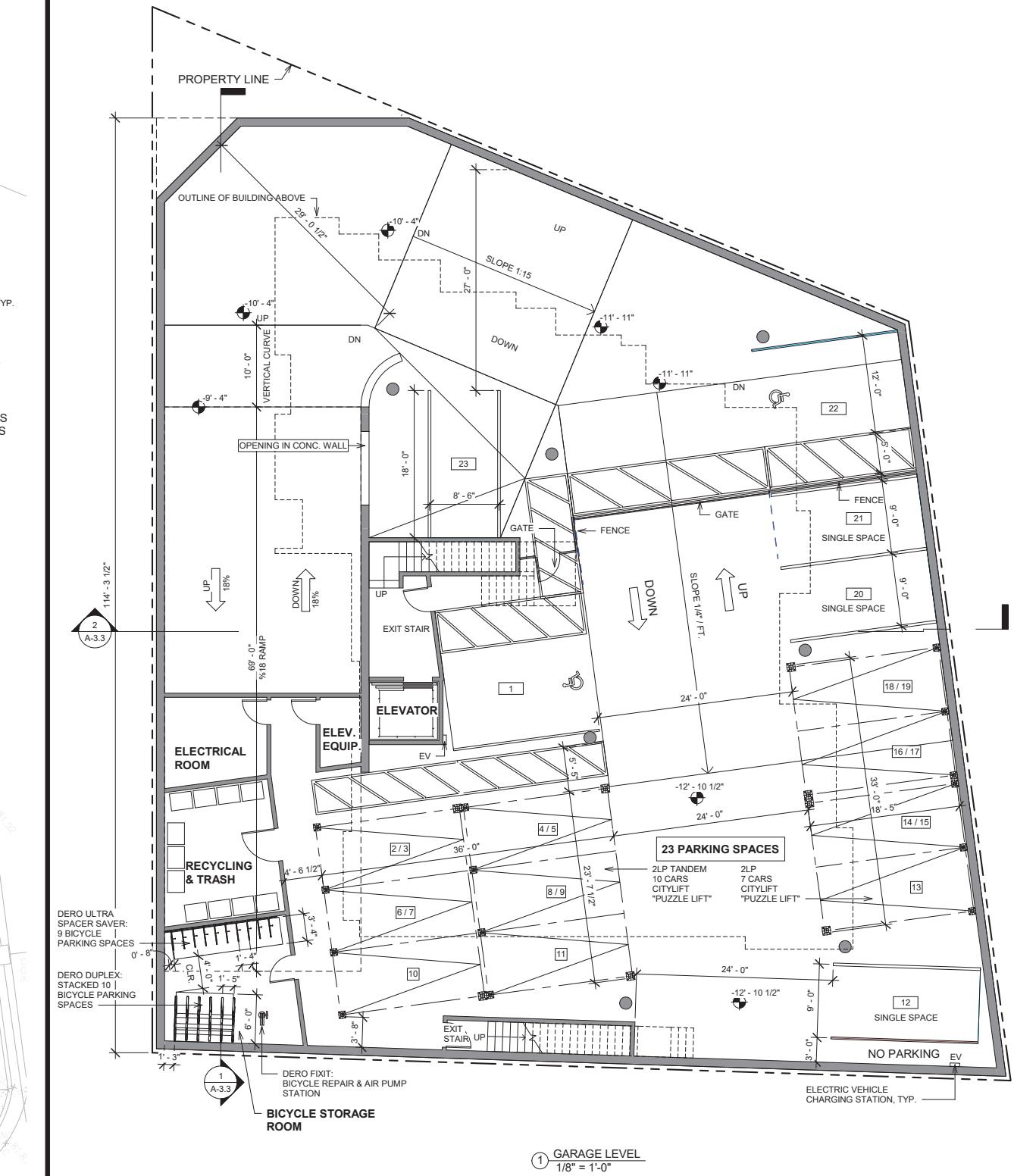
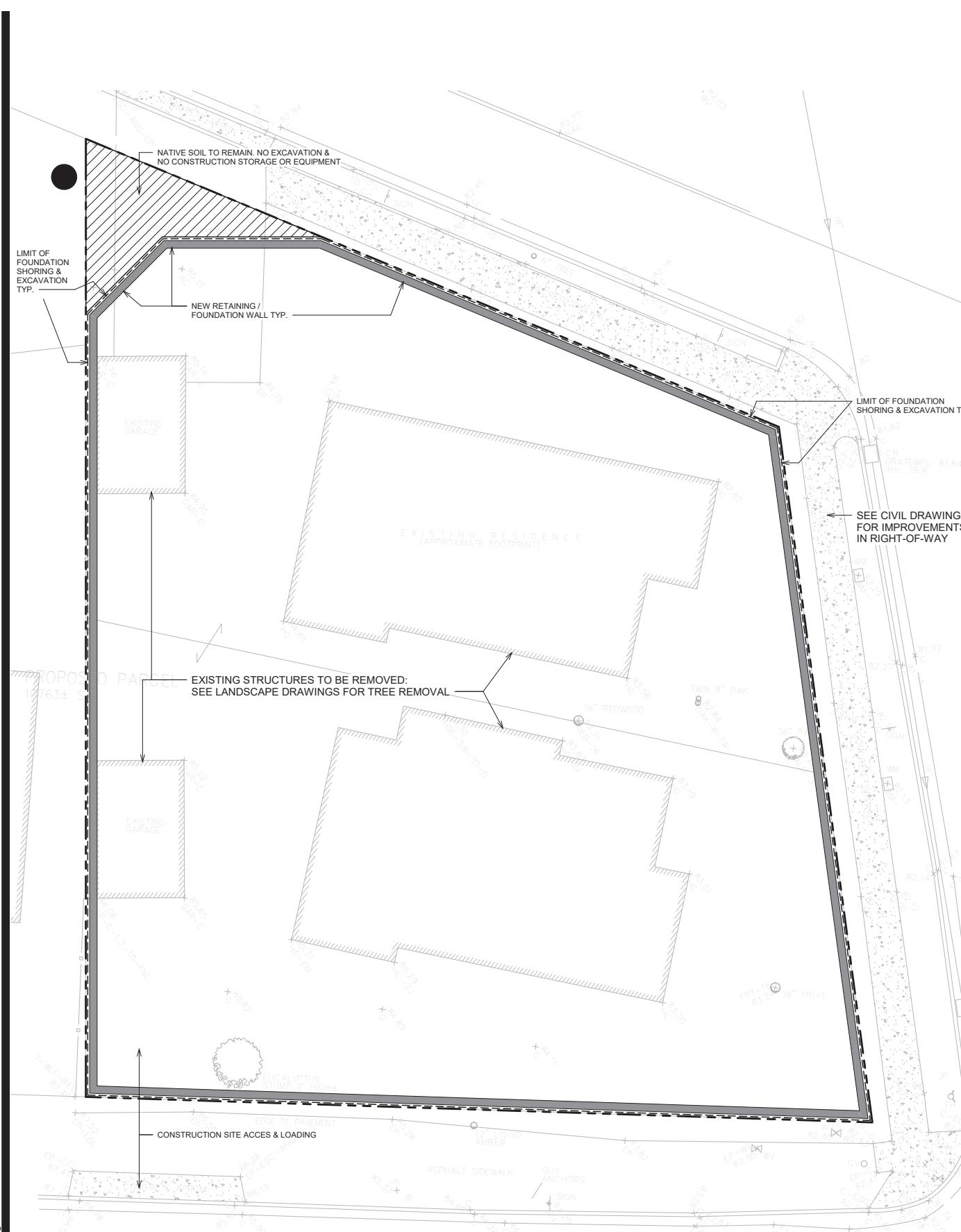


**JOHN
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SAN MATEO, CA 94401
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WEST SANTA INEZ CONDOMINIUMS

TONY GUNDOGDU

17 SANTA INEZ & 1 ENGLE ROAD
SAN MATEO, CA

4 WEST SANTA INEZ & 1 ENGLE ROAD
SAN MATEO, CA

SITE REMOVAL PLAN & UNDERGROUND GARAGE PLAN

PLANNING

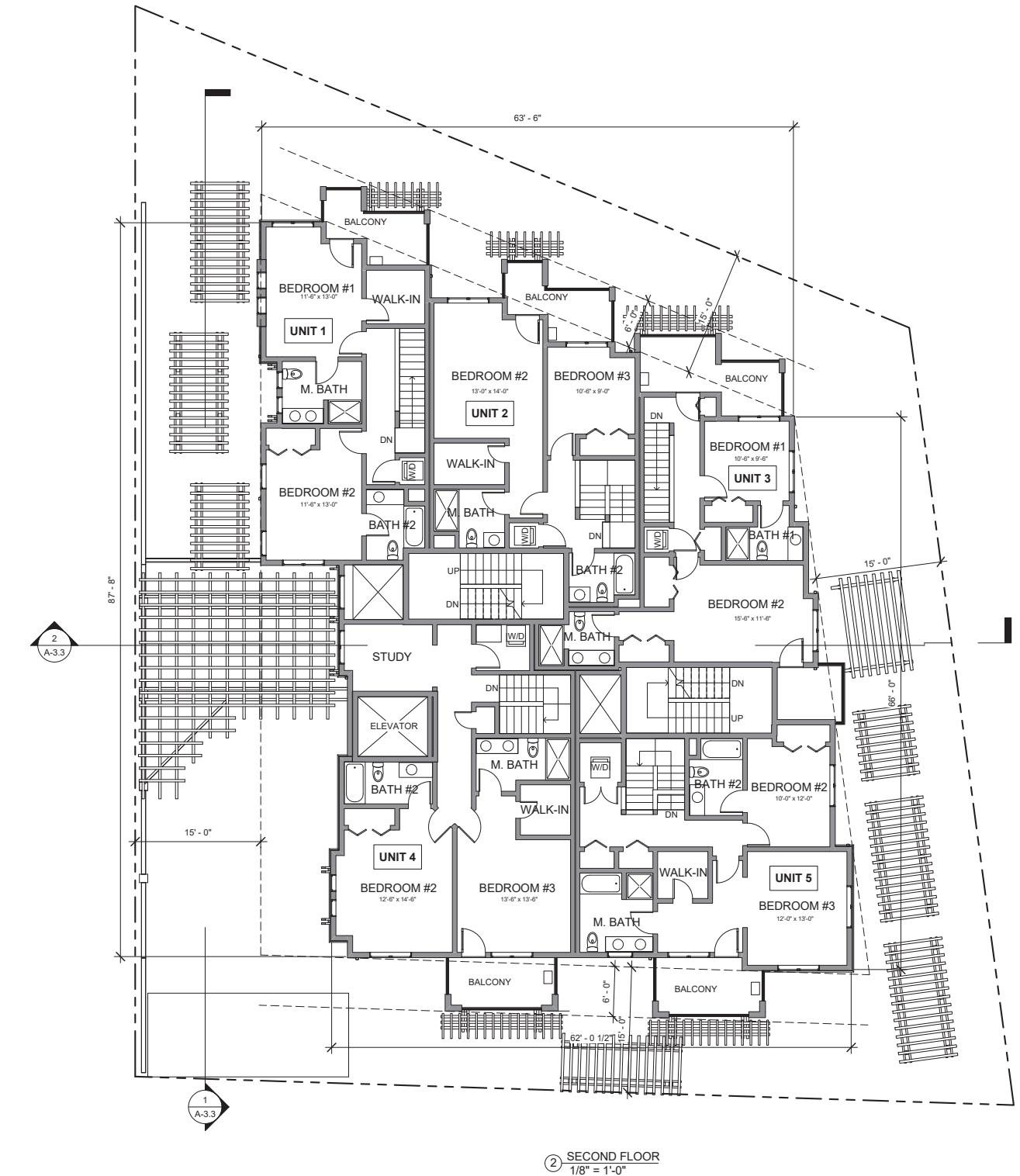
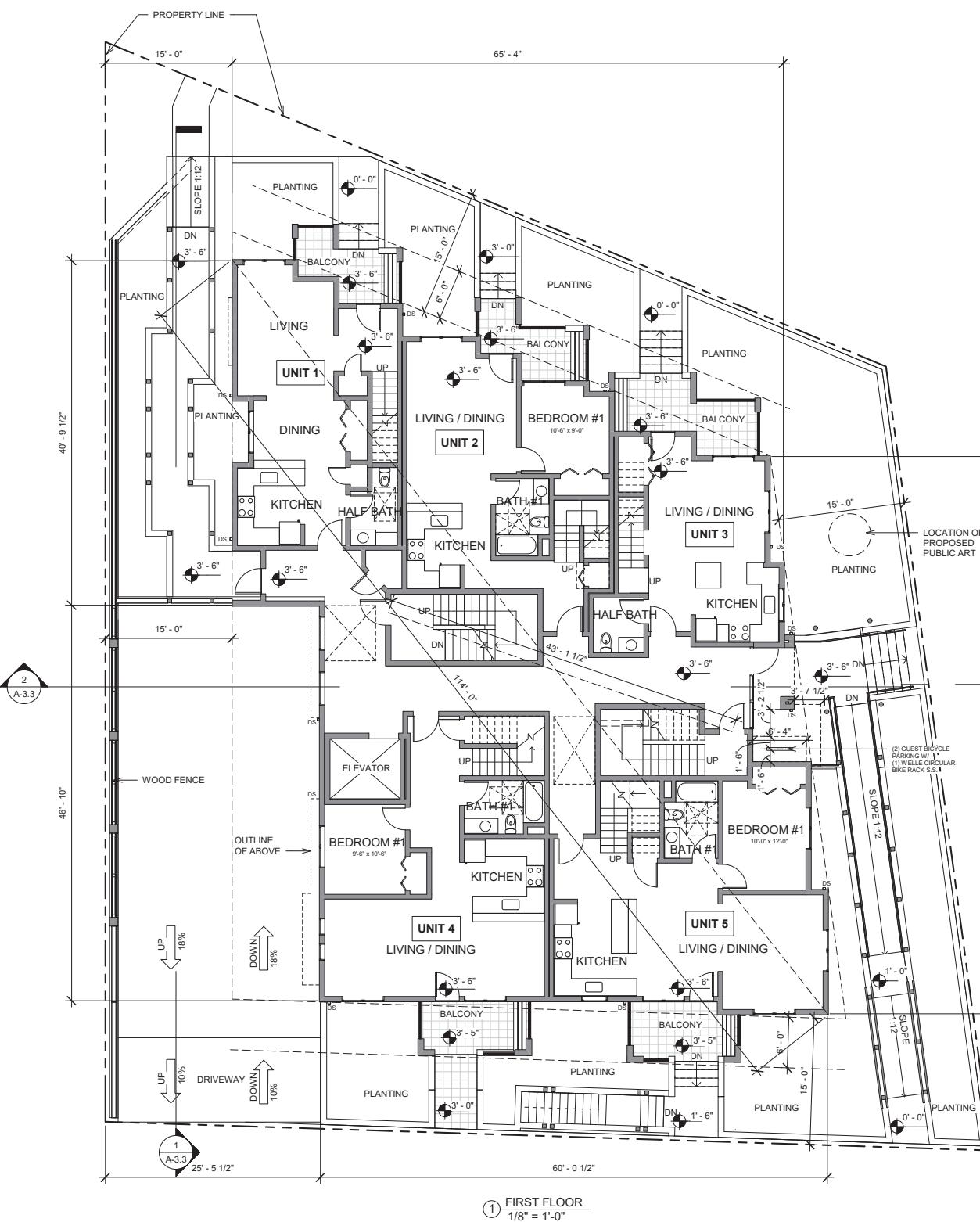
DATE
FEBRUARY 1, 2016
AUGUST 24, 2016
MARCH 1, 2017
JUNE 15, 2017

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335-A EAST FOURTH AVENUE
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WEST SANTA INEZ CONDOMINIUMS TONY GUNDOGDU

4 WEST SANTA INEZ & 1 ENGLE ROAD
SAN MATEO, CA

1ST & 2ND FLOOR PLANS

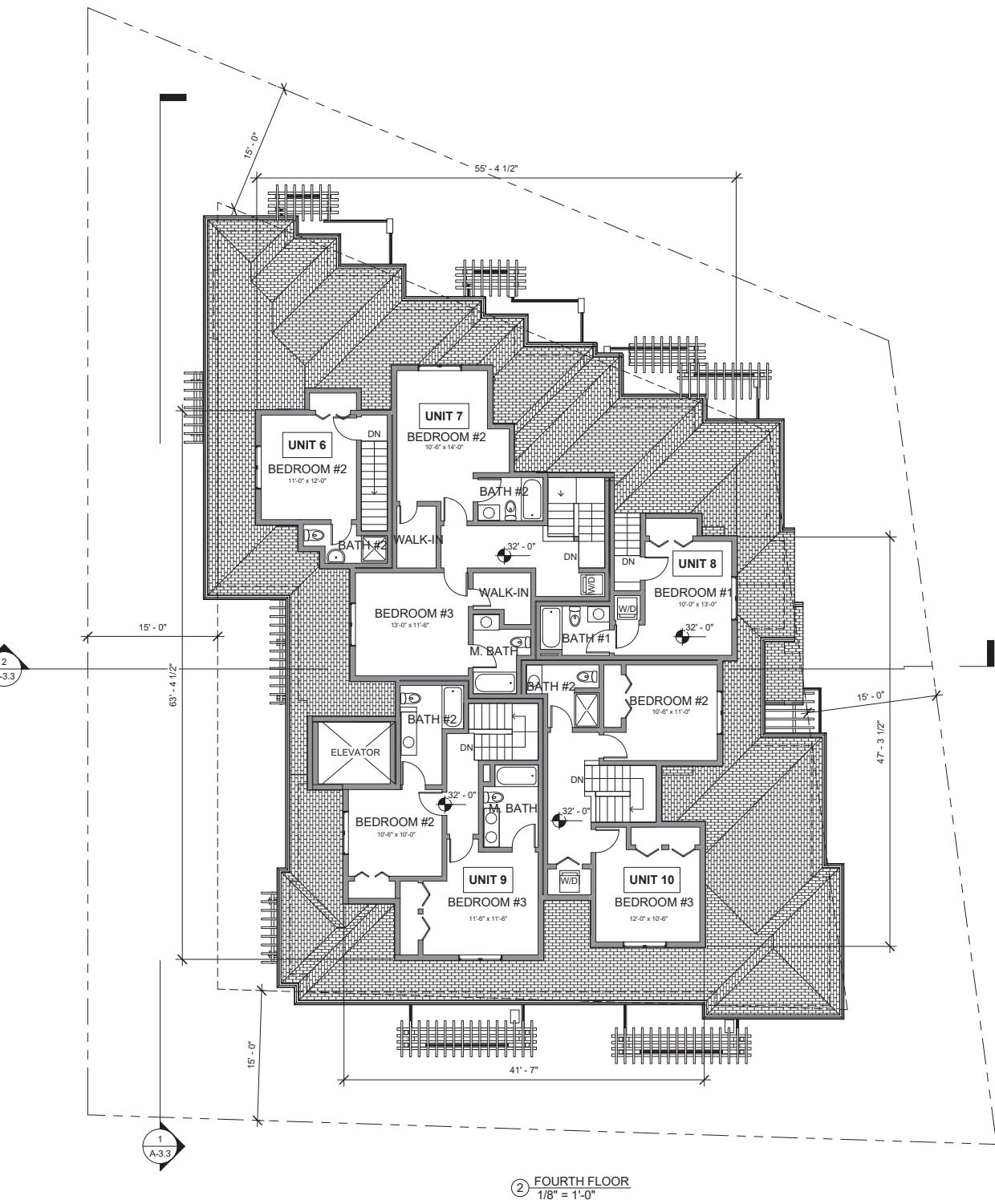
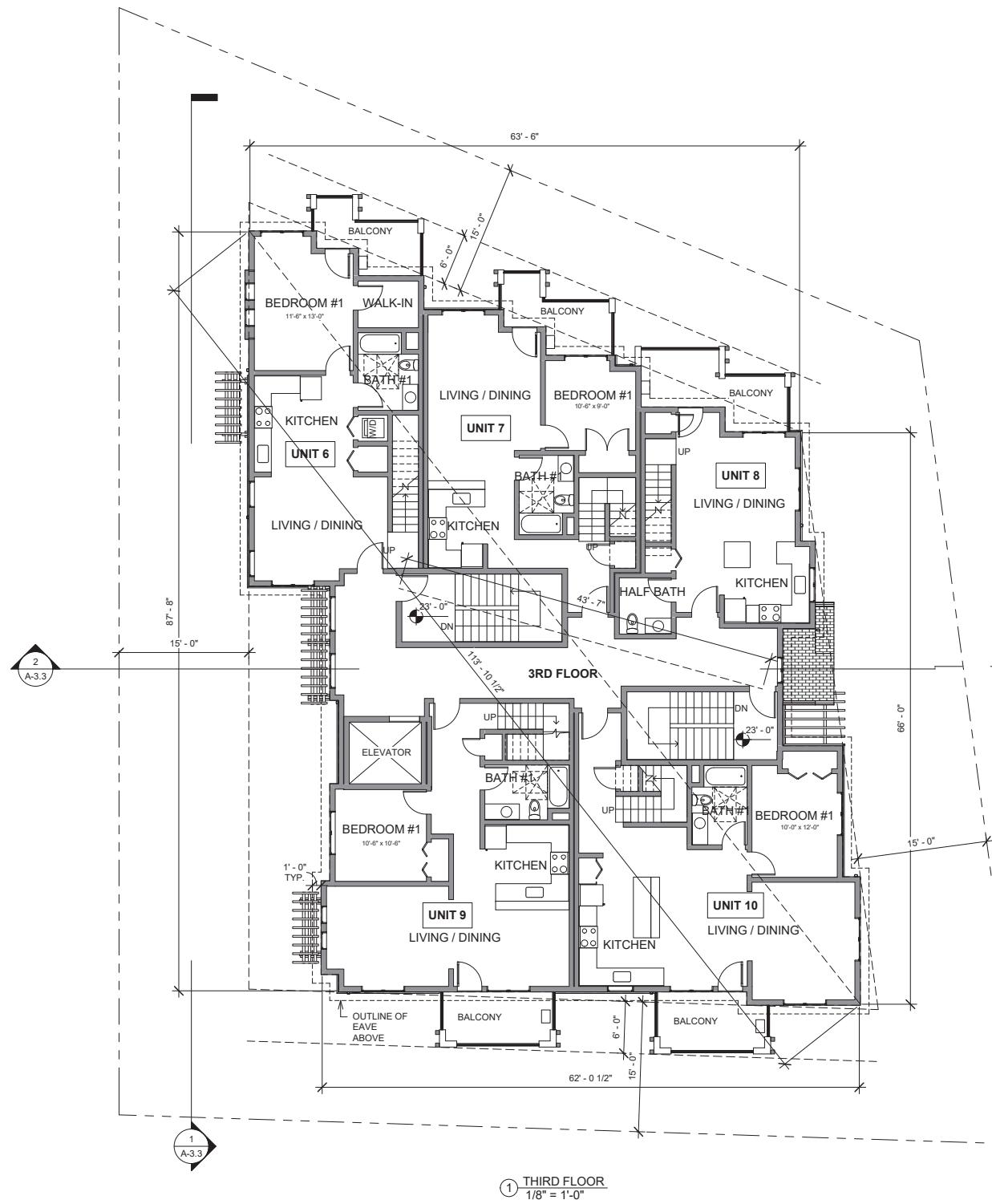
**PLANNING
APPLICATION**

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PROJECT NORTH
OF SHEETS

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OF SHEETS

WEST SANTA INEZ CONDOMINIUMS
TONY GUNDOGDU

4 WEST SANTA INEZ & 1 ENGLE ROAD
SAN MATEO, CA

JOHN
MATTHEWS
ARCHITECTS

335-A EAST FOURTH AVENUE
SAN MATEO, CA 94401
TELE: (650) 340-1107
FAX: (650) 340-1677

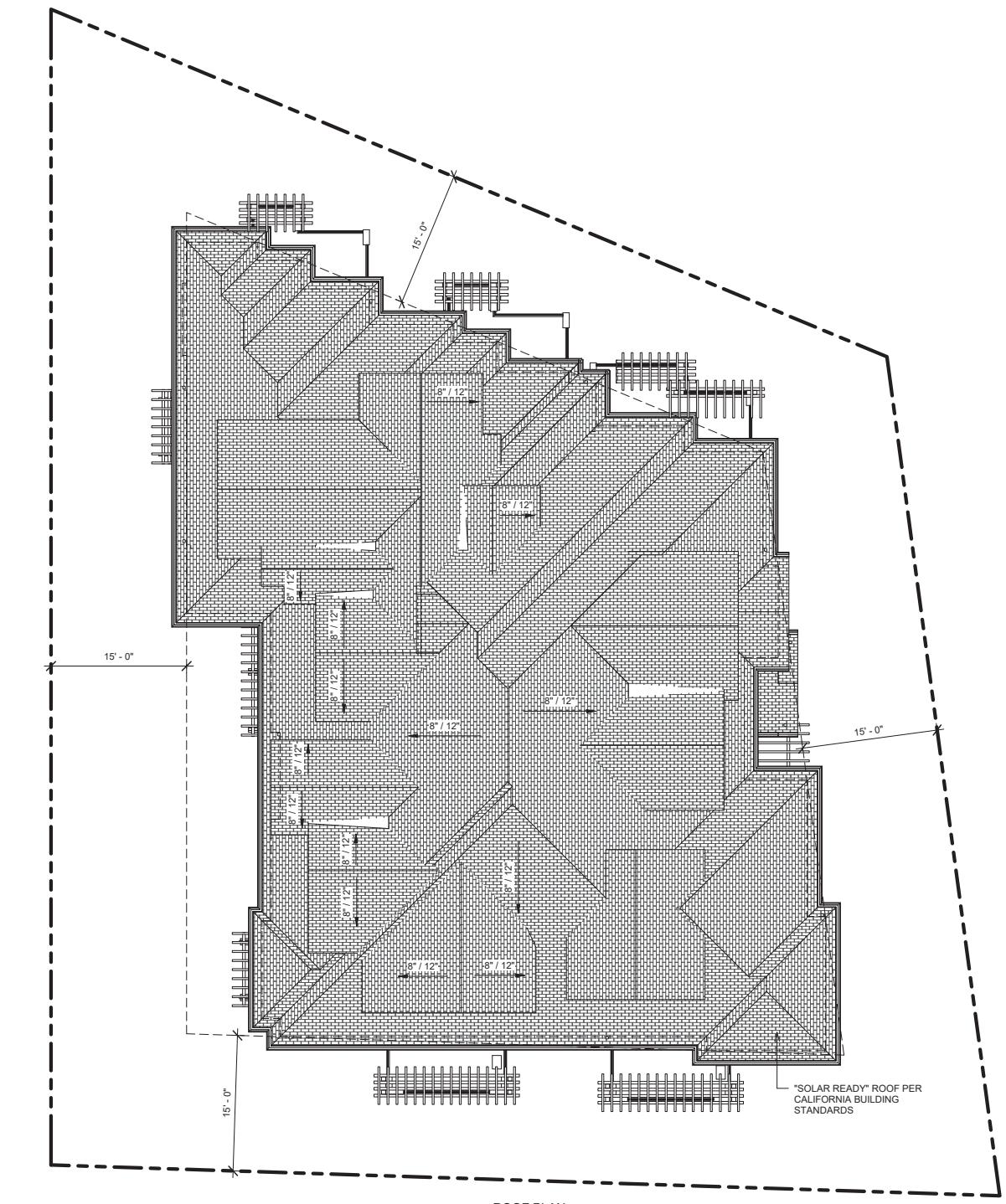
3RD & 4TH FLOOR PLANS

PLANNING APPLICATION

DATE
FEBRUARY 1, 2016
AUGUST 24, 2016
MARCH 1, 2017
JUNE 15, 2017

Revision Schedule	Number	Date	Description
SCALE 1/8" = 1'-0"			
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JOB NO. 14555			
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PROJECT NORTH

A-2.3

SHEETS

TONY GUNDOGDU

- 10 -

4 WEST SANTA NEZ & 1 ENGLE ROAD
SAN MATEO, CA

JOHN
MATTHEWS
ARCHITECTS

335-A EAST FOURTH AVENUE
SAN MATEO, CA 94401
TELE: (650) 340-1107
FAX: (650) 340-1677

WEST SANTA INEZ CONDOMINIUMS

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**PLANNING
APPLICATION**

Revision Schedule

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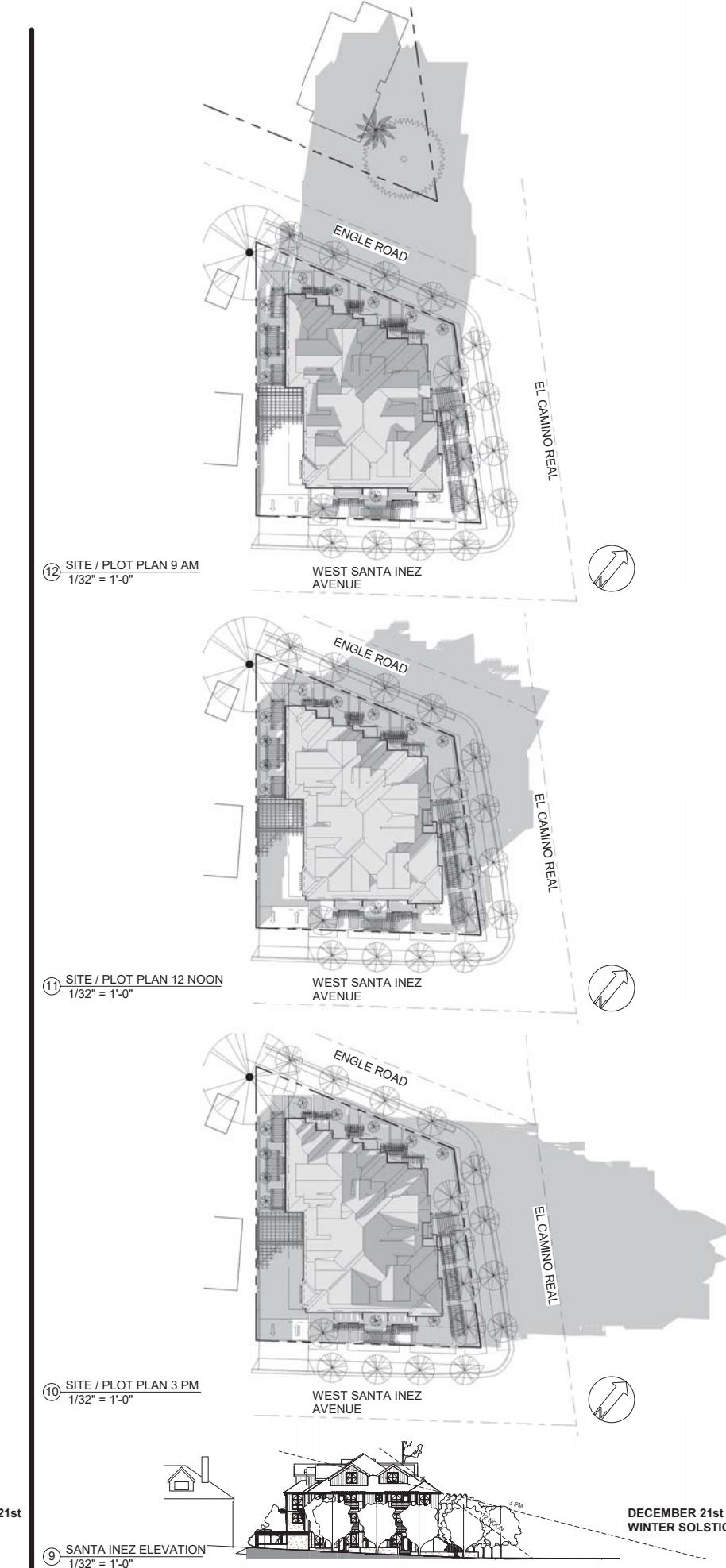
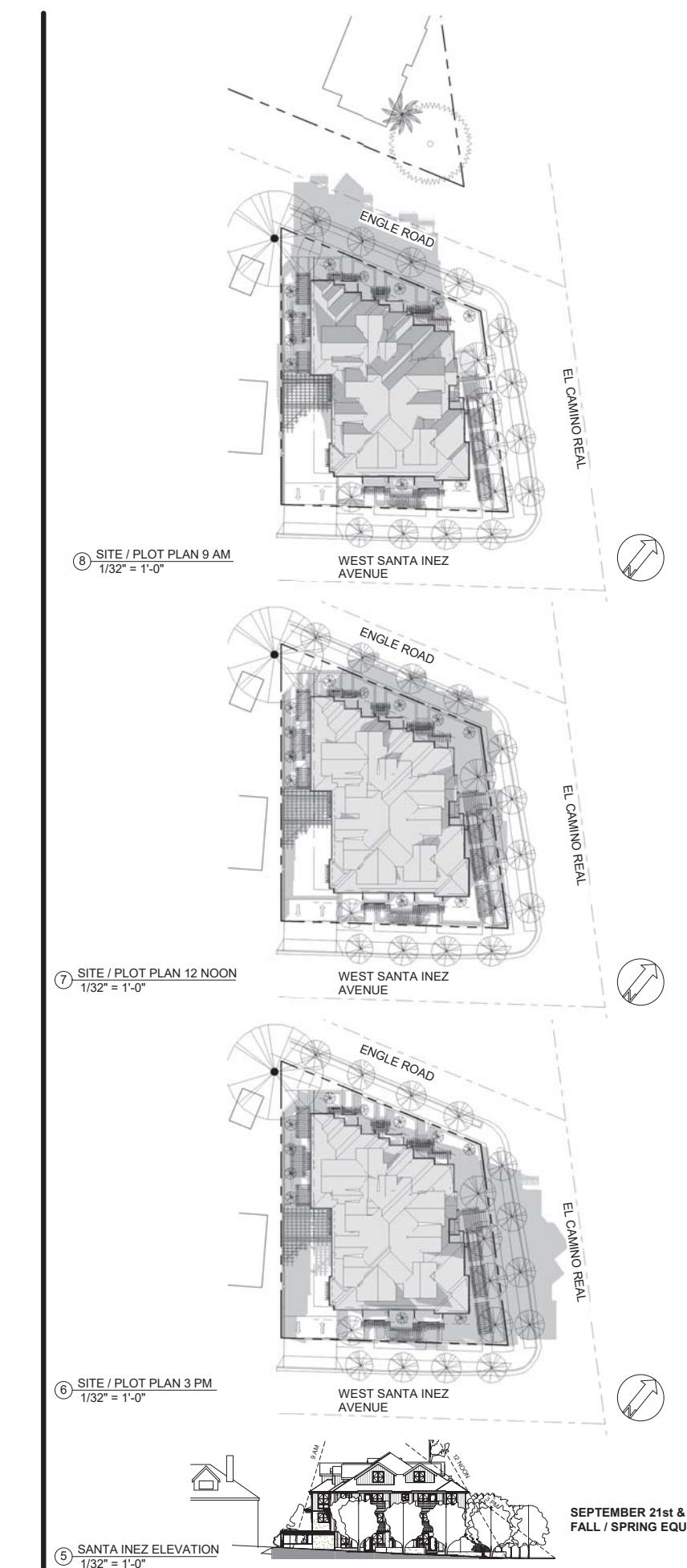
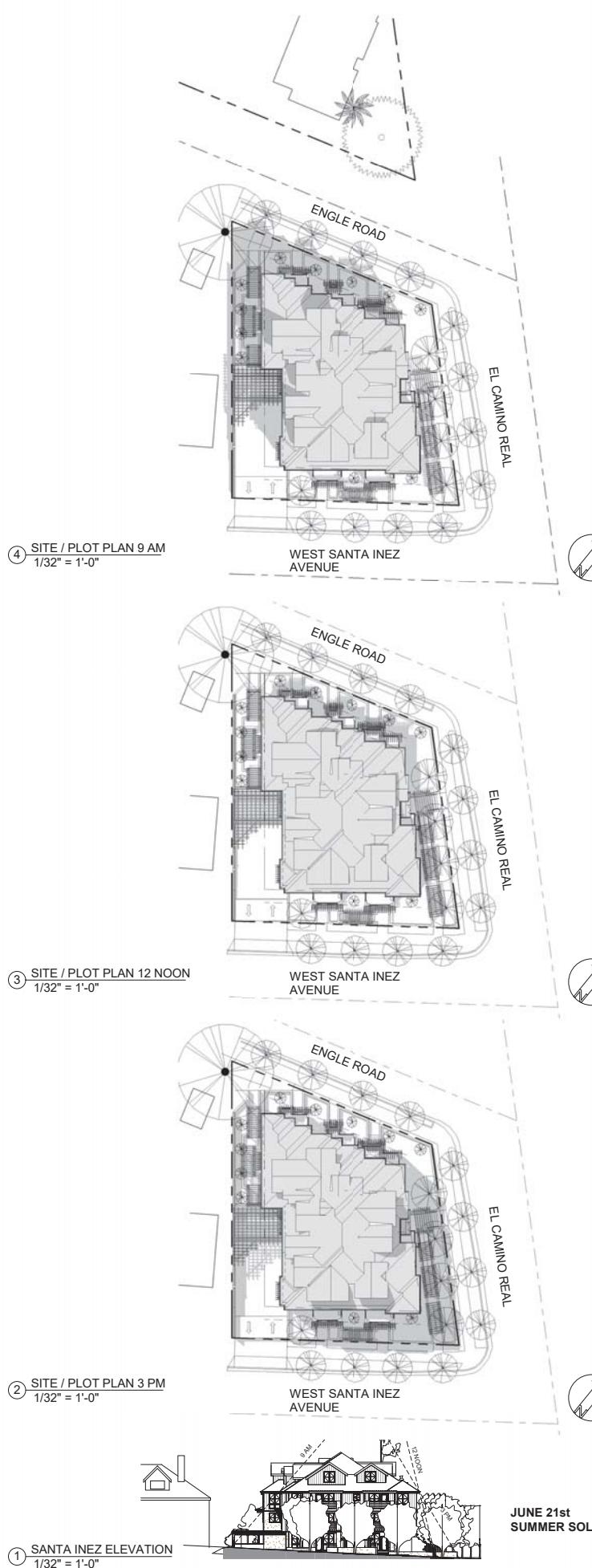
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Condominiums05-Planning\West Santa Inez



WEST SANTA INEZ CONDOMINIUMS

4 WEST SANTA INEZ & 1 ENGLE ROAD
SAN MATEO, CA



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SAN MATEO, CA 94401
TELE: (650) 340-1107
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SHADOW STUDY

PLANNING APPLICATION

DATE
FEBRUARY 1, 2016
AUGUST 24, 2016
MARCH 1, 2017
JUNE 15, 2017

Revision Schedule	Date	Description
SCALE 1/32" = 1'-0"	DRAWN MK	JOB NO. 14555

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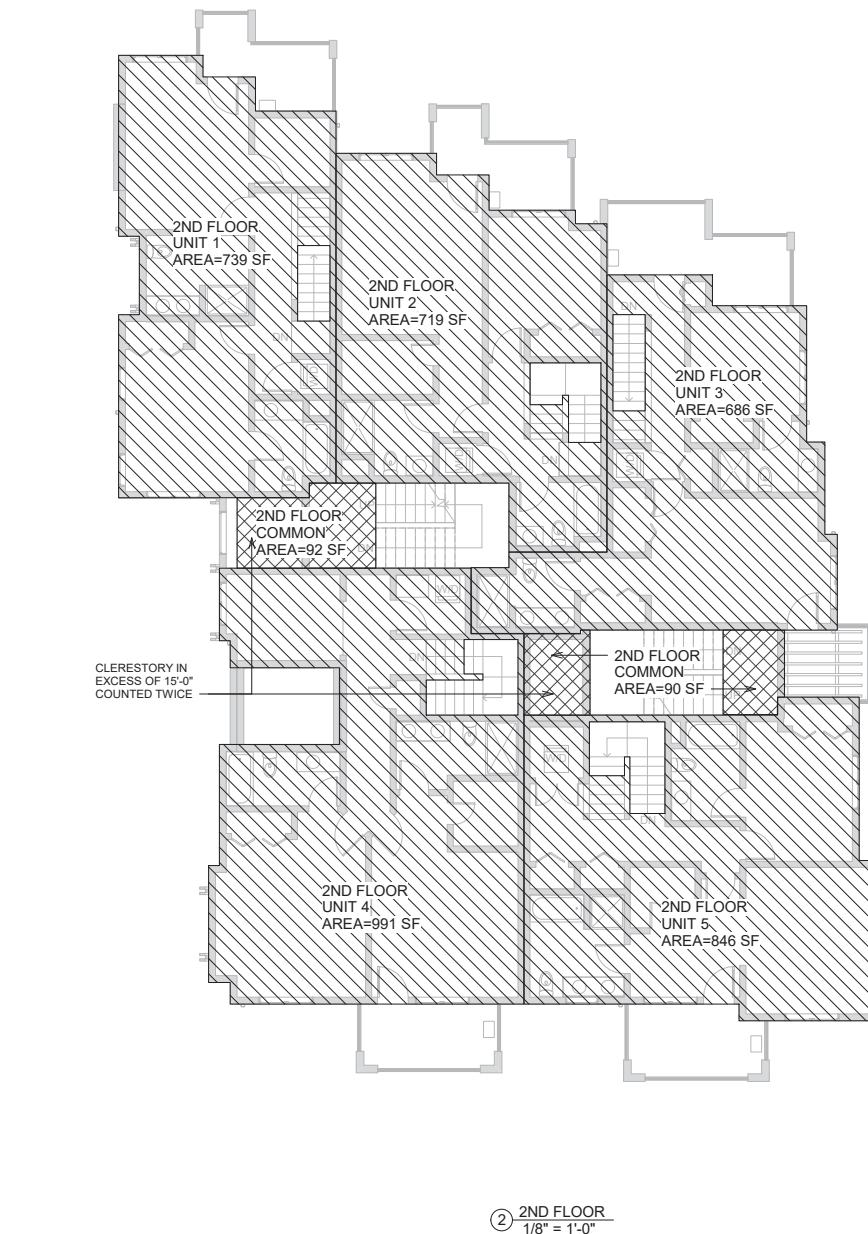
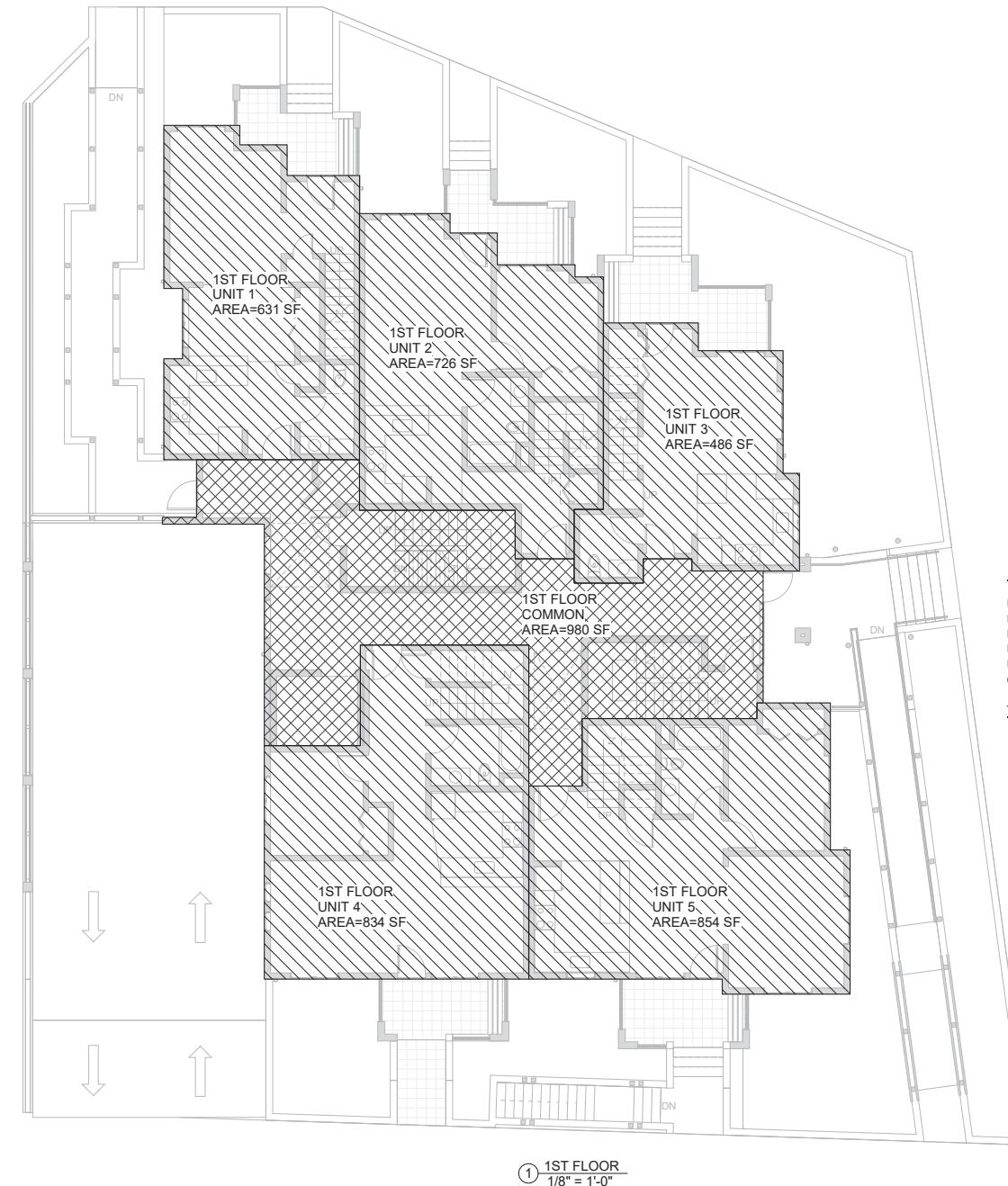
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2ND FLOOR AREA CALCULATIONS:

UNIT 1	= 739 SF
UNIT 2	= 719 SF
UNIT 3	= 686 SF
UNIT 4	= 991 SF
UNIT 5	= 846 SF
COMMON AREA	= 182 SF
TOTAL	= 4163 SF

WEST SANTA INEZ CONDOMINIUMS
TONY GUNDOGDU
4 WEST SANTA INEZ & 1 ENGLE ROAD
SAN MATEO, CA

JOHN
MATTHEWS
ARCHITECTS

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SAN MATEO, CA 94401
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FAX: (650) 340-1677

1ST & 2ND FLOOR
AREA DIAGRAMS

PLANNING
APPLICATION

DATE
FEBRUARY 1, 2016
AUGUST 24, 2016
MARCH 1, 2017
JUNE 15, 2017

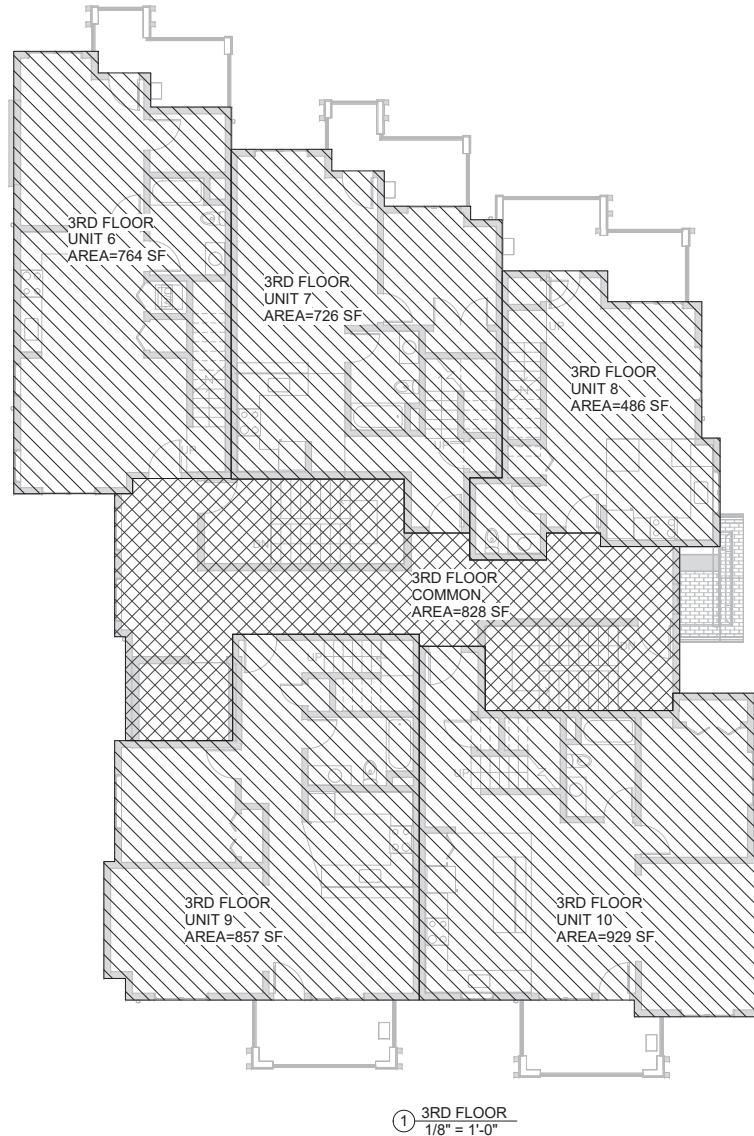
Revision Schedule
Number Date Description

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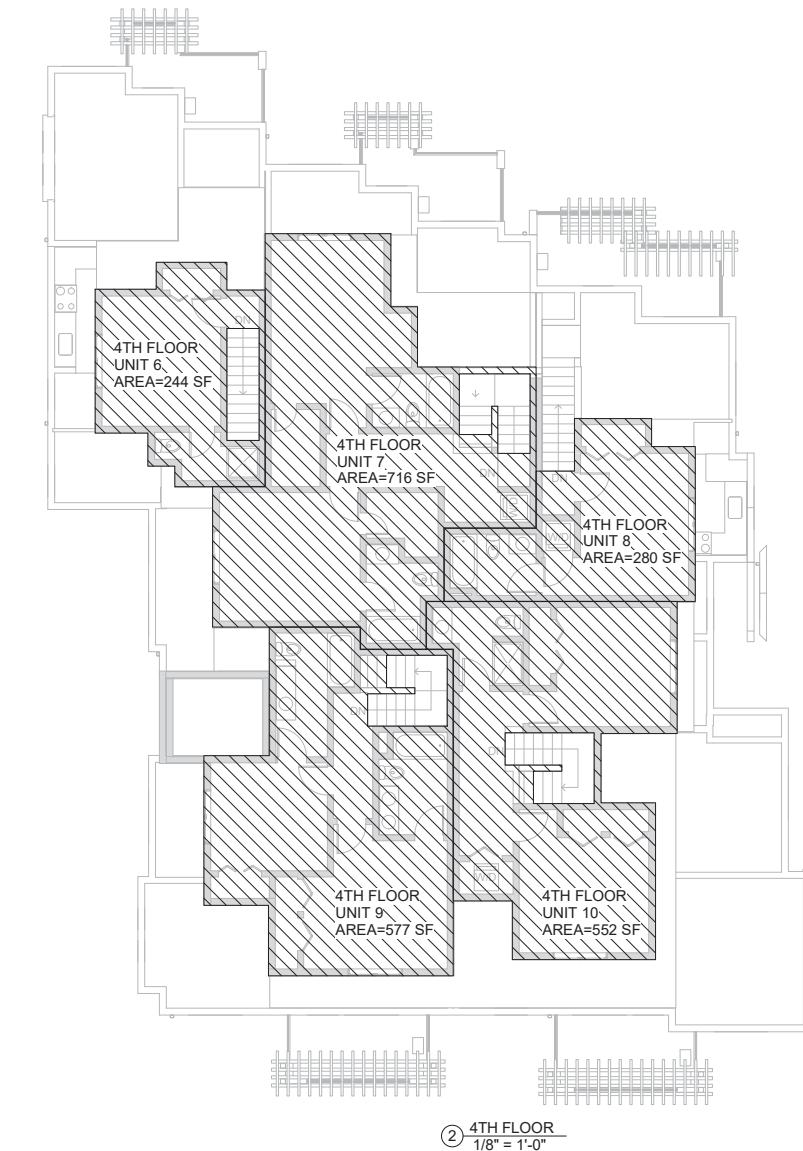
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3RD FLOOR AREA CALCULATIONS:
UNIT 6 = 764 SF
UNIT 7 = 726 SF
UNIT 8 = 486 SF
UNIT 9 = 857 SF
UNIT 10 = 929 SF
COMMON AREA = 828 SF
TOTAL = 4590 SF



4TH FLOOR AREA CALCULATIONS:
UNIT 6 = 244 SF
UNIT 7 = 716 SF
UNIT 8 = 280 SF
UNIT 9 = 577 SF
UNIT 10 = 552 SF
TOTAL = 2369 SF

WEST SANTA INEZ CONDOMINIUMS

TONY GUNDOGDU

4 WEST SANTA INEZ & 1 ENGLE ROAD

SAN MATEO, CA

3RD & 4TH FLOOR AREA DIAGRAMS

PLANNING APPLICATION

DATE
FEBRUARY 1, 2016
AUGUST 24, 2016
MARCH 1, 2017
JUNE 15, 2017

Number	Date	Description
		Revision Schedule
SCALE	1/8" = 1'-0"	
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JOB NO.	1455	
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WEST SANTA INEZ CONDOMINIUMS
TONY GUNDOGDU

4 WEST SANTA INEZ & 1 ENGLE ROAD
SAN MATEO, CA

JOHN
MATTHEWS
ARCHITECTS

335-A EAST FOURTH AVENUE
SAN MATEO, CA 94401
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SOUTH & NORTH
ELEVATIONS

PLANNING
APPLICATION
DATE
FEBRUARY 1, 2016
AUGUST 24, 2016
MARCH 1, 2017
JUNE 15, 2017

Revision Schedule
Number Date Description

SCALE
1/8" = 1'-0"
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A-3.1
OF SHEETS

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① EAST (EL CAMINO REAL) ELEVATION
1/8" = 1'-0"



② WEST (SIDE) ELEVATION
1/8" = 1'-0"

WEST SANTA INEZ CONDOMINIUMS
TONY GUNDOGDU

4 WEST SANTA INEZ & 1 ENGLE ROAD
SAN MATEO, CA

EAST & WEST ELEVATION

PLANNING APPLICATION

DATE
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JUNE 15, 2017

Revision Schedule	Number	Date	Description
SCALE	1/8"	= 1'-0"	
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JOB NO.	14555		
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OF SHEETS



JOHN
MATTHEWS
ARCHITECTS

335-A EAST FOURTH AVENUE
SAN MATEO, CA 94401
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WEST SANTA INEZ CONDOMINIUMS
TONY GUNDOGDU

4 WEST SANTA INEZ & 1 ENGLE ROAD
 SAN MATEO, CA



**JOHN
 MATTHEWS
 ARCHITECTS**

335-A EAST FOURTH AVENUE
 SAN MATEO, CA 94401
 TELE: (650) 340-1107
 FAX: (650) 340-1677

SECTIONS

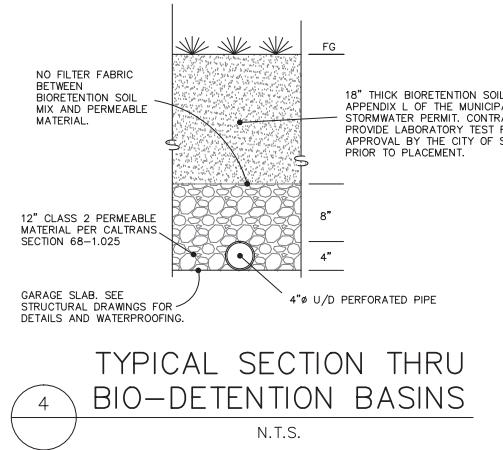
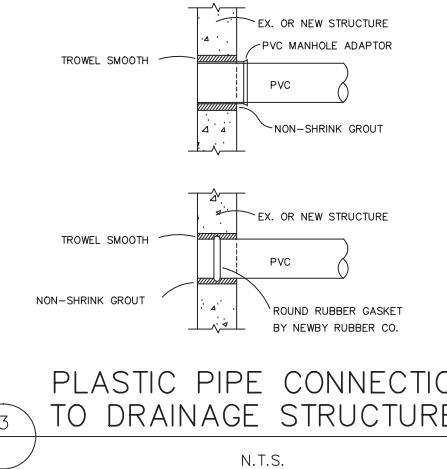
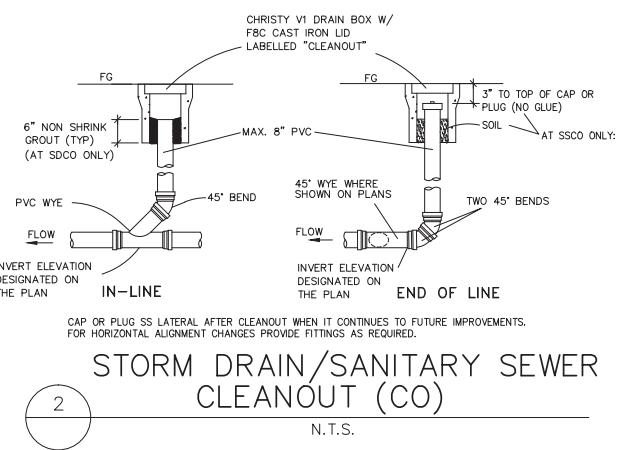
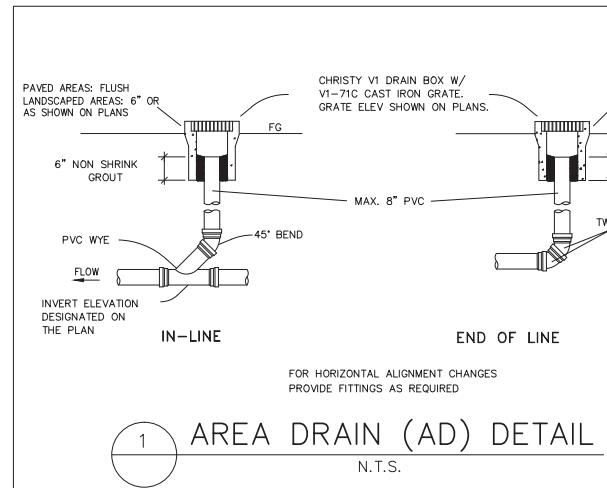
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Revision Schedule
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SCALE
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 OF SHEETS

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WEST SANTA INEZ CONDOS

1 ENGLE ROAD
SAN MATEO, CA

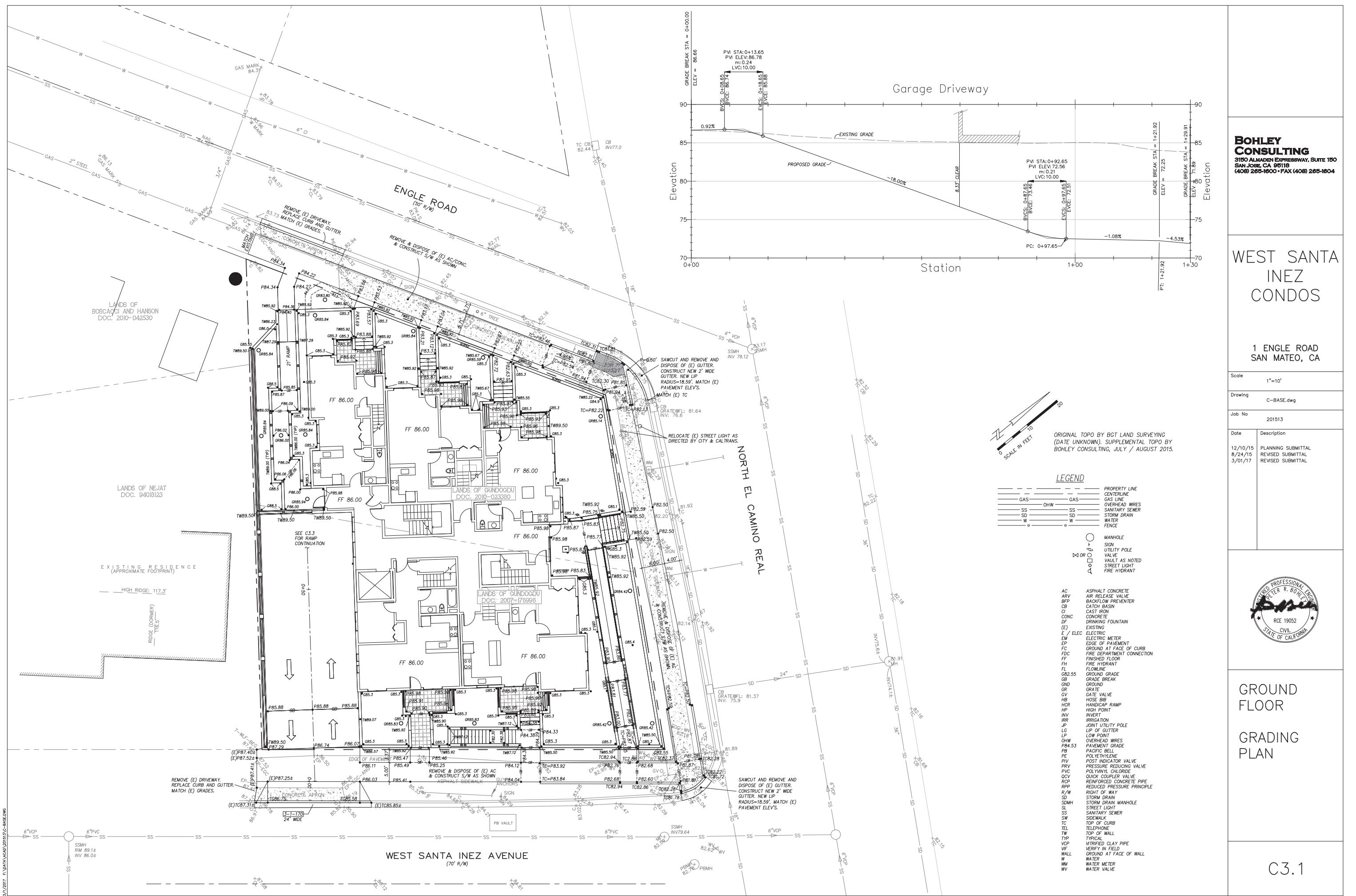
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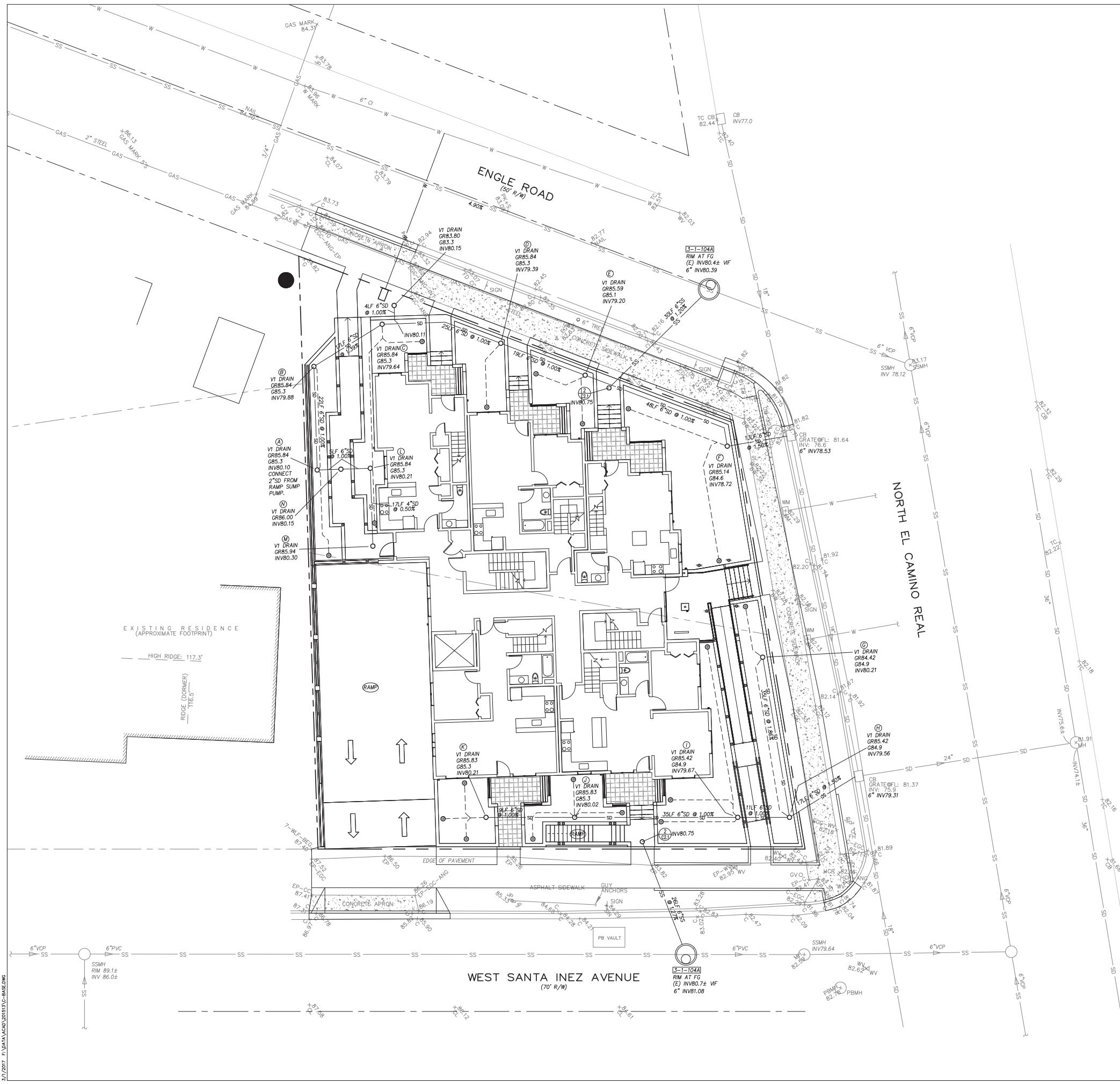
Date	Description
12/10/15 8/24/15 3/01/17	PLANNING SUBMITTAL REVISED SUBMITTAL REVISED SUBMITTAL



DETAILS

C2.1





**BOHLEY
CONSULTING**
3150 ALMADEN EXPRESSWAY, SUITE 150
SAN JOSE, CA 95118
(408) 265-1600 • FAX (408) 265-1604

WEST SANTA INEZ CONDOS

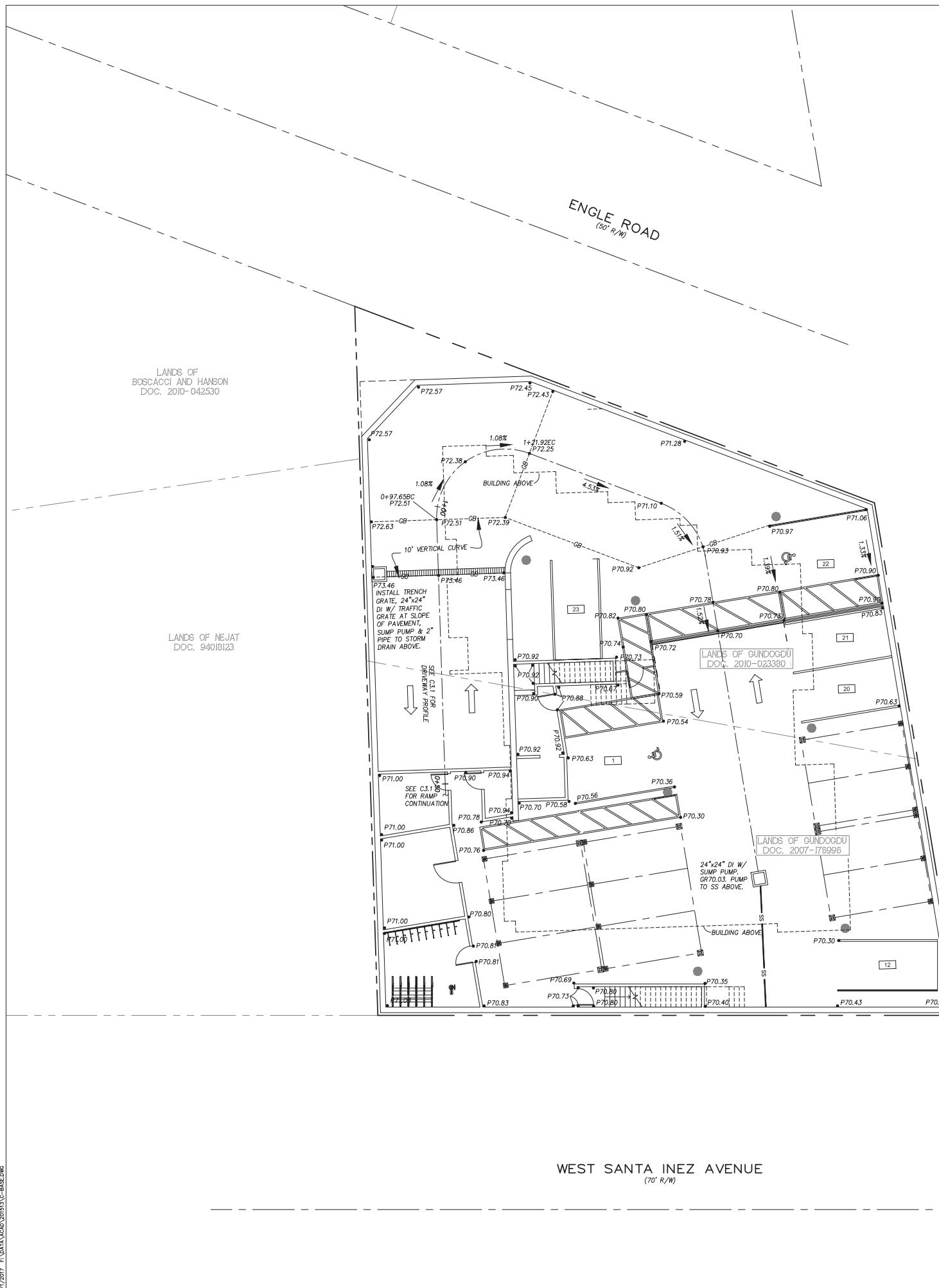
1 ENGLE ROAD
SAN MATEO, CA

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Date 12/10/15
8/24/15
3/01/17

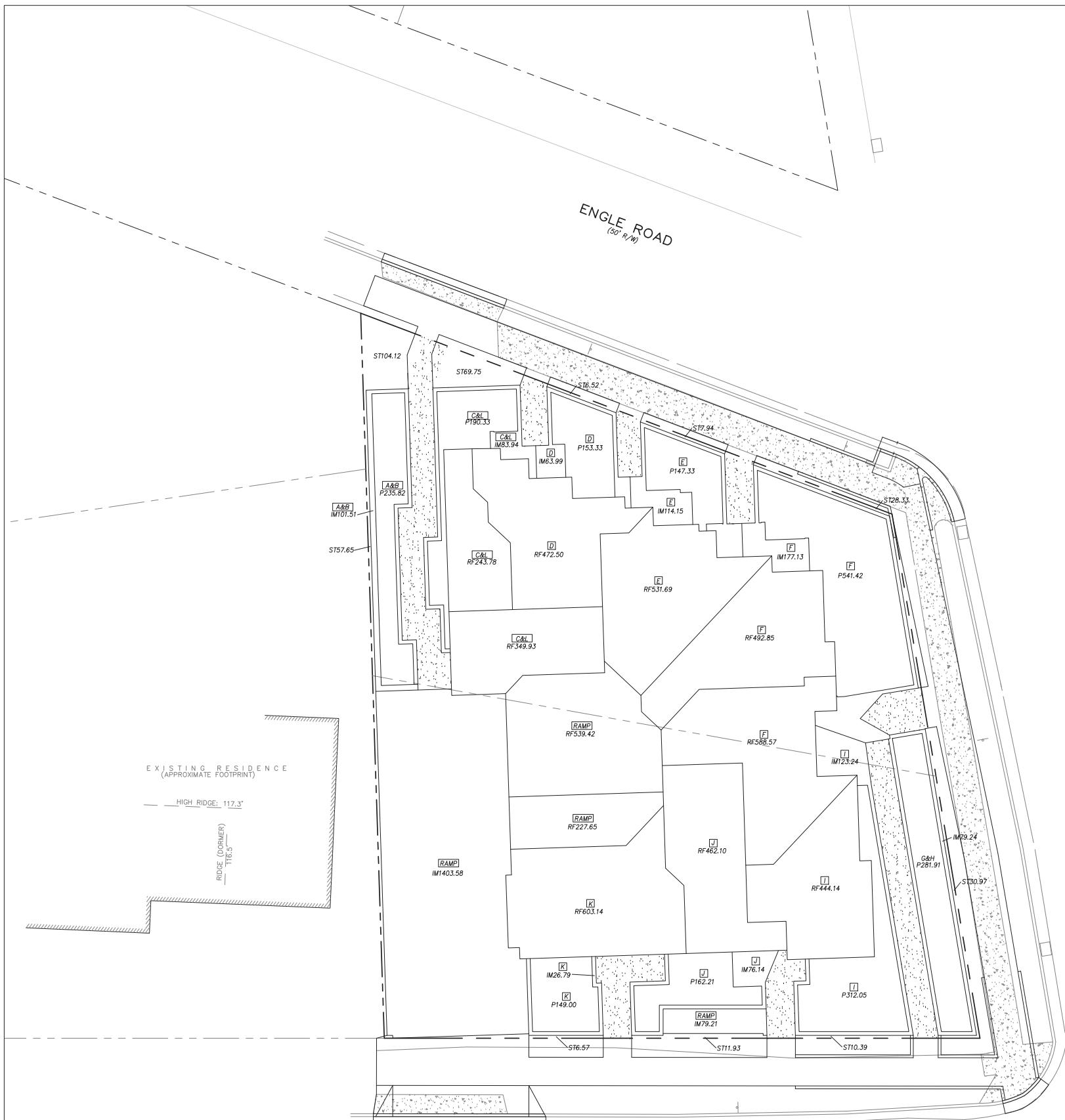


GROUND FLOOR UTILITY PLAN

C3.2



BOHLEY CONSULTING 3150 ALMADEN EXPRESSWAY, SUITE 150 SAN JOSE, CA 95118 (408) 265-1600 • FAX (408) 265-1604	
WEST SANTA INEZ CONDOS	
1 ENGLE ROAD SAN MATEO, CA	
Scale 1"=10'	
Drawing C-BASE.dwg	
Job No 201513	
Date Description	
12/10/15 PLANNING SUBMITTAL	
8/24/15 REVISED SUBMITTAL	
3/01/17 REVISED SUBMITTAL	
LEGEND	
PROPERTY LINE CENTERLINE GAS GAS LINE OVERHEAD WIRES SANITARY SEWER STORM DRAIN WATER FENCE	
MANHOLE SIGN UTILITY POLE VALVE VAULT AS NOTED STREET LIGHT FIRE HYDRANT	



WEST SANTA INEZ AVENUE
(70' R/W)

DRAINAGE AREA DESIGNATIONS

[K]	— DMA AREA (SF)
[RAMP]	— RAMP DMA AREA (SF)
IM101.51	— IMPERVIOUS AREA
P153.33	— PERVIOUS AREA
ST57.65	— SELF TREATING AREA
RF531.69	— ROOF AREA

[J] AREAS THAT WILL BE PICKED UP WITH A TRENCH DRAIN AND PUMPED TO DISPOSAL IN ONE OF THE FLOW THROUGH PLANTERS.

ORIGINAL TOPO BY BGT LAND SURVEYING (DATE UNKNOWN). SUPPLEMENTAL TOPO BY BOHLEY CONSULTING, JULY / AUGUST 2015.

SCALE IN FEET

1"=10'

LEGEND

— — — — —	PROPERTY LINE
— — — — —	CENTERLINE
GAS	GAS
— — — — —	GAS LINE
— — — — —	OVERHEAD WIRES
SS	SS
SD	SD
W	W
— — — — —	STORM DRAIN
— — — — —	WATER
— — — — —	FENCE
○	MANHOLE
R	SIGN
— — — — —	UTILITY POLE
— — — — —	VALVE
□	VAULT AS NOTED
— — — — —	STREET LIGHT
— — — — —	FIRE HYDRANT

AC ASPHALT CONCRETE
ARV AIR RELEASE VALVE
BFP BACK FLOW PREVENTER
CB CATCH BASIN
CI CAST IRON
CONC CONCRETE
DF DRINKING FOUNTAIN
(E) EXHAUST
E / ELEC ELECTRIC
EM ELECTRIC METER
EP EDGE OF PAVEMENT
FC GROUND AT FACE OF CURB
FDC FINISHED DRAIN CONNECTION
FT FINISHED FLOOR
FH FIRE HYDRANT
FL FLOWLINE
G82.55 GROUND GRADE
GB GROUND BREAK
GND GROUND
GR GRATE
GV GATE VALVE
HB HOSE BIB
HCR HIGH CATCH RAMP
HP HIGH POINT
INV INVERT
IRR IRRIGATION
JP JUNCTION POLE
LG LINE OF GUTTER
LP LOW POINT
OHW OVERHEAD WIRES
P84.53 PAVEMENT GRADE
PB PULL BELL
PE POLYETHYLENE
PIV POST INDICATOR VALVE
PRV PRESSURE REDUCING VALVE
PVC POLYVINYL CHLORIDE
QCV QUICK CLOSURE VALVE
RCF REINFORCED CONCRETE PIPE
RPP REDUCED PRESSURE PRINCIPLE
R/W RIGHT OF WAY
SD STORM DRAIN
SMH SIDEWALK MANHOLE
SL STREET LIGHT
SS SANITARY SEWER
SW SIDEWALK
TC TOP OF CURB
TEL TELEPHONE
TW TOP OF WALL
TYP TYPICAL
VCP VITRIFIED CLAY PIPE
WF WORK IN FIELD
WALL GROUND AT FACE OF WALL
WATER WATER
WM WATER METER
WV WATER VALVE

BOHLEY
CONSULTING
3150 ALMADEN EXPRESSWAY, SUITE 150
SAN JOSE, CA 95118
(408) 265-1600 • FAX (408) 265-1604

WEST SANTA INEZ CONDOS

1 ENGLE ROAD
SAN MATEO, CA

Scale 1"=10'

Drawing C-BASE.dwg

Job No 201513

Date Description
12/10/15 PLANNING SUBMITTAL
8/24/15 REVISED SUBMITTAL
3/01/17 REVISED SUBMITTAL



DRAINAGE AREAS PLAN

C3.4

WEST SANTA
INEZ
CONDOS

1 ENGLE ROAD
SAN MATEO, CA

Scale	1"=10'
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Job No	201513
Date	Description
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ORIGINAL TOPO BY BGT LAND SURVEYING
(DATE UNKNOWN). SUPPLEMENTAL TOPO BY
BOHLEY CONSULTING, JULY / AUGUST 2015.

LEGEND	
PROPERTY LINE	CENTERLINE
GAS	GAS LINE
OHW	OVERHEAD WIRES
SS	SANITARY SEWER
SD	STORM DRAIN
W	WATER
	FENCE
MANHOLE	
SIGN	
UTILITY POLE	
VALVE	
VAULT AS NOTED	
STREET LIGHT	
PIPE	

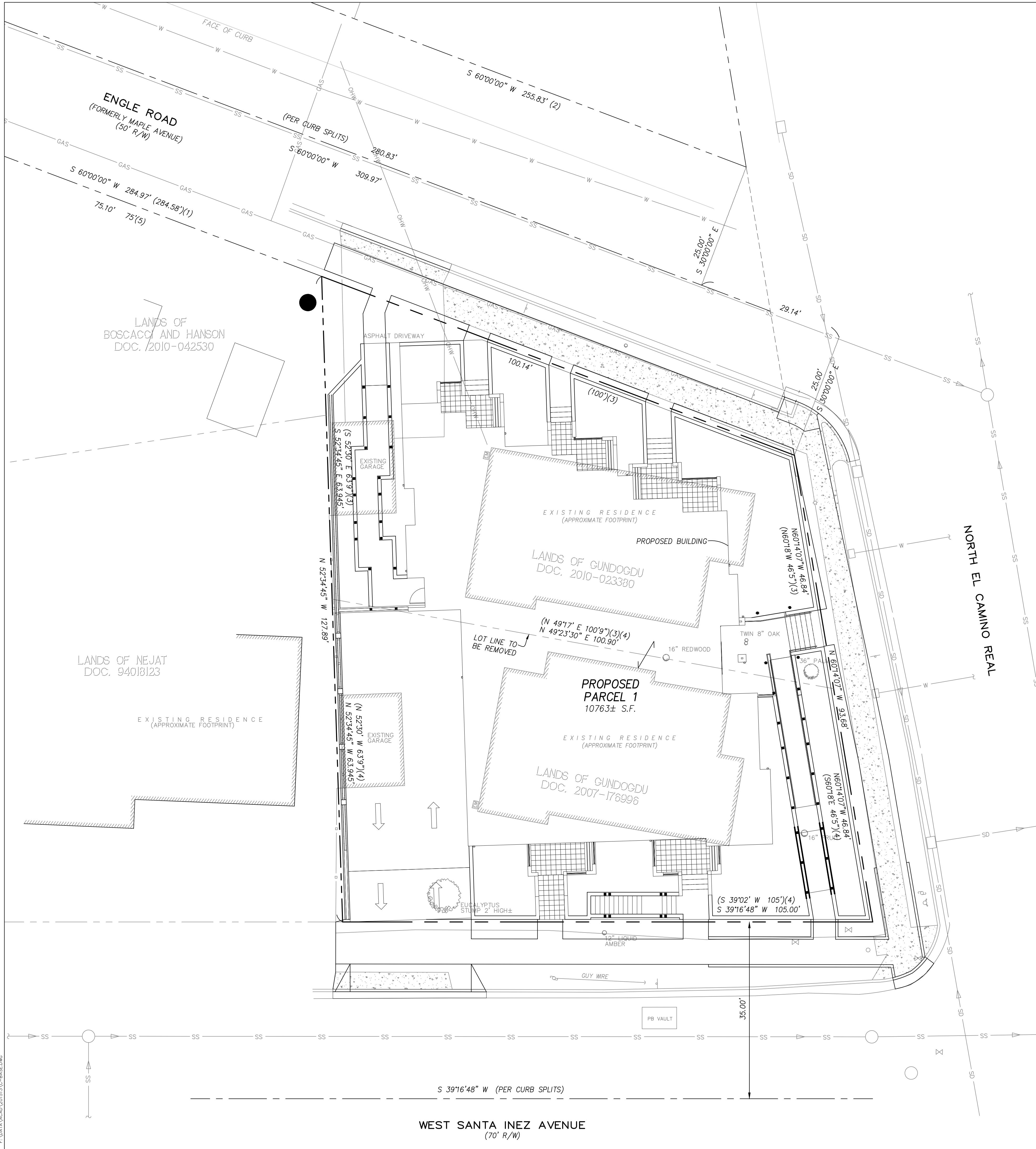
OWNER INFORMATION:
TONY MEHMET GUNDOGU AND ANYUR V. GUNDOGU
199 KINGS COURT, SAN CARLOS, CA 94070

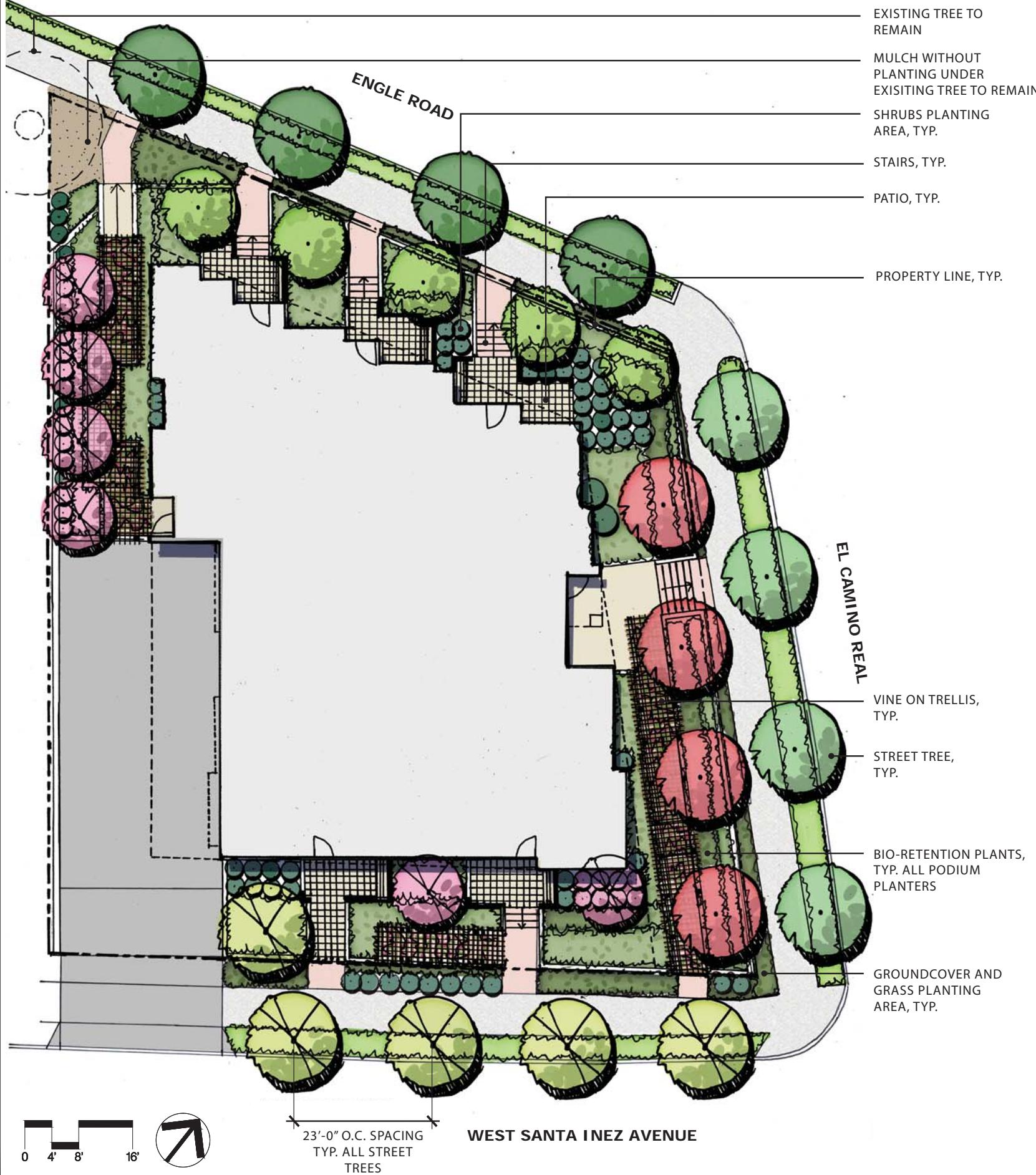
EXISTING USE: TWO SINGLE FAMILY HOMES
PROPOSED USE: 10 UNIT CONDOMINIUM DEVELOPMENT

(1) RECORD DATA PER 5 MAPS 1
(2) RECORD DATA PER 25 LS 68
(3) RECORD DATA PER Doc. 2010-023380
(4) RECORD DATA PER Doc. 2007-176996
(5) RECORD DATA PER Doc. 2010-042530

AC	ASPHALT CONCRETE
ARV	AIR RELEASE VALVE
BFP	BACKFLOW PREVENTER
CB	CATCH BASIN
CI	CAST IRON
CONC	CONCRETE
DF	DRINKING FOUNTAIN
EX	EXISTING
E / ELEC	ELECTRIC
EM	ELECTRIC METER
EP	EDGE OF PAVEMENT
FC	GROUND FACE OF CURB
FDC	FIRED DEPARTMENT CONNECTION
FF	FINISHED FLOOR
FH	FIRE HYDRANT
FL	FLOWLINE
GB	GROUND BREAK
GND	GROUND
GR	GRADE
GV	GATE VALVE
HB	HOSE BIB
HCR	HIGH CROWN RAMP
HP	HIGH POINT
INV	INVERT
IRR	IRRIGATION
JP	JOINT UTILITY POLE
LG	LINE CUTTER
LP	LOW POINT
DHW	OVERHEAD WIRES
P84.53	PAVEMENT GRADE
PB	PACIFIC BELL
PE	POLYETHYLENE
PIV	POLYVINYL IODINE
PRV	PRESSURE REDUCING VALVE
PVC	POLYVINYL CHLORIDE
QCV	QUICK COUPLER VALVE
RCP	REINFORCED CONCRETE PIPE
RPP	REINFORCED PRESSURE PRINCIPLE
R/W	RIGHT OF WAY
SD	STORM DRAIN
SDMH	STORM DRAIN MANHOLE
SL	STREET LIGHT
SS	SANITARY SEWER
SW	SURFACE
TC	TOP OF CURB
TEL	TELEPHONE
TW	TOP OF WALL
TYP	TOPICAL
VCP	VITRIFIED CLAY PIPE
VF	VERIFY IN FIELD
WALL	GROUND AT FACE OF WALL
W	WATER
WM	WATER METER
WV	WATER VALVE

VESTING
TENTATIVE
MAP FOR
10 UNIT
CONDOMINIUM
DEVELOPMENT



**PLANT LIST**

Scientific Name	Common Name	Water Use	Size	Spacing	Quantity
Trees					
* Acer circinatum or Eriobotrya deflexa	Vine Maple Bronze Loquat	Moderate Moderate	See note #4 See note #4	As shown As shown	6
Acer platanoides 'Crimson King'	Red Norway Maple	Moderate	See note #4	As shown	4
Crataegus laevigata	English Hawthorn	Moderate	See note #4	As shown	4
Ginkgo biloba 'Princeton Sentry'	Maidenhair Tree	Moderate	See note #4	As shown	5
Lagerstroemia indica or Tristania laurina 'Elegant'	Crape Myrtle Elegant Water Gum	Low Moderate	See note #4 See note #4	As shown As shown	5
Ulmus propinqua 'Accolade'	Accolade Elm	Low	See note #4	As shown	4
Total Trees					28

Shrubs

Alyogyne huegelii	Blue Hibiscus	Low	5 Gallon	5'-0" O.C.
Grevillea rosmarinifolia	Rosemary Grevillea	Low	5 Gallon	4'-0" O.C.
Phormium 'Yellow Wave'	New Zealand Flax	Low	5 Gallon	4'-0" O.C.
* Salvia clevelandii 'Winifred Gilman'	Blue Sage	Low	1 Gallon	3'-0" O.C.
Westringia fruticosa 'Wynyabbi Gem'	Coast Rosemary	Low	5 Gallon	5'-0" O.C.

Groundcovers And Grasses

Carex tumulicola	Berkeley sedge	Low	1 Gallon	2'-0" O.C.
Dianella revoluta	Black Anther Flax Lily	Moderate	1 Gallon	1'-6" O.C.
Genista lydia	Lydia Broom	Moderate	1 Gallon	2'-6" O.C.
Lantana camara 'Yellow Trailing'	Yellow Spreading Lantana	Low	1 Gallon	3'-0" O.C.
* Juncus patens	California Gray Rush	Low	1 Gallon	2'-0" O.C.
* Muhlenbergia rigens	Deer Grass	Low	1 Gallon	3'-0" O.C.
* Zauschneria californica	California Fuchsia	Low	1 Gallon	2'-0" O.C.

Vines

Gelsemium sempervirens	Carolina Jessamine	Low	5 Gallon	As shown
Wisteria sinensis 'Cooke's Purple'	Purple Chinese Wisteria	Moderate	5 Gallon	As shown
Distictis buccinatoria	Red Trumpet Vine	Moderate	5 Gallon	As shown

LANDSCAPE NOTES

1. The irrigation system shall be designed to meet all requirements of the model water efficient landscape ordinance (mwelo) and all local codes and ordinances. This includes a dedicated water meter and backflow preventer for the irrigation, a smart irrigation controller that utilizes a weather sensor, low volume irrigation, a watering schedule, and valves separated by hydrozone
2. Soil amendments shall be added to the soils based on a soils analysis.
3. There shall be a plant establishment period of a minimum of 3 months.
4. All trees within the property line will be 24" box trees and all street trees will be 36" box trees.

LANDSCAPE AREA CALCULATIONS

Ratio of new trees to be planted per landscape area (planted area in sf): 28 trees/2520 sf or 5 trees/400 sf
landscape area (min. 1 tree/400 sf SMMC section 27.71.120(f)1)

Total square footage of all annual areas: 0 sf
Total square footage of all turf areas (including water feature areas): 0 sf

Low water use plants.....80%
Medium water use plants.....20%

Total landscape area.....2520 sf
Total square footage of all ground level patios, decks and plazas: 3185 sf

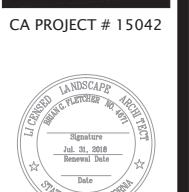
* Denotes bio-retention plants

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CA PROJECT # 15042
DATE: June 13, 2017
PRELIMINARY
LANDSCAPE
PLAN

SCALE: AS SHOWN
DRAWN: AD
JOB NO.: 15042
SHEET: L-1.1
OF SHEETS

Trees



Acer circinatum



Crataegus laevigata



Acer platanoides 'Crimson King'



Eriobotrya deflexa



Ginkgo biloba



Tristaniopsis laurina 'Elegant'



Lagerstroemia indica



Ulmus propinqua 'Accolade'

Vines



Gelsemium sempervirens



Wisteria sinensis 'Cooke's Purple'



Distictis buccinatoria



Westringia fruticosa 'Wynyabbie Gem'

Shrubs, Groundcovers And Grasses



Alyogyne huegelii



Carex tumulicola



Lantana camara 'Yellow Trailing'



Grevillea rosmarinifolia



Dianella revoluta



Juncus patens



Phormium 'Yellow Wave'



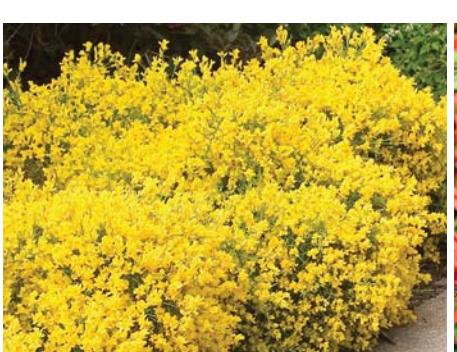
Muhlenbergia rigens



Salvia clevelandii 'winifred gilman'



Genista lydia



Zauschneria californica

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DATE June 13, 2017
PLANTING PALETTE

SCALE AS SHOWN
DRAWN AD
JOB NO. 15042
SHEET

L-1.2

FILE LP.dwg
OF SHEETS

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TREE PROTECTION PLAN

THE RECOMMENDATIONS PRESENTED ARE INTENDED TO SERVE AS GUIDELINES FOR THE PROTECTION AND PRESERVATION OF THE REDWOOD TREE LOCATED AT 15 ENGLE ROAD (TREE #23), WHICH IS LOCATED ADJACENT TO THE PROPERTY AND CONSIDERED A PROTECTED TREE, AND A ROW OF ITALIAN CYPRESSES LOCATED ON WEST SANTA INEZ AVENUE. FOLLOWING THESE GUIDELINES SHOULD MAXIMIZE THE SURVIVABILITY OF THE TREES.

ARBORIST SERVICES

A CERTIFIED ARBORIST SHALL BE RETAINED DURING CONSTRUCTION TO PROVIDE MONTHLY MONITORING OF THE PROJECT SITE AND HEALTH OF PROTECTED TREES. THE ARBORIST SHALL BE PRESENT WHENEVER ACTIVITIES OCCUR THAT COULD POSE A POTENTIAL THREAT TO THE HEALTH OF PROTECTED TREES, OR WHENEVER ANY WORK NEEDS TO BE DONE WITHIN THE TREE PROTECTION ZONE (TPZ).

TREE PROTECTION ZONE

THE TPZ SHALL BE REGARDED AS THE EXISTING AREA BENEATH THE CANOPY OF A PROTECTED TREE. THE DRIP LINE OF PROTECTED TREES SHALL NOT BE ALTERED IN ANY WAY TO REDUCE THE TPZ. NO GRADING OR TRENCHING IS ALLOWED WITHIN THE TPZ.

TEMPORARY FENCING

PRIOR TO THE COMMENCEMENT OF CONSTRUCTION, A SIX FOOT TALL TEMPORARY CHAIN LINK FENCE SHALL BE INSTALLED AROUND THE TPZ OF PROTECTED TREES. THE TEMPORARY FENCE SHALL BE INSTALLED ON BLOCKS AND NOT DRIVEN INTO THE GROUND. THE FENCE MAY BE MOVED DURING CONSTRUCTION, BUT ONLY AS AUTHORIZED BY THE PROJECT ARBORIST. THE APPROXIMATE LOCATION OF THE TEMPORARY FENCE FOR TREE #23 IS INDICATED ON THE TREE PROTECTION PLAN. DO NOT ATTACH WIRES, SIGNS AND ROPES TO ANY PROTECTED TREES.

ROOT PROTECTION

TO MINIMIZE COMPACTION DURING CONSTRUCTION RELATED ACTIVITIES AROUND PROTECTED TREES, A SIX INCH LAYER OF MULCH SHALL BE INSTALLED WITHIN THE TPZ. CARE SHALL BE TAKEN WHEN REMOVING EXISTING PAVEMENT WITHIN THE TPZ TO NOT DISTURB EXISTING ROOTS. IF ANY ROOTS OVER TWO INCHES IN DIAMETER ARE ENCOUNTERED DURING CONSTRUCTION, THE PROJECT ARBORIST SHALL BE ON-SITE TO DOCUMENT EXCAVATION AND DETERMINE IF THE ROOTS CAN BE CUT. ANY ROOTS THAT ARE ENCOUNTERED SHALL BE CUT CLEAN WITH SHARP TOOLS AND COVERED IMMEDIATELY WITH A SIX INCH LAYER OF MULCH OR NATIVE BACKFILL AND THOROUGHLY WATERED.

THE PROJECT ARBORIST IS TO DETERMINE THE IRRIGATION SCHEDULE FOR PROTECTED TREES. THE GENERAL CONTRACTOR IS EXPECTED TO APPLY SUPPLEMENTAL WATER AT THE DIRECTION OF THE PROJECT ARBORIST. THE GENERAL CONTRACTOR SHALL REGULARLY WATER THE MULCH AREA WITHIN THE TPZ AND KEEP THE TREE'S ROOTS MOIST THROUGHOUT CONSTRUCTION. IRRIGATION METHOD MAY BE A DRIP SYSTEM OR SOAKER HOSE AND SHOULD OCCUR 3-4 TIMES PER WEEK. SOIL SHALL BE SATURATED TO A DEPTH OF 18"- 36" PER WATERING. COORDINATE ANY WATERING OF PROTECTED TREES WITH NEIGHBORING PROPERTY OWNERS.

IN ORDER TO DECREASE ROOT DAMAGE FROM THE REQUIRED FOUNDATION EXCAVATION INDICATED ON THE DRAWINGS, THE TRENCH SHOULD BE DUG UNDER THE SUPERVISION OF THE PROJECT ARBORIST. THE EQUIPMENT USED SHALL SCRAPE THE GROUND SLOWLY AND ONLY A FEW INCHES AT TIME. ONCE THE TRENCH IS DUG, ANY DAMAGED ROOTS ARE TO BE PRUNED CLEANLY BY SKILLED LABOR. WHEN COMPLETED, THE PRUNED PORTIONS SHOULD BE COVERED WITH BURLAP OR SIMILAR MATERIAL AND KEPT MOIST UNTIL THE EXCAVATION IS BACKFILLED.

CONSTRUCTION ACTIVITIES WITHIN THE TPZ

STORAGE OF ANY CONSTRUCTION MATERIALS, EQUIPMENT OR OTHER MATERIALS INSIDE THE TPZ IS PROHIBITED. DO NOT DISPOSE OF OIL, GASOLINE, CHEMICALS, PAINTS, SOLVENTS OR OTHER MATERIALS WITHIN THE TPZ, OR IN DRAINAGE CHANNELS, SWALES OR AREAS THAT MAY LEAD TO THE TPZ.

EXCAVATION, GRADING, SOIL DEPOSIT, DRAINAGE AND LEVELING WITHIN THE TPZ SHALL BE PROHIBITED. UTILITY SERVICE AND IRRIGATION LINES SHALL BE LOCATED OUTSIDE OF THE TPZ. NO TRENCHING FOR IRRIGATION AND/OR UTILITIES SHALL OCCUR WITHIN THE TPZ. THE GENERAL CONTRACTOR SHALL INSTALL 1-INCH-THICK, 4' X 8' PLYWOOD ALONG THE OUTSIDE OF THE TREE PROTECTION FENCING. THE PLYWOOD SHALL BE WELL SECURED FOR REASONS OF SAFETY.

LANDSCAPE DESIGN WITHIN THE TPZ

THE PROPOSED LANDSCAPE DESIGN INSIDE THE TPZ SHALL CONFORM TO THE FOLLOWING ADDITIONAL GUIDELINES:

1. INSTALL SIX INCHES OF CLEAN WOOD CHIP MULCH WITHIN THE TPZ OF TREE #23. NO PLANTS ARE TO BE INSTALLED WITHIN THE DRIP LINE OF TREE #23.
2. MULCH SHALL NOT BE PLACED DIRECTLY AGAINST THE TRUNK OF PROTECTED TREES.
3. GRADING WITHIN THE TPZ SHOULD NOT CHANGE FROM THE EXISTING CONDITION.

TREE PRUNING

PROTECTED TREES ARE NOT EXPECTED TO REQUIRE PRUNING DURING CONSTRUCTION. IF TREE PRUNING IS FOR SOME REASON CONSIDERED DURING CONSTRUCTION, THE PROJECT ARBORIST SHALL BE CONSULTED. NO PRUNING OF PROTECTED TREES SHALL OCCUR UNLESS AGREED UPON BETWEEN THE PROPERTY OWNER AND PROJECT ARBORIST.

TREE DAMAGE

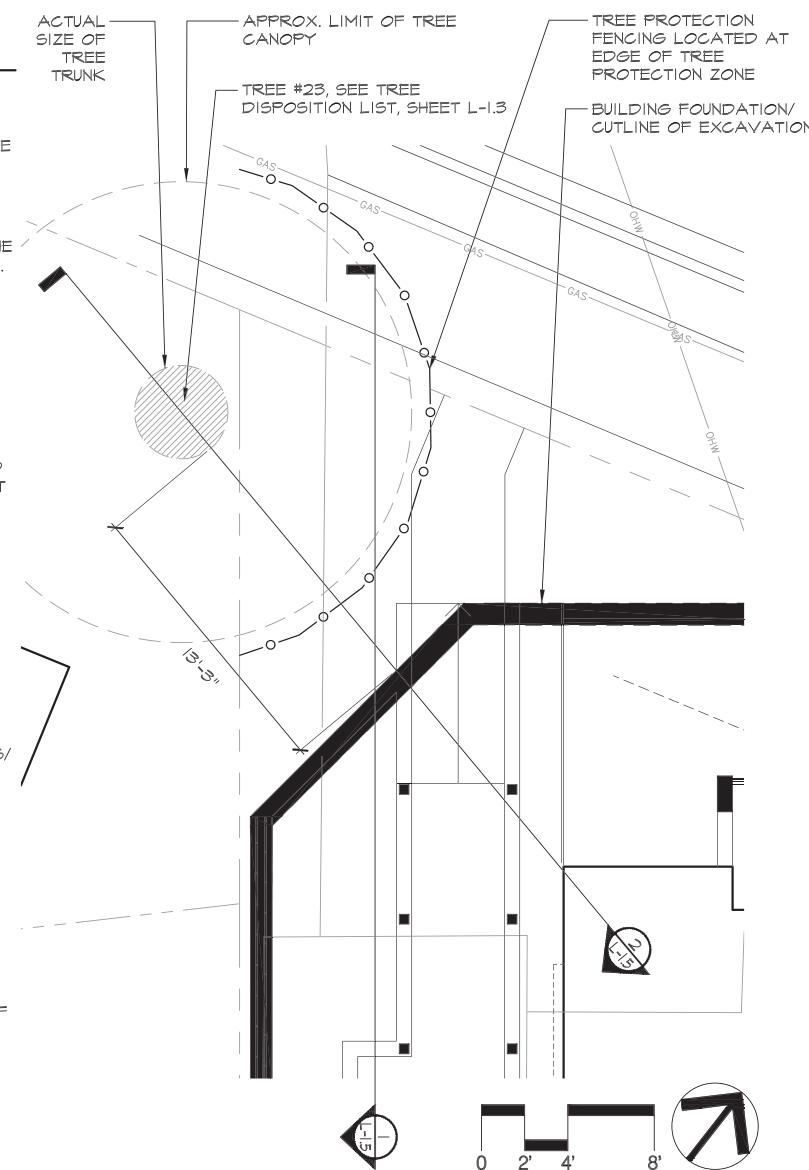
A CITY BUILDING OFFICIAL SHALL BE NOTIFIED WHENEVER ANY DAMAGE OR INJURY OCCURS TO PROTECTED TREES DURING CONSTRUCTION SO THAT PROPER TREATMENT MAY BE ADMINISTERED.

PLAN ACCEPTANCE

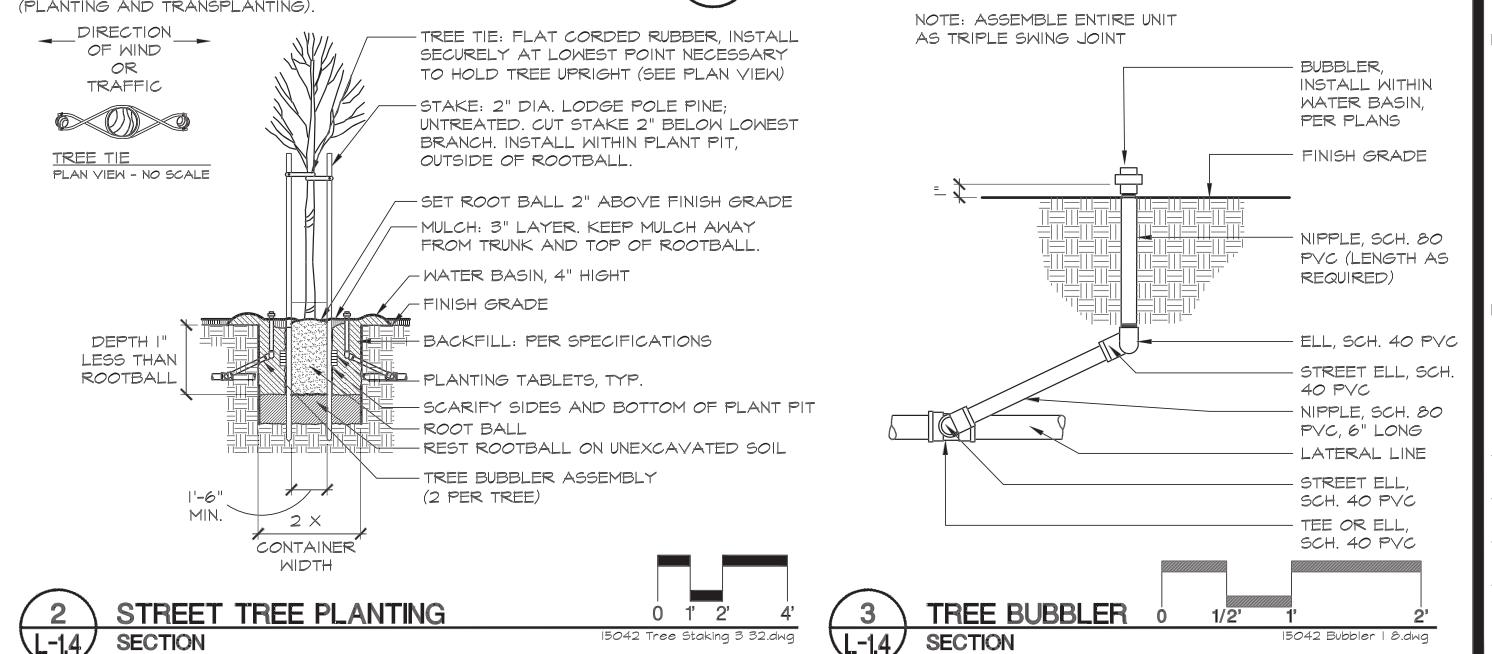
THE TREE PROTECTION PLAN SHALL CONTAIN THE SIGNATURE OF THE PROPERTY OWNER AND PERMIT APPLICANT PRIOR TO THE ISSUANCE OF A BUILDING PERMIT.

TREE PROTECTION NOTES

1. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR CONTACTING THE PROJECT ARBORIST IN A TIMELY MANNER TO HAVE THE PROJECT ARBORIST PRESENT FOR ALL WORK PERFORMED WITHIN THE DRIP LINE OF PROTECTED TREES.
2. THE TREE PROTECTION PLAN IS TO BE INCLUDED AS A DETAIL ON A FULL SIZE SHEET OF THE CONSTRUCTION PLANS.
3. THE PROJECT ARBORIST IS TO DETERMINE THE CONFIGURATION OF THE TREE PROTECTION FENCING AND OTHER TREE PROTECTION MEASURES.
4. NO GRADING OR TRENCHING IS ALLOWED WITHIN THE DRIP LINE OF PROTECTED TREES.
5. NO SELF PROPELLED EQUIPMENT MAY ENTER THE DRIP LINE OF PROTECTED TREES.
6. THE PROJECT ARBORIST IS TO MONITOR ALL WORK WITHIN THE DRIP LINE OF PROTECTED TREES.
7. THE PROJECT ARBORIST IS TO DETERMINE THE IRRIGATION SCHEDULE FOR THE PROTECTED TREE. THE GENERAL CONTRACTOR IS EXPECTED TO APPLY SUPPLEMENTAL WATER AT THE DIRECTION OF THE PROJECT ARBORIST.
8. **INITIAL SITE INSPECTION:** PRIOR TO THE ISSUANCE OF DEMOLITION PERMITS, THE PROJECT ARBORIST IS TO SUBMIT A LETTER BY EMAIL TO THE CITY PLANNER ASSIGNED TO THIS PROJECT VERIFYING THAT ALL TREE PROTECTION MEASURES ARE PROPERLY IMPLEMENTED AND CLEARANCE PRUNING OF THE TREES HAS BEEN COMPLETED. THE MANAGING CITY ARBORIST OR DESIGNEE IS TO CONFIRM THE ARBORIST LETTER IN ORDER TO AUTHORIZE RELEASE OF ANY PERMITS.
9. **FUTURE INSPECTIONS:** THE PROJECT ARBORIST IS TO COMPLETE INSPECTIONS AT LEAST ON A MONTHLY BASIS DURING THE CONSTRUCTION PERIOD AND IS TO SUBMIT A MONTHLY REPORT OF HIS/HER FINDINGS IN A LETTER SENT BY FAX OR EMAIL TO THE CITY PLANNER ASSIGNED TO THIS PROJECT.
10. **OTHER INSPECTIONS:** ADDITIONAL INSPECTIONS (WEEKLY OR DAILY) WILL BE NECESSARY WHEN IT IS DETERMINED CONSTRUCTION ACTIVITIES MAY IMPACT A PROTECTED TREE. THIS WILL INCLUDE MONITORING PROTECTED TREES DURING DEMOLITION OPERATIONS. THE PROJECT ARBORIST IS TO SUBMIT A LETTER BY EMAIL TO THE CITY ARBORIST THAT WILL INCLUDE HIS OBSERVATIONS, FINDINGS AND WHEN NECESSARY RECOMMENDATIONS TO CORRECT DEFICIENCIES.
- II. **ROOT EXCAVATION:** THE REQUIREMENT FOR ROOT EXCAVATION IS TO BE DETERMINED BY THE CONTRACT ARBORIST PRIOR TO ISSUANCE OF PERMITS. TO ASSIST IN THE ARBORIST'S DECISION, CONDUCT A SITE MEETING WITH THE PROJECT ARBORIST, CONTRACT ARBORIST, AND POSSIBLY THE CITY MANAGING ARBORIST, TO PAINT OUT THE PROPOSED CUTLINE FOR THE BUILDING FOUNDATION.



1 L-14 PLAN TREE PROTECTION ENLARGEMENT



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CA PROJECT # 15042



June 13, 2017
TREE
PROTECTION
PLAN AND
DETAILS

SCALE AS SHOWN
DRAWN AD
JOB NO. 15042
SHEET L-1.4

OF SHEETS

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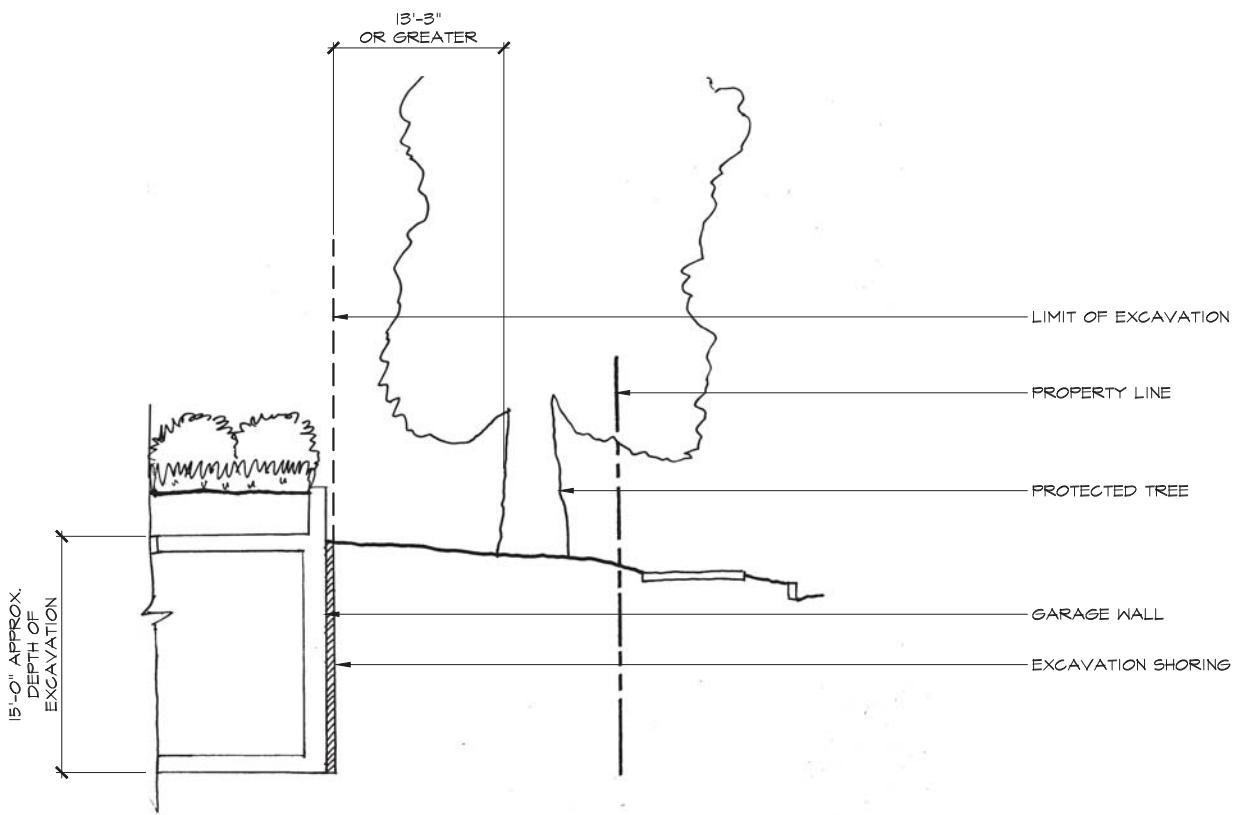
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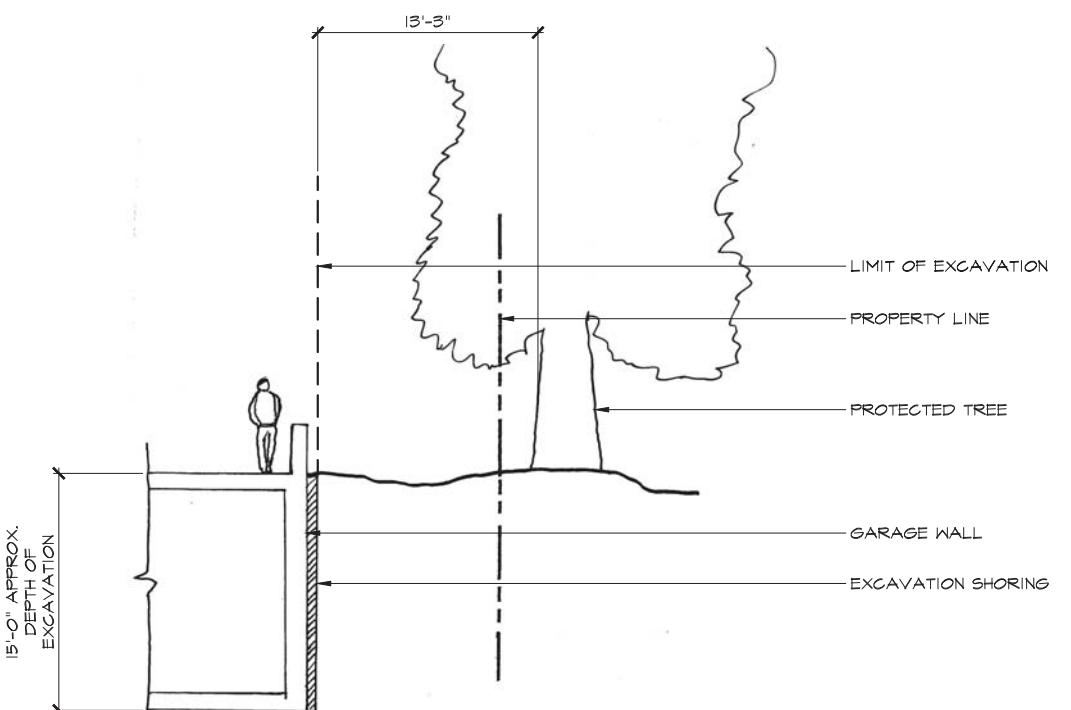
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1
L-15
INTERIOR PROPERTY LINE
SECTION

0 2' 4' 8'



2
L-15
EAST WEST VIEW
SECTION

0 2' 4' 8'

CA PROJECT # 15042



DATE: June 13, 2017
TREE
PROTECTION
SECTIONS

SCALE: AS SHOWN
DRAWN: AD
JOB NO.: 15042
SHEET: L-15
OF: SHEETS

BY: MODIFIED: CREATED: FILE: LP.dwg

OF SHEETS