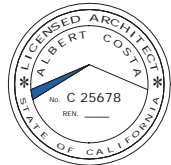


HILLSDALE
TERRACES

2700 SOUTH EL CAMINO REAL
SAN MATEO, CA 94403

Job Number: 13090

No.	Issue	Date
1	Planning Pre-Application	11/27/2013
2	Planning Study Session	01/16/2014
3	Planning Formal Application	04/02/2015
4	Response To Plan Check	12/17/2015
5	Response To Plan Check	04/14/2016
6	Revision to Comment	05/05/2016
7	Issue For Revision	07/22/2016
8	Issue For Revision	09/14/2016
9	Issue For Revision	12/15/2016



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Date: 12/15/2016

Scale:

Description:

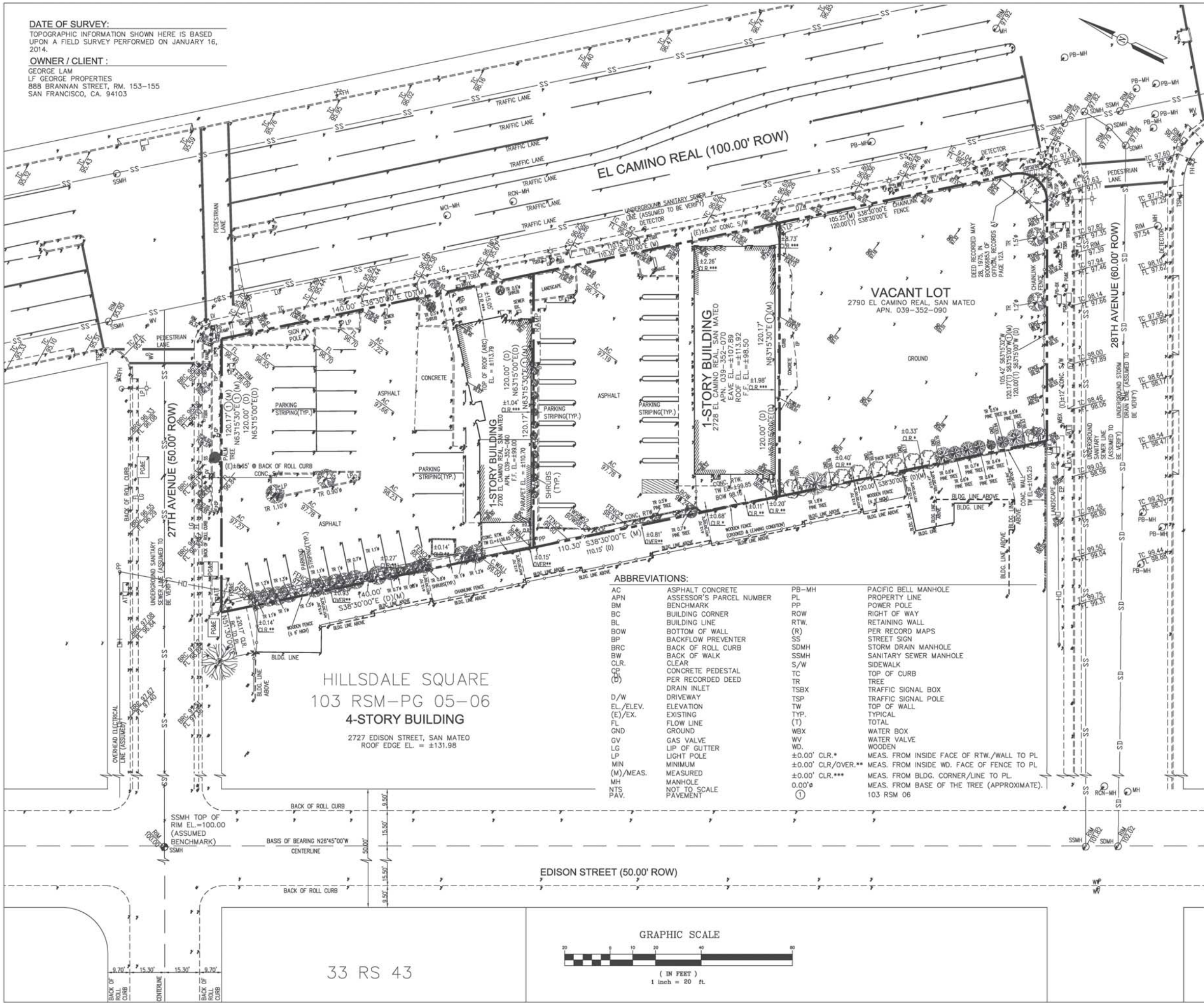
COVER SHEET

Sheet Number:

A-0.0

HILLSDALE TERRACES

DATE OF SURVEY:
TOPOGRAPHIC INFORMATION SHOWN HERE IS BASED
UPON A FIELD SURVEY PERFORMED ON JANUARY 16,
2014.
OWNER / CLIENT :
GEORGE LAM
LF GEORGE PROPERTIES
888 BRANNAN STREET, RM. 153-155
SAN FRANCISCO, CA. 94103



VICINITY MAP

ASSUMED BENCHMARK AT INTERSECTION OF
27TH AVE. & EDISON ST.

ASSUMED BENCHMARK @ SSMH TOP RIM ELEVATION =
100.00, AS SHOWN ON THE MAP.

BASIS OF BEARINGS

THE BEARING N26°45'00"W OF THE CENTERLINE OF
EDISON STREET (DERIVE FROM SPLITTING THE CURB
LINES) PER "MAP SHOWING A SUBDIVISION OF LOTS 1, 2,
19, AND 21 OF THE BERESFORD PARK TRACT, SAN
MATEO COUNTY, CAL." AND "33 RS 43", FILED IN THE
OFFICE OF THE RECORDER OF SAN MATEO COUNTY,
STATE OF CALIFORNIA, WAS USED AS BASIS OF BEARING
FOR THIS SURVEY.

LEGEND:

- PROPERTY LINE
- EXISTING LINE
- BUILDING LIMITS
- BENCHMARK REFERENCE
- OH OVERHEAD ELECTRICAL LINE (APPROXIMATE)
- SD STORM DRAIN LINE (APPROXIMATE)
- SS SANITARY SEWER LINE (APPROXIMATE)

BOUNDARY NOTES:

- PROPERTY AND RIGHT-OF-WAY SHOWN HEREON ARE
BASED ON RECORD DATA AND NOT INTENDED TO BE A
DETAILED FINAL SURVEY OF THE PROPERTY.
- ALL ANGLES ARE 90° UNLESS OTHERWISE NOTED.
- ALL DISTANCES ARE MEASURED IN FEET AND DECIMALS
THEREOF.
- PROPERTY LINE TO MONUMENT LINE MEASURED
DISTANCES WERE BASED UPON FOUND SURVEY MARKS, CURB
SPLITS AND BUILDING OCCUPATIONS.
- ENCROACHMENT FROM/ONTO THE ADJOINING PROPERTIES
THAT MAY EXIST OR MAY BE CONSTRUCTED IS HEREBY
ACKNOWLEDGED AND IT SHALL BE THE RESPONSIBILITY SOLELY
OF THE PROPERTY OWNERS INVOLVED TO RESOLVE ANY
ISSUES WHICH MAY ARISE THEREFROM. THIS MAP DOES NOT
CONVEY ANY INTEREST IN SUCH ENCROACHMENT AREAS TO
THE PROPERTY OWNER(S).
- RECORDED MAP REFERENCE: 33 RS 43, 103 RSM 06,
AND 2 RSM 37, SAN MATEO COUNTY.
- RECORD OWNERSHIP INFORMATION WAS TAKEN FROM
GRANT DEED, INSTRUMENT NO. 2013-110986, DATED JULY
30, 2013.
- BUILDING FOOTPRINTS SHOWN ARE ALL TAKEN ON THE
GROUND LEVEL.

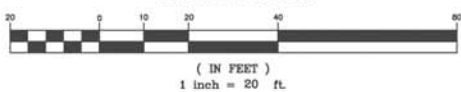
UTILITY STATEMENT:

THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED
FROM FIELD SURVEY INFORMATION AND/OR RECORD DATA AND
ARE APPROXIMATE ONLY. THE SURVEYOR MAKES NO
GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN
COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN
SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT
WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN
THE EXACT LOCATION INDICATED. THE SURVEYOR HAS NOT
PHYSICALLY LOCATED THE UNDERGROUND UTILITIES, ACTUAL
LOCATION AND SIZE, TOGETHER WITH THE PRESENCE OF ANY
ADDITIONAL UTILITY LINES NOT SHOWN ON THIS PLAN, SHALL
BE VERIFIED IN THE FIELD BY THE CONTRACTOR DURING
CONSTRUCTION. PRIOR TO ANY DIGGING, CALL U.S.A.
(1-800-642-2444) AT LEAST 48 HOURS IN ADVANCE TO
HAVE EXISTING UNDERGROUND UTILITIES MARKED.

ABBREVIATIONS:

AC	ASPHALT CONCRETE	PB-MH	PACIFIC BELL MANHOLE
APN	ASSESSOR'S PARCEL NUMBER	PL	PROPERTY LINE
BM	BENCHMARK	PP	POWER POLE
BC	BUILDING CORNER	ROW	RIGHT OF WAY
BL	BUILDING LINE	RTW	RETAINING WALL
BOW	BOTTOM OF WALL	(R)	PER RECORD MAPS
BP	BACKFLOW PREVENTER	SS	STREET SIGN
BRC	BACK OF ROLL CURB	SDMH	STORM DRAIN MANHOLE
BW	BACK OF WALK	SSMH	SANITARY SEWER MANHOLE
CLR.	CLEAR	S/W	SIDEWALK
CP	CONCRETE PEDESTAL	TC	TOP OF CURB
(D)	PER RECORDED DEED	TR	TREE
D/W	DRIVEWAY	TSBX	TRAFFIC SIGNAL BOX
EL./ELEV.	ELEVATION	TSP	TRAFFIC SIGNAL POLE
(E)/EX.	EXISTING	TW	TOP OF WALL
FL	FLOW LINE	TYP.	TYPICAL
GND	GROUND	(T)	TOTAL
GV	GAS VALVE	WBX	WATER BOX
LG	LIP OF GUTTER	WV	WATER VALVE
LP	LIGHT POLE	WD.	WOODEN
MIN	MINIMUM	±0.00' CLR.*	MEAS. FROM INSIDE FACE OF RTW./WALL TO PL
(M)/MEAS.	MEASURED	±0.00' CLR./OVER.**	MEAS. FROM INSIDE WD. FACE OF FENCE TO PL
MH	MANHOLE	±0.00' CLR.***	MEAS. FROM BLDG. CORNER/LINE TO PL
NTS	NOT TO SCALE	0.00'±	MEAS. FROM BASE OF THE TREE (APPROXIMATE).
PAV.	PAVEMENT	①	103 RSM 06

GRAPHIC SCALE



GL A CIVIL ENGINEERS, INC.

414 Mason Street Ste 404,
San Francisco, CA.
Tel. (415) 956-6707

TOPOGRAPHIC SURVEY PLAN

2700, 2728, & 2790 EL CAMINO REAL
APN: 039-352-060, 039-352-070, 039-352-090

SHEET

C-1

SHEET 1 OF 1

EMAIL: GLAENGINEERS@SBCGLOBAL.NET

PIN: 2700ECR

CALIFORNIA

San Mateo

GL A CIVIL ENGINEERS, INC.

SCALE: 1"=20'

DESCRIPTION

DATE

BY

APPR. BY

CITY

DATE

BY

2700 El Camino Real Project Summary
San Mateo, California

Building Areas
all figures in gross square feet

Site Information	Total	Proposed
Project Site	43,509	
F.A.R.		2.45
Building Gross Area		106,571 *Only includes Ground Level stairs, elevators, and mechanical shafts.
Landscaped Areas	3,735	

Floor	Unit Area	Circulation	Stair & Elevator	Mechanical & Accessory	Amenity	Commercial	Total	Open Area
Roof	0	112	686	0	4,471	0	5,269	4,471
Level 05	18,478	1,986	637	307	0	0	21,408	1491
Level 04	20,243	2,066	637	288	0	0	23,234	1,182
Level 03	21,450	2,034	638	288	0	0	24,410	0
Level 02	20,494	2,026	637	326	744	0	24,227	0
Level 01	0	1,319	902	739	0	13,978	16,938	3841
Totals	80,665	9,543	4,137	1,948	5,215	13,978	115,486 GSF	10,985

(not included in gross sq. ft. building area)

Roof Deck
Balconies
Balconies
Paseo & Rear Open Space

Parking Areas
all figures in gross square feet

Floor	Parking Area	Circulation	Stair & Elevator	Mechanical & Accessory	Amenity	Total
Parking Level A	36,414	111	635	0	0	37,159
Parking Level B	36,409	111	577	62	0	37,159
Parking Level C	35,029	111	577	1,442	0	37,159
Totals	107,852	333	1,789	1,504	0	111,477 GSF

Commercial Parking
Residential Parking
Residential Parking

Total Excavation = 42,595 yd³

Grand Total (Including Garages)	237,948	GSF	*Includes Open Area
---------------------------------	---------	-----	---------------------

Unit Calculations

Floor	1BR	2BR	3BR	2BR+	3BR+	Unit Count	Typ. Size	1BR	2BR	3BR
Roof	0	0	0	0	0	0		662-909gsf	889-1,393gsf	1,304-1,771gsf
Level 05	2	5	4	0	0	11				
Level 04	3	5	10	0	0	18				
Level 03	5	15	0	0	0	20				
Level 02	7	12	0	0	0	19				
Level 01	0	0	0	0	0	0				
Totals	17	37	14	0	0	68				
Percentage	25.00%	54.41%	20.59%	0.00%	0.00%					

NOTE: 6 VERY LOW INCOME UNITS (12% OF ORIGINAL 50 UNITS) - LOCATIONS TO BE DETERMINED

Parking Calculations by Level

	Residential		Commercial		Visitor		Total
	Standard	Accessible	Standard	Accessible	Standard	Accessible	
Ground Level	0	0	2	0	0	0	2
Parking Level A	0	0	50	4	8	1	63
Parking Level B	32	4	0	0	4	1	41
Parking Level C	49	3	0	0	0	0	52
Totals	81	7	52	4	12	2	158

(2 loading, not included)

NOTE: COMMERCIAL LOADING / GARBAGE COLLECTION - 2 AREAS PROVIDED (SEE SITE PLAN)

Parking Calculations by Category

	Total # of Parking Spaces	Based on CBC Table 208.2		11B- Based on 2013 CBC 1109A.5		Low-Emitting, Fuel Efficient Parking Spaces Provided	Bike Parking	Based on 2013 CalGreen Section 5.106.4 and the San Mateo Municipal Code						
		Accessible Parking Spaces		Van Accessible Parking Spaces				# of Units / Sq. Ft.	Long Term			Short Term		
		Provided	Required	Provided	Required				Spaces Per Unit	Provided	Required	Spaces Per Unit	Provided	Required
Residential	88	6	6	1	1	11	1 Bedroom	17	1	17	0.05	1	1	
Commercial	56	3	3	1	1	6	2 Bedroom	37	1.25	47	0.1	4	4	
Visitor	14	1	1	1	1	0	3 Bedroom	14	1.5	21	0.15	3	3	
							Retail	13,978 sq.ft.	1 per 12,000 sq.ft.	2	2	1 per 2,000 sq.ft.	28	7
Totals	158	10	10	3	3	17	Totals			87	87		36	15

NOTE: LOCKED EMPLOYEE BIKE ROOM TO BE PROVIDED ON GROUND FLOOR, LOCATION TBD.

Recommended Parking:

	Units or GSF	Residential Parking	Visitor Parking	Com. Parking Factor per 1000 Square Feet	Resident Spaces	Commercial Spaces	Visitor Spaces	Total Spaces
1 Bedroom	17	1.0	0.2		17.0		3.4	
2 Bedroom	37	1.3	0.2		48.1		7.4	
3 Bedroom	14	1.6	0.2		22.4		2.8	
Restaurant/Commercial	13,978			4		56		
Total Units	68							
Recommended Parking Spaces					88	56	14	158

Parking factors are from the Hillsdale Station Area Plan, Page 149, Figure 14 "Recommended SAP Minimum Parking Requirements"

Landscaped Areas

Floor	Landscape Area 1	Landscape Area 2	Landscape Area 3	Landscape Area 4	Landscape Area 5	Landscape Area 6	Landscape Area 7	Landscape Area 8	Total
Roof	324	137	98	108	25	100	24	16	832
Ground Floor	24	139	139	284	269	335	364	1,349	2,903
Totals	348	276	237	392	294	435	388	1,365	3,735

Costa Brown Architecture

1620 Montgomery Street, Suite 300
San Francisco, CA 94111
Tel: 415 986 0101

HILLSDALE TERRACES

2700 SOUTH EL CAMINO REAL
SAN MATEO, CA 94403

Job Number: 13090

No.	Issue	Date
1	Planning Pre-Application	11/27/2013
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Date: 09/14/2016

Scale:

Description:

PROJECT SUMMARIES

Sheet Number:

A-0.3

TYPE OF CONSTRUCTION - I-B - 160' 0"								
	FLOOR LEVELS (LOCATION)	TYPE OF CONSTRUCTION	OCCUPANCY	ALLOWABLE STORIES ABOVE GRADE PLANE	ALLOWABLE AREAS. BUILDING AREA PER STORY - SQ.FT.	STORIES PER OCCUPANCY	PROPOSED STORIES ABOVE GRADE PLANE	PROPOSED AREAS - BUILDING AREA PER STORY (SQ. FT.)
1.	ROOF DECK	I-B	A - 3	11	UNLIMITED	-	-	4471
2.	RESIDENTIAL - LEVEL 5	I-B	R - 2	11	UNLIMITED	4	5TH FLOOR	21408
3.	RESIDENTIAL - LEVEL 4	I-B	R - 2	11	UNLIMITED	4	4TH FLOOR	23234
4.	RESIDENTIAL - LEVEL 3	I-B	R - 2	11	UNLIMITED	4	3RD FLOOR	24410
5.	RESIDENTIAL - LEVEL 2	I-B	R - 2	11	UNLIMITED	4	2ND FLOOR	24227
6.	COMMERCIAL / RETAIL AT GROUND LEVEL	I-B	M / B	11 / 11	UNLIMITED / UNLIMITED	1	GROUND FLOOR ON GRADE	16938
7.	PARKING LEVEL - A	I-B	S - 2	11	79000	3	BELOW GRADE	37159
8.	PARKING LEVEL - B	I-B	S - 2	11	79000	3	BELOW GRADE	37159
9.	PARKING LEVEL - C	I-B	S - 2	11	79000	3	BELOW GRADE	37159

8

CONSTRUCTION

BASED ON TABLE 508.4 - REQUIRED SEPARATION OF OCCUPANCIES (HOURS)		
OCCUPANCY	B, M	
	S	NS.
R - 2	1	2
S - 2	1	2
• S = BUILDINGS EQUIPPED THROUGHOUT WITH AN AUTOMATIC SPRINKLER SYSTEM INSTALLED IN ACCORDANCE WITH SECTION 903.3.1.1. • NS = BUILDINGS NOT EQUIPPED THROUGHOUT WITH AN AUTOMATIC SPRINKLER SYSTEM INSTALLED IN ACCORDANCE WITH SECTION 903.3.1.1.		

7

SEPARATIONS

BASED ON TABLE 1014.3 - COMMON PATH OF EGRESS TRAVEL	
OCCUPANCY	WITH SPRINKLER SYSTEM (FEET)
B	100
S - 2	100
R - 2	125
ALL OTHERS	75

6

EGRESS TRAVEL

BASED ON TABLE 1016.2 - EXIT ACCESS TRAVEL DISTANCE	
OCCUPANCY	WITH SPRINKLER SYSTEM (FEET)
A, M, R	250
B	300
S - 2	400

5

EXIT TRAVEL DISTANCE

OCCUPANT LOAD AND REQUIRED NUMBER OF EXITS						
OCCUPANCY	FLOOR	AREA (SQ. FT.)	BASED ON TABLE 1004.1.2, FLOOR AREA PER OCCUPANT - OCCUPANT LOAD FACTOR	OCCUPANT LOAD	REQUIRED NO. OF EXITS AT EACH FLOOR	PROVIDED NO. OF EXITS AT EACH FLOOR
A - 3	ROOF DECK	4471	15 NET	298	2	3
R - 2	5TH FLOOR	21408	200 GROSS	107	2	3
R - 2	4TH FLOOR	23234	200 GROSS	116	2	3
R - 2	3RD FLOOR	24410	200 GROSS	120	2	3
R - 2	2ND FLOOR	24227	200 GROSS	121	2	3
M / B	GROUND FLOOR	6241 (C I) / 7737 (C II) (16938 TOTAL)	30 GROSS (FOR MERCANTILE)	208 (C I) / 258 (C II) (466 TOTAL)	2 (C I) / 2 (C II)	2 (C I) / 3 (C II)
S - 2	PARKING - A	37159	200 GROSS	173	2	4
S - 2	PARKING - B	37159	200 GROSS	173	2	3
S - 2	PARKING - C	37159	200 GROSS	173	2	3

4

OCCUPANT LOADS

FIRE RESISTANCE RATING REQUIREMENTS FOR TYPE I-B, PER TABLE 601:	
STRUCTURAL FRAME	2 HR. / 1 HR ROOF SUPPORT
EXTERIOR BEARING WALLS	2 HR.
INTERIOR BEARING WALLS	2 HR. / 1 HR ROOF SUPPORT
EXTERIOR NONBEARING WALLS & PARTITIONS	SEE BELOW
INTERIOR NONBEARING WALLS & PARTITIONS	0 HR.
FLOOR CONSTRUCTION (BEAMS & JOISTS)	2 HR.
ROOF CONSTRUCTION (BEAMS & JOISTS)	1 HR.
SHAFT / STAIRWAY ENCLOSURES	2 HR.
FIRE-RESISTANCE RATING REQUIREMENTS FOR EXTERIOR WALLS FOR TYPE I-B BASED ON FIRE SEPARATION DISTANCE, PER TABLE 602:	
FIRE SEP. DIST.	M / B, R-2
X < 5	1 HR.
5 ≤ X < 10	1 HR.
10 ≤ X < 30	1 HR.
X ≥ 30	0 HR.
NOTE: ALL EXTERIOR WALLS ARE 2-HR FIRE-RESISTIVE ASSEMBLY, U.N.O., SEE FIRE RESISTANCE RATING REQUIREMENTS FOR TYPE I-B TABLE FOR ALL BUILDING ELEMENTS.	

3

FIRE RESISTANCE

WIDTH OF REQUIRED EXITS : BASED ON TABLE 1018.2 - MINIMUM CORRIDOR WIDTH	
OCCUPANCY	WIDTH (MINIMUM)
ANY FACILITIES NOT LISTED IN TABLE	44 INCHES
ACCESS TO AND UTILIZATION OF MECHANICAL, PLUMBING OR ELECTRICAL SYSTEMS OR EQUIPMENT	24 INCHES
WITH REQUIRED OCCUPANCY CAPACITY LESS THAN 50	36 INCHES
WITHIN A DWELLING UNIT	36 INCHES
• WIDTH OF EXIT PASSAGEWAYS PER 1023.2 SHALL BE MINIMUM 44 INCHES EXCEPT FOR OCCUPANT LOAD LESS THAN 50, WIDTH WILL BE 36 INCHES MINIMUM. • WIDTH OF STAIRWAYS SHALL NOT BE LESS THAN 44 INCHES CLEAR BETWEEN HANDRAILS FOR BUILDING EQUIPPED THROUGHOUT WITH AUTOMATIC SPRINKLER SYSTEM. CBC 2013 1007.3 - EXCEPTION 1 AND 1009.4.	

2

EXIT WIDTHS

FIRE COMMENTS :	
1.	FIRE SPRINKLER SYSTEM : INSTALL AN N.F.P.A.13 FIRE SPRINKLER SYSTEM COMPLYING WITH LOCAL AMENDMENTS. SUBMIT UNDER SEPARATE FIRE PLAN CHECK AND PERMIT. SEPARATE PLAN CHECK PERMIT REQUIRED FOR THE UNDERGROUND FIRE SERVICE.
2.	ROOF HATCHES ON BOTH STAIRWELLS : REQUIRED ROOF HATCHES SHALL BE A MINIMUM SIZE OF 4 FEET BY 6 FEET.
3.	PROVIDE SMOKE CONTROL AT ELEVATOR LOBBY AND IN CENTER CORRIDOR BY BOTH STAIRWELLS.
4.	PROVIDE SMOKE CONTROL FOR BELOW GRADE PARKING.

1

FIRE COMMENTS

Costa Brown
Architecture


1620 Montgomery Street, Suite 300
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Tel: 415 986 0101

HILLSDALE
TERRACES

2700 SOUTH EL CAMINO REAL
SAN MATEO, CA 94403

Job Number: 13090		
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Description:

BUILDING USAGE
/ TYPE

Sheet Number:

A-0.4

HILLSDALE
TERRACES

2700 SOUTH EL CAMINO REAL
SAN MATEO, CA 94403

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1 SITE PLAN
1" = 20'-0"

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Date: 09/14/2016

Scale: 1" = 20'-0"

Description:

SITE PLAN

Sheet Number:

A-1.0

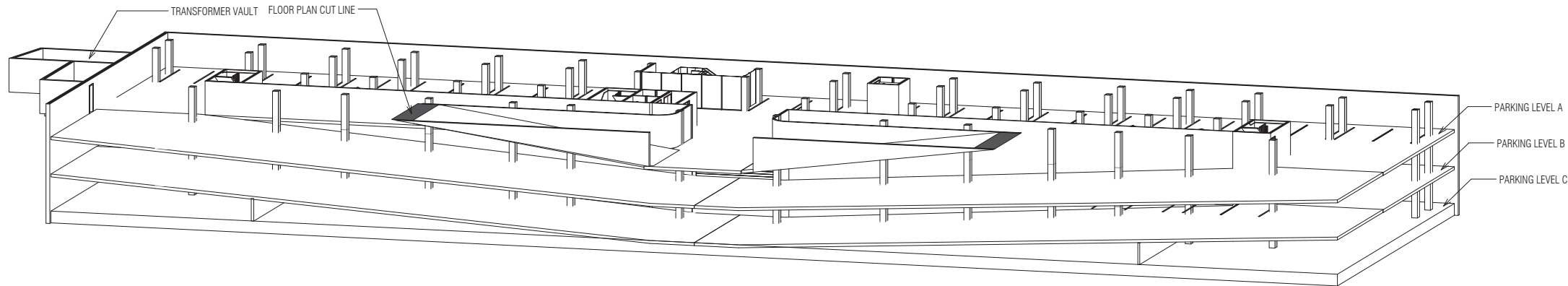


HILLSDALE
TERRACES

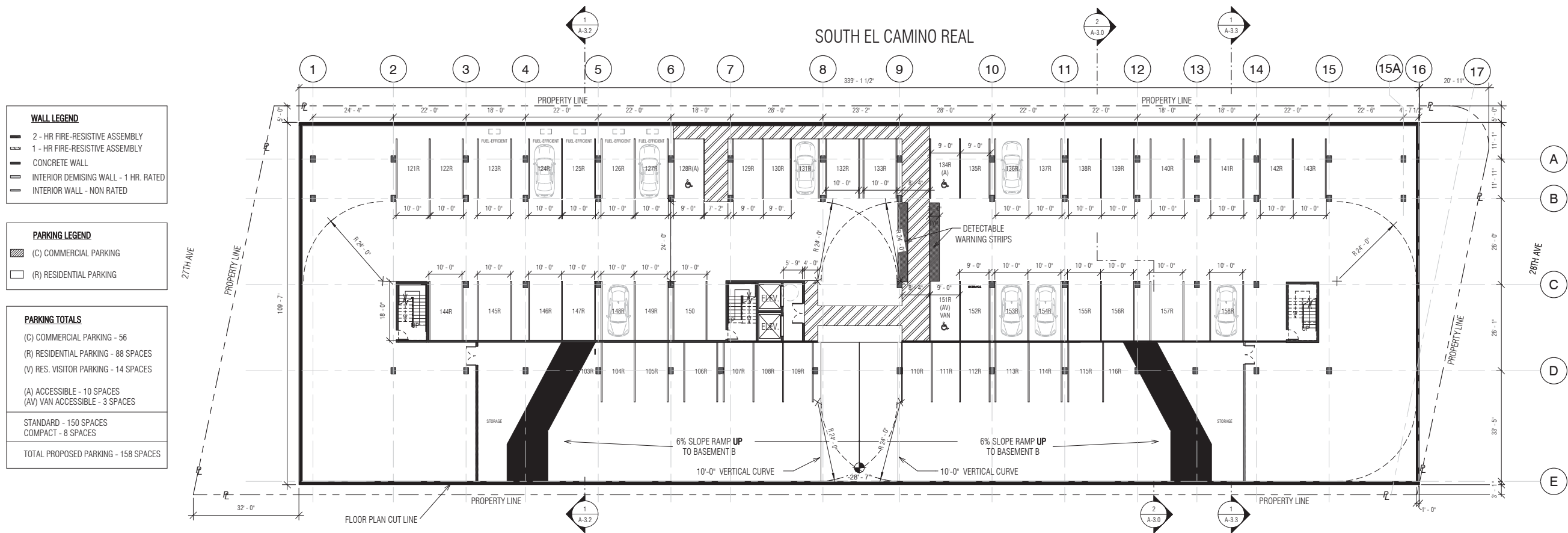
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2 Garage Axonometric View



1 Basement Level C - Residential Parking
1/16" = 1'-0"

WALL LEGEND	
	2 - HR FIRE-RESISTIVE ASSEMBLY
	1 - HR FIRE-RESISTIVE ASSEMBLY
	CONCRETE WALL
	INTERIOR DEMISING WALL - 1 HR. RATED
	INTERIOR WALL - NON RATED

PARKING LEGEND	
	(C) COMMERCIAL PARKING
	(R) RESIDENTIAL PARKING

PARKING TOTALS	
(C) COMMERCIAL PARKING	- 56
(R) RESIDENTIAL PARKING	- 88 SPACES
(V) RES. VISITOR PARKING	- 14 SPACES
(A) ACCESSIBLE	- 10 SPACES
(AV) VAN ACCESSIBLE	- 3 SPACES
STANDARD	- 150 SPACES
COMPACT	- 8 SPACES
TOTAL PROPOSED PARKING	- 158 SPACES

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Date: 09/14/2016

Scale: 1/16" = 1'-0"

Description:

FLOOR PLAN -
PARKING LEVEL
C AND AXO VIEW

Sheet Number:

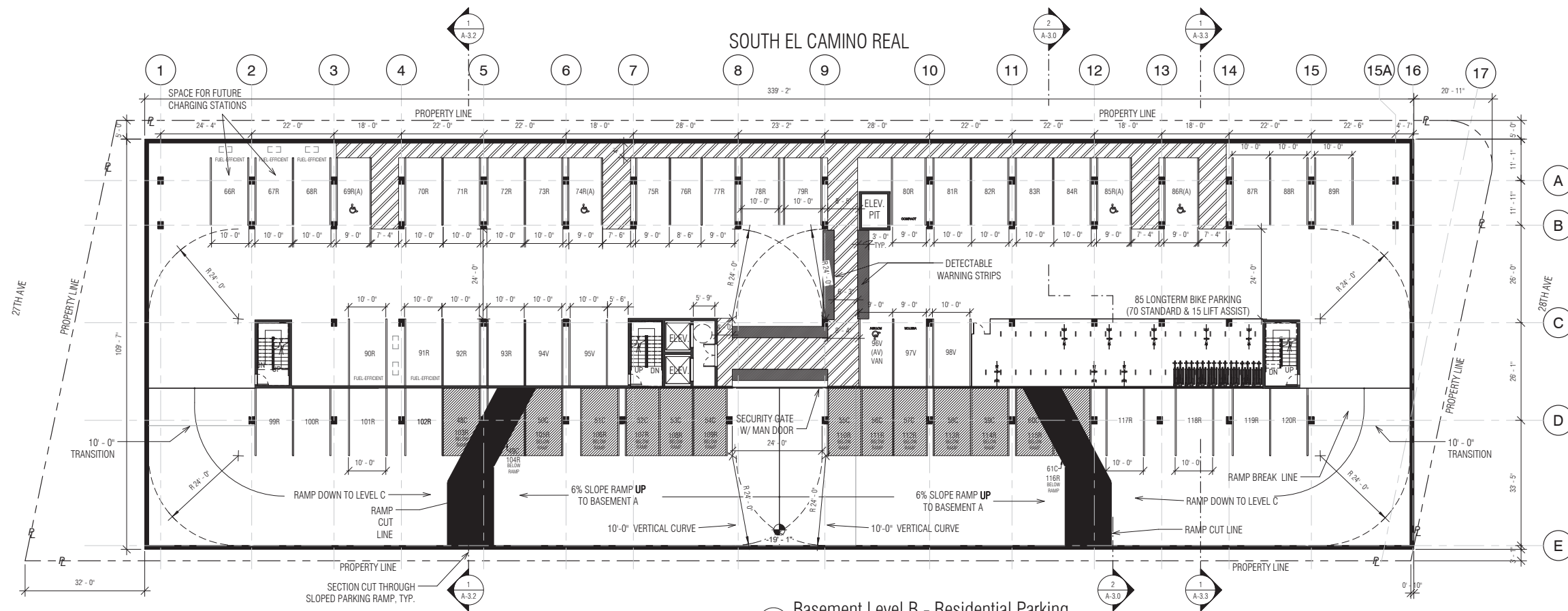
A-1.1

HILLSDALE TERRACES

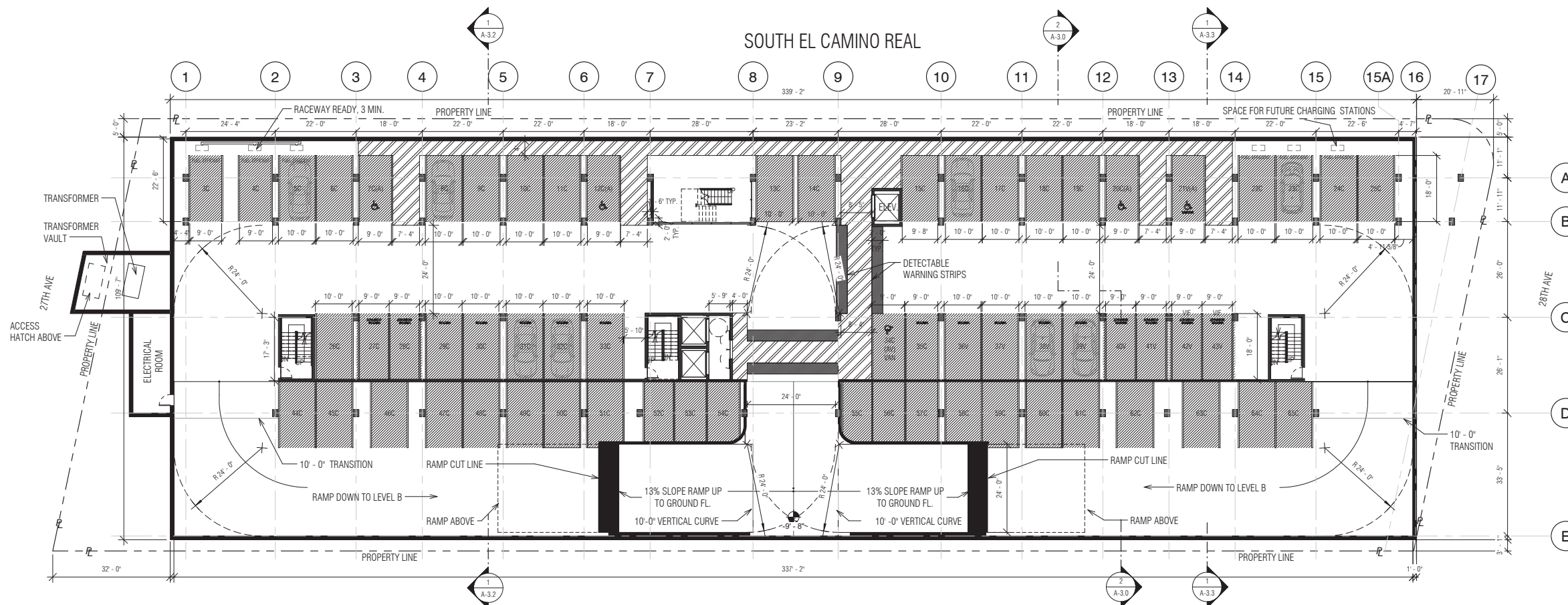
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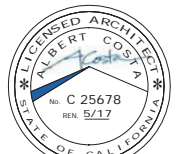


2 Basement Level B - Residential Parking
1/16" = 1'-0"



3 Basement Level A - Commercial Parking/Visitor Parking
1/16" = 1'-0"

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Date: 09/14/2016

Scale: 1/16" = 1'-0"

Description:

FLOOR PLANS -
PARKING LEVEL
A AND B

Sheet Number:

A-1.2

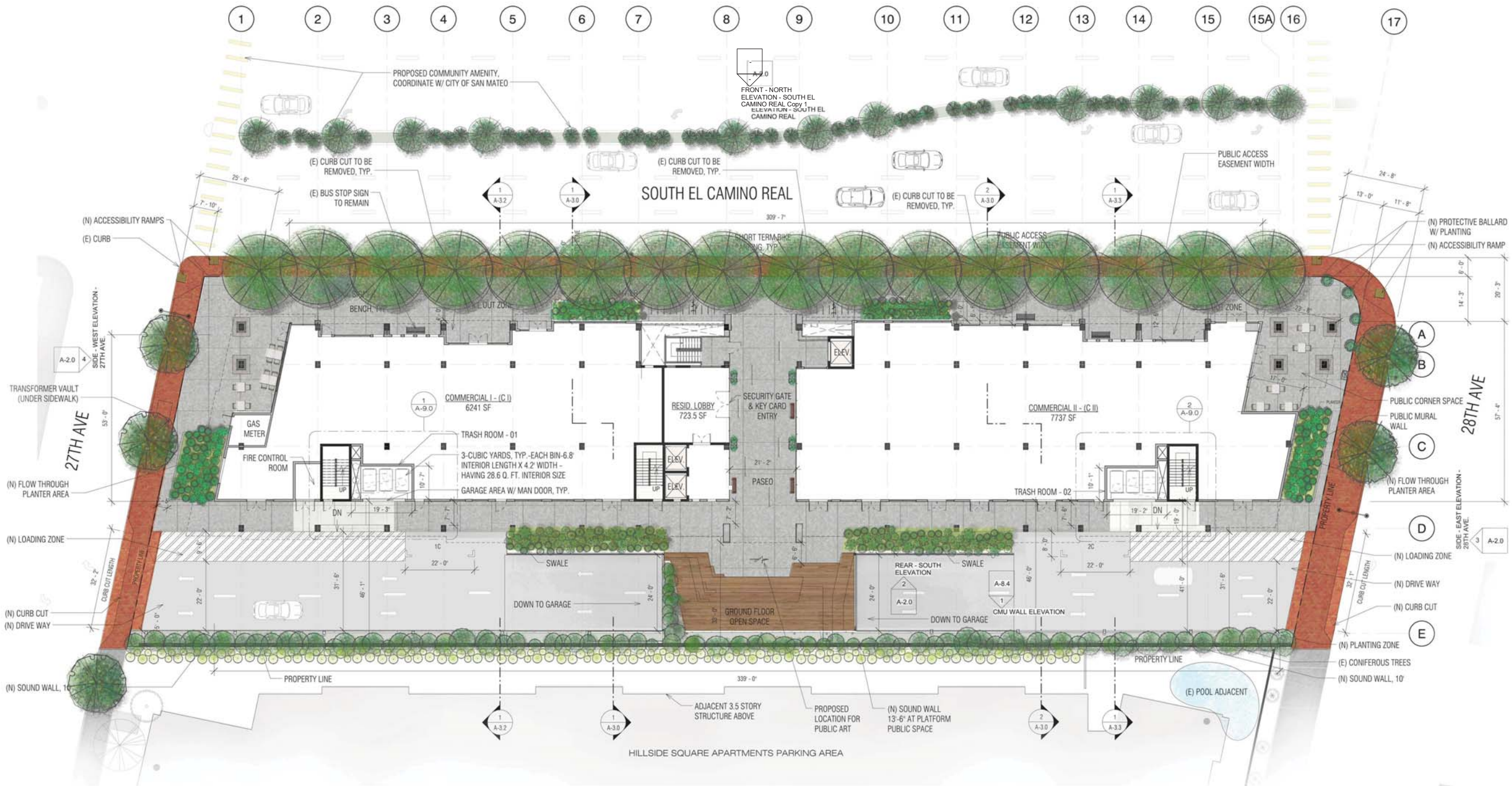


HILLSDALE
TERRACES

2700 SOUTH EL CAMINO REAL
SAN MATEO, CA 94403

Job Number: 13090

No.	Issue	Date
1	Planning Pre-Application	11/27/2013
2	Planning Study Session	01/16/2014
3	Planning Formal Application	04/02/2015
4	Response To Plan Check	12/17/2015
5	Response To Plan Check	04/14/2016
6	Revision To Comment	05/05/2016
7	Issue For Revision	07/22/2016
8	Issue For Revision	09/14/2016
9	Issue For Revision	12/15/2016



1 Ground Floor Level
1/16" = 1'-0"



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Date: 09/14/2016

Scale: 1/16" = 1'-0"

Description:

GROUND FLOOR
PLAN

Sheet Number:

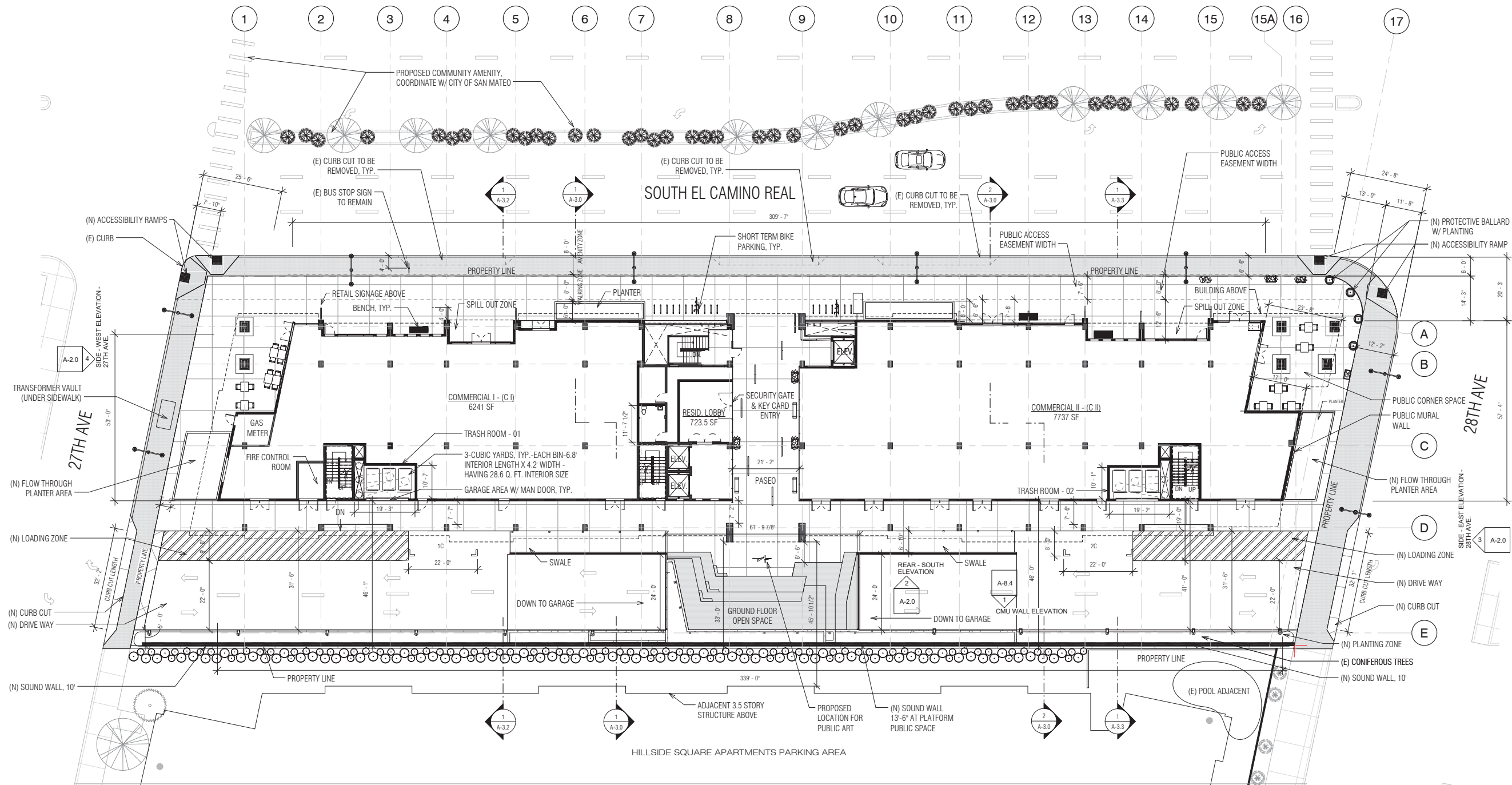
A-1.3

HILLSDALE
TERRACES

2700 SOUTH EL CAMINO REAL
SAN MATEO, CA 94403

Job Number: 13090

No.	Issue	Date
1	Planning Pre-Application	11/27/2013
2	Planning Study Session	01/16/2014
3	Planning Formal Application	04/02/2015
4	Response To Plan Check	12/17/2015
5	Response To Plan Check	04/14/2016
6	Revision to Comment	05/05/2016
7	Issue For Revision	07/22/2016
8	Issue For Revision	09/14/2016
9	Issue For Revision	12/15/2016



① Ground Floor Level - Base
1/16" = 1'-0"



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Date: 09/14/2016

Scale: 1/16" = 1'-0"

Description:

ANNOTATED
GROUND FLOOR
PLAN

Sheet Number:

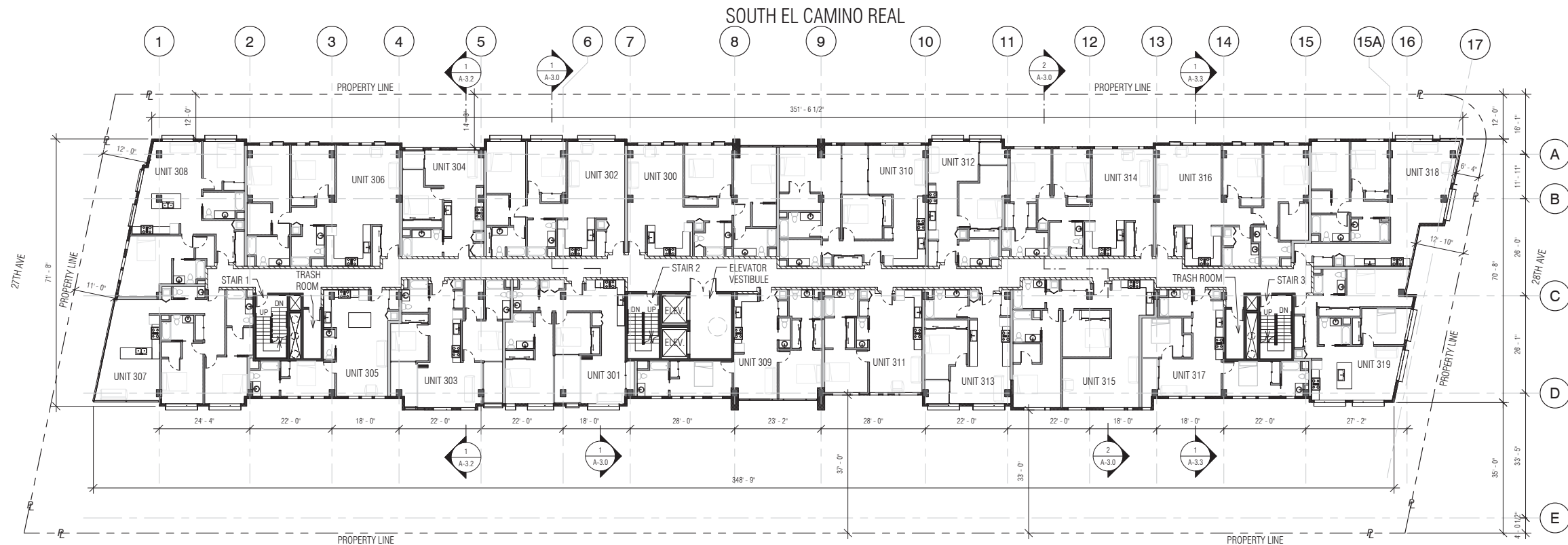
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**HILLSDALE
TERRACES**

2700 SOUTH EL CAMINO REAL
SAN MATEO, CA 94403

Job Number: 13090

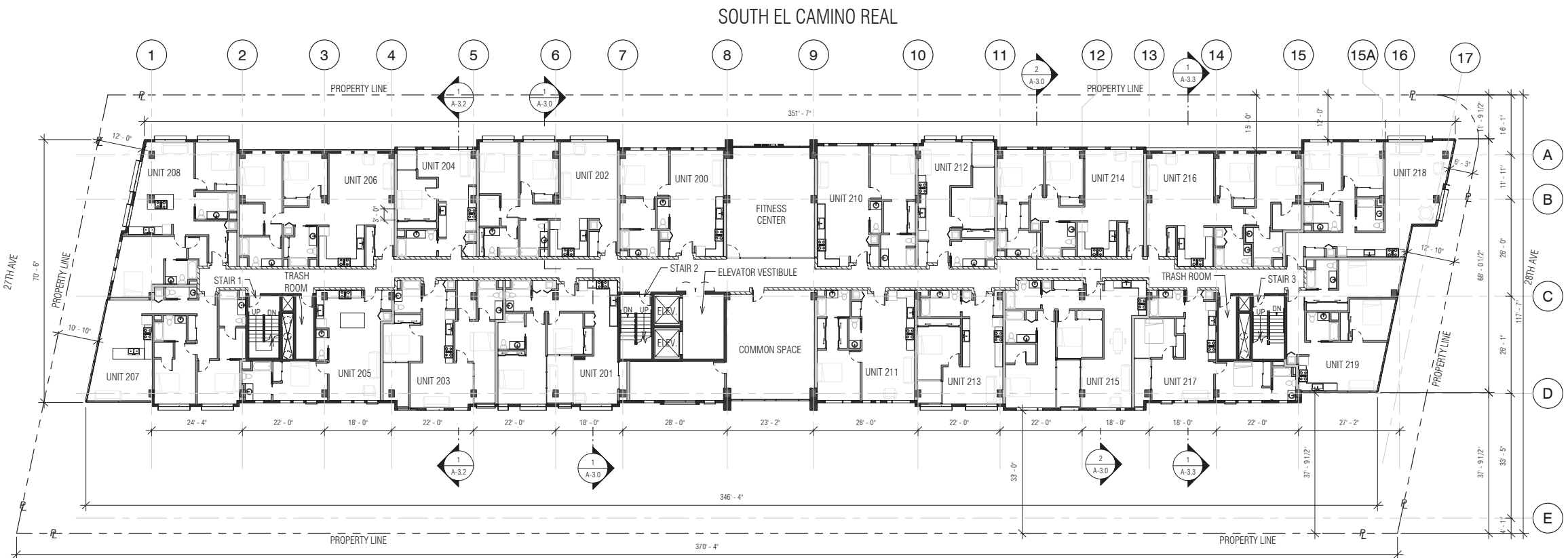
No.	Issue	Date
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2	Planning Study Session	01/16/2014
3	Planning Formal Application	04/02/2015
4	Response To Plan Check	12/17/2015
5	Response To Plan Check	04/14/2016
6	Revision to Comment	05/05/2016
7	Issue For Revision	07/22/2016
8	Issue For Revision	09/14/2016
9	Issue For Revision	12/15/2016



② Level 3
1/16" = 1'-0"

WALL LEGEND

	2 - HR FIRE-RESISTIVE ASSEMBLY
	1 - HR FIRE-RESISTIVE ASSEMBLY
	CONCRETE WALL
	INTERIOR DEMISING WALL - 1 HR. RATED
	INTERIOR WALL - NON RATED



① Level 2
1/16" = 1'-0"



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Date: 09/14/2016

Scale: 1/16" = 1'-0"

Description:

**FLOOR PLANS -
LEVEL 2 & 3**

Sheet Number:

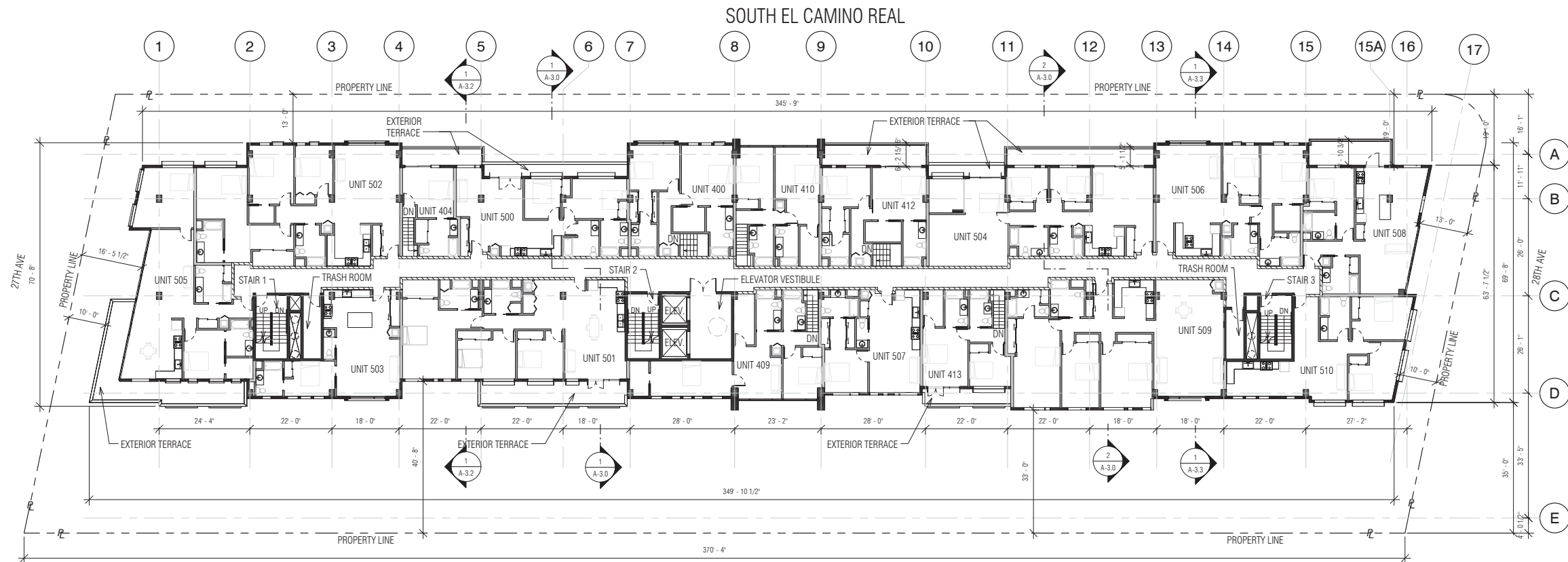
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**HILLSDALE
TERRACES**

2700 SOUTH EL CAMINO REAL
SAN MATEO, CA 94403

Job Number: 13090

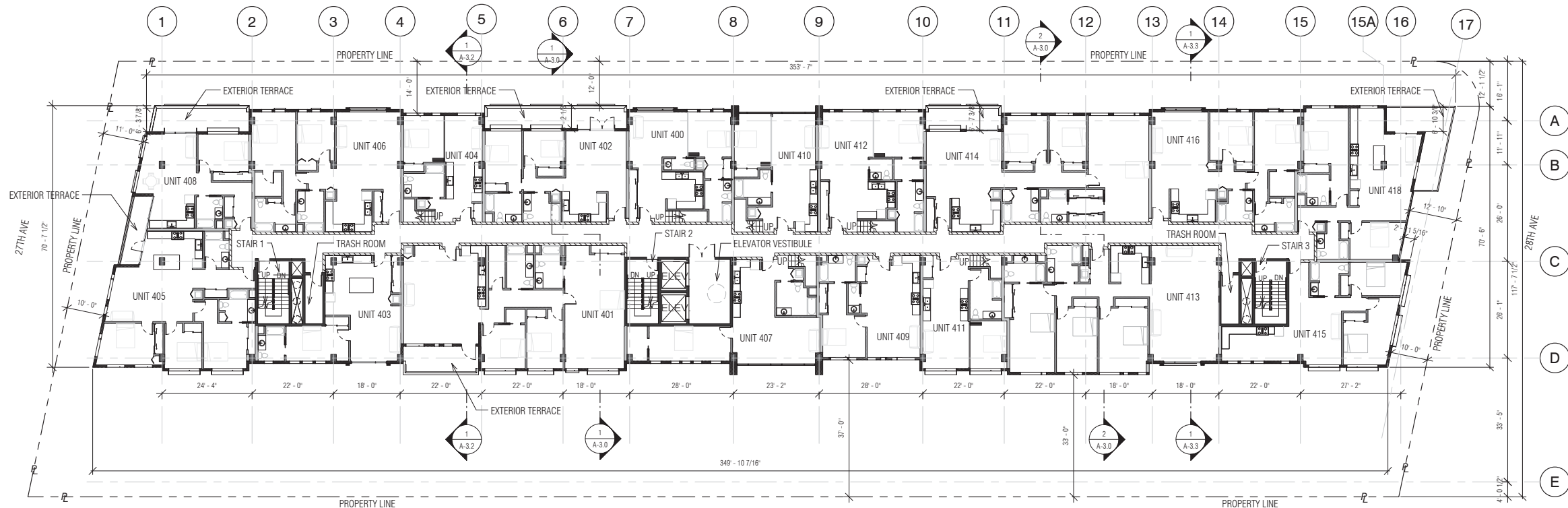
No.	Issue	Date
1	Planning Pre-Application	11/27/2013
2	Planning Study Session	01/16/2014
3	Planning Formal Application	04/02/2015
4	Response To Plan Check	12/17/2015
5	Response To Plan Check	04/14/2016
6	Revision to Comment	05/05/2016
7	Issue For Revision	07/22/2016
8	Issue For Revision	09/14/2016
9	Issue For Revision	12/15/2016



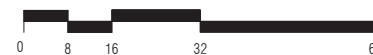
② Level 5
1/16" = 1'-0"

WALL LEGEND

	2 - HR FIRE-RESISTIVE ASSEMBLY
	1 - HR FIRE-RESISTIVE ASSEMBLY
	CONCRETE WALL
	INTERIOR DEMISING WALL - 1 HR. RATED
	INTERIOR WALL - NON RATED



① Level 4
1/16" = 1'-0"



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Scale: 1/16" = 1'-0"

Description:

**FLOOR PLANS -
LEVEL 4 & 5**

Sheet Number:

A-1.5

2700 SOUTH EL CAMINO REAL
SAN MATEO, CA 94403

Job Number: 13090

No.	Issue	Date
1	Planning Pre-Application	11/27/2013
2	Planning Study Session	01/16/2014
3	Planning Formal Application	04/02/2015
4	Response To Plan Check	12/17/2015
5	Response To Plan Check	04/14/2016
6	Revision to Comment	05/05/2016
7	Issue For Revision	07/22/2016
8	Issue For Revision	09/14/2016
9	Issue For Revision	12/15/2016



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Date: 09/14/2016

Scale: $1/16" = 1'-0"$

Description:

ROOF PLAN

Sheet Number:

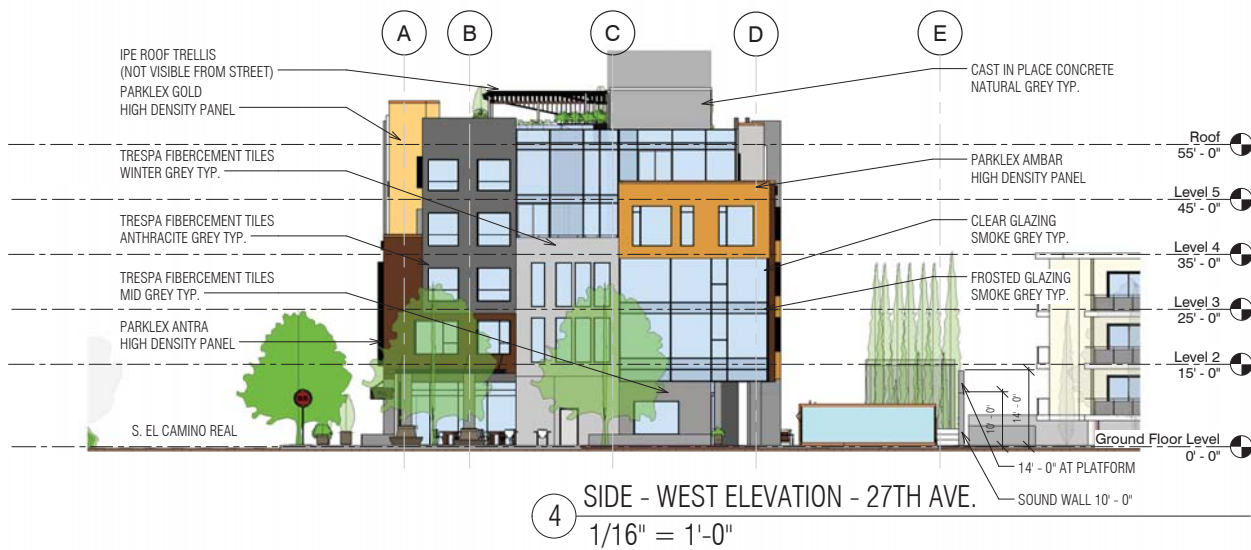
A-1.6

HILLSDALE
TERRACES

2700 SOUTH EL CAMINO REAL
SAN MATEO, CA 94403

Job Number: 13090

No.	Issue	Date
1	Planning Pre-Application	11/27/2013
2	Planning Study Session	01/16/2014
3	Planning Formal Application	04/02/2015
4	Response To Plan Check	12/17/2015
5	Response To Plan Check	04/14/2016
6	Revision to Comment	05/05/2016
7	Issue For Revision	07/22/2016
8	Issue For Revision	09/14/2016
9	Issue For Revision	12/15/2016



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Scale: 1/16" = 1'-0"

Description:

BUILDING
ELEVATIONS

Sheet Number:

A-2.0



RETAIL PROMENADE - SOUTH EL CAMINO REAL

HILLSDALE
TERRACES

2700 SOUTH EL CAMINO REAL
SAN MATEO, CA 94403

Job Number: 13090

No.	Issue	Date
1	Planning Pre-Application	11/27/2013
2	Planning Study Session	01/16/2014
3	Planning Formal Application	04/02/2015
4	Response To Plan Check	12/17/2015
5	Response To Plan Check	04/14/2016
6	Revision to Comment	05/05/2016
7	Issue For Revision	07/22/2016
8	Issue For Revision	09/14/2016
9	Issue For Revision	12/15/2016

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Date: 09/14/2016

Scale:

Description:

RETAIL
PROMENADE
PERSPECTIVE

Sheet Number:

A-2.1



HILLSDALE TERRACES - MAIN ENTRANCE & PASEO

HILLSDALE
TERRACES

2700 SOUTH EL CAMINO REAL
SAN MATEO, CA 94403

Job Number: 13090

No.	Issue	Date
1	Planning Pre-Application	11/27/2013
2	Planning Study Session	01/16/2014
3	Planning Formal Application	04/02/2015
4	Response To Plan Check	12/17/2015
5	Response To Plan Check	04/14/2016
6	Revision to Comment	05/05/2016
7	Issue For Revision	07/22/2016
8	Issue For Revision	09/14/2016
9	Issue For Revision	12/15/2016

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Date: 09/14/2016

Scale:

Description:

MAIN ENTRANCE
& PASEO

Sheet Number:

A-2.2



CORNER PERSPECTIVE AT SOUTH EL CAMINO REAL & 28TH AVENUE

HILLSDALE
TERRACES

2700 SOUTH EL CAMINO REAL
SAN MATEO, CA 94403

Job Number: 13090

No.	Issue	Date
1	Planning Pre-Application	11/27/2013
2	Planning Study Session	01/16/2014
3	Planning Formal Application	04/02/2015
4	Response To Plan Check	12/17/2015
5	Response To Plan Check	04/14/2016
6	Revision to Comment	05/05/2016
7	Issue For Revision	07/22/2016
8	Issue For Revision	09/14/2016
9	Issue For Revision	12/15/2016

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Date: 09/14/2016

Scale:

Description:

28TH AVENUE
CORNER
PERSPECTIVE

Sheet Number:

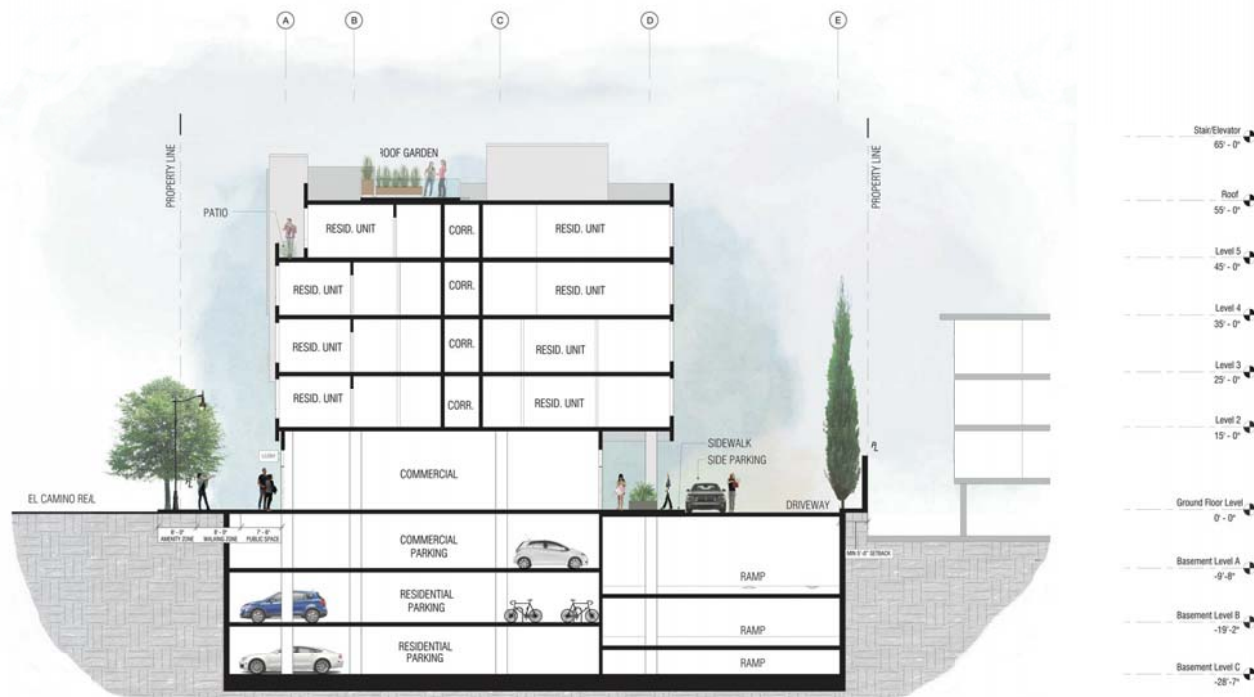
A-2.3

HILLSDALE
TERRACES

2700 SOUTH EL CAMINO REAL
SAN MATEO, CA 94403

Job Number: 13090

No.	Issue	Date
1	Planning Pre-Application	11/27/2013
2	Planning Study Session	01/16/2014
3	Planning Formal Application	04/02/2015
4	Response To Plan Check	12/17/2015
5	Response To Plan Check	04/14/2016
6	Revision to Comment	05/05/2016
7	Issue For Revision	07/22/2016
8	Issue For Revision	09/14/2016
9	Issue For Revision	12/15/2016



2 EAST FACING GARAGE SECTION
1/16" = 1'-0"



1 EAST FACING SIDEWALK SECTION
1/8" = 1'-0"

PRINT DATE: 12/19/2016 11:21:08 AM



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Date: 09/14/2016

Scale: As indicated

Description:

EAST FACING
GARAGE &
SIDEWALK
SECTION

Sheet Number:

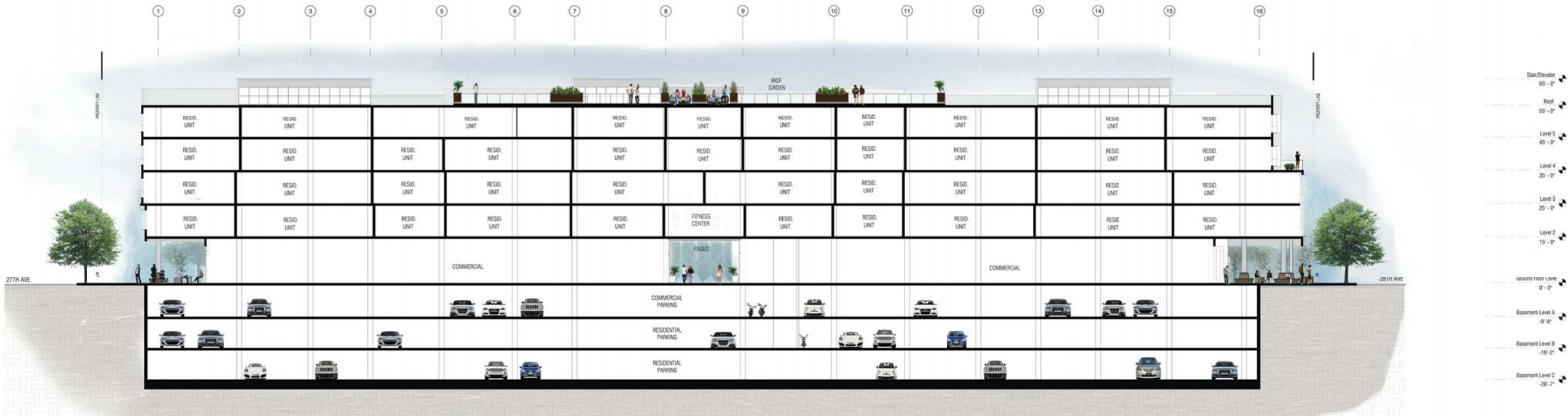
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HILLSDALE
TERRACES

2700 SOUTH EL CAMINO REAL
SAN MATEO, CA 94403

Job Number: 13090

No.	Issue	Date
1	Planning Pre-Application	11/27/2013
2	Planning Study Session	01/16/2014
3	Planning Formal Application	04/02/2015
4	Response To Plan Check	12/17/2015
5	Response To Plan Check	04/14/2016
6	Revision to Comment	05/05/2016
7	Issue For Revision	07/22/2016
8	Issue For Revision	09/14/2016
9	Issue For Revision	12/15/2016



1 LONGITUDINAL SECTION
1/16" = 1'-0"

PRINT DATE: 12/15/2016 5:13:19 PM



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Date: 09/14/2016

Scale: 1/16" = 1'-0"

Description:

LONGITUDINAL
SECTION

Sheet Number:

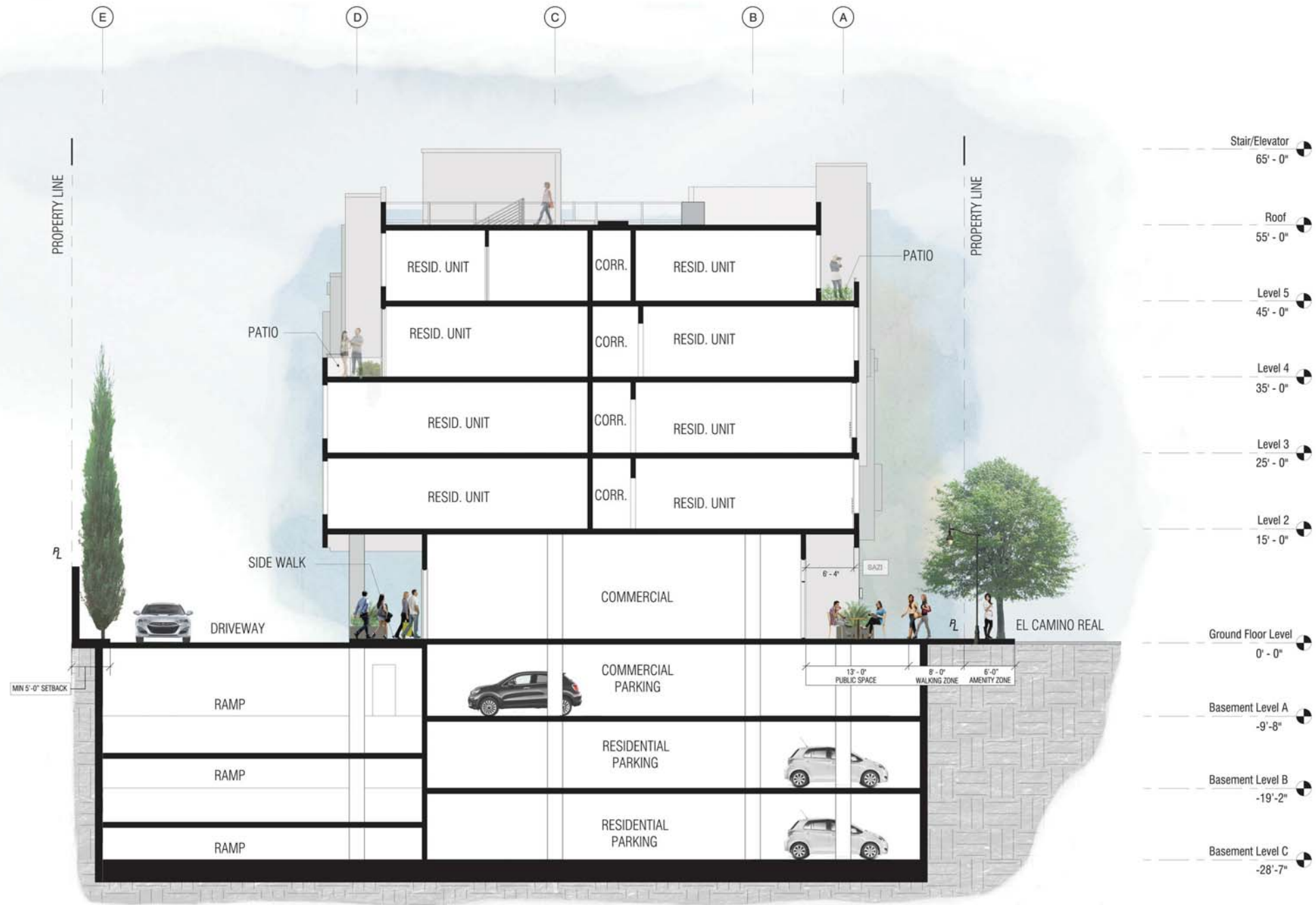
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HILLSDALE
TERRACES

2700 SOUTH EL CAMINO REAL
SAN MATEO, CA 94403

Job Number: 13090

No.	Issue	Date
1	Planning Pre-Application	11/27/2013
2	Planning Study Session	01/16/2014
3	Planning Formal Application	04/02/2015
4	Response To Plan Check	12/17/2015
5	Response To Plan Check	04/14/2016
6	Revision to Comment	05/05/2016
7	Issue For Revision	07/22/2016
8	Issue For Revision	09/14/2016
9	Issue For Revision	12/15/2016



1 WEST FACING SECTION
1/8" = 1'-0"

PRINT DATE: 12/19/2016 11:23:11 AM



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Date: 09/14/2016

Scale: 1/8" = 1'-0"

Description:

WEST FACING
BUILDING
SECTION

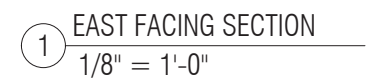
Sheet Number:

A-3.2

2700 SOUTH EL CAMINO REAL
SAN MATEO, CA 94403

Job Number: 13090

No.	Issue	Date
1	Planning Pre-Application	11/27/2013
2	Planning Study Session	01/16/2014
3	Planning Formal Application	04/02/2015
4	Response To Plan Check	12/17/2015
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Date: 09/14/2016

Scale: $1/8" = 1'-0"$

Description:

EAST FACING
BUILDING
SECTION

Sheet Number:

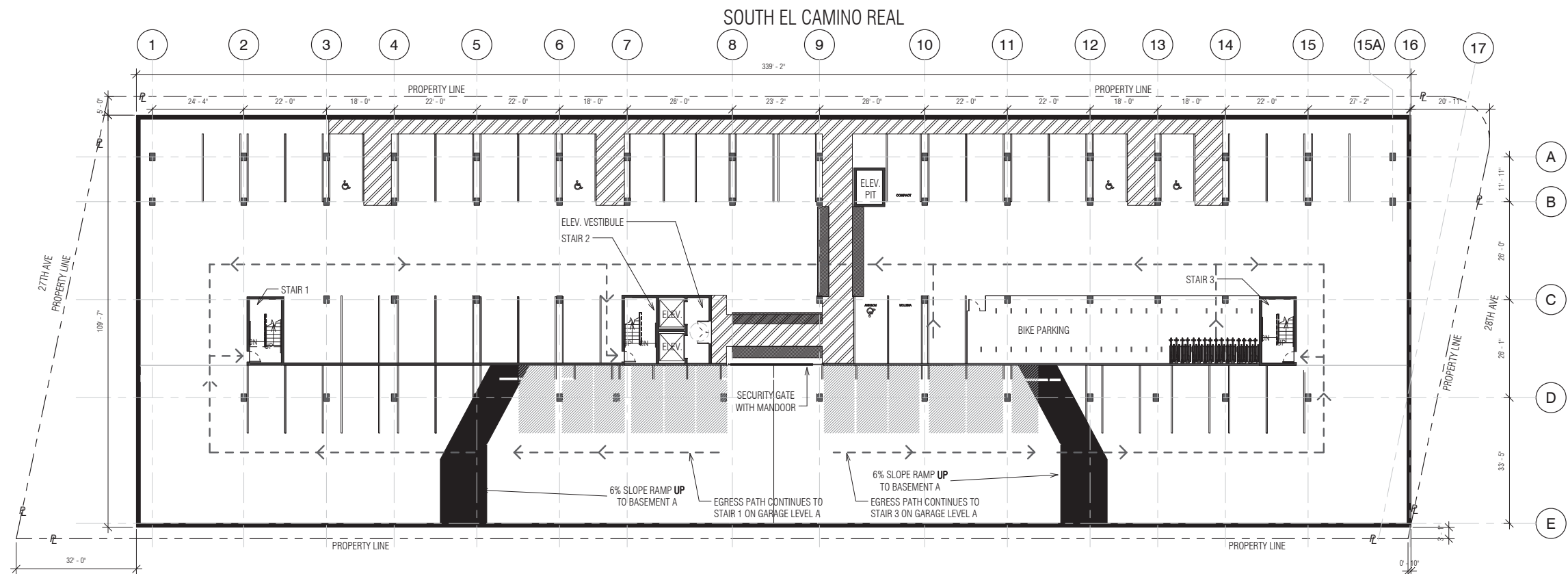
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**HILLSDALE
TERRACES**

2700 SOUTH EL CAMINO REAL
SAN MATEO, CA 94403

Job Number: 13090

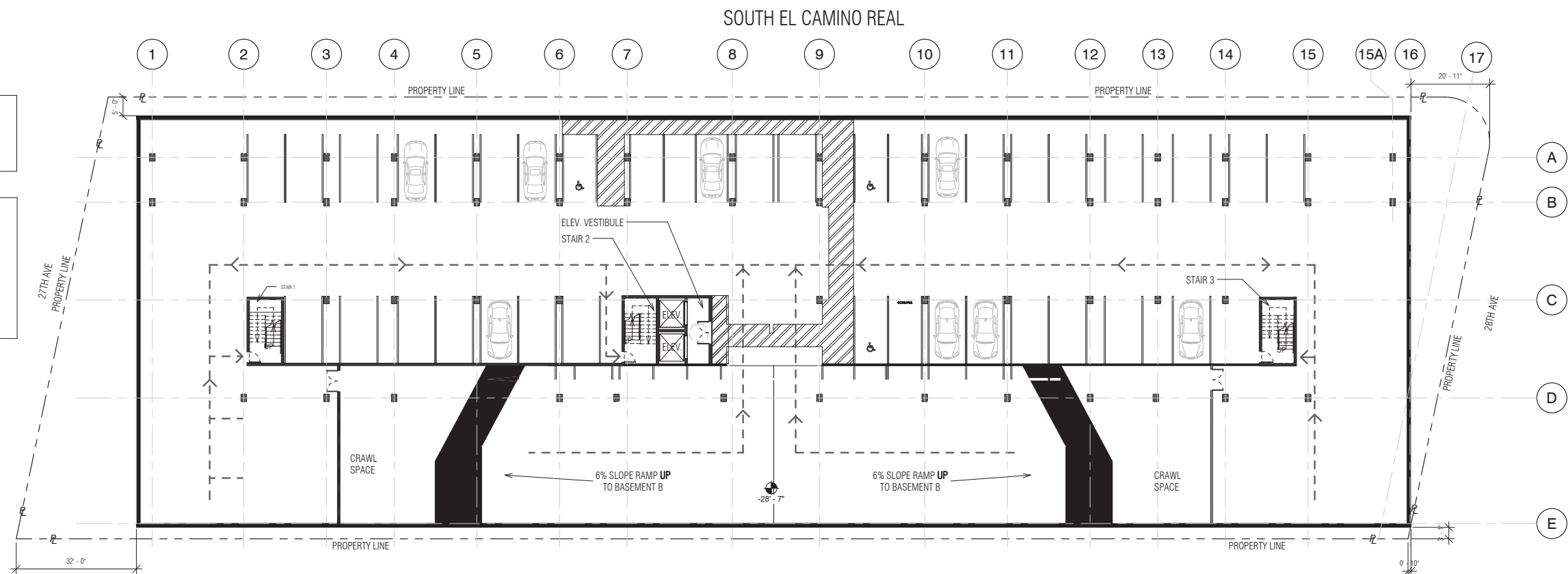
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2	Planning Study Session	01/16/2014
3	Planning Formal Application	04/02/2015
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8	Issue For Revision	09/14/2016
9	Issue For Revision	12/15/2016



① Basement Level B - Residential Parking - Egress
1/16" = 1'-0"

PARKING LEGEND	
	(C) COMMERCIAL PARKING
	(R) RESIDENTIAL PARKING

LEGEND	
	EXTERIOR ACCESSIBLE ROUTE
	EGRESS PATH
	PROPERTY LINE
	ACCESSIBLE ENTRANCE
NOTE: ALL REQUIRED EXITS FOR BUILDING SHALL BE ACCESSIBLE	



② Basement Level C - Residential Parking - Egress
1/16" = 1'-0"



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Date: 09/14/2016

Scale: 1/16" = 1'-0"

Description:

**EGRESS PLANS -
PARKING LEVEL
C AND B**

Sheet Number:

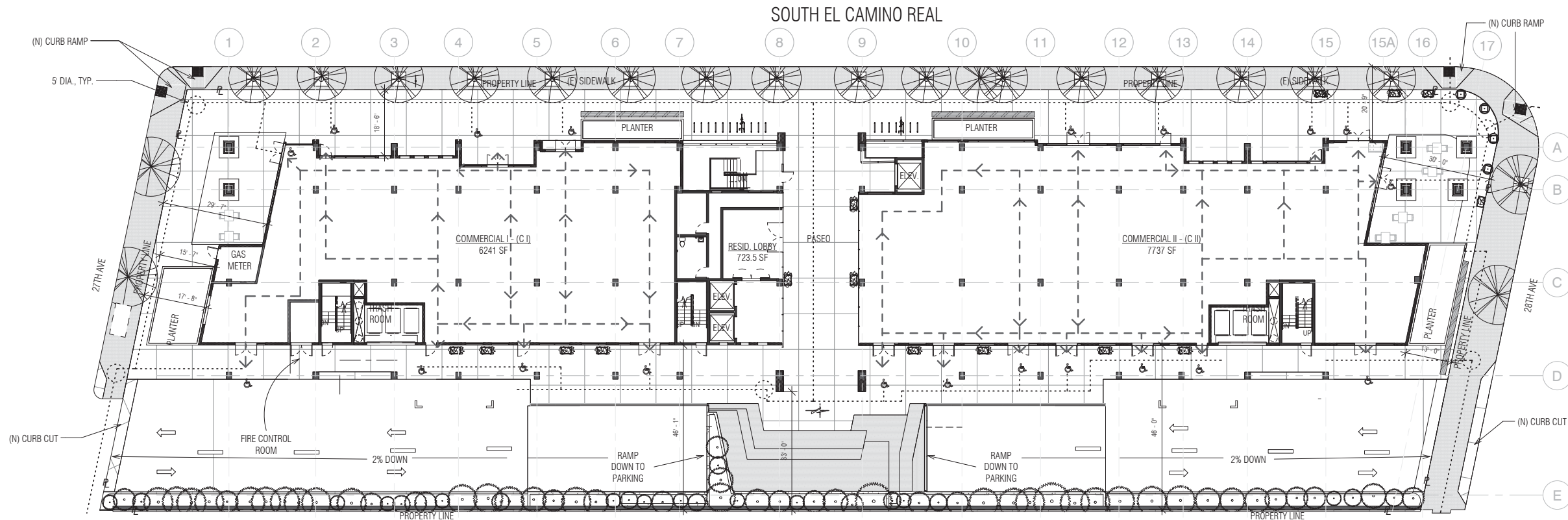
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**HILLSDALE
TERRACES**

2700 SOUTH EL CAMINO REAL
SAN MATEO, CA 94403

Job Number: 13090

No.	Issue	Date
1	Planning Pre-Application	11/27/2013
2	Planning Study Session	01/16/2014
3	Planning Formal Application	04/02/2015
4	Response To Plan Check	12/17/2015
5	Response To Plan Check	04/14/2016
6	Revision to Comment	05/05/2016
7	Issue For Revision	07/22/2016
8	Issue For Revision	09/14/2016
9	Issue For Revision	12/15/2016



① Ground Floor Level - Egress
1/16" = 1'-0"

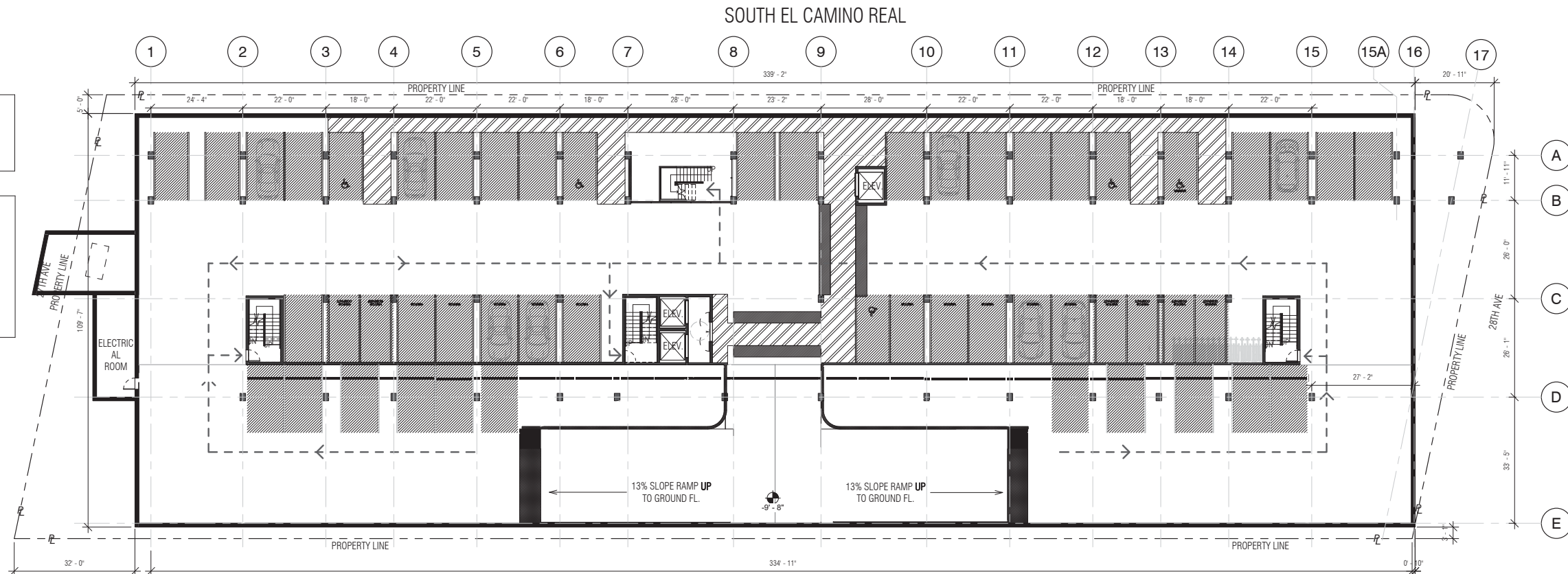
PARKING LEGEND

(C) COMMERCIAL PARKING
(R) RESIDENTIAL PARKING

LEGEND

..... EXTERIOR ACCESSIBLE ROUTE
- - - - - EGRESS PATH
- - - - - PROPERTY LINE
♿ ACCESSIBLE ENTRANCE

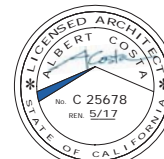
NOTE: ALL REQUIRED EXITS FOR BUILDING SHALL BE ACCESSIBLE



② Basement Level A - Commercial Parking - Egress
1/16" = 1'-0"



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Date: 09/14/2016

Scale: 1/16" = 1'-0"

Description:

**EGRESS PLAN -
GROUND FLOOR
/ PARKING LEVEL**

Sheet Number:

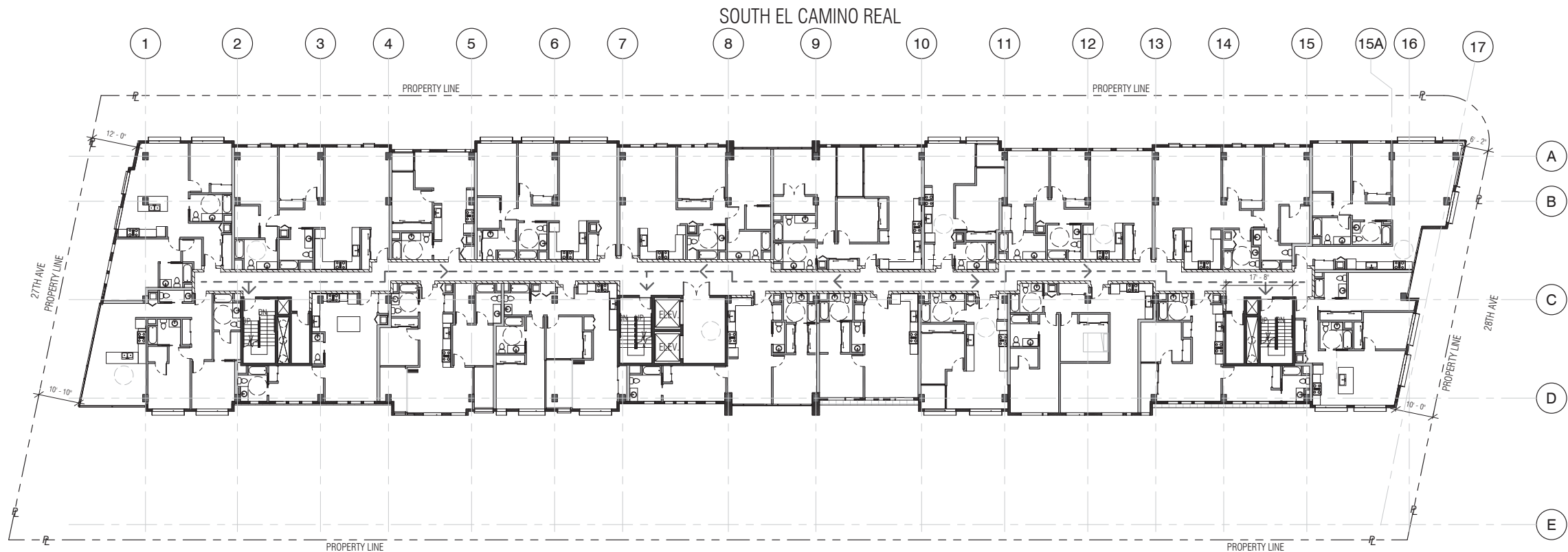
A-6.1

HILLSDALE
TERRACES

2700 SOUTH EL CAMINO REAL
SAN MATEO, CA 94403

Job Number: 13090

No.	Issue	Date
1	Planning Pre-Application	11/27/2013
2	Planning Study Session	01/16/2014
3	Planning Formal Application	04/02/2015
4	Response To Plan Check	12/17/2015
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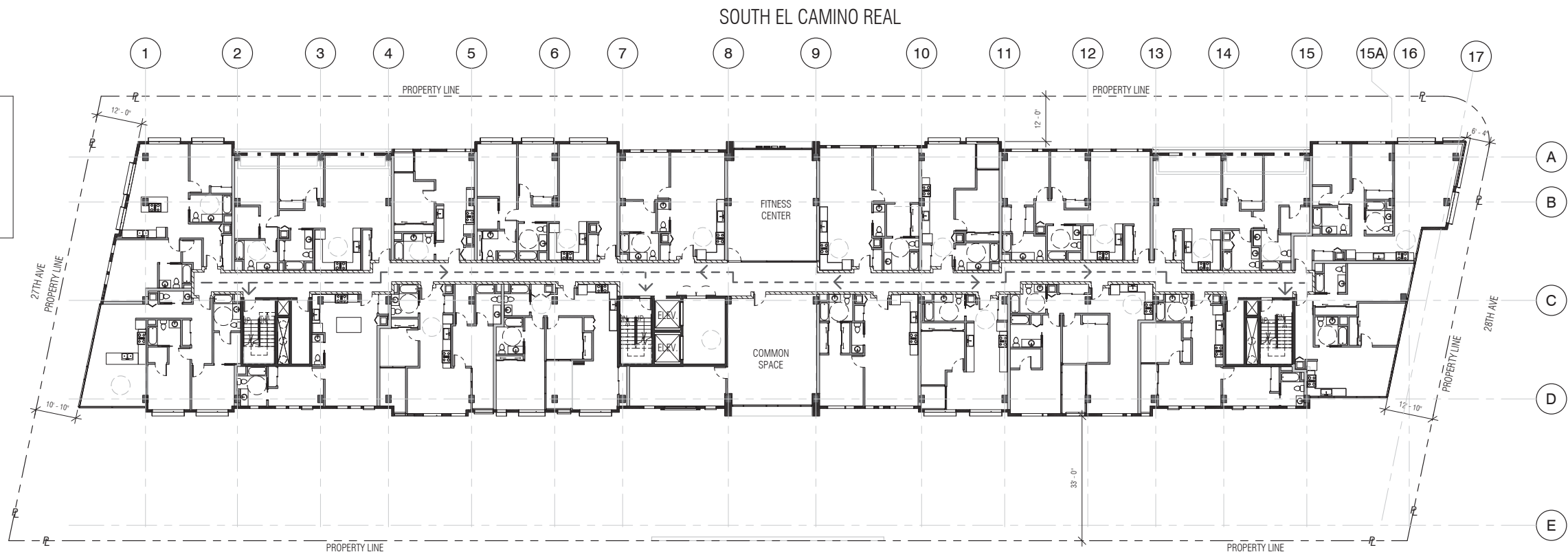


2 Level 3 - Egress
1/16" = 1'-0"

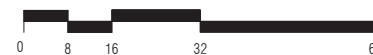
LEGEND

- EXTERIOR ACCESSIBLE ROUTE
- - - - - EGRESS PATH
- - - - - PROPERTY LINE
- ♿ ACCESSIBLE ENTRANCE

NOTE : ALL REQUIRED EXITS FOR BUILDING SHALL BE ACCESSIBLE



1 Level 2 - Egress
1/16" = 1'-0"



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Date: 09/14/2016

Scale: 1/16" = 1'-0"

Description:

EGRESS PLANS -
LEVEL 2 & 3

Sheet Number:

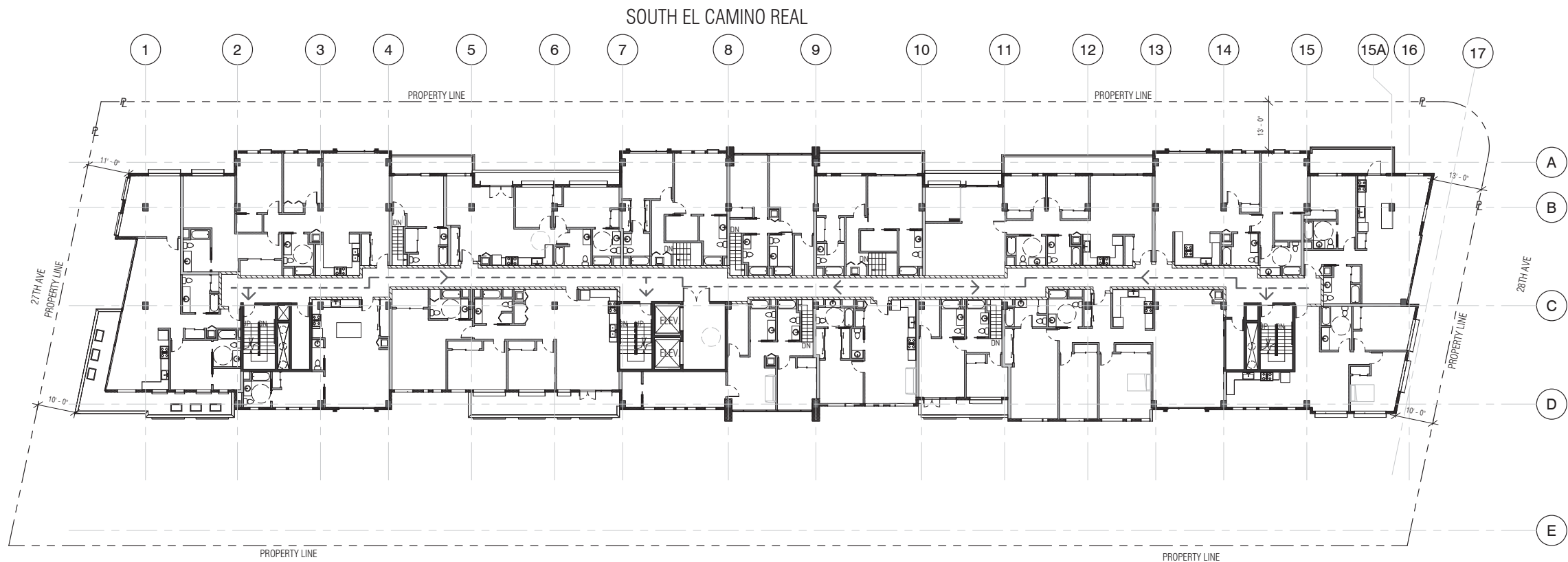
A-6.2

HILLSDALE
TERRACES

2700 SOUTH EL CAMINO REAL
SAN MATEO, CA 94403

Job Number: 13090

No.	Issue	Date
1	Planning Pre-Application	11/27/2013
2	Planning Study Session	01/16/2014
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7	Issue For Revision	07/22/2016
8	Issue For Revision	09/14/2016
9	Issue For Revision	12/15/2016

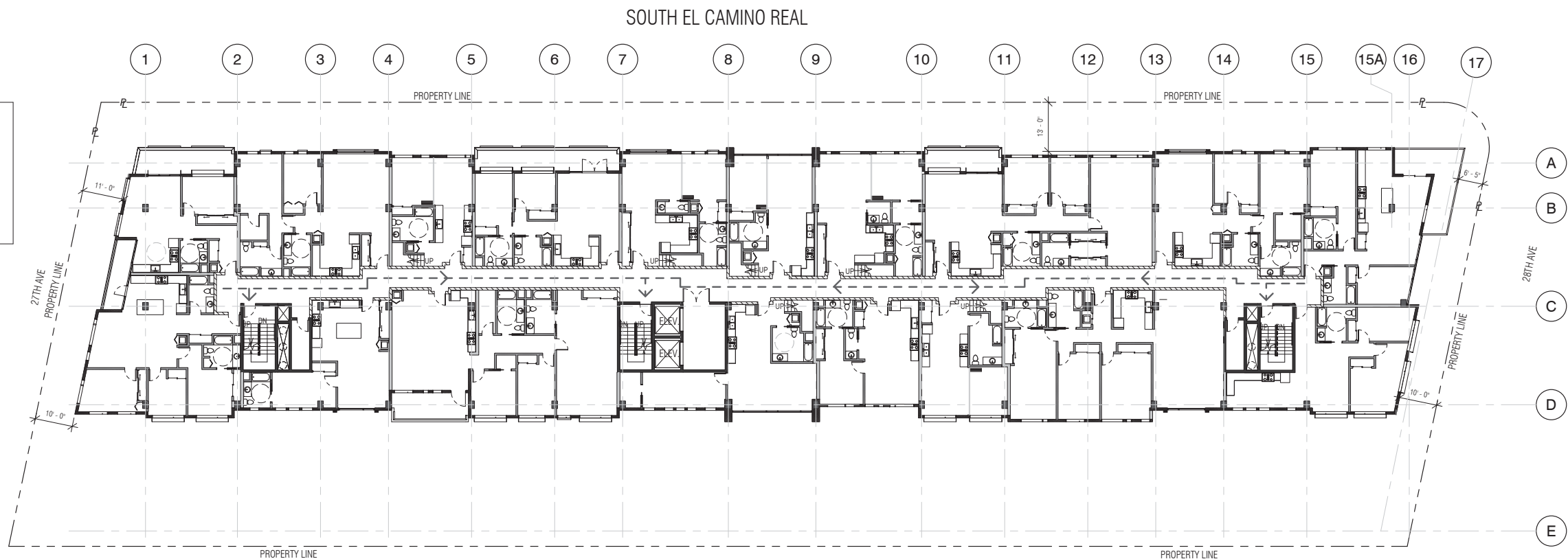


2 Level 5 - Egress
1/16" = 1'-0"

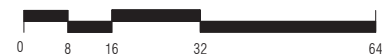
LEGEND

- EXTERIOR ACCESSIBLE ROUTE
- - - - - EGRESS PATH
- - - - - PROPERTY LINE
- ♿ ACCESSIBLE ENTRANCE

NOTE : ALL REQUIRED EXITS FOR BUILDING SHALL BE ACCESSIBLE



1 Level 4 - Egress
1/16" = 1'-0"



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Date: 09/14/2016

Scale: 1/16" = 1'-0"

Description:

EGRESS PLANS -
LEVEL 4 & 5

Sheet Number:

A-6.3

2700 SOUTH EL CAMINO REAL
SAN MATEO, CA 94403

Job Number: 13090

No.	Issue	Date
1	Planning Pre-Application	11/27/2013
2	Planning Study Session	01/16/2014
3	Planning Formal Application	04/02/2015
4	Response To Plan Check	12/17/2015
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9	Issue For Revision	12/15/2016



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Date: 09/14/2016

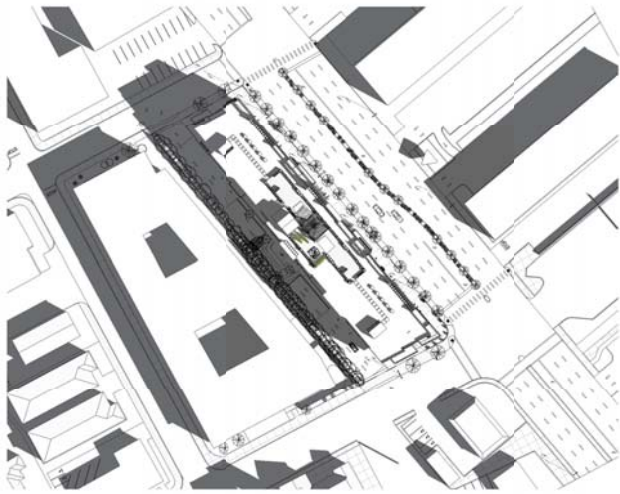
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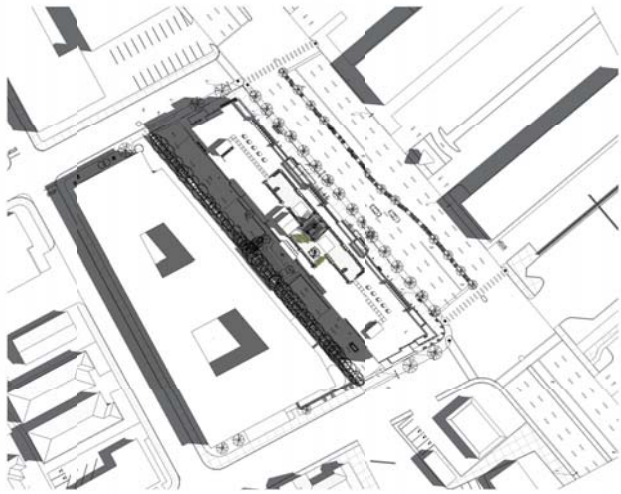
EGRESS ROOF
PLAN

Sheet Number:

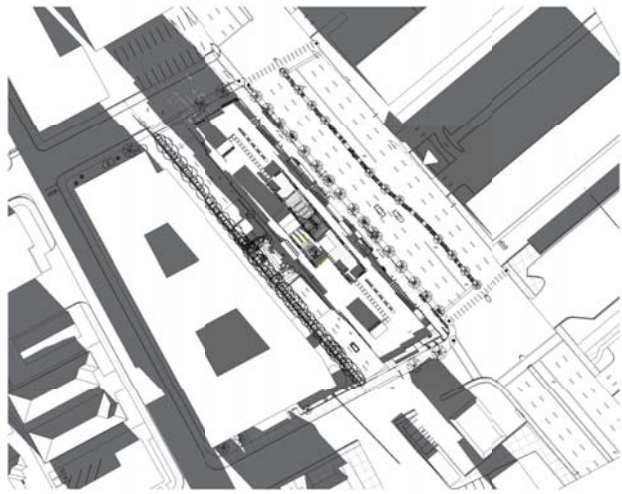
A-6.4



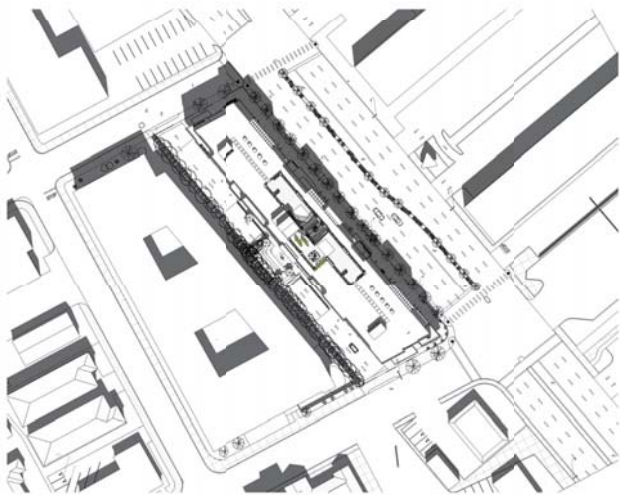
① SPRING EQUINOX 9AM
1" = 100'-0"



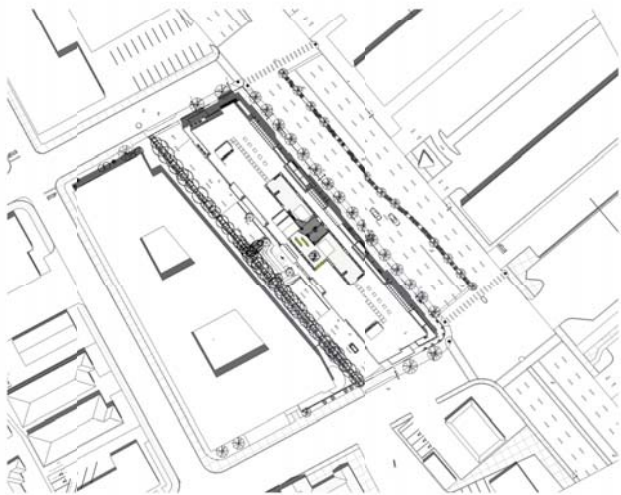
④ SUMMER SOLISTICE 9AM
1" = 100'-0"



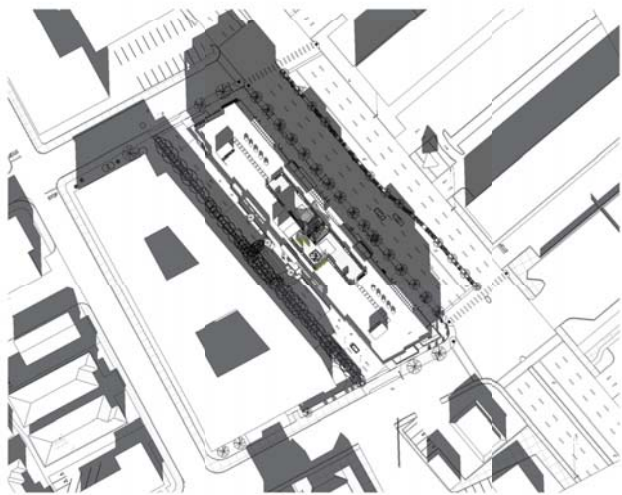
⑦ WINTER SOLISTICE 9AM
1" = 100'-0"



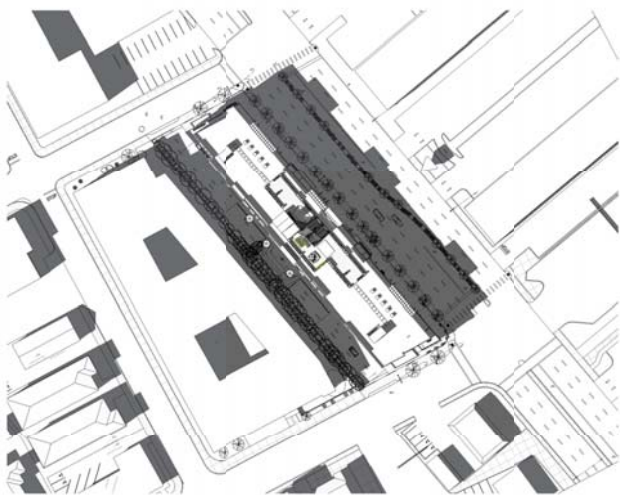
② SPRING EQUINOX 12PM
1" = 100'-0"



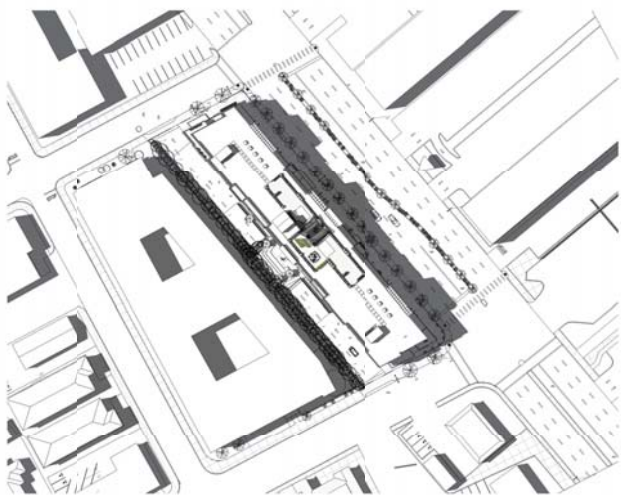
⑤ SUMMER SOLISTICE 12PM
1" = 100'-0"



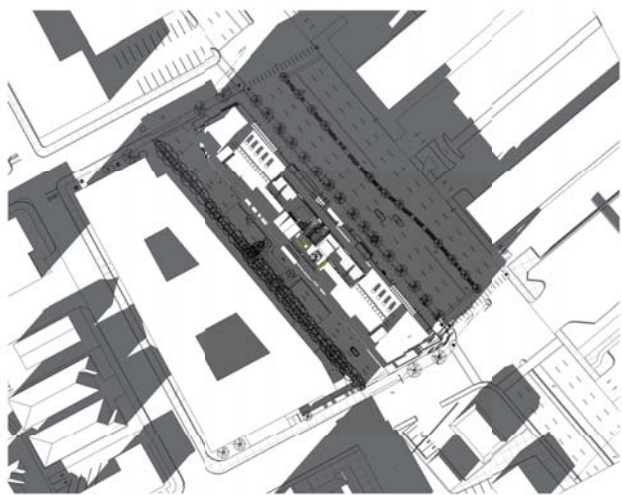
⑧ WINTER SOLISTICE 12PM
1" = 100'-0"



⑥ SPRING EQUINOX 3PM
1" = 100'-0"



③ SUMMER SOLISTICE 3PM
1" = 100'-0"



⑨ WINTER SOLISTICE 3PM
1" = 100'-0"

HILLSDALE
TERRACES

2700 SOUTH EL CAMINO REAL
SAN MATEO, CA 94403

Job Number: 13090

No.	Issue	Date
1	Planning Pre-Application	11/27/2013
2	Planning Study Session	01/16/2014
3	Planning Formal Application	04/02/2015
4	Response To Plan Check	12/17/2015
5	Response To Plan Check	04/14/2016
6	Revision to Comment	05/05/2016
7	Issue For Revision	07/22/2016
8	Issue For Revision	09/14/2016
9	Issue For Revision	12/15/2016

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Date: 09/14/2016

Scale: 1" = 100'-0"

Description:

SHADOW
STUDIES

Sheet Number:

A-7.0

HILLSDALE
TERRACES

2700 SOUTH EL CAMINO REAL
SAN MATEO, CA 94403

Job Number: 13090

No.	Issue	Date
1	Planning Pre-Application	11/27/2013
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9	Issue For Revision	12/15/2016



1 NORTH ELEVATION - SUMMER SOLSTICE 9AM
1" = 50'-0"



4 SOUTH ELEVATION - SUMMER SOLSTICE 3PM
1" = 50'-0"



2 NORTH ELEVATION - SPRING/FALL EQUINOX 9AM
1" = 50'-0"



5 SOUTH ELEVATION - SPRING/FALL EQUINOX 3PM
1" = 50'-0"



3 NORTH ELEVATION - WINTER SOLSTICE 9AM
1" = 50'-0"



6 SOUTH ELEVATION - WINTER SOLSTICE 3PM
1" = 50'-0"

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Date: 09/14/2016

Scale: 1" = 50'-0"

Description:

SHADOW STUDY
- NORTH/SOUTH
ELEVATION

Sheet Number:

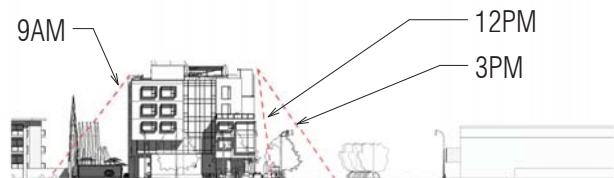
A-7.1

HILLSDALE
TERRACES

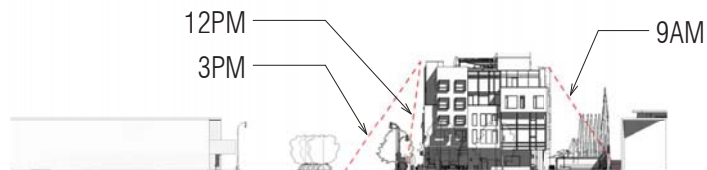
2700 SOUTH EL CAMINO REAL
SAN MATEO, CA 94403

Job Number: 13090

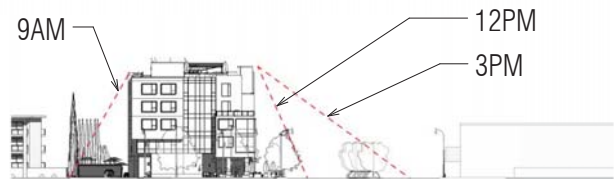
No.	Issue	Date
1	Planning Pre-Application	11/27/2013
2	Planning Study Session	01/16/2014
3	Planning Formal Application	04/02/2015
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8	Issue For Revision	09/14/2016
9	Issue For Revision	12/15/2016



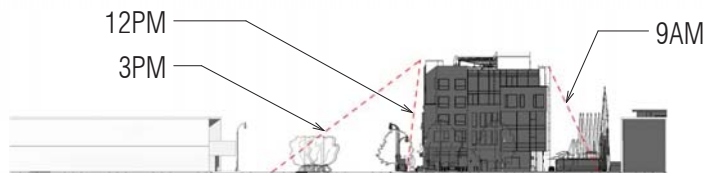
1 EAST ELEVATION - SUMMER SOLSTICE 9AM
1" = 50'-0"



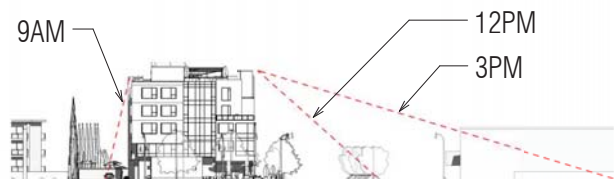
4 WEST ELEVATION - SUMMER SOLSTICE 3PM
1" = 50'-0"



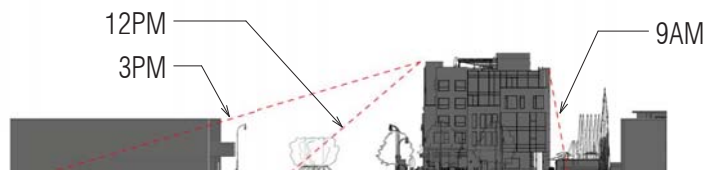
2 EAST ELEVATION - SPRING/FALL EQUINOX 9AM
1" = 50'-0"



5 WEST ELEVATION - SPRING/FALL EQUINOX 3PM
1" = 50'-0"



3 EAST ELEVATION - WINTER SOLSTICE 9AM
1" = 50'-0"



6 WEST ELEVATION - WINTER SOLSTICE 3PM
1" = 50'-0"

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Date: 09/14/2016

Scale: 1" = 50'-0"

Description:

SHADOW STUDY
- EAST/WEST
ELEVATION

Sheet Number:

A-7.2

HILLSDALE
TERRACES

2700 SOUTH EL CAMINO REAL
SAN MATEO, CA 94403

Job Number: 13090

No.	Issue	Date
1	Planning Pre-Application	11/27/2013
2	Planning Study Session	01/16/2014
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Date: 09/14/2016

Scale: 1" = 1'-0"

Description:

EXISTING SITE
PHOTOS

Sheet Number:

A-7.3

Lighting Schedule								
Mark	Item	Qty	Manufac.	Model #	Description	Material Finish	Dimensions	Addtl Notes
L-1	LED LIGHT	-	TMS LIGHTING	QS-CAL	CALVIN PENDANT	MATTE BLACK	16" D X 7 3/4"H	SUITABLE FOR WET LOCATION
L-2	LED LIGHT	-	BEGA	4426P.537	SURFACE WALL - LINEAR W/ WHITE ACRYLIC DIFFUSER	POWDER COATED BLACK	25 5/8" X7 7/8" X 6 1/4"	SUITABLE FOR WET LOCATION
L-3	LED LIGHT	-	BEGA	8062LED	SHIELDED BOLLARD WITH SYMMETRICAL LIGHT DISTRIBUTION	POWDER COATED BLACK	10 3/8" X 28 1/8" X 5 1/4"	SUITABLE FOR WET LOCATION
L-4	LED LIGHT	-	HESS	LEDIA LL 00 36	RECESSED FRAMELESS LINEAR LED GLASS	ANODIZED ALUMINUM	19 5/8"L X 1 3/8"W	SUITABLE FOR WET LOCATION
L-5	LED LIGHT	-	Q-TRAN LED	IQ-35-50-90-2.6	LED IP67 FLEXIBLE TAPE LIGHT	WARM WHITE	35"L X 1/2"W	DIMMABLE W/ MOTION SENSOR
L-6	LED LIGHT	-	BEGA	9499LED	LED POLE TOP LUMINAIRES	POWDER COATED BLACK	17 3/8"L X 2 3/8"H X 10"W	OUTDOOR, 10' POLE
L-7	LED LIGHT	-	PHILIPS	P6R LYTEPROFILE	6" RECESSED ROUND DOWNLIGHT	WHITE	6"Dia X 4 1/2"H	SUITABLE FOR WET LOCATION



L-1



L-2



L-3



L-4



L-5



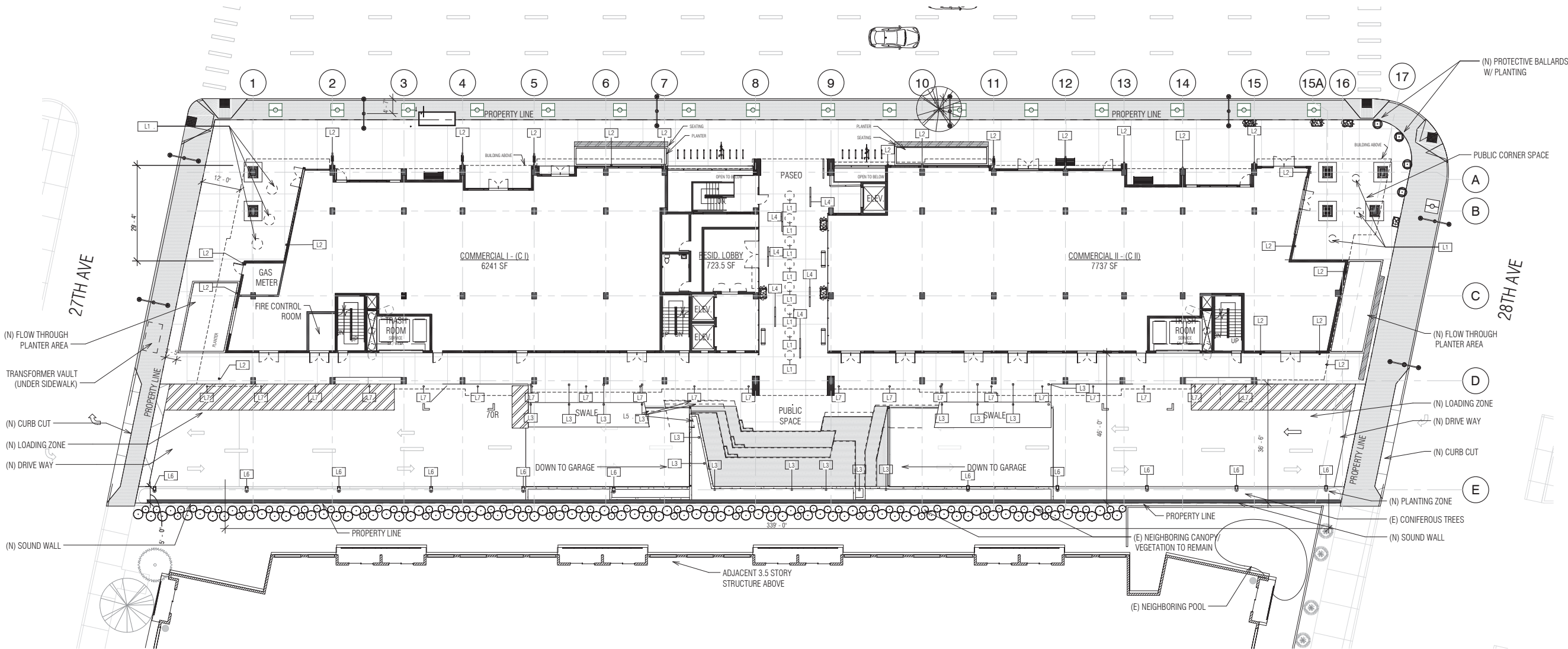
L-6



L-7

2 LIGHT IMAGES
3/64" = 1'-0"

- EXTERIOR LIGHT LEGEND
- OUTDOOR PENDANT LIGHT
 - EXTERIOR LED WALL SCONCE
 - BOLLARD LED LIGHT
 - LINEAR RECESSED FLOOR LIGHT
 - OUTDOOR LED STRIP LIGHT
 - ▣ LED POLE TOP LUMINAIRES
 - RECESSED DOWNLIGHT



1 Ground Floor - Lighting Plan
1/16" = 1'-0"

HILLSDALE
TERRACES

2700 SOUTH EL CAMINO REAL
SAN MATEO, CA 94403

Job Number: 13090

No.	Issue	Date
1	Planning Pre-Application	11/27/2013
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6	Revision to Comment	05/05/2016
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9	Issue For Revision	12/15/2016

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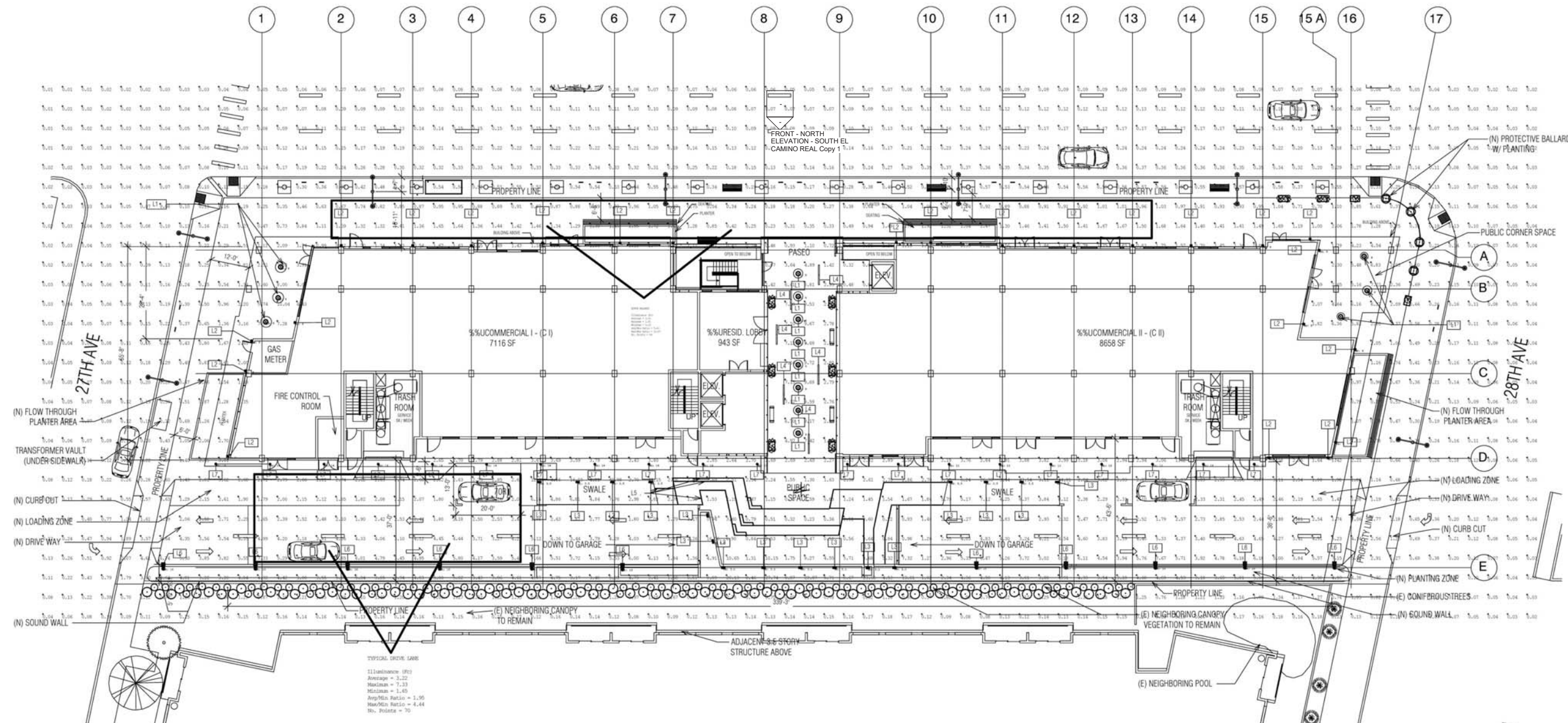
Scale: As indicated

Description:

EXTERIOR
LIGHTING PLAN

Sheet Number:

A-8.1



Luminaire Schedule										Filename
Symbol	Qty	Label	Arrangement	Lum. Lumens	LLF	LDD	LLD	BF	Description	
○	14	L1	SINGLE	1073	0.900	1.000	0.900	1.000	TMS LIGHTING - CAL-0-16-19LED-COV-40K-XXX-F15-XXXXXX - SUSPENDED	CAL16-19LED.ies
■	24	L2	SINGLE	2681	0.900	1.000	0.900	1.000	BEGA - 4426P_537 - WALL MOUNT	4426P_537.ies
□	16	L3	SINGLE	1220	0.900	1.000	0.900	1.000	BEGA - 8062LED - BOLLARD	8062LED.ies
●	11	L6	SINGLE	3386	0.900	1.000	0.900	1.000	BEGA - 9499LED-TYPE III - POLE MOUNT	9499LED_Type III.ies
○	20	L7	SINGLE	1014	0.900	1.000	0.900	1.000	PHILIPS - LIGHTOLIER - P6RD10NZ10UVB-P6RD835VB-P6RDCL - RECESSED	P6RD10NZ10UVB-P6RD835VB-P6RDCL.ies

Calculation Summary							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
NORTH WALKWAY	Illuminance	Fc	1.01	1.92	0.18	5.61	10.67
TYPICAL DRIVE LANE	Illuminance	Fc	3.22	7.33	1.65	1.95	4.44

CALCULATIONS ONLY REPRESENT EQUIPMENT SHOWN IN SCHEDULE. ADDITIONAL CONTRIBUTION FROM EXISTING EQUIPMENT NOT INCLUDED

* FOR PHOTOMETRY ONLY. SEE A-1.3.1 FOR LATEST GROUND FLOOR PLAN

LIGHTING LAYOUT VERIFICATION

ALL VALUES SHOWN ARE MAINTAINED HORIZONTAL FOOTCANDLES AT GRADE

PHOTOMETRIC DATA USED AS INPUT FOR THESE CALCULATIONS IS BASED ON ESTABLISHED IES PROCEDURES AND PUBLISHED LAMP RATINGS. FIELD PERFORMANCE WILL DEPEND ON ACTUAL LAMP, BALLAST, ELECTRICAL, AND SITE CHARACTERISTICS.

Calculations have been performed according to IES standards and good practice. Some differences between measured values and calculated results may occur due to tolerances in calculation methods, testing procedures, component performance, measurement techniques and field conditions such as voltage and temperature variations. Input data used to generate the attached calculations such as room dimensions, reflectances, furniture and architectural elements significantly affect the lighting calculations. If the real environment conditions do not match the input data, differences will occur between measured values and calculated values.




Associated Lighting Representatives, Inc.



ASSOCIATED LIGHTING REPRESENTATIVES, INC.
7777 PARDEE LANE
P.O. BOX 2265
OAKLAND, CA 94621
PHONE: (510) 638-0158 - FAX (510) 638-2908

REPORT FOR: COSTA BROWN ARCHITECTURE; MARK ZANNAD
BY: APPLICATIONS ENGINEERING; DENNIS L. LAVANWAY
SALES REPRESENTATIVE: ALR; TIM HALEY



AGI32 VERSION 16.4
AGI (C) 1999-2015 LIGHTING ANALYSTS, INC.
10268 W. CENTENNIAL RD. SUITE 202
LITTLETON, CO 80127

PROJECT DESCRIPTION

2700 EL CAMINO REAL
SAN MATEO, CA

DRAWING NO. / INPUT FILE

12847HAL-REL-D SHEET.DWG / .A32

SCALE

1" = 16'

SHEET

1 OF 1

DATE

9/10/2015

REV

0

A 8.2

South El Camino Real Site Furnishing Schedule								
Mark	Item	Qty	Manufac.	Model #	Description	Material Finish	Dimensions (L x W x H)	Add'l Notes
SF-1	TRASH CAN	6	VICTOR STANLEY INC.	PRONGS SERIES, D-454	36 GALLON CAPACITY, SURFACE MOUNTED	BLACK, POWDER COAT	2'-0" D X 2'-11"	
SF-2	TREE GRATE	18	URBAN ACCESSORIES	GT-TITLE 24		POWDER COAT PA, BOD (BLACK)	4' X 6'	CUSTOMIZED TO PROVIDE TWO 4" HOLES FOR BIKELINE ACCESS
SF-3	PLANTER	3	WABASH VALLEY			CERAMIC	2' X 2'	
SF-5	PLANTER	2	WABASH VALLEY			SLAT PATTERN, BLACK POWDER COAT	24" X 24" X 18"	
SF-7	BIKE RACK	14	WELLS	CIRCULAR RACK, BACKGROUND		STAINLESS STEEL	30" X 6" X 2'-6"	
SF-8	BENCH	6	WABASH VALLEY	ESTATE SERIES		SLAT PATTERN, BLACK POWDER COAT	2'-2 3/4" X 6'-2 3/4" X 30"	



SF-1



SF-2



SF-3



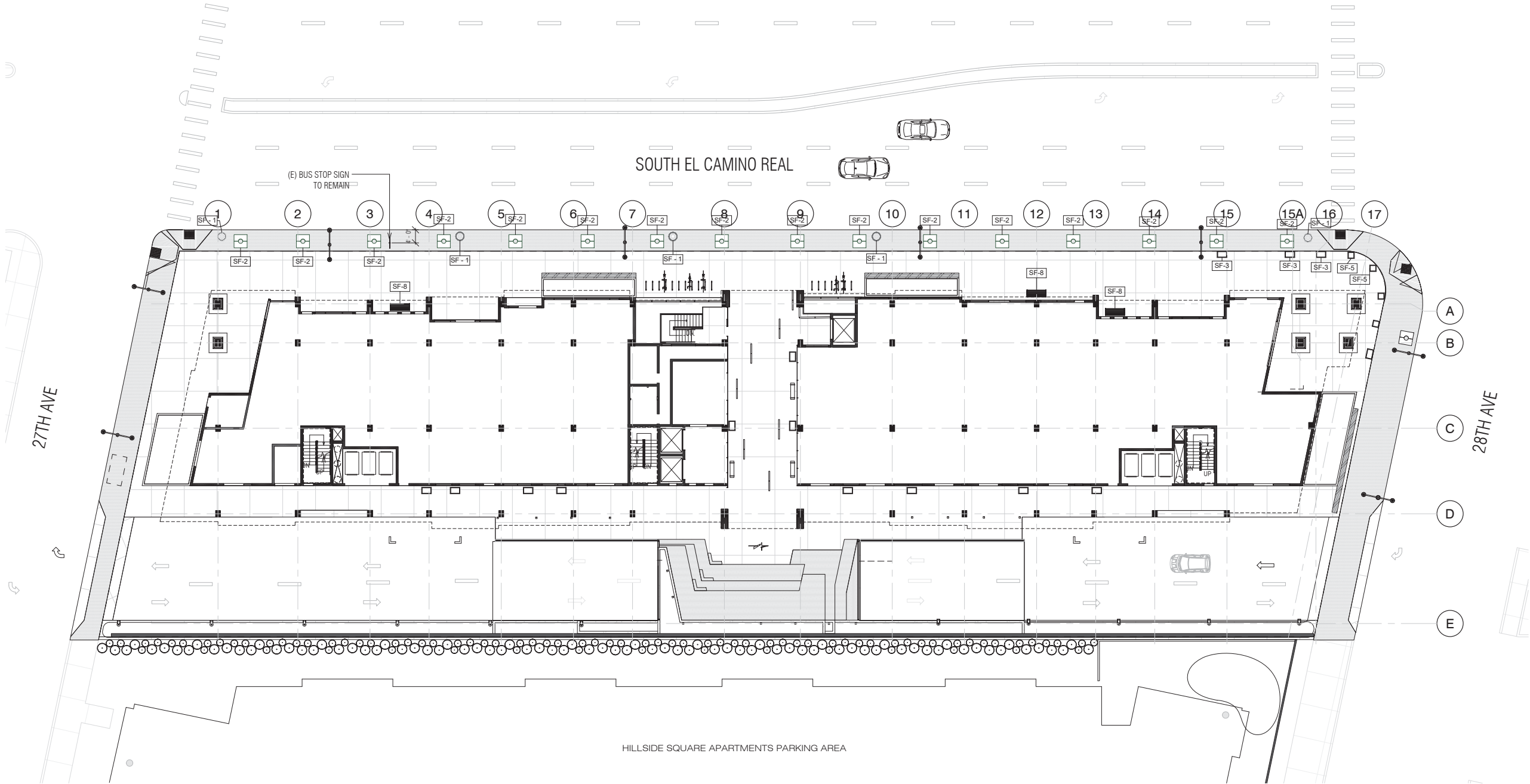
SF-5



SF-7



SF-8



1 Ground Floor - Hardscape Plan
1/16" = 1'-0"

Costa Brown
Architecture
1620 Montgomery Street, Suite 300
San Francisco, CA 94111
Tel: 415 986 0101

HILLSDALE
TERRACES

2700 SOUTH EL CAMINO REAL
SAN MATEO, CA 94403

Job Number: 13090

No.	Issue	Date
1	Planning Pre-Application	11/27/2013
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Date: 09/14/2016

Scale: 1/16" = 1'-0"

Description:

SITE
FURNISHINGS &
HARDSCAPE
PLAN

Sheet Number:

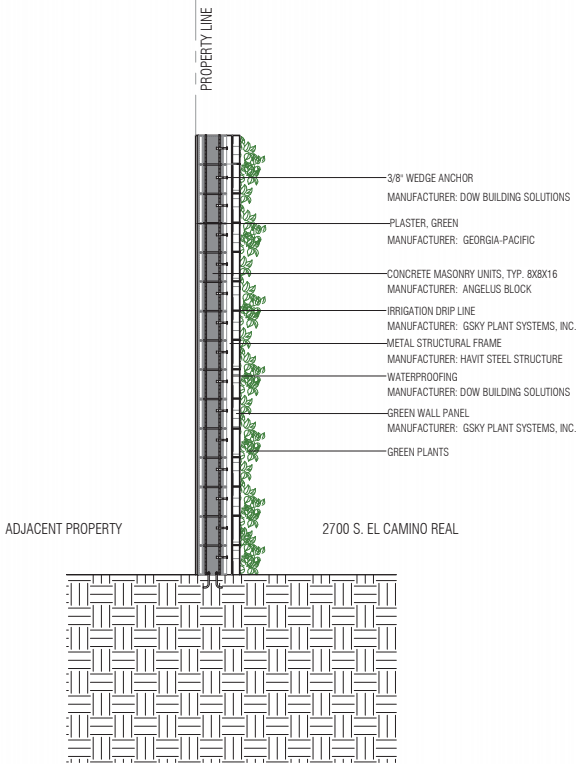
A-8.3

HILLSDALE
TERRACES

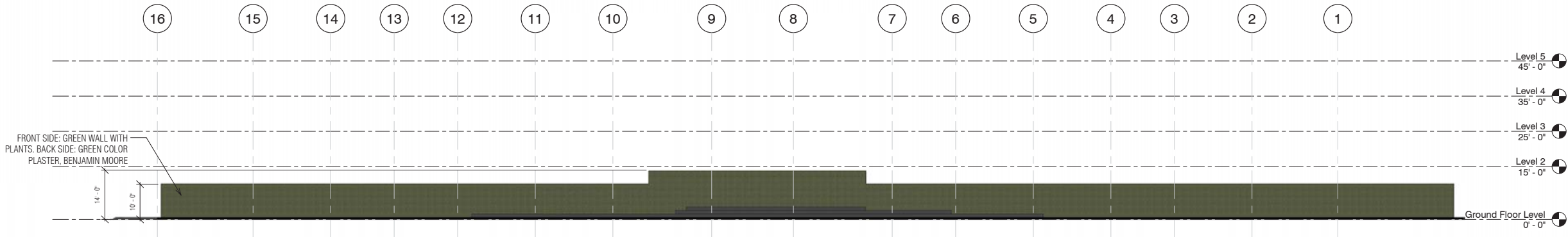
2700 SOUTH EL CAMINO REAL
SAN MATEO, CA 94403

Job Number: 13090

No.	Issue	Date
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9	Issue For Revision	12/15/2016



2 CMU Wall Section
1/2" = 1'-0"



1 CMU WALL ELEVATION
1/16" = 1'-0"

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Scale: As indicated

Description:

WALL
ELEVATION AND
SECTION ON SITE
BOUNDARY

Sheet Number:

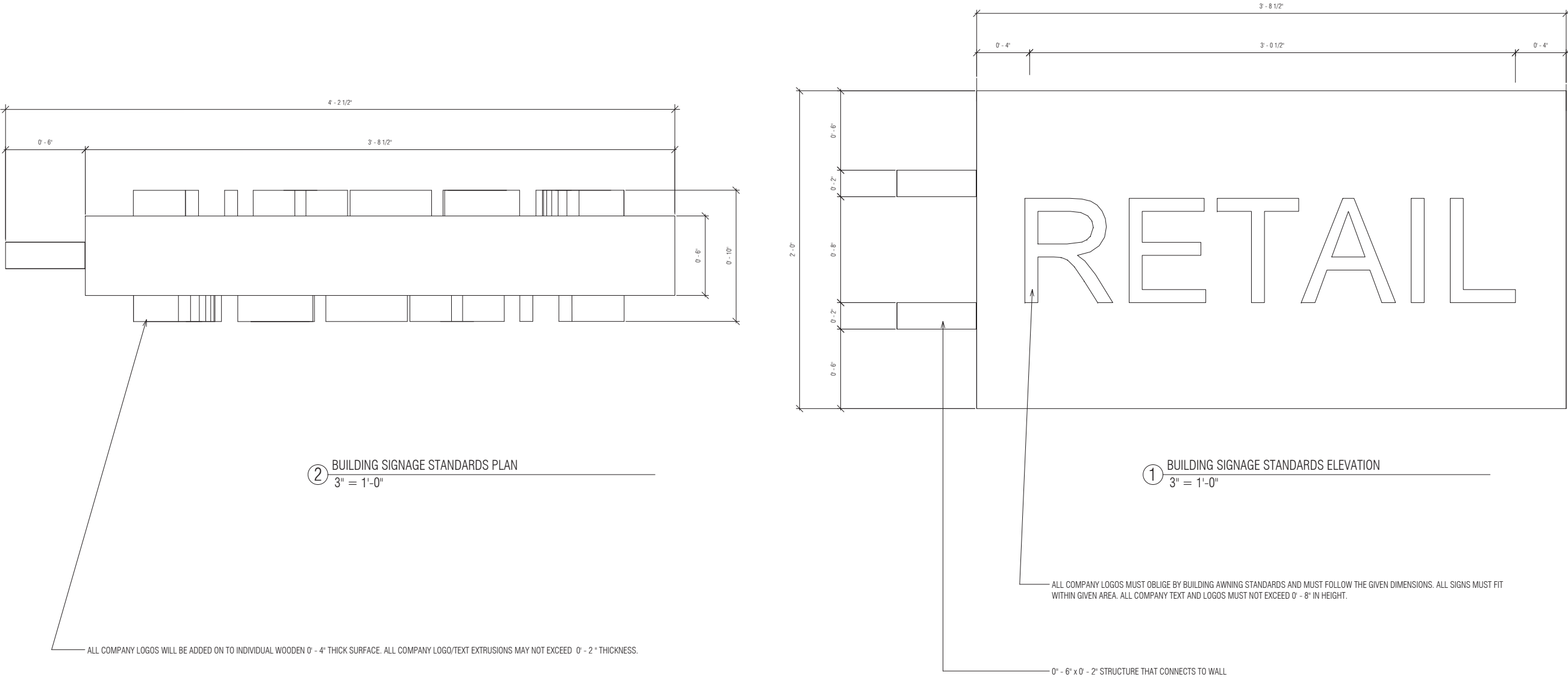
A-8.4

HILLSDALE
TERRACES

2700 SOUTH EL CAMINO REAL
SAN MATEO, CA 94403

Job Number: 13090

No.	Issue	Date
1	Planning Pre-Application	11/27/2013
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Date: 09/14/2016

Scale: 3" = 1'-0"

Description:

BUILDING
SIGNAGE
STANDARDS

Sheet Number:

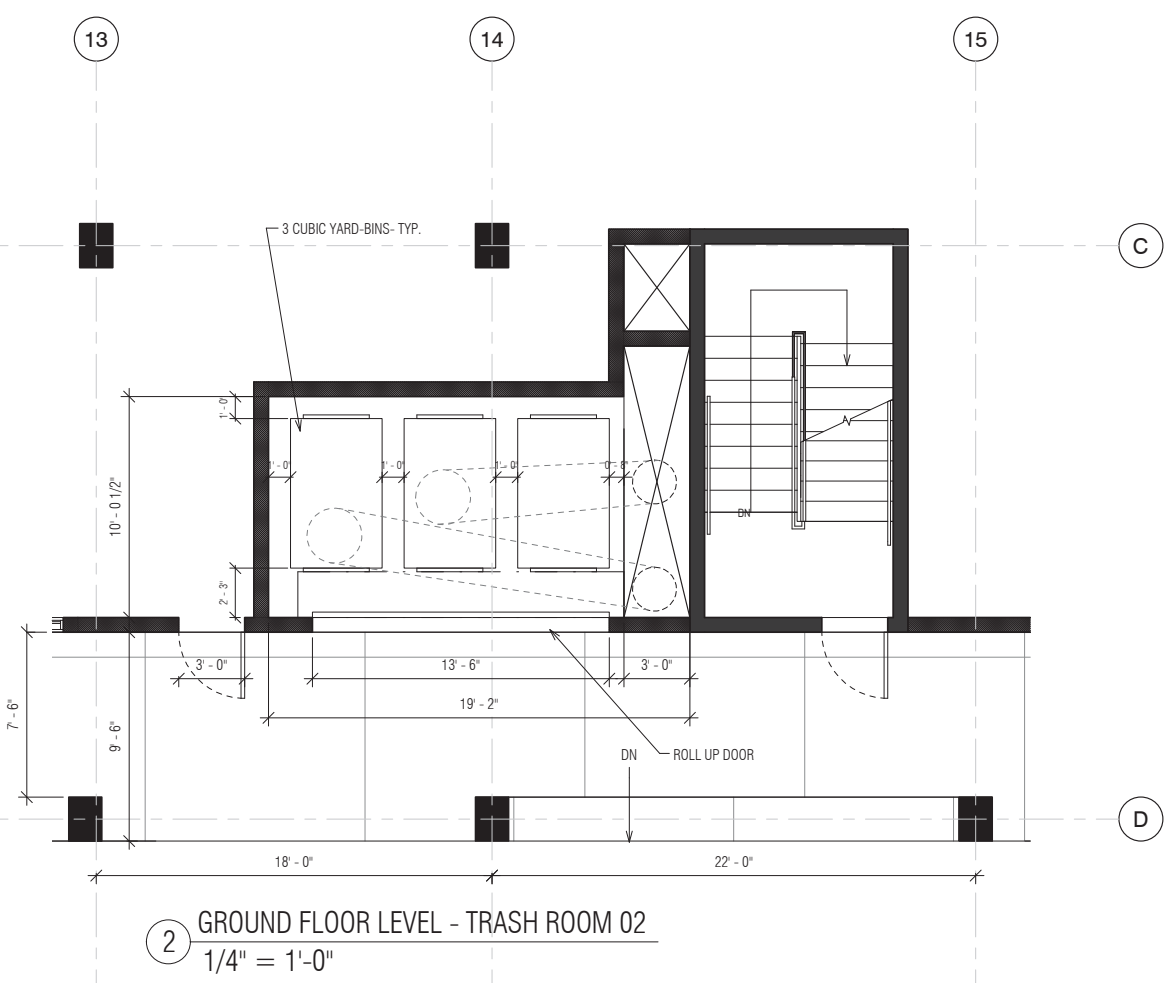
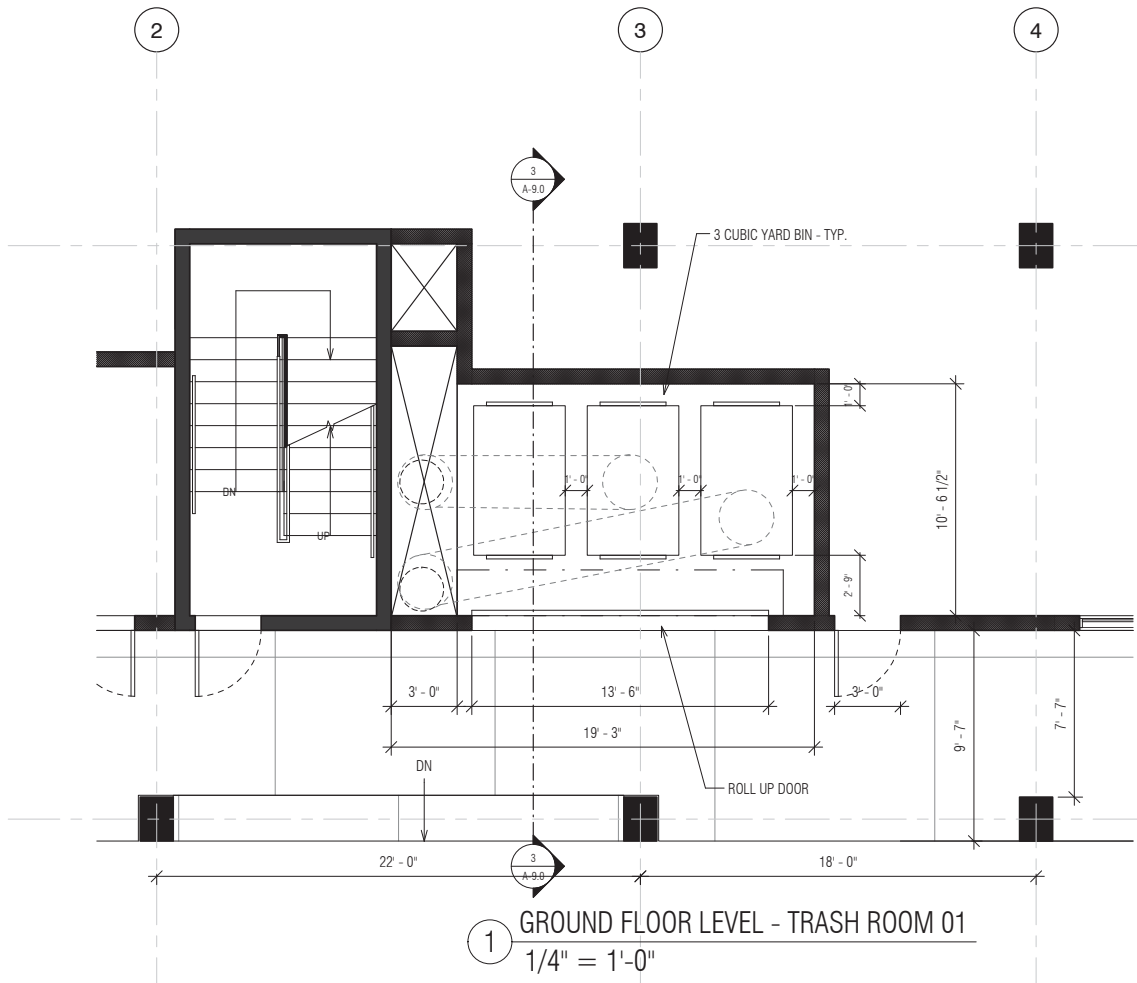
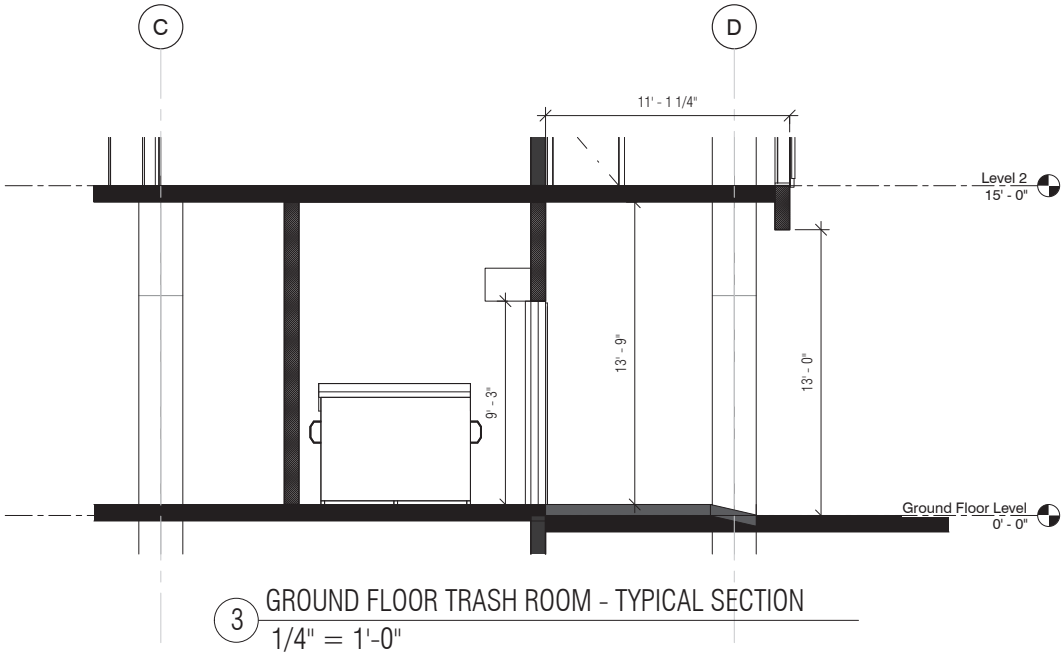
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HILLSDALE
TERRACES

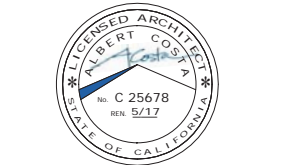
2700 SOUTH EL CAMINO REAL
SAN MATEO, CA 94403

Job Number: 13090

No.	Issue	Date
1	Planning Pre-Application	11/27/2013
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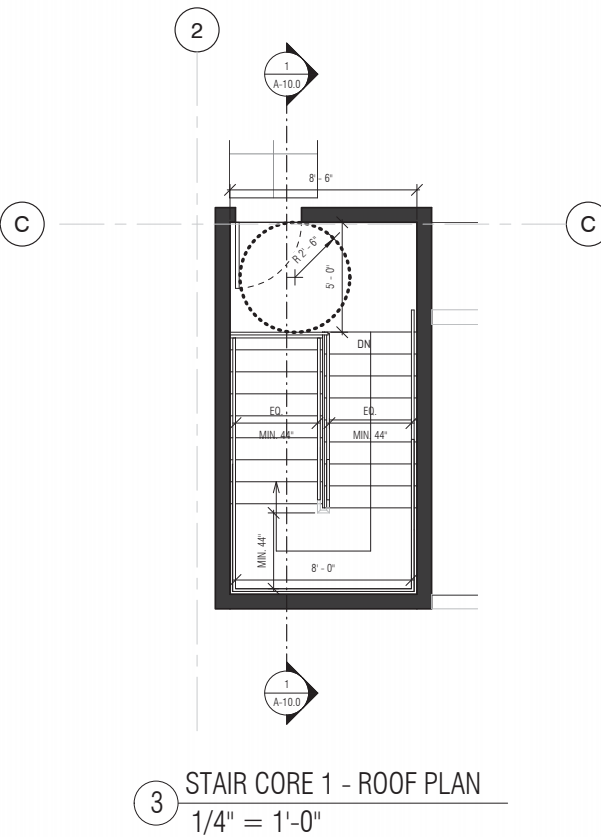
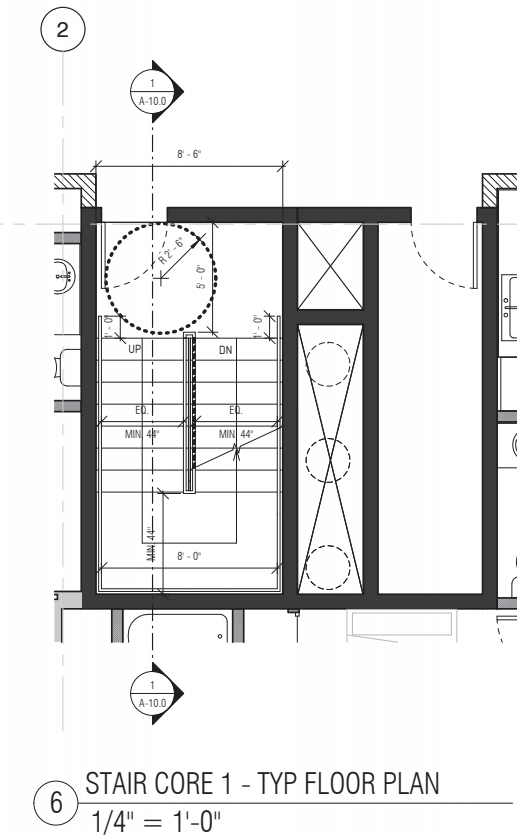
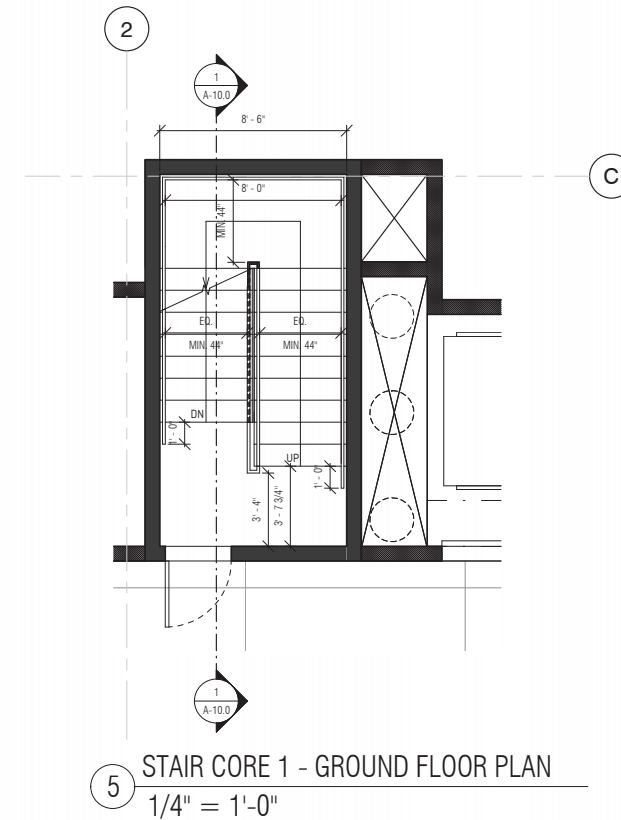
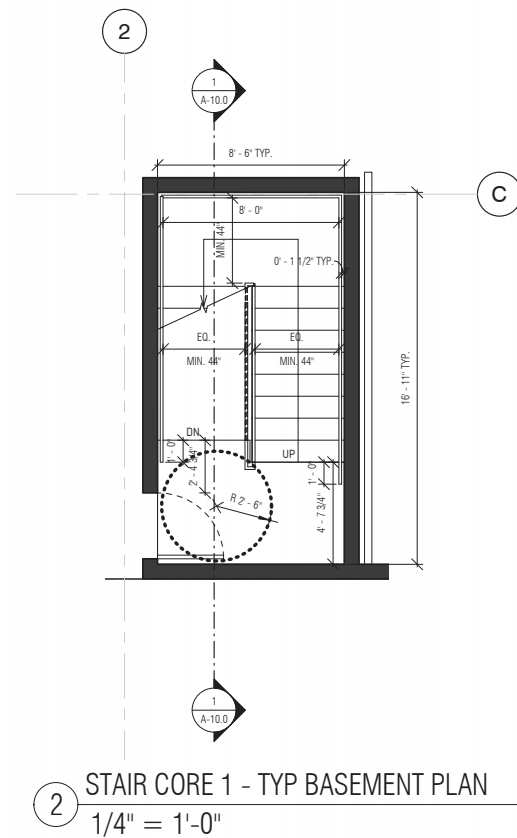
Date: 09/14/2016

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Description:
GROUND
LEVEL-TRASH
ROOM DETAILS

Sheet Number:

A-9.0



HILLSDALE
TERRACES

2700 SOUTH EL CAMINO REAL
SAN MATEO, CA 94403

Job Number: 13090

No.	Issue	Date
1	Planning Pre-Application	11/27/2013
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Date: 09/14/2016

Scale: As indicated

Description:

STAIR CORE 1
DETAILS

Sheet Number:

A-10.0

HILLSDALE TERRACES

2700 SOUTH EL CAMINO REAL
SAN MATEO, CA 94403

Job Number: 13090

No.	Issue	Date
1	Planning Pre-Application	11/27/2013
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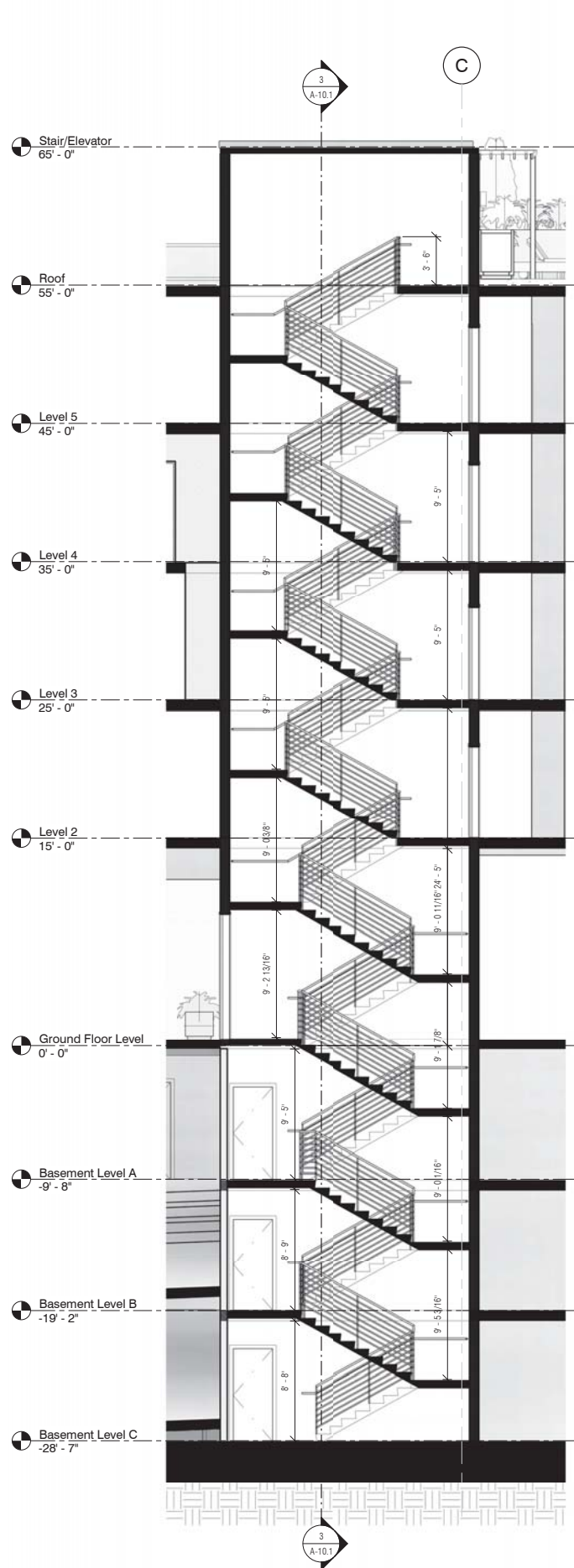
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Description:

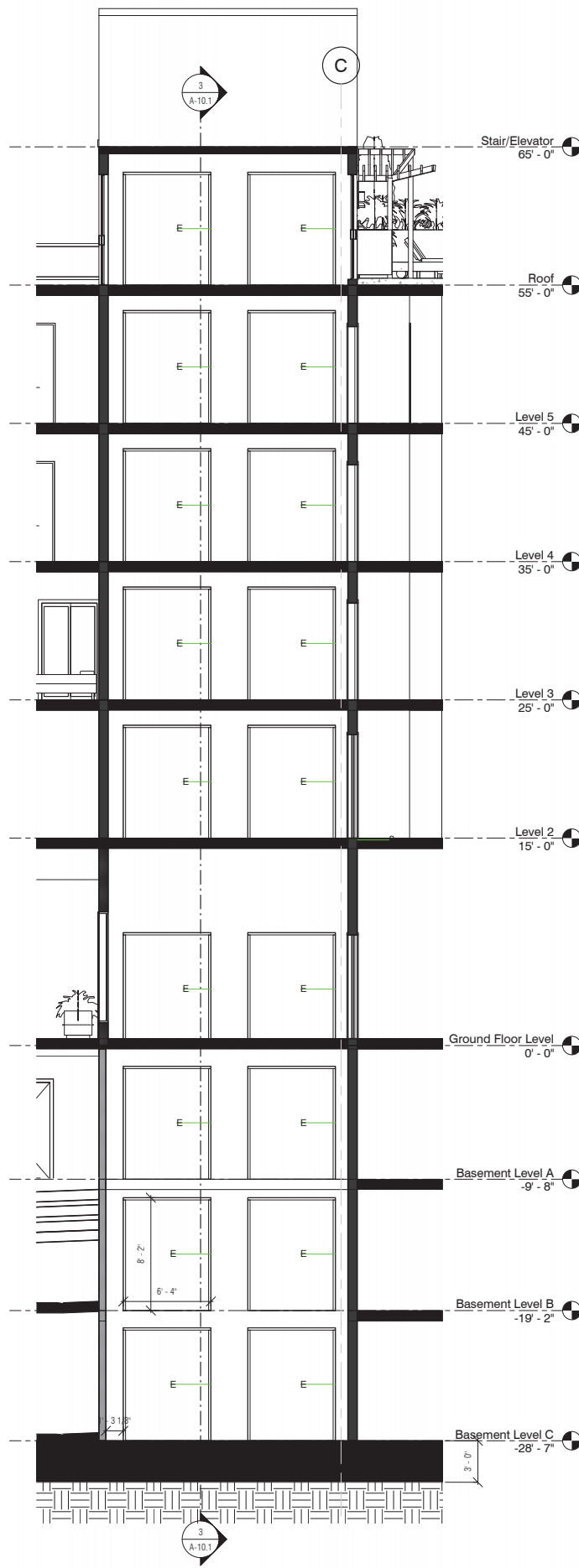
STAIR CORE 2 &
ELEVATOR CORE
SECTIONS

Sheet Number:

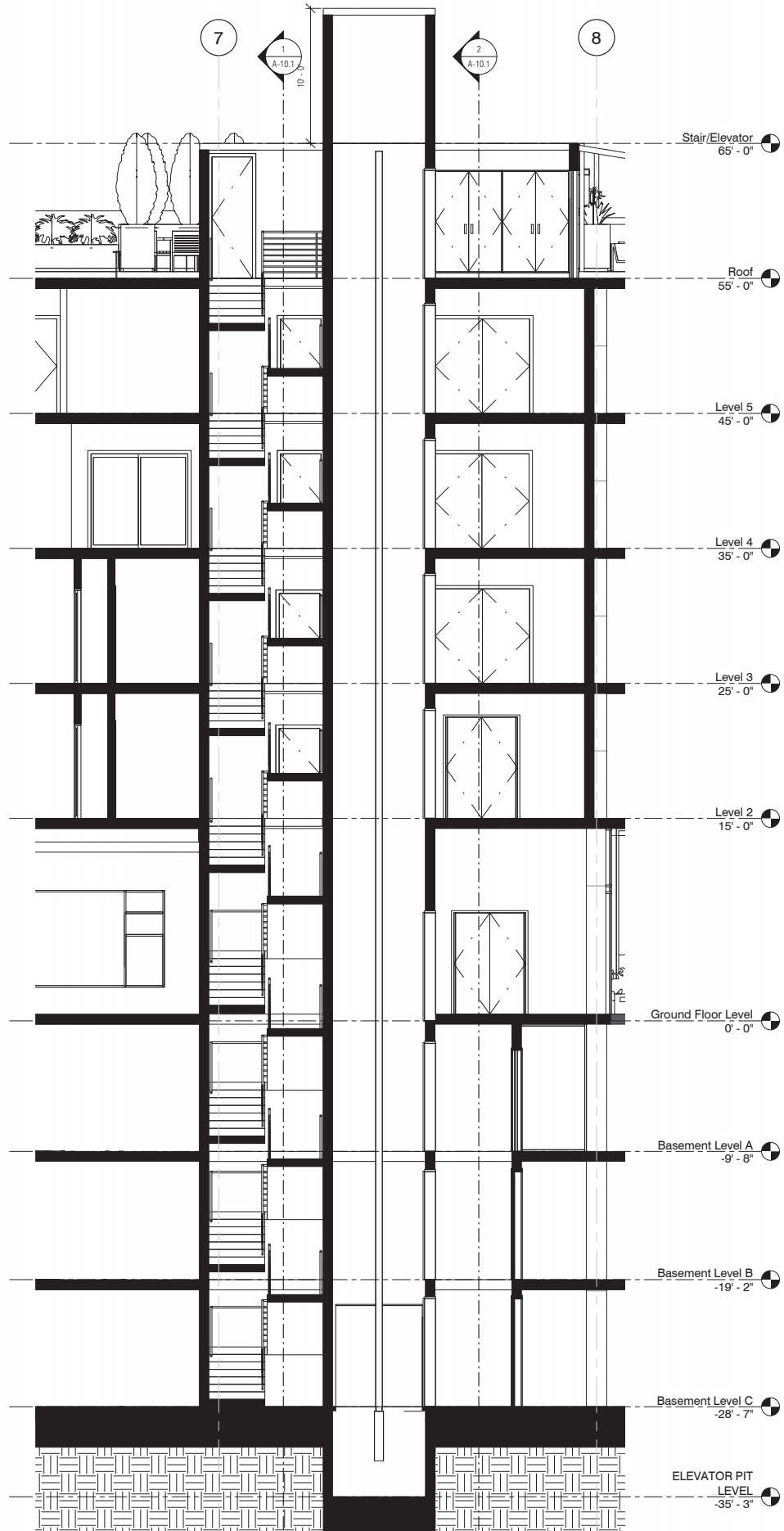
A-10.1



1 STAIR CORE - 2
3/16" = 1'-0"



2 ELEVATOR CORE
3/16" = 1'-0"



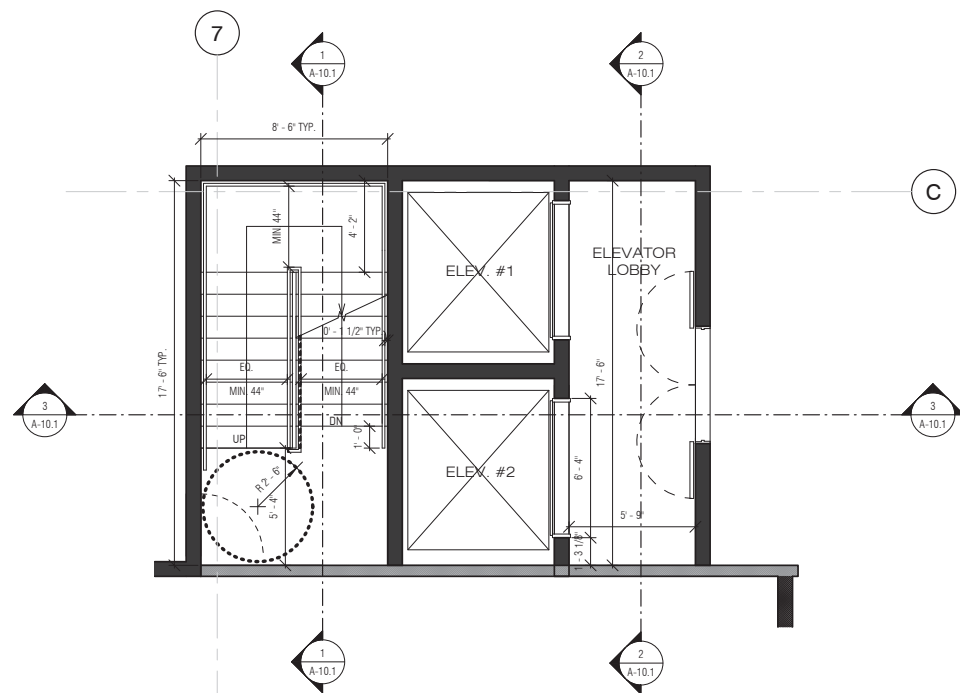
3 ELEVATOR / STAIR 2 CORE
3/16" = 1'-0"

HILLSDALE
TERRACES

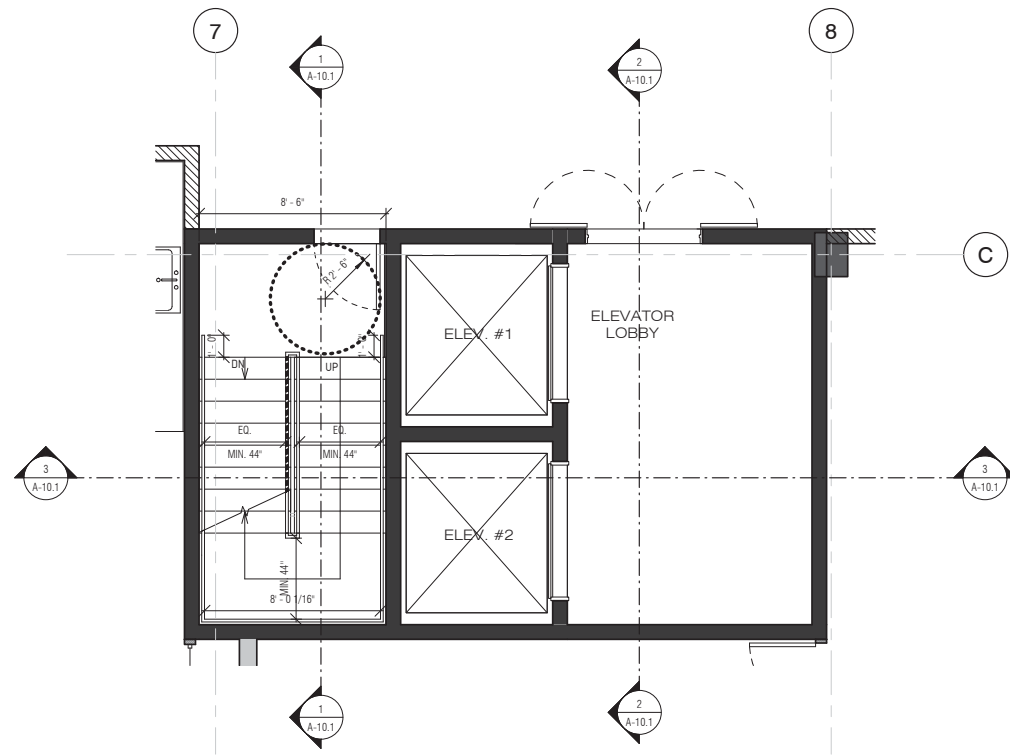
2700 SOUTH EL CAMINO REAL
SAN MATEO, CA 94403

Job Number: 13090

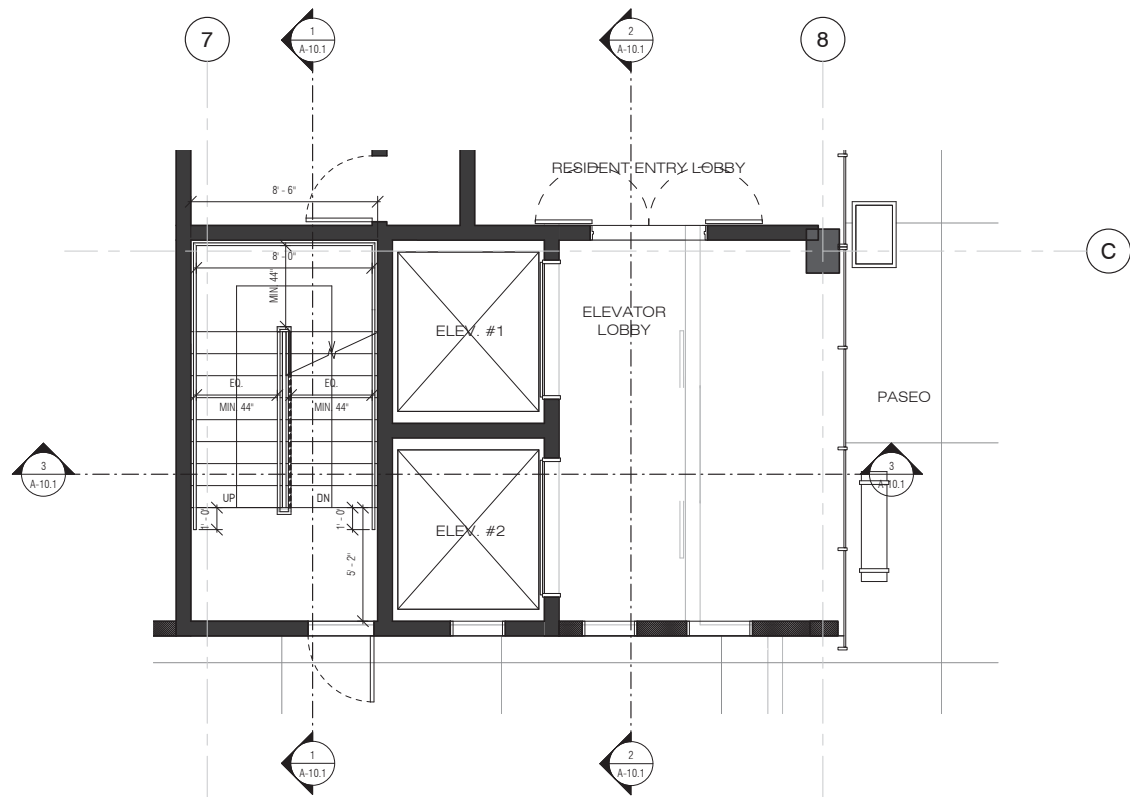
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2	Planning Study Session	01/16/2014
3	Planning Formal Application	04/02/2015
4	Response To Plan Check	12/17/2015
5	Response To Plan Check	04/14/2016
6	Revision to Comment	05/05/2016
7	Issue For Revision	07/22/2016
8	Issue For Revision	09/14/2016
9	Issue For Revision	12/15/2016



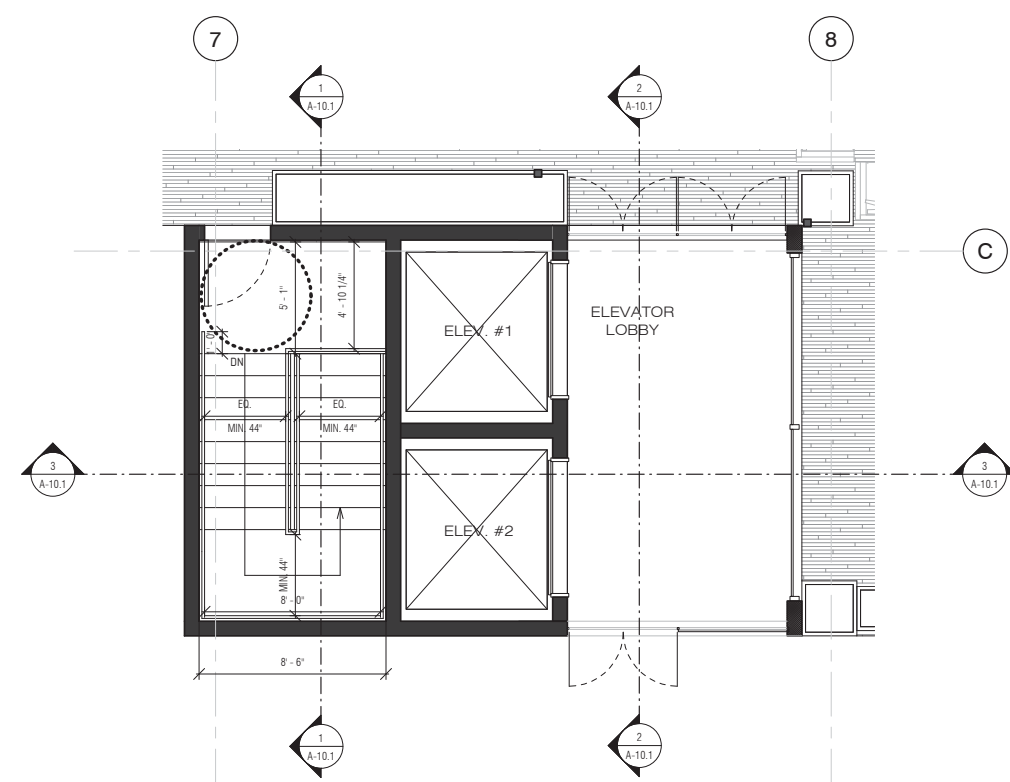
2 STAIR CORE 2 - TYP BASEMENT PLAN
1/4" = 1'-0"



1 STAIR CORE 2 - TYP FLOOR PLAN
1/4" = 1'-0"



4 STAIR CORE 2 - GROUND FLOOR PLAN
1/4" = 1'-0"



3 STAIR CORE 2 - ROOF PLAN
1/4" = 1'-0"

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Date: 09/14/2016

Scale: 1/4" = 1'-0"

Description:

STAIR CORE 2 &
ELEVATOR CORE
PLANS

Sheet Number:

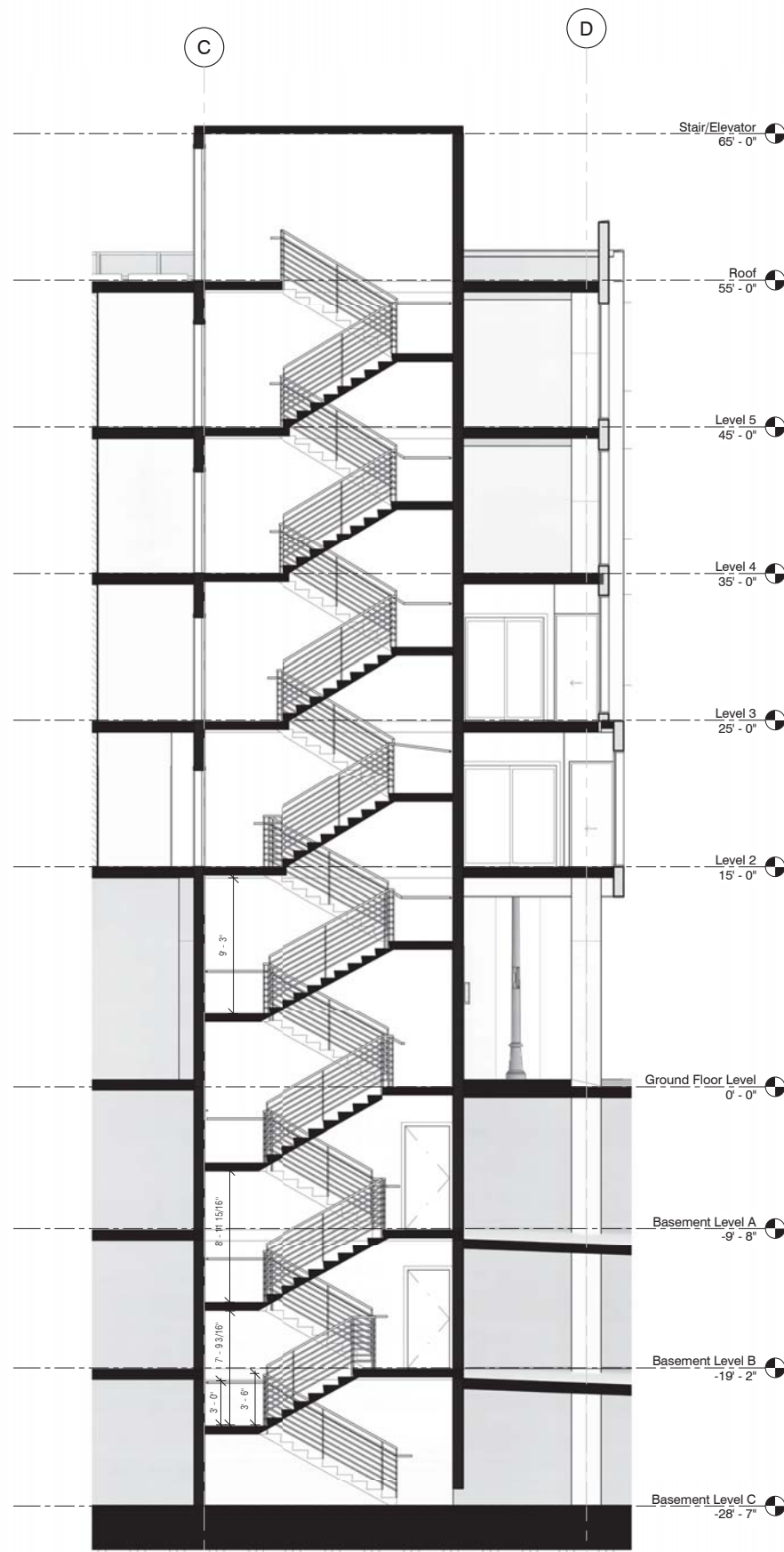
A-10.2

HILLSDALE
TERRACES

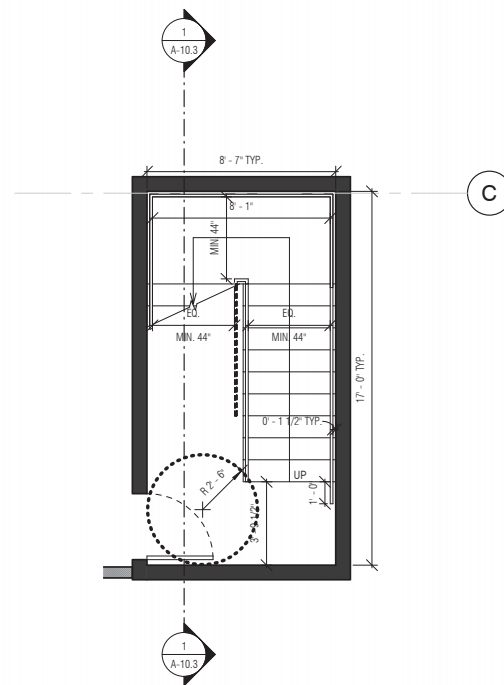
2700 SOUTH EL CAMINO REAL
SAN MATEO, CA 94403

Job Number: 13090

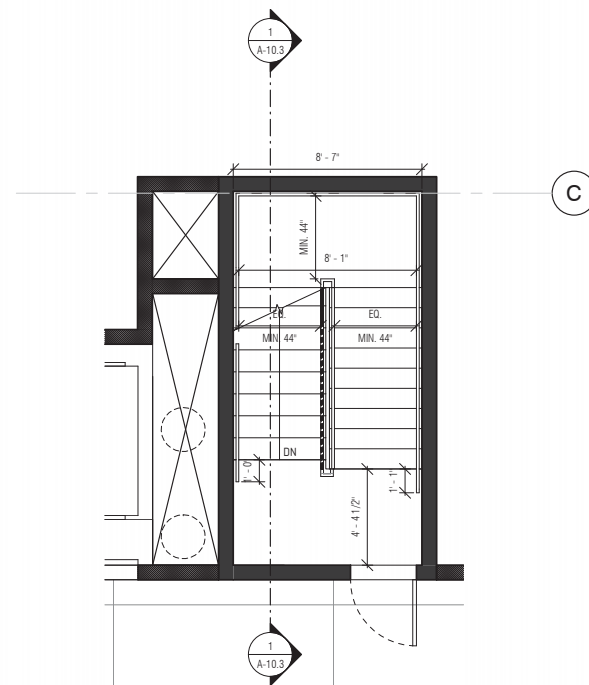
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7	Issue For Revision	07/22/2016
8	Issue For Revision	09/14/2016
9	Issue For Revision	12/15/2016



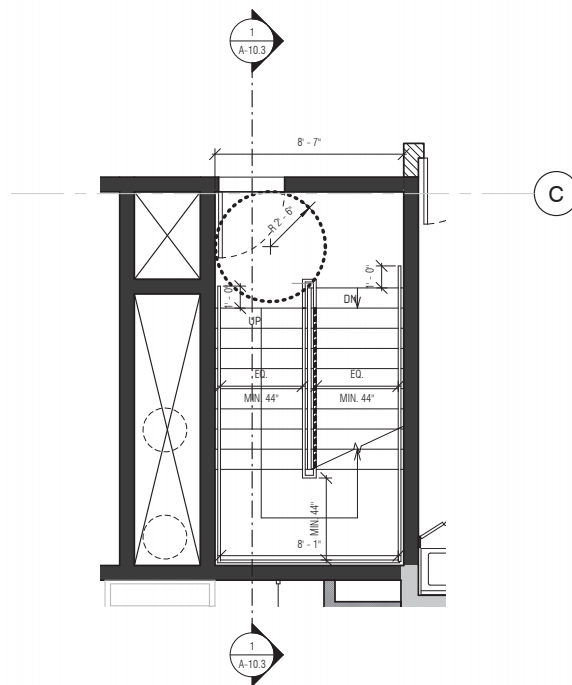
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3/16" = 1'-0"



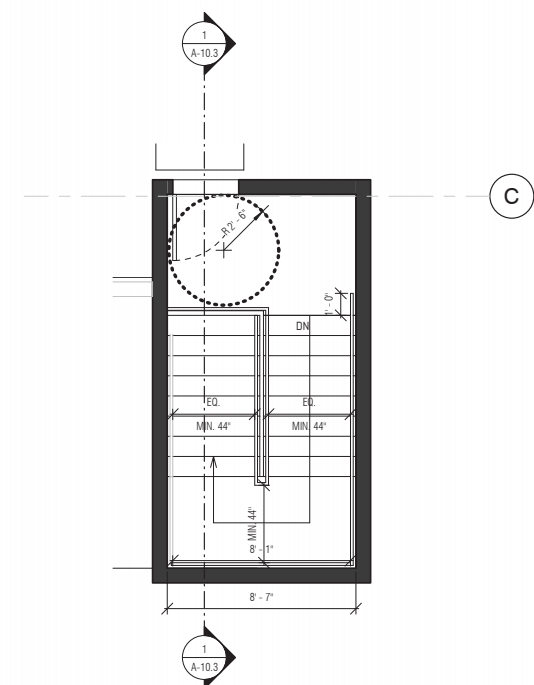
2 STAIR CORE 3 - TYP BASEMENT PLAN
1/4" = 1'-0"



3 STAIR CORE 3 - GROUND FLOOR PLAN
1/4" = 1'-0"



4 STAIR CORE 3 - TYP FLOOR PLAN
1/4" = 1'-0"



5 STAIR CORE 3 - ROOF PLAN
1/4" = 1'-0"

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Date: 09/14/2016

Scale: As indicated

Description:

STAIR CORE 3 -
DETAILS

Sheet Number:

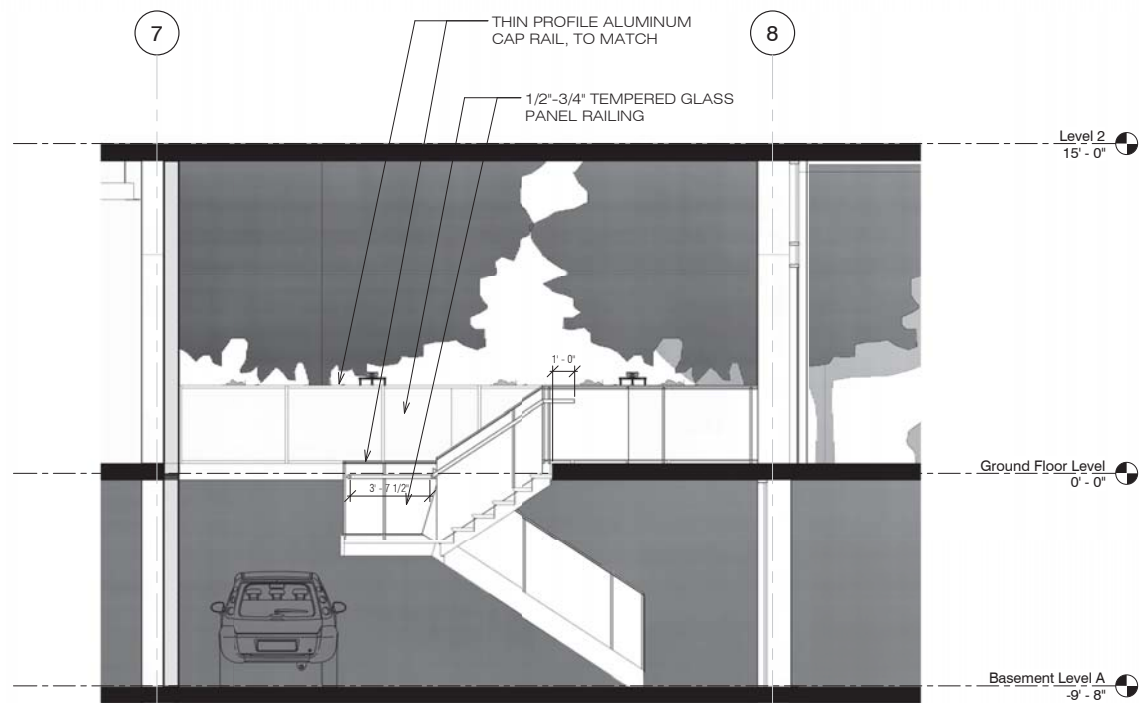
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HILLSDALE
TERRACES

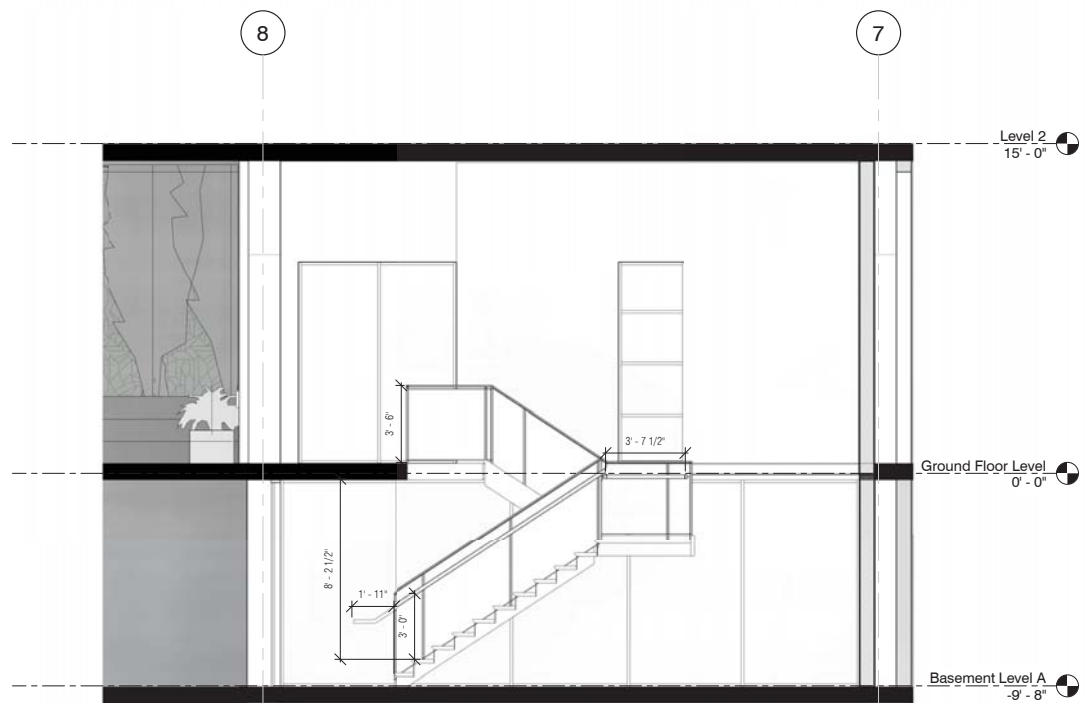
2700 SOUTH EL CAMINO REAL
SAN MATEO, CA 94403

Job Number: 13090

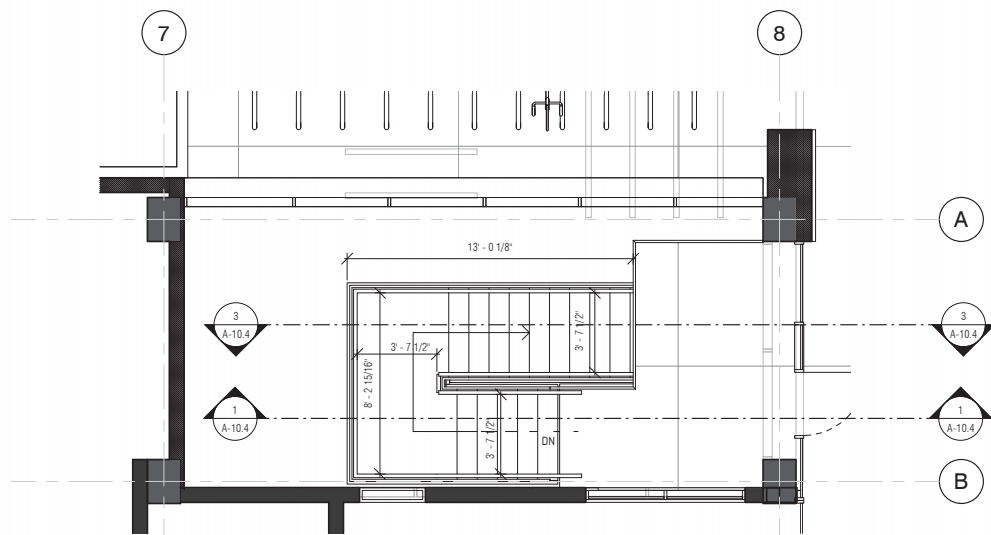
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2	Planning Study Session	01/16/2014
3	Planning Formal Application	04/02/2015
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7	Issue For Revision	07/22/2016
8	Issue For Revision	09/14/2016
9	Issue For Revision	12/15/2016



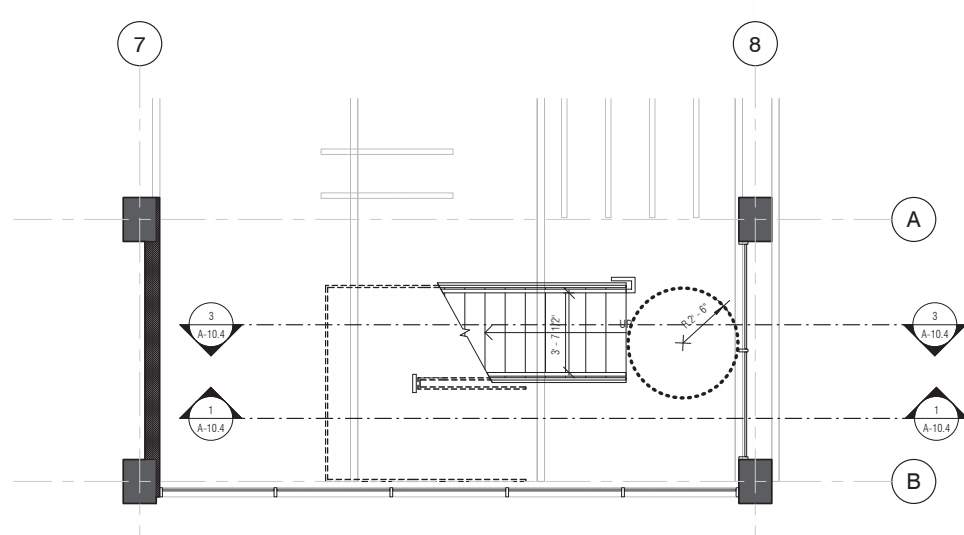
1 STAIR CORE - 4 - SECTION 1
1/4" = 1'-0"



3 STAIR CORE - 4 - SECTION 2
1/4" = 1'-0"



2 GROUND FLOOR PLAN
1/4" = 1'-0"



4 PARKING LEVEL A - PLAN
1/4" = 1'-0"

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Date: 09/14/2016

Scale: 1/4" = 1'-0"

Description:

STAIR 4 -
DETAILS

Sheet Number:

A-10.4



HILLSDALE
TERRACES

2700 SOUTH EL CAMINO REAL
SAN MATEO, CA 94403

Job Number: 13090

No.	Issue	Date
1	Planning Pre-Application	11/27/2013
2	Planning Study Session	01/16/2014
3	Planning Formal Application	04/02/2015
4	Response To Plan Check	12/17/2015
5	Response To Plan Check	04/14/2016
6	Revision to Comment	05/05/2016
7	Issue For Revision	07/22/2016
8	Issue For Revision	09/14/2016
9	Issue For Revision	12/15/2016

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Scale:

Description:

27TH STREET
SIMULATION

Sheet Number:

A-11.0



HILLSDALE
TERRACES

2700 SOUTH EL CAMINO REAL
SAN MATEO, CA 94403

Job Number: 13090

No.	Issue	Date
1	Planning Pre-Application	11/27/2013
2	Planning Study Session	01/16/2014
3	Planning Formal Application	04/02/2015
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5	Response To Plan Check	04/14/2016
6	Revision to Comment	05/05/2016
7	Issue For Revision	07/22/2016
8	Issue For Revision	09/14/2016
9	Issue For Revision	12/15/2016

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Date: 09/14/2016

Scale:

Description:

27TH STREET
SIMULATION 2

Sheet Number:

A-11.1



HILLSDALE
TERRACES

2700 SOUTH EL CAMINO REAL
SAN MATEO, CA 94403

Job Number: 13090

No.	Issue	Date
1	Planning Pre-Application	11/27/2013
2	Planning Study Session	01/16/2014
3	Planning Formal Application	04/02/2015
4	Response To Plan Check	12/17/2015
5	Response To Plan Check	04/14/2016
6	Revision to Comment	05/05/2016
7	Issue For Revision	07/22/2016
8	Issue For Revision	09/14/2016
9	Issue For Revision	12/15/2016

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Date: 09/14/2016

Scale:

Description:

28TH STREET
SIMULATION

Sheet Number:

A-11.2



HILLSDALE
TERRACES

2700 SOUTH EL CAMINO REAL
SAN MATEO, CA 94403

Job Number: 13090

No.	Issue	Date
1	Planning Pre-Application	11/27/2013
2	Planning Study Session	01/16/2014
3	Planning Formal Application	04/02/2015
4	Response To Plan Check	12/17/2015
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6	Revision to Comment	05/05/2016
7	Issue For Revision	07/22/2016
8	Issue For Revision	09/14/2016
9	Issue For Revision	12/15/2016

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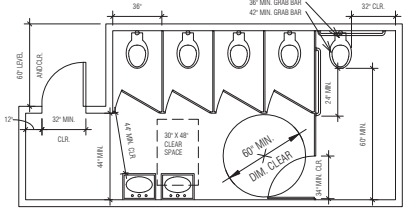
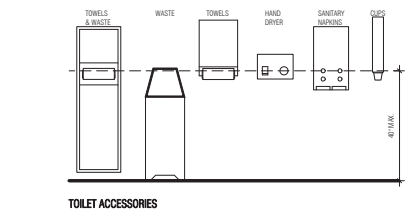
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28TH STREET
SIMULATION 2

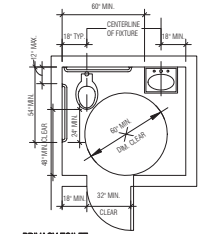
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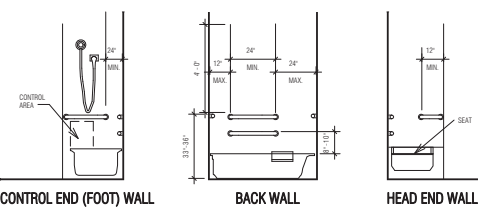
G. COMMON USE BATHING & TOILET FACILITIES (CONTINUED)



MULTIPLE ACCOMMODATION FACILITY

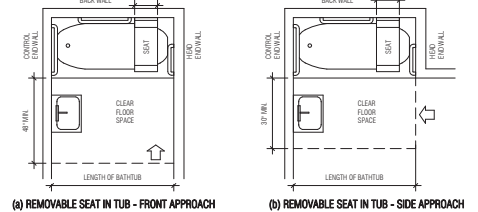


PRIVACY TOILET



(a) BATHTUB WITH REMOVABLE SEAT IN TUB

FIGURE 11A - 9F
GRAB BARS AT BATHTUBS



(a) REMOVABLE SEAT IN TUB - FRONT APPROACH (b) REMOVABLE SEAT IN TUB - SIDE APPROACH

FIGURE 11A - 9E
CLEAR FLOOR SPACE AT BATHTUBS

H. IDENTIFICATION SYMBOLS

11B-703.4.2 LOCATION. WHERE A TACTILE SIGN IS PROVIDED AT A DOOR, THE SIGN SHALL BE LOCATED ALONGSIDE THE DOOR AT THE LATCH SIDE, WHERE A TACTILE SIGN IS PROVIDED AT DOUBLE DOORS WITH ONE ACTIVE LEAF, THE SIGN SHALL BE LOCATED ON THE ACTIVE LEAF, WHERE A TACTILE SIGN IS PROVIDED AT DOUBLE DOORS WITH TWO ACTIVE LEAFS, THE SIGN SHALL BE LOCATED TO THE RIGHT OF THE RIGHT HAND DOOR, WHERE THERE IS NO WALL SPACE AT THE LATCH SIDE OF A SINGLE DOOR OR AT THE RIGHT SIDE OF DOUBLE DOORS, SIGNS SHALL BE LOCATED ON THE NEAREST ADJACENT WALL. SIGNS CONTAINING TACTILE CHARACTERS SHALL BE LOCATED SO THAT A CLEAR FLOOR SPACE OF 18 INCHES (457 MM) MINIMUM BY 18 INCHES (457 MM) MINIMUM, CENTERED ON THE TACTILE CHARACTERS, IS PROVIDED BEYOND THE ARC OF ANY DOOR SWING BETWEEN THE CLOSED POSITION AND 45 DEGREE OPEN POSITION, WHERE PROVIDED, SIGNS IDENTIFYING MEN'S ROOMS AND SPACES SHALL BE LOCATED AT THE ENTRANCE TO AND OUTSIDE OF THE ROOM OR SPACE, WHERE PROVIDED, SIGNS IDENTIFYING WAYS SHALL BE LOCATED AT THE EXIT DOOR WHEN APPROACHED IN THE DIRECTION OF EGRESS TRAVEL.

EXCEPTION: INSTALLATIONS WHERE SIGN INSTALLATION LOCATIONS IDENTIFIED IN SECTION 11B-703.4.2 ARE OBSTRUCTED OR OTHERWISE UNAVAILABLE FOR SIGN INSTALLATION, SIGNS WITH TACTILE CHARACTERS SHALL BE MOUNTED ON THE PUSH SIDE OF DOORS WITH CLOSERS AND WITH PULL SIDE OF DOORS WITHOUT CLOSERS.

11B-703.7.2.1 MEN'S TOILET AND BATHING FACILITIES. MEN'S TOILET AND BATHING FACILITIES SHALL BE IDENTIFIED BY A GEOMETRIC SYMBOL, CONSISTING WITH SECTION 11B-703.7.2.1, THE SYMBOL SHALL BE MOUNTED AT 58 INCHES (1473 MM) MINIMUM AND 120 INCHES (3048 MM) MAXIMUM ABOVE THE FINISH FLOOR OR GROUND SURFACE, MEASURED FROM THE CENTERLINE OF THE SYMBOL, WHERE A DOOR IS PROVIDED THE SYMBOL SHALL BE MOUNTED WITHIN 1 INCH (25 MM) OF THE VERTICAL CENTER LINE OF THE DOOR.

EXCEPTION: GEOMETRIC SYMBOLS SHALL NOT BE REQUIRED AT MEN'S TOILET ROOMS AND BATHING ROOMS IN DETENTION AND CORRECTIONAL FACILITIES WHERE ONLY ONE GENDER IS HOUSED.

11B-703.7.2.2 WOMEN'S TOILET AND BATHING FACILITIES. WOMEN'S TOILET AND BATHING FACILITIES SHALL BE IDENTIFIED BY A GEOMETRIC SYMBOL, CONSISTING WITH SECTION 11B-703.7.2.2, THE SYMBOL SHALL BE MOUNTED AT 58 INCHES (1473 MM) MINIMUM AND 120 INCHES (3048 MM) MAXIMUM ABOVE THE FINISH FLOOR OR GROUND SURFACE, MEASURED FROM THE CENTERLINE OF THE SYMBOL, WHERE A DOOR IS PROVIDED THE SYMBOL SHALL BE MOUNTED WITHIN 1 INCH (25 MM) OF THE VERTICAL CENTER LINE OF THE DOOR.

EXCEPTION: WITHIN SECURE PERIMETER OF DETENTION AND CORRECTIONAL FACILITIES, GEOMETRIC SYMBOLS SHALL NOT BE REQUIRED TO BE 1/4 INCH (6.4 MM) THICK.

11B-703.7.2.3 UNisex TOILET AND BATHING FACILITIES. UNISEX TOILET AND BATHING FACILITIES SHALL BE IDENTIFIED BY A CIRCLE, 1/4 INCH (6.4 MM) THICK AND 12 INCHES (305 MM) IN DIAMETER WITH A 1/4 INCH (6.4 MM) THICK TRIANGLE WITH A VERTICE POINTING UPWARD SUPERIMPOSED ON THE CIRCLE AND WITHIN THE 12-INCH (305 MM) DIAMETER, THE TRIANGLE SYMBOL SHALL CONTRAST WITH THE CIRCLE EITHER LIGHT ON A DARK BACKGROUND OR DARK ON A LIGHT BACKGROUND.

EXCEPTION: WITHIN SECURE PERIMETER OF DETENTION AND CORRECTIONAL FACILITIES, GEOMETRIC SYMBOLS SHALL NOT BE REQUIRED TO BE 1/4 INCH (6.4 MM) THICK.

11B-703.7.2.4 EDGES AND CORNERS. EDGES OF SIGNS SHALL BE ROUNDED, CHAMFERED OR EASED. CORNERS OF SIGNS SHALL HAVE A MINIMUM RADIUS OF 1/8 INCH (3.2 MM).

11B-703.7.2.5 PEDESTRIAN TRAFFIC-CONTROL BUTTONS. POLE-SUPPORTED PEDESTRIAN TRAFFIC-CONTROL BUTTONS SHALL BE IDENTIFIED WITH COLOR CODING CONSISTING OF A TEXTURED HORIZONTAL YELLOW BAND 3 INCHES (76 MM) IN WIDTH ENCOMPASSING THE POLE, AND A 1 INCH WIDE (25 MM) DARK BANDER BAND ABOVE AND BELOW THE YELLOW BAND. COLOR CODING SHALL BE PLACED IMMEDIATELY ABOVE THE CONTROL BUTTON. CONTROL BUTTONS SHALL BE LOCATED NO HIGHER THAN 10 INCHES (254 MM) ABOVE THE GROUND SURFACE ADJACENT TO THE POLE.

EXCEPTION: PEDESTRIAN TRAFFIC-CONTROL BUTTONS SHALL NOT BE REQUIRED TO BE IDENTIFIED WITH COLOR CODING CONSISTING OF A TEXTURED HORIZONTAL YELLOW BAND 3 INCHES (76 MM) IN WIDTH ENCOMPASSING THE POLE, AND A 1 INCH WIDE (25 MM) DARK BANDER BAND ABOVE AND BELOW THE YELLOW BAND. COLOR CODING SHALL BE PLACED IMMEDIATELY ABOVE THE CONTROL BUTTON. CONTROL BUTTONS SHALL BE LOCATED NO HIGHER THAN 10 INCHES (254 MM) ABOVE THE GROUND SURFACE ADJACENT TO THE POLE.

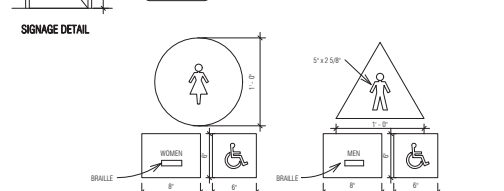


FIGURE 11A - 6E
STAIR HANDRAILS

FIGURE 11A - 6E
STAIR HANDRAILS

FIGURE 11A - 6E
STAIR HANDRAILS

FIGURE 11A - 6E
STAIR HANDRAILS

FIGURE 11A - 6E
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FIGURE 11A - 6E
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FIGURE 11A - 6E
STAIR HANDRAILS

FIGURE 11A - 6E
STAIR HANDRAILS

J. OTHER BUILDING COMPONENTS (CONTINUED)

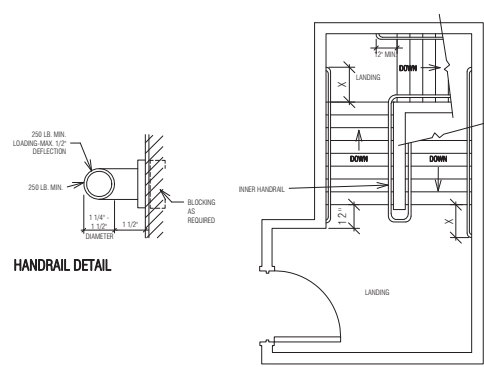


FIGURE 11A - 6E
STAIR HANDRAILS

FIGURE 11A - 6E
STAIR HANDRAILS

FIGURE 11A - 6E
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FIGURE 11A - 6E
STAIR HANDRAILS

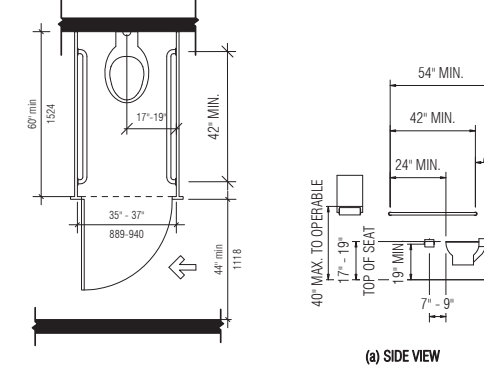


FIGURE 11B - 604.8.2
AMBULATORY ACCESSIBLE TOILET COMPARTMENT

FIGURE 11B - 604.8.2
AMBULATORY ACCESSIBLE TOILET COMPARTMENT

FIGURE 11B - 604.8.2
AMBULATORY ACCESSIBLE TOILET COMPARTMENT

FIGURE 11B - 604.8.2
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FIGURE 11B - 604.8.2
AMBULATORY ACCESSIBLE TOILET COMPARTMENT

FIGURE 11B - 604.8.2
AMBULATORY ACCESSIBLE TOILET COMPARTMENT

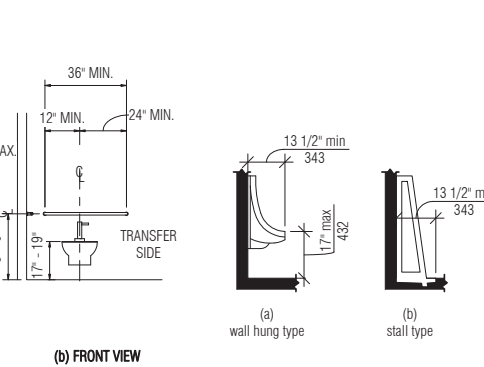


FIGURE 11B - 604.5.1
SIDE WALL GRAB BAR AT WATER CLOSETS

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Costa Brown Architecture

1620 Montgomery Street, Suite 300
San Francisco, CA 94111
Tel: 415 986 0101

HILLSDALE TERRACES

2700 SOUTH EL CAMINO REAL
SAN MATEO, CA 94403

Job Number: 13090

No.	Issue	Date
1	Planning Pre-Application	11/27/2013
2	Planning Study Session	01/16/2014
3	Planning Formal Application	04/02/2015
4	Response To Plan Check	12/17/2015
5	Response To Plan Check	04/14/2016
6	Revision to Comment	05/05/2016
7	Issue For Revision	07/22/2016
8	Issue For Revision	09/14/2016
9	Issue For Revision	12/15/2016

PRINT DATE: 12/15/2016 5:26:46 PM

Scale: As indicated

Description:

ADA DETAILS

NOT TO SCALE

Sheet Number:

A-12.2

HILLSDALE TERRACE
9.14.15

Required Tree Planting

Required Trees:

As per the requirements of the Zoning Code, Section 27.71 – Landscape, all projects must have a minimum ratio of **1 tree per 400 square feet** of landscaped area. Existing trees that are a minimum of 6 inch diameter may count toward this total. Any trees with a 6 inch or greater diameter that are being removed must be replaced with an equivalent value of trees. Values are to be determined as stated in Section 27.71.180 of the zoning code and recorded on the Tree Evaluation Schedule and/or any required arborist report.

Landscape Area: 4392 sq. ft. ÷ 400 = 10.98 (a)

Number of existing trees with a 6 inch or greater diameter **to be preserved**: 8 (b)

Landscape Unit (LU) value **deficit** from the Tree Evaluation Schedule: 42.75 (c)

Minimum LU value to be replaced and/or met through payment of in-lieu fees: **[a – b + c = d]** 45.73 (d)

New Trees:

A minimum number of trees equivalent to (a), above, must be planted (or existing on the site). In order to make up the required LU value from the removal of trees, additional or larger trees may be planted. If the LU value shown at (e) is not equal or greater than (d), then an in-lieu fee must be paid to the City’s street tree planting fund at the rate defined annually in the City’s Comprehensive Fee Schedule for each deficient LU.

New Trees Being Planted			
Quantity	Size	LU Value	Total LU Value
<u>6</u>	15 gallon	1	<u>6</u>
<u>23</u>	24 inch box	2	<u>46</u>
<u>0</u>	36 inch box	3	<u>0</u>
<u>0</u>	48 inch box	4	<u>0</u>
Total LU Value of new trees being proposed:			<u>52</u> (e)

Fees Owed to the City Street Tree Planting Fund: (D IS LESS THAN E)
If (d) is greater than (e), there will be an LU value deficit calculated as follows:

[d – e = 284 x (the annually defined \$ per LU value) = \$ 284]

Q:\CDD\Planning\FORMS\Trees Preservation & Site Development\Required Tree Planting Form.doc

* FOR LANDSCAPE PLAN ONLY. SEE A-1.3.1 FOR LATEST GROUND FLOOR PLAN.



PLATANUS x ACERIFOLIA
DESIGNATED STREET TREE,
EL CAMINO REAL



ACE BUERGERIANUM
DESIGNATED STREET TREE,
27th AVE.



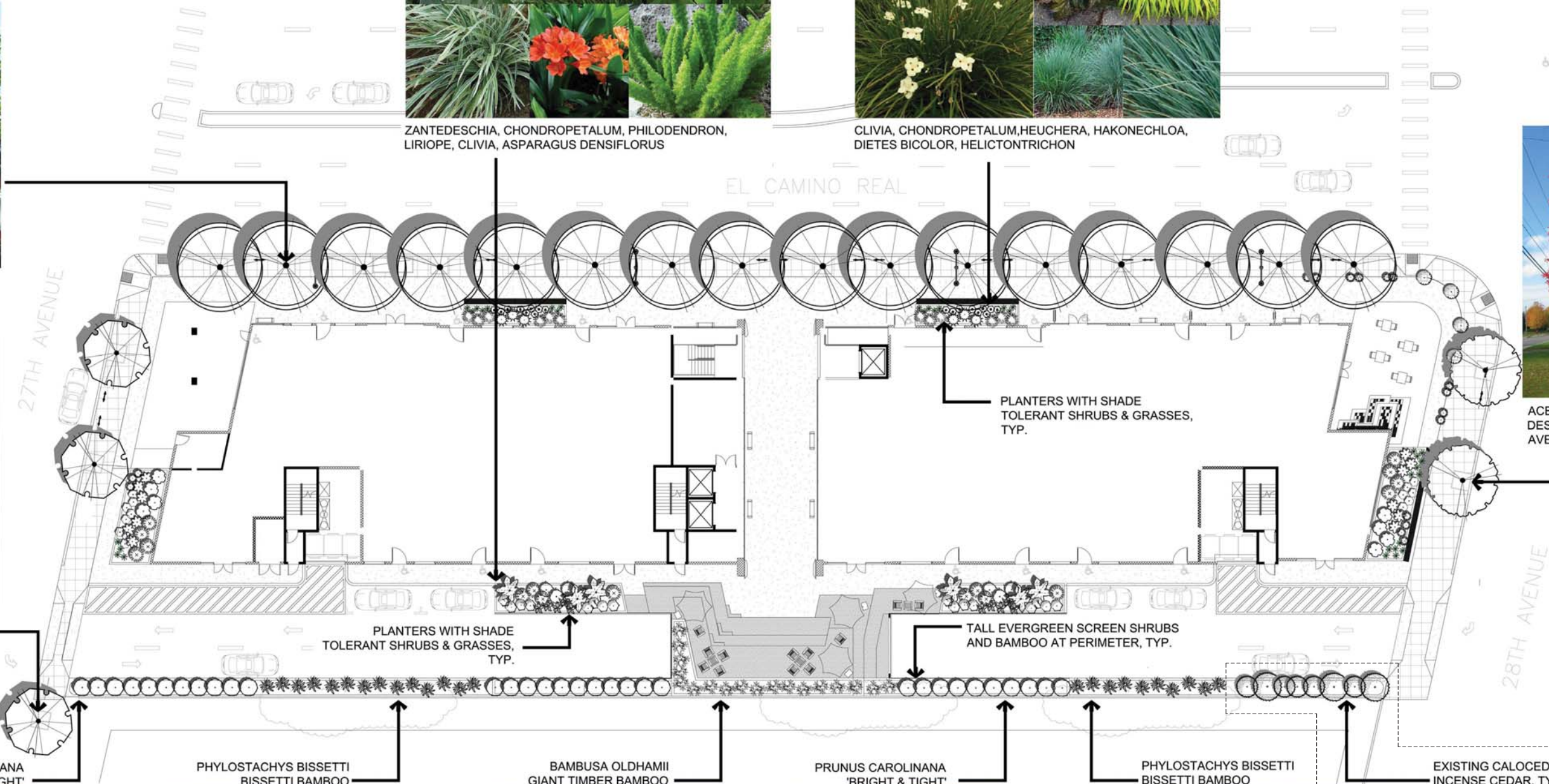
ZANTEDESCHIA, CHONDROPETALUM, PHILODENDRON,
LIRIOPE, CLIVIA, ASPARAGUS DENSIFLORUS



CLIVIA, CHONDROPETALUM, HEUCHERA, HAKONECHLOA,
DIETES BICOLOR, HELICTONTRICHON



ACE RUBRUM 'OCTOBER GLORY'
DESIGNATED STREET TREE, 28th
AVE.





PRECAST LIGHTWEIGHT PLANTERS



SPECIMEN MULTI-TRUNK
LAGERSTROEMIA HYBRID



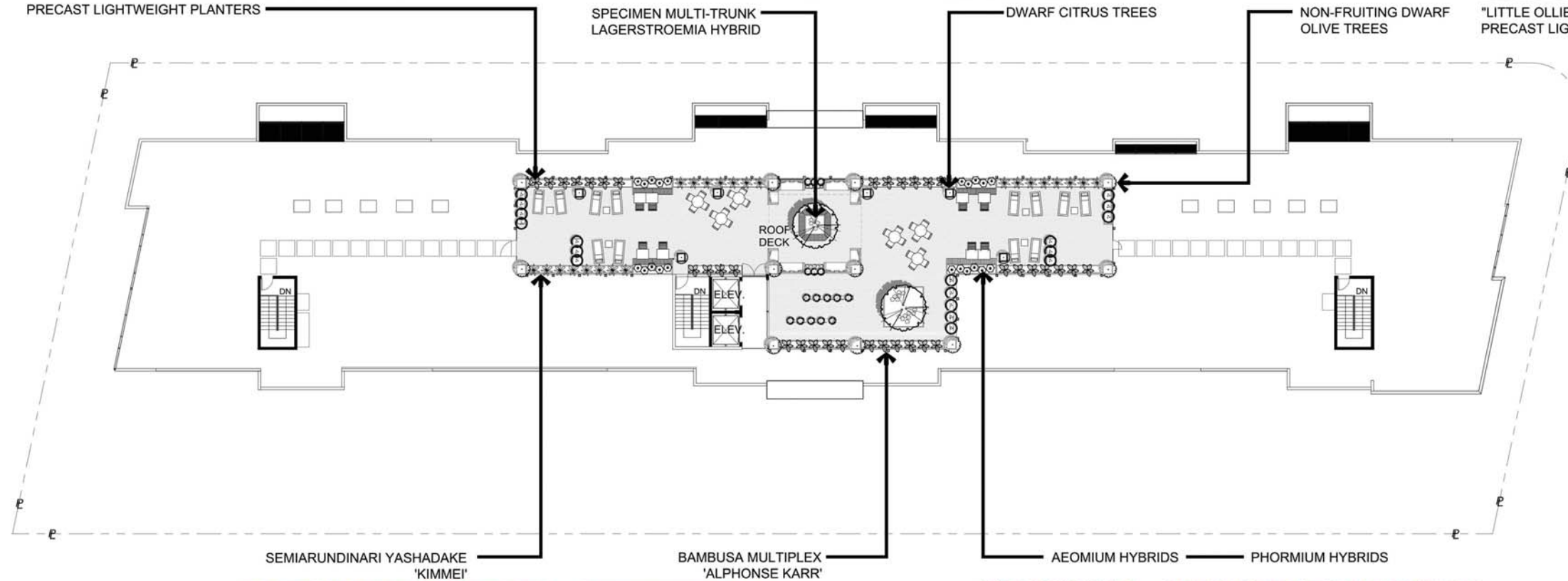
DWARF CITRUS TREES



NON-FRUITING DWARF
OLIVE TREES



"LITTLE OLLIE" EVERGREEN SHRUB &
PRECAST LIGHTWEIGHT PLANTERS



SEMIARUNDINARI YASHADAKE
'KIMMEI'



BAMBUA MULTIPLEX
'ALPHONSE KARR'



AEONIUM HYBRIDS



PHORMIUM HYBRIDS



GROUND FLOOR / STREET LEVEL (PART-SHADE)

BAMBOO	BOTANICAL NAME	COMMON NAME	SIZE	REMARKS
BAM OLD	Bambusa oldhamii	Giant Timber Bamboo	5 gal	M
BAM TEX	Bambusa textilis	Weaver’s Bamboo	5 gal	M
PHY BIS	Phyllostachys bissettii	Bissett Bamboo	5 gal	M
PLE VIR	Pleioblastus viridistriatus	Dwarf Whitestripe Bamboo	5 gal	M
SHRUBS	BOTANICAL NAME	COMMON NAME	SIZE	REMARKS
AGA BLU	Agave x ‘Blue Glow’	Blue Glow Agave	5 gal	L
ASP SPR	Asparagus densiflorus ‘Sprengerii Compacta’	Sprenger Asparagus	5 gal	L
ASP ASP	Asparagus densiflorus ‘Sprengerii’	Sprenger Asparagus	5 gal	L
AUC NAN	Aucuba japonica ‘Nana’ & ‘Variegata Nana’	Dwarf Aucuba	5 gal	L
CHO TEC	Chondropetalum tectorum	Cape Rush	5 gal	M
CLI MIN	Clivia miniata ‘Flame’ & ‘San Marcos Yellow’	Kaffir Lily	1 gal	L
DIC ANT	Dicksonia antarctica	Tasmanian Tree Fern	5 gal	M
DIE BIC	Dietes bicolor	Fortnight Lily	5 gal	L
HAK MAC	Hakonechloa macroa	Japanese Forest Grass	5 gal	M
HAK AUR	Hakonechloa macroa ‘Aureola’	Golden Variegated Hakonechloa	5 gal	M
HEL SEM	Helictotrichon sempervirens	Blue Oat Grass	5 gal	L
HEU HYB	Heuchera Hybrids	Coral Bells	1 gal	M
HOS HYB	Hosta Hybrids	Plantain Lily	5 gal	M
JUN PAT	Juncus patens	California Gray Rush	1 gal	M
LIR GIG	Liriope gigantea	Giant Liriope	1 gal	M
LIR SUN	Liriope muscari ‘Silvery Sunproof’	Silvery Sunproof Blue Lilyturf	5 gal	M
LOR CHI	Loropetalum chinense	Loropetalum	5 gal	M
PHI BIP	Philodendron bipinnatifidum	Cut Leaf Philodendron	5 gal	M
PIT MAR	Pittosporum tenuifolium ‘Marjorie Channon’	Tawhiwhi	5 gal	M
PIT CRE	Pittosporum tobira ‘Cream De Mint’ TM	Cream De Mint Dwarf Mock Orange	5 gal	L
PRU CAR	Prunus caroliniana ‘Bright and Tight’	Carolina Laurel Cherry	5 gal	L
ZAN AET	Zantedeschia aethiopica	Common Calla	5 gal	H

DESIGNATED STREET TREES

STREET TREES	BOTANICAL NAME	COMMON NAME	CONT	QUANTITY
ACE BUE	Acer buergerianum	Trident Maple	24"box	3
ACE GLO	Acer rubrum ‘October Glory’ TM	October Glory Maple	24"box	2
PLA ACE	Platanus x acerifolia	London Plane Tree	24"box	16

ROOF DECK / UPPER LEVEL (PART-SUN)

TREES	BOTANICAL NAME	COMMON NAME	SIZE	QUANTITY
LAG HYB	Lagerstroemia hybrid	Crape Myrtle - multi trunk	24" bx	2
OLE EUR	Olea europea dwarf	Dwarf non-fruiting olive	15 gal	6
BAMBOO	BOTANICAL NAME	COMMON NAME	SIZE	WUCOLS
BAM ALP	Bambusa multiplex ‘Alphonse Karr’	Alphonse Karr Bamboo	5 gal	M
SEM YAS	Semiarundinaria yashadake ‘Kimmei’	Red Cane Bamboo	5 gal	M
SHRUBS	BOTANICAL NAME	COMMON NAME	SIZE	WUCOLS
AEO KIW	Aeonium x ‘Kiwi’	Kiwi Aeonium	1 gal	L
AEO SUN	Aeonium x ‘Sunburst’	Aeonium	1 gal	L
AGA ATT	Agave attenuata	Agave	5 gal	L
ANI BUS	Anigozanthos x ‘Bush Baby’	Bush Baby Kangaroo Paw	1 gal	L
CAR NAN	Carissa macrocarpa ‘Nana’	Dwarf Natal Plum	1 gal	L
CHO TE2	Chondropetalum tectorum	Cape Rush	5 gal	M
CIT HYB	Citrus X lemon	Dwarf lemon tree	5 gal	M
DIE BIC	Dietes bicolor	Fortnight Lily	5 gal	L
EUP MAR	Euphorbia x martinii	Euphorbia	1 gal	M
EUP ASC	Euphorbia x martinii ‘Ascot Rainbow’	Rainbow Spurge	1 gal	M
FES GLA	Festuca glauca	Blue Fescue	1 gal	L
HEL SEM	Helictotrichon sempervirens	Blue Oat Grass	5 gal	L
LIB PER	Libertia peregrinans	NCN	1 gal	L
OLE LIT	Olea europaea ‘Little Ollie’ TM	Little Ollie Olive	5 gal	L
PHO DAZ	Phormium tenax ‘Dazzler’	New Zealand Flax	5 gal	L
PHO MAO	Phormium tenax ‘Maori Queen’	New Zealand Flax	5 gal	L
PHO RAI	Phormium tenax ‘Rainbow Warrior’	New Zealand Flax	5 gal	L
PHO GOL	Phormium x ‘Gold Sword’	Gold Sword Flax	5 gal	L
PIT WHE	Pittosporum tobira ‘Wheelers Dwarf’	Wheeler’s Dwarf Mock Orange	5 gal	L

PLANTING & WATER USE
DESIGN INTENT STATEMENT

THE PLANTING DESIGN INCORPORATES PRINCIPLES INCLUDED IN THE "BAY FRIENDLY LANDSCAPE GUIDELINES". THE PLANTING DESIGN UTILIZES DROUGHT TOLERANT PLANTS WITH SELECT LOW TO MEDIUM WATER-USE & SHADE TOLERANT ORNAMENTAL PLANTS THAT ARE ADAPTED TO THE LOCAL CONDITIONS. PLANTS ARE GROUPED BY HYDROZONE, EXPOSURE & LOCAL CLIMATIC CONDITIONS. THE PLANTING DESIGN ALLOWS FOR THE PLANTS TO REACH THEIR NATURAL, FULL-GROWN SIZE AND ELIMINATES THE NEED FOR EXCESSIVE PRUNING OR HEDGING.

STREET TREES SHOWN ARE THE APPROVED/DESIGNATED SPECIES PER THE CITY OF SAN MATEO. DWARF ORNAMENTAL TREES ARE UTILIZED ON THE ROOF DECK.

THE PLANTS HAVE BEEN SELECTED UTILIZING THE STATE OF CALIFORNIA'S MODEL WATER EFFICIENT LANDSCAPE ORDINANCE PLANT LIST, WUCOLS III, SANTA CLARA COUNTY WATER DISTRICT'S APPROVED PLANT LIST FOR STORM WATER TREATMENT.

NO PLANTS ARE USED THAT ARE CONSIDERED INVASIVE IN THE THE REGION AS LISTED BY THE CAL-IPC. THE IRRIGATION SYSTEMS WILL BE AUTOMATIC, LOW GALLON USE DRIP SYSTEM. LOW, MEDIUM AND HIGH WATER USE HYDROZONES WILL BE ON SEPARATE VALVE CIRCUITS. ALL NEW TREES WILL BE IRRIGATED WITH BUBBLERS ON A SEPARATE CIRCUIT. ALL EXISTING TREES TO REMAIN WILL BE IRRIGATED PER THE ARBORIST'S RECOMMENDATIONS.

THE REMOTE CONTROL VALVES WILL HAVE INTEGRAL PRESSURE REGULATORS TO PREVENT FLUCTUATIONS AND ENSURE CONSTANT APPLICATION RATES TO MINIMIZE OVER OR UNDER WATERING. THE ELECTRONIC IRRIGATION CONTROLLER WILL HAVE SEASON ADJUSTMENTS, MULTIPLE PROGRAMS AND APPLICATION CYCLES/START TIMES. A RAIN SWITCH WILL BE INSTALLED TO PREVENT IRRIGATION DURING RAINY PERIODS. A FLOW SENSOR AND MASTER VALVE WILL BE CONNECTED TO THE CONTROLLER TO ALLOW AUTOMATIC SHUT OFF OF ANY VALVE CIRCUIT OR MAIN LINE IN THE EVENT OF A PIPE BRAKE TO PREVENT WATER WASTE.

NEW TREES

PLEASE SEE ARBORIST'S REPORT & TREE EVALUATION ALONG WITH THE "REQUIRED TREE PLANTING FORM" INCLUDED WITH THIS SUBMITTAL.

SUMMARY BELOW AS FOLLOWS:

REQUIRED TREE PLANTING		
LANDSCAPE AREA	4392 SF	
NEW TREES REQUIRED	11	
EXISTING TREES TO REMAIN	8	
LU VALUE TO BE REPLACED	45.73	

NEW TREE PROVIDED		
QUANTITY	SIZE	LU VALUE
23	24" BOX TREES	46
6	15 GALLON	6
		TOTAL LU VALUE: 52

GROUND FLOOR / STREET LEVEL (PART-SHADE)



ROOF DECK / UPPER LEVEL (PART-SUN)



Winnie Lam
Hillsdale Terraces, LLC
159 El Camino Real
Millbrae, CA 94030

Re: Hillsdale Terrace Tree Evaluation Survey at 2700-2790 of S. El Camino Real, San Mateo, CA

Dear Ms. Lam,

On behalf of the Arborwell team, I would like to thank you for the opportunity to provide you with this tree evaluation survey for your upcoming planning submittal. This survey includes a *Tree Evaluation Schedule* and a *Tree Inventory Map*, along with the require planning submittal forms.

Site Description & Background

Hillsdale Terrace at 2700-2790 S. El Camino Real is a commercial property in the El Camino Real Corridor of San Mateo, California. The property encompasses an undeveloped lot on the southwest corner of the property and to the north of the lot, several small buildings that house commercial stores.

All *Major Vegetation*, defined as any tree with a trunk six (6) inches or greater measured at forty-eight (48) inches above natural grade, on-site was inventoried. Individual trees were mapped but not physically tagged onsite due to the small nature of the property.

There were thirty-nine (39) trees on-site or neighboring the property that are considered *Major Vegetation*. There are no Heritage Trees on the property, as defined by the City of San Mateo's Heritage Tree Ordinance §13.52.020, "any tree with a trunk diameter of sixteen (16) inches or more measured at forty-eight (48) inches above natural grade." Many, if not all, trees onsite were declining in health and will likely require removal. Site conditions may change over time.

Methodology

All individuals were identified in the field and identified with a number. Each tree was assessed on an individual basis and observations were made accordingly. *Major Vegetation* was recorded in *Tree Evaluation Schedule* and a *Tree Inventory Map*, mapped using ArcView® GIS.

A modified appraisal of the subject trees was performed under the direction of the *Guide for Plant Appraisal, 9th Edition* issued by the International Society of Arboriculture (ISA), Champaign, Illinois 2000, and adapted by the City of San Mateo to arrive at a LU Value. *The Species Classification and Group Assignment* (1992), a publication of the Western Chapter of the International Society of Arboriculture, was used to determine the species value. The appraised LU Value of the tree was determined using the City of San Mateo's *Tree Evaluation Schedule*.

The formula is as follows:

LU Value = (Species * Condition * Location) / 0.35) (Caliper Size * 0.70 if in allowable bldg. area * 1.25 if Heritage Tree)

Location: each tree was assigned a location value according to *The Guide for Plant Appraisal*, which includes the average of the *site rating* (10 to 100 percent), *contribution rating* (10 to 100 percent), and *placement rating* (10 to 100 percent). Because the trees are situated within a continuous landscape, the above ratings were assigned the following:

2337 AMERICAN AVE, HAYWARD, CA 94545
1993 EAST BAYSHORE ROAD, REDWOOD CITY, CA 94063

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- *Property Perimeter:* these trees serve as screen. Some have not been placed. They provide no shade, have had little maintenance, and contributed little to the long-term of the site – 20%
- *Parking Lot:* these trees were placed in the parking lot planting areas, yet have been improperly maintained – 40%
- *Street Trees:* while these trees are well placed, they are not maintained yearly – 70%
- *Landscaped Area:* these trees are well placed in high-visibility planting vaults but were not maintained regularly – 60%
- *Neighboring Property:* the trees were located on the neighboring property and yet influence the site – 40%

Species: each tree was assigned values in accordance with the species value corrected by the regional supplement for California, *Species Classification and Group Assignment*, available from the Western Chapter of the International Society of Arboriculture.

Condition: each tree has an assigned a value between 0% and 100% based on the derived value of health and structural conditions observed on the dates of inspection. Observations were recorded as *poor* = 1, *fair* = 2, *moderate* = 3, *good* = 4, and *excellent* = 5 (see Exhibit 1 for *condition ratings*), and then both values were added together then multiplied by 10 to arrive at a percentage.

Appraisal Discussion & Conclusion

For the purpose of this report, the LU Value derived is an approximation of an individual tree's LU Value and does not represent absolute values based on the inherent subjectivity, and questionable results, of the *Tree Evaluation Schedule*. The total appraised LU Value for the existing Hillsdale Terrace property's trees is **49.024**. If a new development is being proposed, I recommend all trees on the site be removed and replaced with high-value specimens. Neighboring trees should be preserved in place.

Thank you again; we look forward to building a long lasting relationship and taking care of your trees. Please review this information and contact me with any questions or concerns regarding the information provided in this letter.

Sincerely,

Sam Oakley
ISA Certified Arborist, WE-9474A, TRAQ
ASCA Registered Consulting Arborist #556

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Tree Evaluation Schedule													
FORMULA FOR LU VALUE:													
Ref	Location	Species Name	Common Name	Major Vegetation (≥ 4" DBH)	Species Value %	Condition Value %	Location Value %	0.35x	x	0.35x	x	x	=
1	Unmaintained Landscape	Liquidambar styraciflua	Sweetgum	Yes	50	40	40	0.35	14	0.7	1	2.24	Branch Failure
2	Unmaintained Landscape	Liquidambar styraciflua	Sweetgum	Yes	50	40	40	0.35	12	0.7	1	1.92	Poor structure
3	Property Perimeter	Calocedrus decurrens	Incense Cedar	Yes	70	40	20	0.35	7	0.7	1	0.784	Raised
4	Property Perimeter	Calocedrus decurrens	Incense Cedar	Yes	70	40	20	0.35	7	0.7	1	0.784	Raised
5	Property Perimeter	Calocedrus decurrens	Incense Cedar	Yes	70	40	20	0.35	7	0.7	1	0.784	Raised
6	Property Perimeter	Calocedrus decurrens	Incense Cedar	Yes	70	40	20	0.35	7	0.7	1	0.784	Raised
7	Property Perimeter	Calocedrus decurrens	Incense Cedar	Yes	70	40	20	0.35	7	0.7	1	0.784	Raised
8	Property Perimeter	Calocedrus decurrens	Incense Cedar	Yes	70	40	20	0.35	7	0.7	1	0.784	Raised
9	Property Perimeter	Calocedrus decurrens	Incense Cedar	Yes	70	40	20	0.35	7	0.7	1	0.784	Raised
10	Property Perimeter	Calocedrus decurrens	Incense Cedar	Yes	70	40	20	0.35	7	0.7	1	0.784	Raised
11	Property Perimeter	Calocedrus decurrens	Incense Cedar	Yes	70	40	20	0.35	7	0.7	1	0.784	Raised
12	Property Perimeter	Calocedrus decurrens	Incense Cedar	Yes	70	40	20	0.35	12	0.7	1	1.344	
13	Property Perimeter	Calocedrus decurrens	Incense Cedar	Yes	70	40	20	0.35	12	0.7	1	1.344	
14	Property Perimeter	Calocedrus decurrens	Incense Cedar	Yes	70	0	20	0.35	12	0.7	1	0	Dead
15	Property Perimeter	Calocedrus decurrens	Incense Cedar	Yes	70	0	20	0.35	10	0.7	1	0	Dead
16	Neighboring Property	Calocedrus decurrens	Incense Cedar	Yes	70	40	40	0.35	10	0.7	1	2.24	Poor structure
17	Property Perimeter	Maytenus boaria	Mayten	Yes	50	0	20	0.35	12	0.7	1	0	Dead
18	Property Perimeter	Calocedrus decurrens	Incense Cedar	Yes	70	40	20	0.35	4	0.7	1	0.448	
19	Property Perimeter	Maytenus boaria	Mayten	Yes	50	40	20	0.35	4	0.7	1	0.32	
20	Parking Lot	Maytenus boaria	Mayten	Yes	50	40	40	0.35	14	0.7	1	2.24	
21	Parking Lot	Calocedrus decurrens	Incense Cedar	Yes	70	20	40	0.35	14	0.7	1	1.568	Topped
22	Parking Lot	Calocedrus decurrens	Incense Cedar	Yes	70	20	40	0.35	14	0.7	1	1.568	Topped
23	Parking Lot	Calocedrus decurrens	Incense Cedar	Yes	70	20	40	0.35	14	0.7	1	1.568	Topped
24	Parking Lot	Calocedrus decurrens	Incense Cedar	Yes	70	20	40	0.35	14	0.7	1	1.568	Topped
25	Parking Lot	Calocedrus decurrens	Incense Cedar	Yes	70	20	40	0.35	14	0.7	1	1.568	Topped
26	Parking Lot	Calocedrus decurrens	Incense Cedar	Yes	70	20	40	0.35	14	0.7	1	1.568	Topped
27	Parking Lot	Calocedrus decurrens	Incense Cedar	Yes	70	20	40	0.35	14	0.7	1	1.568	Topped
28	Parking Lot	Calocedrus decurrens	Incense Cedar	Yes	70	20	40	0.35	14	0.7	1	1.568	Topped
29	Landscaped Area	Pyrus calleryana	Ornamental Pear	Yes	50	50	60	0.35	4	0.7	1	1.2	Some blight
30	Landscaped Area	Gleditsia tricanthos	Honey Locust	Yes	30	30	60	0.35	6	0.7	1	0.648	Poor structure and health
31	Landscaped Area	Gleditsia tricanthos	Honey Locust	Yes	30	30	60	0.35	4	0.7	1	0.432	Poor structure and health
32	Landscaped Area	Trachycarpus fortunei	Windmill Palm	Yes	90	60	60	0.35	11	0.7	1	7.128	Stunted growth
33	Property Perimeter	Callistemon citrinus	Bottle Brush	Yes	50	60	20	0.35	10	0.7	1	1.2	Multiple stems
34	Property Perimeter	Callistemon citrinus	Bottle Brush	Yes	50	60	20	0.35	4	0.7	1	0.48	Multiple stems
35	Property Perimeter	Callistemon citrinus	Bottle Brush	Yes	50	60	20	0.35	12	0.7	1	1.44	Multiple stems
36	Neighboring Property	Pinus radiata	Monterey Pine	Yes	30	40	40	0.35	14	0.7	1	1.344	Topped
37	Neighboring Property	Eucalyptus sideroxylon	Red Ironbark Eucalyptus	Yes	10	40	40	0.35	12	0.7	1	0.384	Topped
38	Neighboring Property	Eucalyptus sideroxylon	Red Ironbark Eucalyptus	Yes	10	40	40	0.35	12	0.7	1	0.384	Topped
39	Neighboring Property	Cinnamomum camphora	Camphor	Yes	70	40	40	0.35	12	0.7	1	2.688	Topped



NOTE - CALOCEDRUS DECURENS TREES #3-10 TO BE PRESERVED

HILLSDALE TERRACE

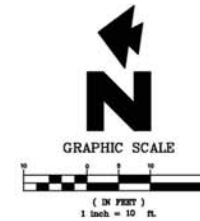
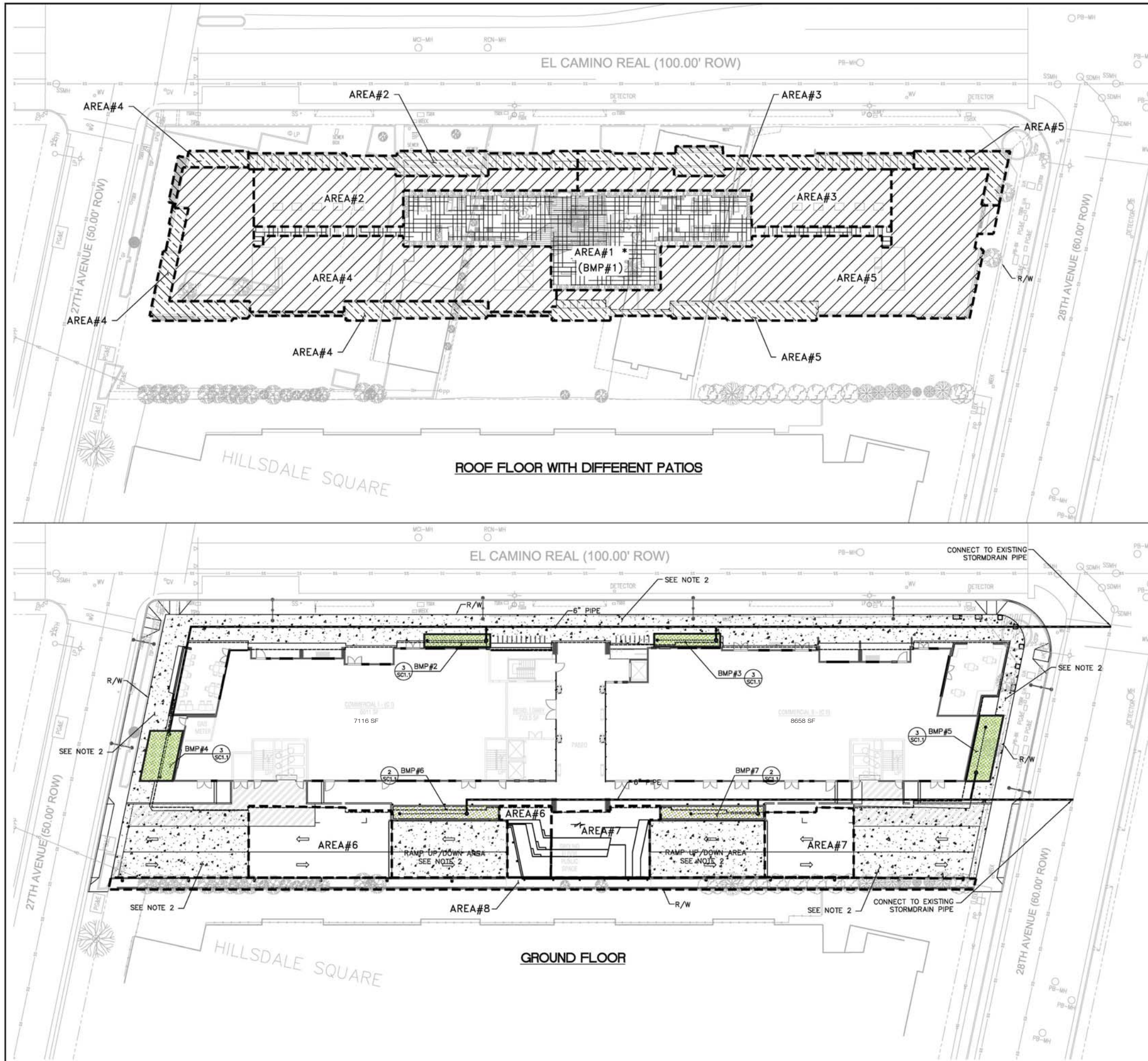
2700 SOUTH EL CAMINO REAL
SAN MATEO, CA 94403

TREE EVALUATION SCHEDULE

SCALE: NTS

DATE: 9/17/14

L 2.2



LEGEND

AREA#1	= DRAINAGE BOUNDARY
[Hatched pattern]	= ROOF
[Hatched pattern]	= PATIO/SKYLIGHT
[Dotted pattern]	= BIO-RETENTION AREA
[Green hatched pattern]	= FLOW THROUGH PLANTER AREA
[Grid pattern]	= ROOF GARDEN COMBINED WITH PERMEABLE PAVER AND LANDSCAPE
[Stippled pattern]	= GROUND AREA, SEE NOTE 2 TO APPLY 25% CREDIT FOR SPECIAL PROJECT
[Circle symbol]	= LANDSCAPE

TREATMENT MEASURE SIZING TABLE

TREATMENT AREA	PROPOSED TREATMENT METHOD(BMP#)	DRAINAGE AREA (SF)	REQUIRED TREATMENT AREA (SF) 4% OF DRAINAGE AREA	PROVIDED TREATMENT MEASURE(SF)
AREA#1 *	SELF-TREATING (BMP#1)	4990	-	-
AREA#2	FLOW-THROUGH PLANTER(BMP#2)	3240	130	138
AREA#3	FLOW-THROUGH PLANTER(BMP#3)	3170	127	138
AREA#4	FLOW-THROUGH PLANTER(BMP#4)	7080	283	284
AREA#5	FLOW-THROUGH PLANTER(BMP#5)	6550	262	292
AREA#6	BIO-RETENTION AREA(BMP#6)	2420	92	236
AREA#7	BIO-RETENTION AREA(BMP#7)	2340	104	231
AREA#8	LANDSCAPE	1910		
AREA#9	IMPERVIOUS AREA, SEE NOT 2	10,513		

NOTES

- 1) SIZING GUIDELINE FOR FLOW BASED TREATMENT IS 4%, PER COUNTY OF SAN MATEO STANDARDS.
 - 2) FOR SIDEWALK ALONG EL CAMINO REAL, 27TH AVE, 28TH AVE, RAMP UP/DOWN, AND PORTION OF PRIVATE ROAD, THE PROJECT TEAM WOULD APPLY TREATMENT REDUCTION CREDIT, SEE SPECIAL PROJECT FORM FOR DETAILS.
 - 3) SEE LANDSCAPE PLAN FOR ONSITE PROPOSED LANDSCAPE DESIGN.
 - 4) DRAINAGE AREA 2, 3, 4 AND 5 CONTAIN ROOF AREAS, DIFFERENT FLOOR PATIO AREAS AND SKYLIGHT AREAS.
- * ROOF DRAINAGE AREA COMBINED WITH LANDSCAPE AND PERMEABLE PAVER

STORMWATER CONTROL PLAN

2700 SOUTH EL CAMINO REAL
SAN MATEO, CA 94403

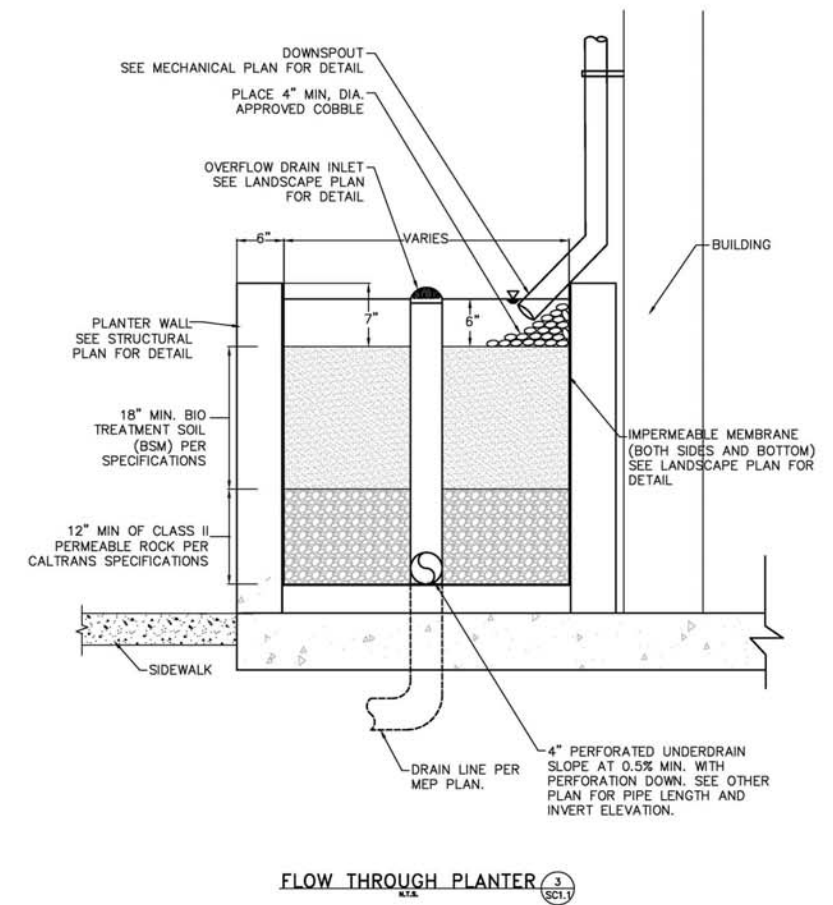
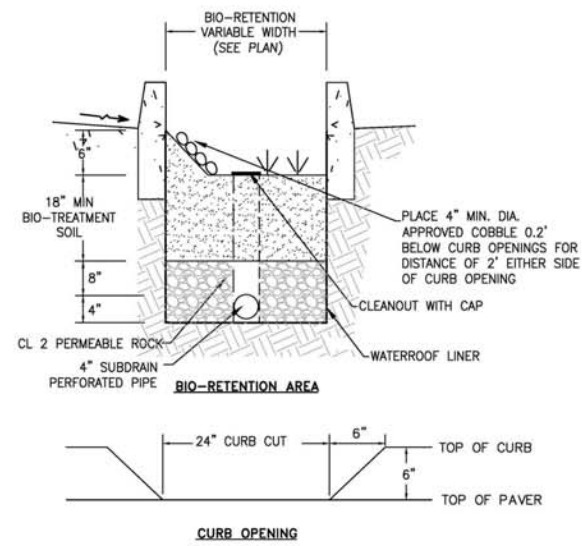
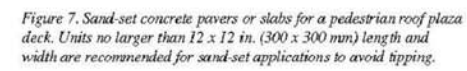
REV.	DESCRIPTION	DATE
1	REVISED PLANS PER CITY COMMENTS	3/28/16



DATE:	02-17-2015
SCALE:	AS SHOWN
DRAWN:	CW
CHECK:	CW
JOB:	2014022

~SHEET~

SC1.0



DETAIL SHEET

2700 SOUTH EL CAMINO REAL
SAN MATEO, CA 94403

REV.	DESCRIPTION	DATE
1	REVISED PLANS PER CITY COMMENTS	3/28/16
-		
-		
-		



DATE:	02-17-2015
SCALE:	AS SHOWN
DRAWN:	CW
CHECK:	CW
NO:	2014022

~SHEET~

SC1.1

TENTATIVE MAP
HILLSDALE TERRACES
2700, 2728 & 2790 SOUTH EL CAMINO REAL
SAN MATEO, SAN MATEO COUNTY, CALIFORNIA 94403
FOR: HILLSDALE TERRACES, LLC



VICINITY MAP
NOT TO SCALE

ASSUMED BENCHMARK AT INTERSECTION OF 27TH AVE.
& EDISON ST.

ASSUMED BENCHMARK @ SSMH TOP RIM ELEVATION = 100.00 AS SHOWN ON THE MAP.

BASIS OF BEARINGS

THE BEARING N26°45'00"W OF THE CENTERLINE OF EDISON STREET (DERIVE FROM SPLITTING THE CURB LINES) PER "MAP SHOWING A SUBDIVISION OF LOTS 1, 2, 19, AND 21 OF THE BERESFORD PARK TRACT, SAN MATEO COUNTY, CAL." AND "33 RS 43", FILED IN THE OFFICE OF THE RECORDER OF SAN MATEO COUNTY, STATE OF CALIFORNIA, WAS USED AS BASIS OF BEARING FOR THIS SURVEY.

DATE OF SURVEY:

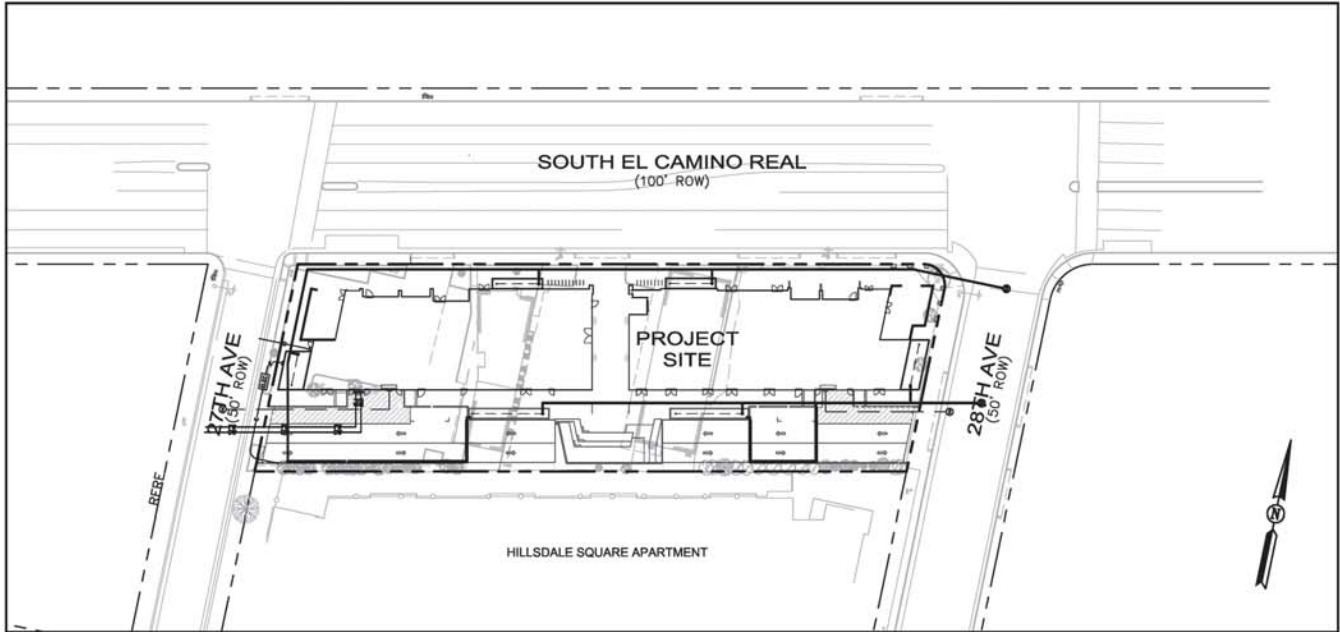
TOPOGRAPHIC INFORMATION SHOWN HERE IS BASED UPON A FIELD SURVEY PERFORMED ON JANUARY 16, 2014.

BOUNDARY NOTES:

- PROPERTY AND RIGHT-OF WAY SHOWN HEREON ARE BASED ON RECORD DATA AND NOT INTENDED TO BE A DETAILED FINAL SURVEY OF THE PROPERTY.
- ALL ANGLES ARE 90° UNLESS OTHERWISE NOTED.
- ALL DISTANCES ARE MEASURED IN FEET AND DECIMALS THEREOF.
- PROPERTY LINE TO MONUMENT LINE MEASURED DISTANCES WERE BASED UPON FOUND SURVEY MARKS, CURB SPLITS AND BUILDING OCCUPATIONS.
- ENCROACHMENT FROM/ONTO THE ADJOINING PROPERTIES THAT MAY EXIST OR MAY BE CONSTRUCTED IS HEREBY ACKNOWLEDGED AND IT SHALL THE RESPONSIBILITY SOLELY OF THE PROPERTY OWNERS INVOLVED TO RESOLVE ANY ISSUES WHICH MAY ARISE THERE FROM. THIS MAP DOES NOT CONVEY ANY INTEREST IN SUCH ENCROACHMENT AREAS TO THE PROPERTY OWNER(S).
- RECORDED MAP REFERENCE: 33 RS 43, 103 RSM 06, AND 2 RSM 37, SAN MATEO COUNTY.
- RECORD OWNERSHIP INFORMATION WAS TAKEN FROM GRANT DEED, INSTRUMENT NO. 2013-110986, DATED JULY 30, 2013.
- BUILDING FOOTPRINTS SHOWN ARE ALL TAKEN ON THE GROUND LEVEL.

UTILITY STATEMENT:

THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND/OR RECORD DATA AND ARE APPROXIMATE ONLY. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES. ACTUAL LOCATION AND SIZE, TOGETHER WITH THE PRESENCE OF ANY ADDITIONAL UTILITY LINES NOT SHOWN ON THIS PLAN, SHALL BE VERIFIED IN THE FIELD BY THE CONTRACTOR DURING CONSTRUCTION. PRIOR TO ANY DIGGING, CALL U.S.A. (1-800-642-2444) AT LEAST 48 HOURS IN ADVANCE TO HAVE EXISTING UNDERGROUND UTILITIES MARKED.



LOCATION MAP

NOT TO SCALE

SHEET INDEX

TM-1	COVER SHEET
TM-2	EXISTING PARCELS & EASEMENTS
TM-3	PROPOSED PARCELS & EASEMENTS
TM-4	PRELIMINARY GRADING & DRAINAGE PLAN
TM-5	PRELIMINARY UTILITY PLAN

LEGEND :

---	PROPERTY LINE
---	EXISTING LINE
////	BUILDING LIMITS
+	BENCHMARK REFERENCE
OH	OVERHEAD ELECTRICAL LINE (APPROXIMATE)
SD	STORM DRAIN LINE (APPROXIMATE)
SS	SANITARY SEWER LINE (APPROXIMATE)

ABBREVIATIONS:

AC	ASPHALT CONCRETE	PB-MH	PACIFIC BELL MANHOLE
APN	ASSESSOR'S PARCEL NUMBER	PL	PROPERTY LINE
BM	BENCHMARK	PP	POWER POLE
BC	BUILDING CORNER	ROW	RIGHT OF WAY
BL	BUILDING LINE	RTW	RETAINING WALL
BOW	BOTTOM OF WALL	(R)	PER RECORD MAPS
BP	BACKFLOW PREVENTER	SS	STREET SIGN
BRC	BACK OF ROLL CURB	SDMH	STORM DRAIN MANHOLE
BW	BACK OF WALK	SSMH	SANITARY SEWER MANHOLE
CLR.	CLEAR	S/W	SIDEWALK
(D)	PER RECORDED DEED	TC	TOP OF CURB
DI	DRAIN INLET	TR	TREE
D/W	DRIVEWAY	TSBX	TRAFFIC SIGNAL BOX
EL./ELEV.	ELEVATION	TSP	TRAFFIC SIGNAL POLE
(E)/EX.	EXISTING	TW	TOP OF WALL
FH	FIRE HYDRANT	TYP.	TYPICAL
FL	FLOW LINE	(T)	TOTAL
GND	GROUND	WBX	WATER BOX
GV	GAS VALVE	WV	WATER VALVE
LG	LIP OF GUTTER	WD	WOODEN
LP	LIGHT POLE	±0.00' CLR.*	MEAS. FROM INSIDE FACE OF RTW./WALL TO PL
MIN	MINIMUM	±0.00' CLR./OVER.**	MEAS. FROM INSIDE WD. FACE OF FENCE TO PL
(M)/MEAS.	MEASURED	±0.00' CLR.***	MEAS. FROM BLDG. CORNER/LINE TO PL
MH	MANHOLE	0.00'±	MEAS. FROM BASE OF THE TREE (APPROXIMATE).
NTS	NOT TO SCALE	①	103 RSM 06
PAV.	PAVEMENT		

GENERAL NOTES:

- OWNER / DEVELOPER: HILLSDALE TERRACES, LLC
159 EL CAMINO REAL
MILLBRAE, CA 94030
- ARCHITECT: COSTA BROWN ARCHITECTURE, INC.
1620 MONTGOMERY STREET, SUITE 300
SAN FRANCISCO, CA 94111
- CIVIL ENGINEER: GREEN CIVIL ENGINEERING
204 EAST 2ND AVENUE #820
SAN MATEO, CA 94401
- SURVEYOR: GLA CIVIL ENGINEERING, INC.
944 MARKET STREET, SUITE 711
SAN FRANCISCO, CA 94102
- APN(S): 039-352-060
039-352-070
039-352-090
- ZONING: C3-1/R4
- LOT AREA:
LOT 1 (MERGED TO 1 LOT) 0.999± ACRE
039-352-060 0.378± ACRE
039-352-070 0.298± ACRE
039-352-090 0.323± ACRE
- TOTAL NO. OF PROPOSED UNITS: COMMERCIAL - 17,804 SF OF FLOOR AREA
RESIDENTIAL - 74 UNITS
- TOTAL NO. OF PARKING PROVIDED: 171 SPACES
56 (COMMERCIAL)
100 (RESIDENTIAL)
15 (VISITOR)
- UTILITIES:
WATER: CAL WATER
SANITARY SEWER: CITY OF SAN MATEO
STORM DRAIN: CITY OF SAN MATEO
FIRE: CITY OF SAN MATEO
GAS & ELECTRIC: PACIFIC GAS & ELECTRIC
TELEPHONE: AT&T
CABLE TV: COMCAST

DRAFT

REV.	DATE	DESCRIPTION
-	3/29/2016	TENTATIVE MAP PER DEPT. OF COMMUNITY DEVELOPMENT COMMENTS, 1/20/16

GREEN
CIVIL ENGINEERING

204 E 2ND AVE #820
SAN MATEO, CA 94401



OWNER:
HILLSDALE TERRACES, LLC

159 EL CAMINO REAL
MILLBRAE, CA 94030

COVER SHEET
TENTATIVE MAP

2700, 2728 & 2790 SOUTH EL CAMINO REAL
SAN MATEO, CALIFORNIA 94403

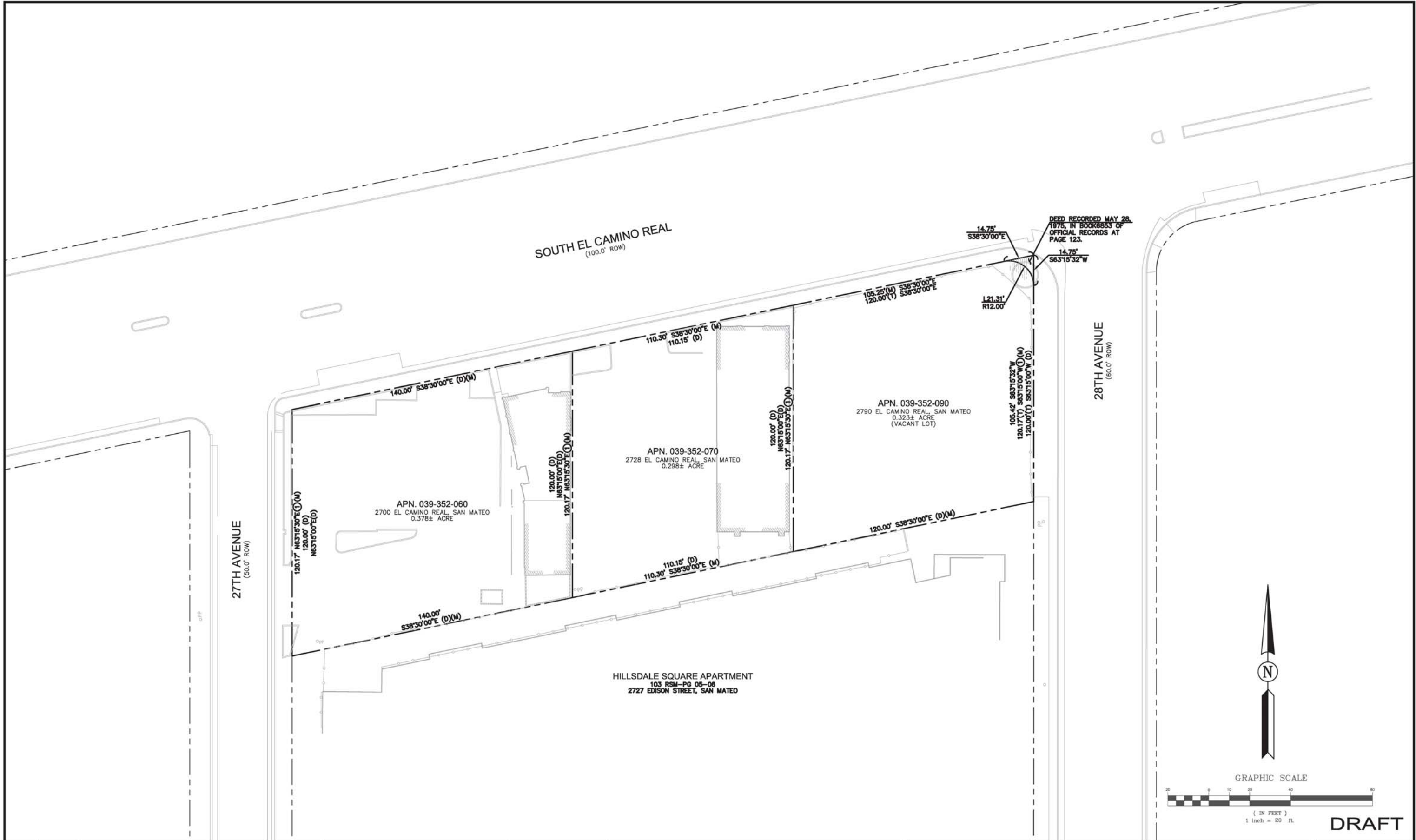
SCALE
VERTICAL: 1"= AS SHOWN
HORIZONTAL: 1"= AS SHOWN

SHEET

TM-1

OF 5 SHEET

JOB NO.
2014022



REV.	DATE	DESCRIPTION
-	3/29/2016	TENTATIVE MAP PER DEPT. OF COMMUNITY DEVELOPMENT COMMENTS, 1/20/16

GREEN
CIVIL ENGINEERING



204 E 2ND AVE #820
SAN MATEO, CA 94401



OWNER:
HILLSDALE TERRACES, LLC

159 EL CAMINO REAL
MILLBRAE, CA 94030

EXISTING PARCELS & EASEMENTS
TENTATIVE MAP
2700, 2728 & 2790 SOUTH EL CAMINO REAL
SAN MATEO, CALIFORNIA 94403

SCALE
VERTICAL: 1"= AS SHOWN
HORIZONTAL: 1"= AS SHOWN

SHEET
TM-2
OF 5 SHEET

JOB NO.
2014022

SOUTH EL CAMINO REAL
(100.0' ROW)

DEED RECORDED MAY 28,
1975, IN BOOK 8853 OF
OFFICIAL RECORDS AT
PAGE 123.

14.75'
S38°30'00"E
14.75'
S83°15'32"W

355.55' S38°30'00"E
PROPOSED 7.5' PUBLIC ACCESS EASEMENT
368.23' S38°30'00"E

LOT 1
APN. 039-352-060
APN. 039-352-070
APN. 039-352-090
2700, 2728 & 2790 EL CAMINO REAL, SAN MATEO
0.999± ACRE
(MERGED TO ONE LOT)

L21.51'
R12.00'

28TH AVENUE
(60.0' ROW)

27TH AVENUE
(50.0' ROW)

120.17' N63°15'30"E

370.30' S38°30'00"E

HILLSDALE SQUARE APARTMENT
103 RSM-PG 05-06
2727 EDISON STREET, SAN MATEO



GRAPHIC SCALE



(IN FEET)
1 inch = 20 ft.

DRAFT

REV.	DATE	DESCRIPTION
-	3/29/2016	TENTATIVE MAP PER DEPT. OF COMMUNITY DEVELOPMENT COMMENTS, 1/20/16

GREEN

CIVIL ENGINEERING

204 E 2ND AVE #820
SAN MATEO, CA 94401



OWNER:
HILLSDALE TERRACES, LLC

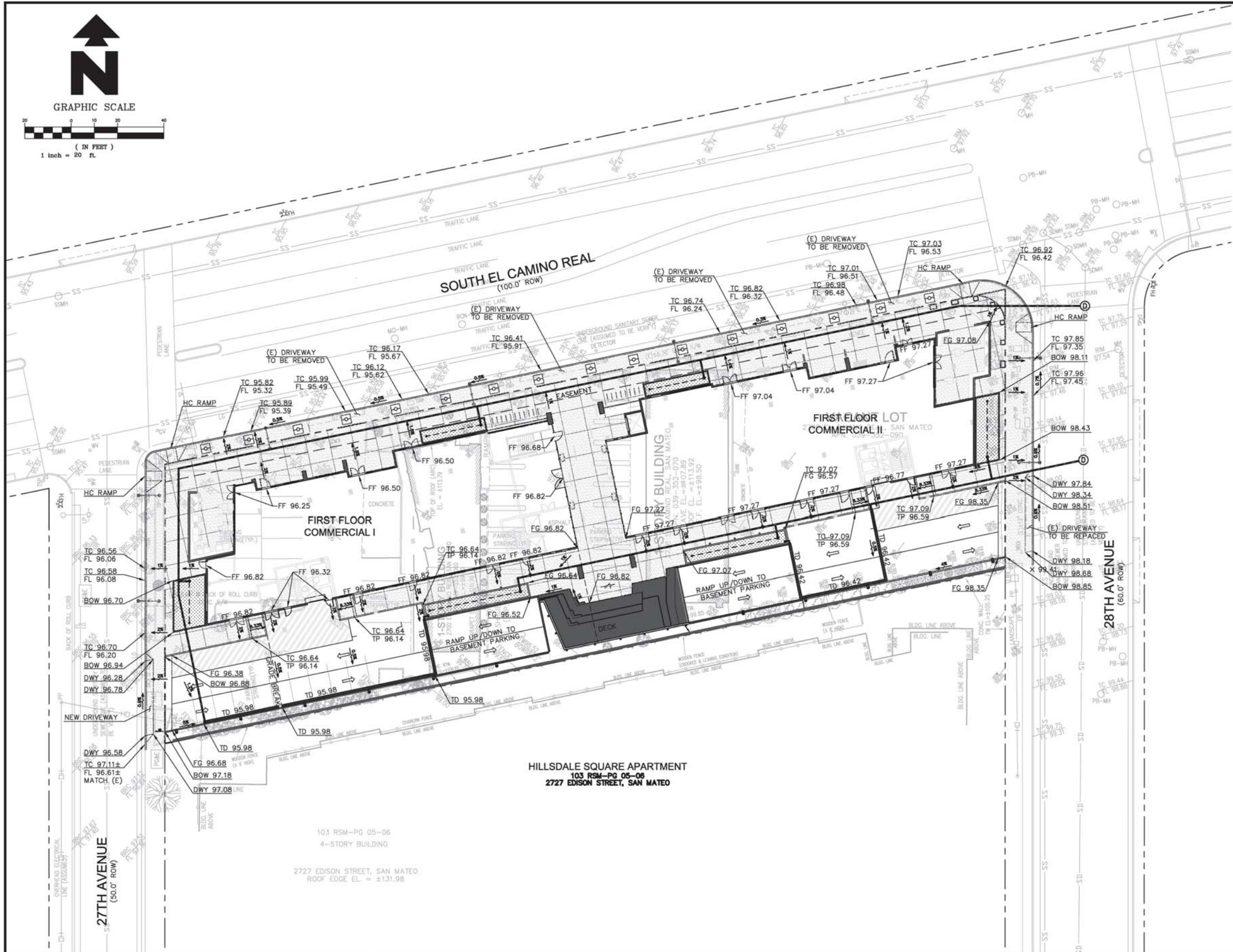
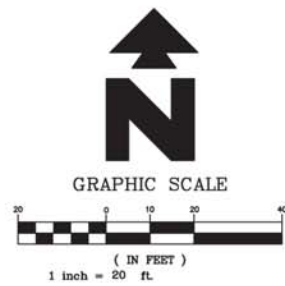
159 EL CAMINO REAL
MILLBRAE, CA 94030

PROPOSED PARCELS & EASEMENTS
TENTATIVE MAP
2700, 2728 & 2790 SOUTH EL CAMINO REAL
SAN MATEO, CALIFORNIA 94403

SCALE
VERTICAL: 1"= AS SHOWN
HORIZONTAL: 1"= AS SHOWN

SHEET
TM-3
OF 5 SHEET

JOB NO.
2014022



GENERAL NOTES:

1. IF ANY EXISTING STRUCTURES TO REMAIN ARE DAMAGED DURING CONSTRUCTION IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO REPAIR AND/OR REPLACE THE EXISTING STRUCTURE AS NECESSARY TO RETURN IT TO EXISTING CONDITIONS OR BETTER.
2. CONTRACTOR SHALL PROTECT ALL PROPERTY CORNERS.
3. CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE GOVERNING CODES AND BE CONSTRUCTED TO SAME.
4. CONTRACTOR SHALL ADJUST AND/OR CUT EXISTING PAVEMENT AS NECESSARY TO ASSURE A SMOOTH FIT AND CONTINUOUS GRADE.
5. CONTRACTOR SHALL ASSURE POSITIVE DRAINAGE AWAY FROM BUILDING FOR ALL NATURAL AND PAVED AREAS.
6. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANIES AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
7. THE CONTRACTOR SHALL ADHERE TO ALL TERMS & CONDITIONS AS OUTLINED IN GENERAL N.P.D.E.S. PERMIT FOR STORMWATER DISCHARGE ASSOCIATED WITH CONSTRUCTION ACTIVITIES.
8. UTILITY VAULTS, TRANSFORMERS, UTILITY CABINETS, CONCRETE BASES, OR OTHER STRUCTURES CANNOT BE PLACED OVER WATER MAINS/SERVICES. MAINTAIN 1' HORIZONTAL CLEAR SEPARATION FROM THE VAULTS, CABINET & CONCRETE BASES TO EXISTING UTILITIES AS FOUND IN THE FIELD. IF THERE IS CONFLICT WITH EXISTING UTILITIES, CABINETS, VAULTS & BASES SHALL BE RELOCATED FROM THE PLAN LOCATION AS NEEDED TO MEET FIELD CONDITIONS. TREES MAY NOT BE PLANTED WITHIN 10' OF EXISTING WATER MAINS/SERVICES OR METERS. MAINTAIN 10' BETWEEN TREES AND WATER SERVICES, MAINS & METERS.
9. UTILITY INSTALLATION SHALL BE IN ACCORDANCE WITH CITY'S UTILITY STANDARDS FOR WATER, GAS & WASTEWATER.
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11. PG&E AND LOCAL WATER PURVEYOR SHALL OBTAIN SEPARATE ENCROACHMENT
12. THE APPLICANT SHALL OBTAIN AN ENCROACHMENT PERMIT FROM THE CITY ENGINEERING DIVISION PRIOR TO CONSTRUCTION IN CITY'S RIGHT-OF-WAY.

LEGEND

- = PROPERTY LINE
- = STORM DRAIN LINE
- = 4" PERFORATED PIPE
- = TRENCH DRAIN
- ⊙ = STORM DRAIN MANHOLE
- = SEWER/STORM CLEANOUT
- = STORM DRAIN OVERFLOW INLET
- = POP UP DRAIN

ABBREVIATIONS:

- | | |
|-------------------------------|--------------------------------|
| DWY = DRIVEWAY ELEVATION | S = SLOPE |
| EG = EXISTING GRADE ELEVATION | SD = STORM DRAIN |
| FF = FINISH FLOOR ELEVATION | SDCO = STORM DRAIN CLEANOUT |
| FG = FINISH GRADE ELEVATION | SDDI = STORM DRAIN DRAIN INLET |
| FL = FLOWLINE | TC = TOP OF CURB ELEVATION |
| TC = TOP OF CURB ELEVATION | TG = TOP OF GRADE ELEVATION |
| TP = TOP OF PAVEMENT | TS = TOP OF STEP ELEVATION |

REV.	DATE	DESCRIPTION
-	3/29/2016	TENTATIVE MAP PER DEPT. OF COMMUNITY DEVELOPMENT COMMENTS, 1/20/16

GREEN
CIVIL ENGINEERING

204 E 2ND AVE #820
SAN MATEO, CA 94401



OWNER:
HILLSDALE TERRACES, LLC

159 EL CAMINO REAL
MILLBRAE, CA 94030

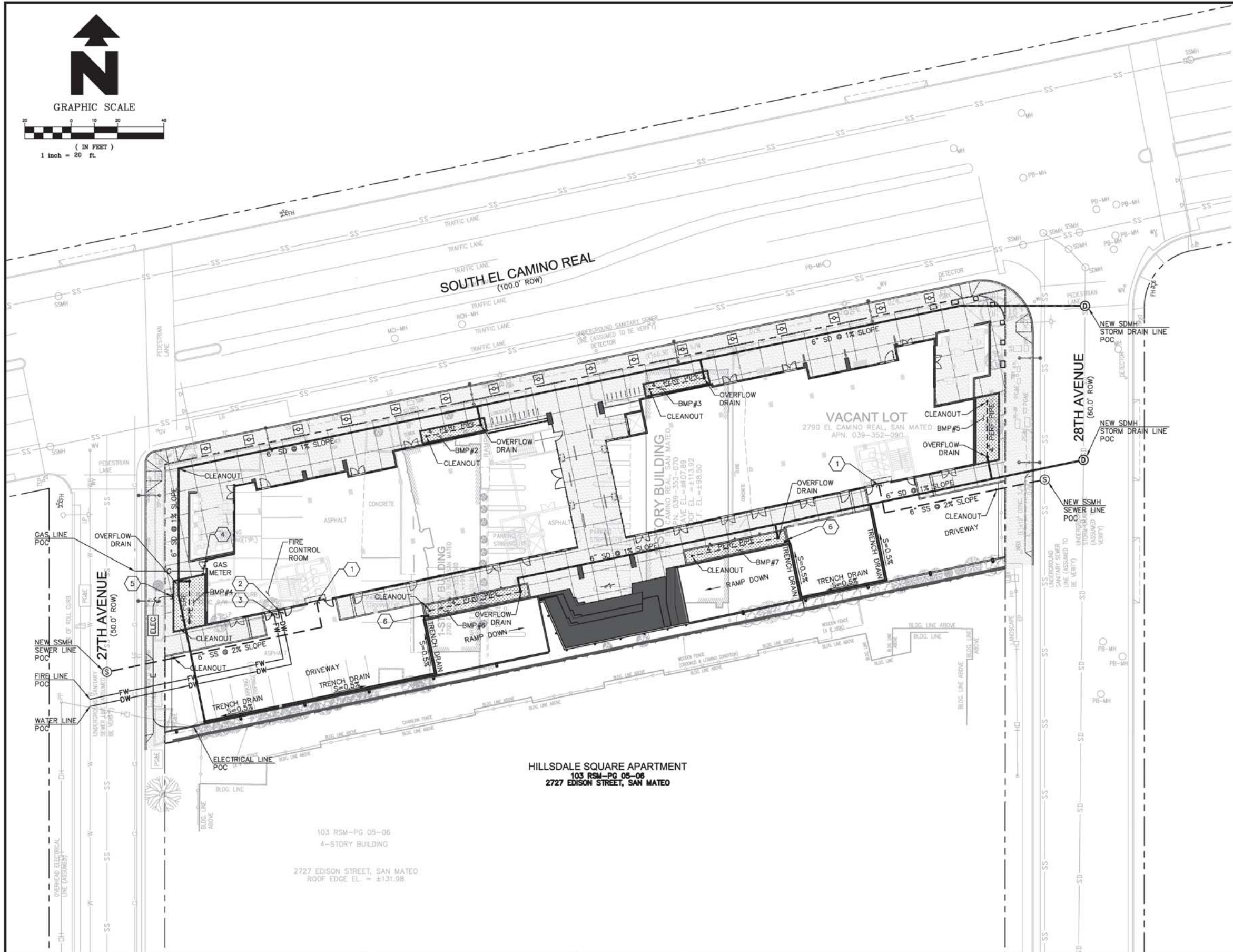
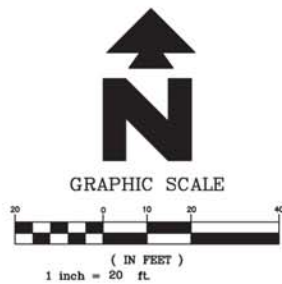
PRELIMINARY GRADING & DRAINAGE PLAN
TENTATIVE MAP
2700, 2728 & 2790 SOUTH EL CAMINO REAL
SAN MATEO, CALIFORNIA 94403

DRAFT

SCALE
VERTICAL: 1"= AS SHOWN
HORIZONTAL: 1"= AS SHOWN

SHEET
TM-4
OF 5 SHEET

JOB NO.
2014022



GENERAL NOTES:

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LEGEND

---	= PROPERTY LINE
---	= STORM DRAIN LINE
---	= 4" PERFORATED PIPE
---	= TRENCH DRAIN
---	= SANITARY SEWER LINE
FW	= FIRE WATER LINE
DW	= DOMESTIC WATER LINE
G	= 2" GAS LINE
E	= ELECTRICAL LINE
S	= SANITARY SEWER MANHOLE
D	= STORM DRAIN MANHOLE
.	= SEWER/STORM CLEANOUT
•	= STORM DRAIN OVERFLOW INLET
■	= POP UP DRAIN

ABBREVIATIONS:

POC = POINT OF CONNECTION
PERF = PERFORATED PIPE
S = SLOPE

UTILITY NOTES

- 1 SANITARY SEWER SERVICE ENTRY
- 2 DOMESTIC WATER LINE SERVICE ENTRY
- 3 FIRE WATER LINE SERVICE ENTRY
- 4 GAS LINE SERVICE ENTRY
- 5 ELECTRICAL LINE SERVICE ENTRY
- 6 POP UP DRAIN. RECEIVES STORM WATER FROM TRENCH DRAIN

DRAFT

REV.	DATE	DESCRIPTION
-	3/29/2016	TENTATIVE MAP PER DEPT. OF COMMUNITY DEVELOPMENT COMMENTS, 1/20/16

GREEN
CIVIL ENGINEERING

204 E 2ND AVE #820
SAN MATEO, CA 94401



OWNER:
HILLSDALE TERRACES, LLC

159 EL CAMINO REAL
MILLBRAE, CA 94030

PRELIMINARY UTILITY PLAN
TENTATIVE MAP
2700, 2728 & 2790 SOUTH EL CAMINO REAL
SAN MATEO, CALIFORNIA 94403

SCALE
VERTICAL: 1"= AS SHOWN
HORIZONTAL: 1"= AS SHOWN

SHEET
TM-5
OF 5 SHEET

JOB NO.
2014022