

**HILLSDALE  
TERRACES**

2700 SOUTH EL CAMINO REAL  
SAN MATEO, CA 94403

Job Number: 13090

No.	Issue	Date
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1	Planning Pre-Application	11/27/2013
2	Planning Study Session	01/16/2014
3	Planning Formal Application	04/02/2015
4	Response To Plan Check	12/17/2015
5	Response To Plan Check	04/14/2016
6	Revision to Comment	05/05/2016
7	Issue For Revision	07/22/2016
8	Issue For Revision	09/14/2016
9	Issue For Revision	12/15/2016



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Date: 12/15/2016

Scale:

Description:

**COVER SHEET**

Sheet Number:

**A-0.0**

**HILLSDALE TERRACES**

# GENERAL NOTES

1. All labor, materials, fabrication, installation, etc., shall be performed in full accordance with California Title 24, the Americans with Disabilities Act (ADA), all governing agencies and all national, state and local codes, laws and ordinances, especially those requirements regarding energy and handicapped accessibility. In case of conflict, the more stringent shall govern.

2. It is the general contractor's responsibility to verify and coordinate all work with the design build subcontractors to ensure project completion in accordance with the design intent set forth within these construction documents and specifications. Contractor to refer to Project Manual for additional information.

3. The appearance of the architect's identification block on drawings prepared by other firms shall not be construed to indicate responsibility for the contents of such drawings on the part of the architect.

4. General contractor shall verify all dimensions and conditions at the job site before starting work and shall notify architect of any discrepancies or errors. Contractor shall be responsible for all costs required due to his failure to do so. Commencement of work by any trade shall constitute agreement that conditions are acceptable for such work.

5. The drawings and specifications are complementary. Every effort has been made to coordinate the drawings and specifications of the architect and the consulting engineers; however, any item, instruction, specification, etc., shown in one location shall be required as if shown in all applicable locations. In case of discrepancy, consult with architect before proceeding.

6. All work shown, listed or implied on any construction document must be supplied and installed by the general contractor, unless noted otherwise. The general contractor must closely coordinate his work with that of subcontractors and suppliers to assure that schedules are met and that work is done in conformance to manufacturer's requirements.

7. The use of the word "provided" in connection with any specified item is intended to mean that the item must be furnished, installed, connected, and ready for use, unless otherwise noted.

8. The construction documents illustrate the design and type of construction desired in general and imply only the finest quality of construction, material and workmanship. By assuming responsibility for the work indicated, the general contractor must comply with the spirit as well as the letter in which they were written.

9. The general contractor shall coordinate the work of all subcontractors: mechanical, electrical, structural, plumbing, etc. General contractor shall report to the architect any discrepancies for correction. Requests for cost increases caused by lack of proper coordination will not be allowed. All work listed, shown or implied on any construction document shall be supplied and installed by the general contractor, except where noted otherwise. General contractor shall coordinate his work with that of other contractors or vendors to assure that all schedules are met and that all work is done in conformance to manufacturer's requirements. Workmanship shall be equal to the best standard of the following institutions:

- American Society of Testing Materials (ASTM)
- American Institute of Steel Construction (AISC)
- American Welding Society (AWS)
- American Concrete Institute (ACI)
- American National Standards Institute (ANSI)
- Architectural Aluminum Manufacturer's Association (AAMA)
- Aluminum Association, Inc. (AA)
- American Institute of Steel Construction (AISC)
- Concrete Reinforcing Steel Institute (CRSI)
- National Association of Architectural Metal Manufacturers (NAAMM)
- National Fire Protection Association (NFPA)
- National Woodwork Manufacturer's Association (NWMA)
- Woodwork Institute of California (WIC)

10. General contractor shall continuously check architectural and structural clearances for accessibility of equipment, including construction equipment, and mechanical, electrical and plumbing systems. Contractor shall verify that no conflicts exist and that all required clearances for installation and maintenance of such items is provided without altering noted dimensions. No allowance of any kind will be made for general contractor's failure to foresee means of installing such items into position inside structure.

11. All materials shall be new and of first quality, and all work shall be performed by skilled mechanics.

12. Dimensions:  
a. All partition dimensions are to face of finish, unless otherwise noted.

b. Do not scale drawings.

c. Dimensions and reference elevations are to finished face of floors and at roof (not to top of covering or roofing), unless otherwise noted.

d. All dimensions shall be verified in field before fabrication.

13. All dimensions are to be exact within 1/4" along full height and full width of walls. Contractor shall not adjust any dimension marked "clear" or "clr" without written instructions from architect.

14. "Typical" or "typ" means identical for all similar conditions, unless noted otherwise.

15. "Similar" or "sim" means comparable characteristics for items noted. Verify dimensions & orientation on plan.

16. General contractor shall provide all chases, sleeves, openings, etc., as required by the various trades, whether noted on construction documents or not.

17. Substantial blocking, backing or other support shall be provided for all fixtures, appliances, cabinets, shelves, rods, accessories or other items to be secured in the walls, whether such blocking or backing is specifically indicated or not.

18. Attachments, connections or fastenings of any nature are to be properly and permanently secured in conformance with best practice. The drawings show only special conditions to assist the contractor; they do not illustrate every such detail.

19. All work shall provide for material expansion and contraction, shrinkage, building movement, etc., sufficient to prevent cracks, buckling or other deformation due to humidity/temperature change and normal loading.

20. All openings to exterior shall be fully sealed all around. Sealant colors shall match adjacent surfaces where possible. Verify sealant colors with architect. Operable doors and windows shall be fully weather-stripped.

21. Provide all flashings, counterflashings, copings, sheet metal, etc., to provide a fully watertight building, whether specifically indicated on the drawings or not. Flashings shall be compatible with all adjacent surfaces. See specifications for more information.

22. Contractor shall waive "common practice" and "common usage" as construction criteria wherever details and contract documents or governing codes, ordinances, etc., require greater quantity or better quality than common usage would require.

23. No work defective in construction or quality or deficient in any requirements of drawings and specifications will be acceptable, despite owner's or architect's failure to discover such defects or deficiencies during construction. Defective work shall be replaced by work conforming to intent of contract. No payment whether partial or final shall be construed as an acceptance of defective work or improper materials.

24. The general contractor must submit shop drawings for all fabricated items, cut sheets for all fixtures and equipment, and samples of all finishes to architect for review and action prior to ordering and fabrication.

25. The contractor must protect the area and all new or existing materials and finishes from damage which may occur from demolition, construction, dust, water, etc., and must provide and maintain temporary barricades as required to protect the public during the period of construction. Damage to new and existing structures, materials, finishes and equipment must be repaired or replaced to the satisfaction of the Owner at the expense of the general contractor.

26. The contractor must notify the architect of any lead time coordination problems.

27. Substitutions, revisions or changes may be allowed only if such items are submitted to the architect in a timely manner, in writing, and subsequently approved by the architect in writing. All substitutions must be at least of equal quality, design and performance. The contractor is liable for replacement, repair and delays caused by an unauthorized substitution of any item for this project. All requests for substitutions shall include the project name, description and drawings, as required, comparing items. The architect reserves the right to reject any substitutes for any reason.

28. The general contractor must maintain a complete, current set of construction documents on the job site during all phases of construction for use by all trades and must provide all subcontractors with current construction documents as required.

29. The subcontractors must remove all rubbish and waste materials on a regular basis and must exercise strict control over job cleaning to prevent any dirt, debris or dust from affecting, in any way, finished areas in or outside job site.

30. The structural, mechanical and electrical drawings are supplementary to the architectural drawings. If a discrepancy exists between the architectural drawings and other drawings, such discrepancy shall be brought to the architect's attention in writing prior to installation of said work. Any work installed in conflict with the architectural drawings shall be corrected by the contractor at contractor's expense.

31. Provide gypsum wallboard behind and around all openings (including cabinets and electrical panels) and fire rated 3M box wrap pad around electrical boxes, where required by code, to maintain fire rated construction.

32. The contractor shall be responsible for and shall supervise all cutting and patching of finished work already installed if made necessary by errors, changes or other reasons. All replacement work shall match adjoining surfaces with no visible markings of redo/repair work.

33. All material shall be furnished and installed by the contractor, unless otherwise noted.

34. All revisions to the drawings must proceed through the owner and architect. Contractor revisions may be considered invalid if not approved by the owner.

35. Contractor shall be responsible for providing adequate cover for the protection of all installed utilities during the construction of this project.

36. Contractor shall be responsible for locating and protecting all utilities that are to remain in use, whether or not shown hereon.

37. Contractor shall provide all temporary lights, signs, barricades, flag persons, and other devices necessary to provide for public safety.

38. Contractor shall be responsible for any on-site permit signs required by the City of San Mateo.

39. Mechanical, electrical and fire safety to provide drawings for location of all access panels for architect's review and approval.

40. Large scale detail drawings take precedence over smaller scale drawings.

41. The contractor shall be responsible for verification and coordination with other trades and their work for compliance with the drawings and specifications. Also, contractor shall verify sizes and locations of all openings for mechanical, plumbing and electrical equipment with these subcontractors, as well as obtaining the approval of the architect before proceeding with the work. Otherwise it will be assumed that the contractor can perform the work as outlined on the drawings without additional cost to the owner.

42. Contractor shall maintain and keep accurate record drawings that show the final location, elevation and description of the completed work.

43. The contractor must notify the architect in writing when his work nears completion. Upon inspection, the architect will prepare a final "punch list" outlining incomplete or unacceptable work. The project will not be considered complete until all items on the punch list have been resolved.

44. The contractor shall furnish to the owner two copies of the manufacturer's instruction, operation and maintenance manuals for products and equipment specified in the contract documents, including special tools, accessories, spare parts, etc.

45. Prior to completion of the project, the contractor must submit to the owner in duplicate on behalf of himself and his respective subcontractors a one (1) year written guarantee against defective workmanship and/or materials, as well as complete operating and maintenance instructions for all mechanical and electrical portions of the work.

46. Contractor to submit to owner release of all liens from subcontractors, suppliers, etc., assuring owner that all payrolls, bills for equipment and materials, and all other indebtedness connected with the work has been paid or otherwise satisfied.

# Costa Brown Architecture

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San Francisco, CA 94111

Tel: 415 986 0101

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Date: 12/15/2016

Description:  
INFORMATION  
SHEET

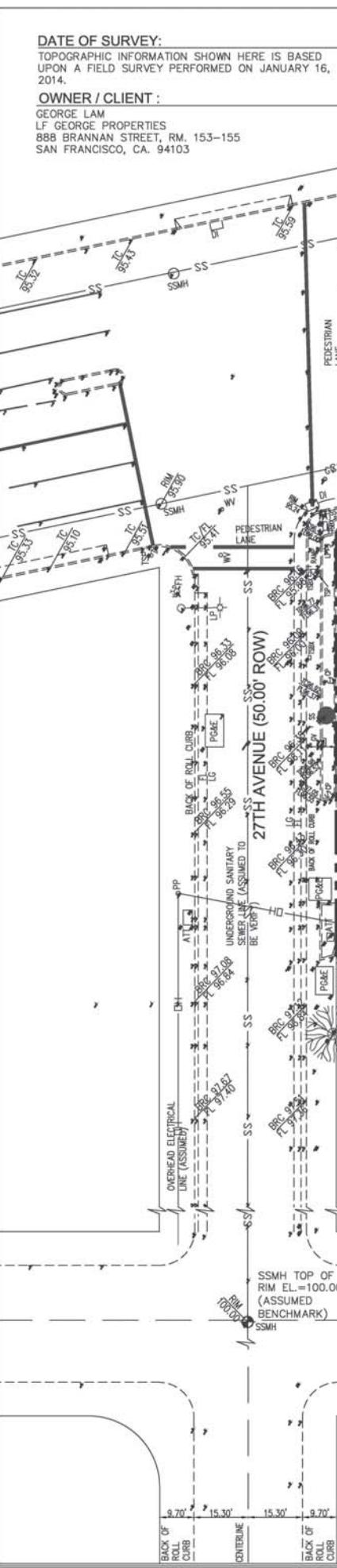
Sheet Number:

A-0.1

## HILLSDALE TERRACES

SYMBOLS	LOCATION PLAN	PROJECT INFORMATION	PROJECT CONTACTS	DRAWING INDEX
	<p>PROJECT SITE</p>	<p><b>PROPERTY ADDRESS:</b> 2700 SOUTH EL CAMINO REAL SAN MATEO, CA 94403</p> <p><b>PROJECT DESCRIPTION:</b> A NEW MIXED-USE PROJECT WITH COMMERCIAL RETAIL ON GROUND FLOOR AND 68 RESIDENTIAL CONDOMINIUMS BETWEEN FLOORS 2 - 5.</p> <p><b>PARCEL #:</b> 039352060 (PARCELS TO BE MERGED) 039352070 039352090</p> <p><b>STORIES:</b> 5</p> <p><b>HEIGHT LIMIT:</b> 55'</p> <p><b>LOT AREA:</b> 43,509 SF</p> <p><b>ZONING:</b> C3-1/R4</p> <p><b>REFERENCED ZONING CODES:</b> SAN MATEO ZONING CODE EL CAMINO REAL MASTER PLAN HILLSDALE STATION PLAN S.M. RAIL CORRIDOR TOD PLAN</p> <p><b>BUILDING CODE EDITIONS:</b> 2013 CBC, CRC, CMC, CPC, CFC, CEC, CALIFORNIA ENERGY CODE, 2013 CALIFORNIA GREEN BUILDING STANDARDS CODE &amp; LOCAL REQUIREMENTS, 2013 SAN MATEO CITY CHARTER AND MUNICIPAL CODE</p> <p><b>THIS PROJECT IS SUBJECT TO THE PARK IN-LIEU/IMPACT FEE (SMMC 26.64.010 &amp; 13.05.070) PURSUANT TO THE SAN MATEO CITY COMPREHENSIVE FEE SCHEDULE.</b></p> <p><b>THE PLANS OF THIS PROJECT SHALL COMPLY WITH THE CITY'S BUILDING SECURITY CODE (SAN MATEO MUNICIPAL CODE CHAPTER 23.54).</b></p>	<p><b>ARCHITECT:</b> COSTA BROWN ARCHITECTURE, INC. 1620 MONTGOMERY STREET SUITE 300 SAN FRANCISCO, CA 94111 (415) 986-0101</p> <p><b>CONTRACTOR:</b></p> <p><b>STRUCTURAL ENGINEER:</b></p> <p><b>OWNER:</b> HILLSDALE TERRACES, LLC 159 EL CAMINO REAL MILLBRAE, CA 94030 (650) 697-3800</p> <p><b>REFERENCED ZONING CODES:</b> SAN MATEO ZONING CODE EL CAMINO REAL MASTER PLAN HILLSDALE STATION PLAN S.M. RAIL CORRIDOR TOD PLAN</p> <p><b>BUILDING CODE EDITIONS:</b> 2013 CBC, CRC, CMC, CPC, CFC, CEC, CALIFORNIA ENERGY CODE, 2013 CALIFORNIA GREEN BUILDING STANDARDS CODE &amp; LOCAL REQUIREMENTS, 2013 SAN MATEO CITY CHARTER AND MUNICIPAL CODE</p> <p><b>THIS PROJECT IS SUBJECT TO THE PARK IN-LIEU/IMPACT FEE (SMMC 26.64.010 &amp; 13.05.070) PURSUANT TO THE SAN MATEO CITY COMPREHENSIVE FEE SCHEDULE.</b></p> <p><b>THE PLANS OF THIS PROJECT SHALL COMPLY WITH THE CITY'S BUILDING SECURITY CODE (SAN MATEO MUNICIPAL CODE CHAPTER 23.54).</b></p>	<p><b>ARCHITECTURAL</b></p> <p>A-0.0 COVER SHEET A-0.1 INFORMATION SHEET A-0.2/C1 TOPOGRAPHIC SURVEY PLAN A-0.3 PROJECT SUMMARIES A-0.4 BUILDING USAGE / TYPE A-1.0 SITE PLAN A-1.1 FLOOR PLAN - PARKING LEVEL C AND AXO VIEW A-1.2 FLOOR PLANS - PARKING LEVEL A AND B A-1.3 GROUND FLOOR PLAN A-1.3.1 ANNOTATED GROUND FLOOR PLAN A-1.4 FLOOR PLANS - LEVEL 2 &amp; 3 A-1.5 FLOOR PLANS - LEVEL 4 &amp; 5 A-1.6 ROOF PLAN A-2.0 BUILDING ELEVATIONS A-2.1 RETAIL PROMENADE PERSPECTIVE A-2.2 MAIN ENTRANCE &amp; PASEO A-2.3 28TH AVENUE CORNER PERSPECTIVE A-3.0 EAST FACING GARAGE &amp; SIDEWALK SECTION A-3.1 LONGITUDINAL SECTION A-3.2 WEST FACING BUILDING SECTION A-3.3 EAST FACING BUILDING SECTION A-6.0 EGRESS PLANS - PARKING LEVEL C AND B A-6.1 EGRESS PLANS - GROUND FLOOR / PARKING LEVEL A A-6.2 EGRESS PLANS - LEVEL 2 &amp; 3 A-6.3 EGRESS PLANS - LEVEL 4 &amp; 5 A-6.4 EGRESS ROOF PLAN A-7.0 SHADOW STUDIES A-7.1 SHADOW STUDY - NORTH/SOUTH ELEVATION A-7.2 SHADOW STUDY - EAST/WEST ELEVATION A-7.3 EXISTING SITE PHOTOS A-8.1 EXTERIOR LIGHTING PLAN A-8.2 EXTERIOR LIGHTING PHOTOMETRY PLAN A-8.3 SITE FURNISHINGS &amp; HARDCAPE PLAN</p> <p><b>LANDSCAPE</b></p> <p>L-1.1 CONCEPTUAL PLANTING PLAN - ROOF DECK L-2.0 CONCEPTUAL PLANT LIST &amp; PLANTING NOTES L-2.1 CONCEPTUAL PLANT IMAGES L-2.2 TREE EVALUATION SCHEDULE SC-1.0 STORMWATER CONTROL PLAN SC-1.1 STORMWATER DETAIL SHEET</p> <p><b>CIVIC ENGINEERING</b></p> <p>TM-1 TENTATIVE MAP COVER SHEET TM-2 EXISTING PARCELS &amp; EASEMENTS TM-3 PROPOSED PARCELS &amp; EASEMENTS TM-4 PRELIMINARY GRADING &amp; DRAINAGE PLAN TM-5 PRELIMINARY UTILITY PLAN</p>





TOPOGRAPHIC SURVEY PLAN		APR. BY CITY		DATE	
2700, 2728, & 2790 EL CAMINO REAL	APN: 039-352-060, 039-352-070, 039-352-090	01/21/2014	PREPARATION OF PLAN	02/10/2014	ADD ADJACENT BLDG. LINE
SHEET	C-1	01/21/2014	02/10/2014	01/21/2014	02/10/2014
SHEET 1 OF 1	EMAIL: GLAENGINEERS@SBGLOBAL.NET	APR. BY CITY	DATE	APR. BY CITY	DATE
DESIGNED BY: HC/LB	DRAWN BY: LB	CHECKED BY: HC	APR. BY CITY	DATE	APR. BY CITY
SCALE: 1" = 20'					

## 2700 El Camino Real Project Summary

San Mateo, California

### Building Areas

all figures in gross square feet

Site Information	Total	Proposed
Project Site	43,509	
F.A.R.		2.45
Building Gross Area	106,571	*Only includes Ground Level stairs, elevators, and mechanical shafts.

Landscaped Areas 3,735

Floor	Unit Area	Circulation	Stair & Elevator	Mechanical & Accessory	Amenity	Commercial	Total	Open Area
Roof	0	112	686	0	4,471	0	5,269	4,471 Roof Deck
Level 05	18,478	1,986	637	307	0	0	21,408	1491 Balconies
Level 04	20,243	2,066	637	288	0	0	23,234	1,182 Balconies
Level 03	21,450	2,034	638	288	0	0	24,410	0
Level 02	20,494	2,026	637	326	744	0	24,227	0
Level 01	0	1,319	902	739	0	13,978	16,938 Commercial Retail Level	3,841 Paseo & Rear Open Space
<b>Totals</b>	<b>80,665</b>	<b>9,543</b>	<b>4,137</b>	<b>1,948</b>	<b>5,215</b>	<b>13,978</b>	<b>115,486 GSF</b>	<b>10,985</b> (not included in gross sq. ft. building area)

### Parking Areas

all figures in gross square feet

Floor	Parking Area	Circulation	Stair & Elevator	Mechanical & Accessory	Amenity	Total
Parking Level A	36,414	111	635	0	0	37,159 Commercial Parking
Parking Level B	36,409	111	577	62	0	37,159 Residential Parking
Parking Level C	35,029	111	577	1,442	0	37,159 Residential Parking
<b>Totals</b>	<b>107,852</b>	<b>333</b>	<b>1,789</b>	<b>1,504</b>	<b>0</b>	<b>111,477 GSF</b>

Paseo & Rear Open Space  
(not included in gross sq. ft. building area)

### Grand Total (Including Garages)

237,948 GSF

\*Includes Open Area

### Unit Calculations

Floor	1BR	2BR	3BR	2BR+	3BR+	Unit Count	Typ. Size	1BR	2BR	3BR
Roof	0	0	0	0	0	0	662-909gsf	889-1,393gsf	1,304-1,771gsf	
Level 05	2	5	4	0	0	11				
Level 04	3	5	10	0	0	18				
Level 03	5	15	0	0	0	20				
Level 02	7	12	0	0	0	19				
Level 01	0	0	0	0	0	0				
<b>Totals</b>	<b>17</b>	<b>37</b>	<b>14</b>	<b>0</b>	<b>0</b>	<b>68</b>				
Percentage	25.00%	54.41%	20.59%	0.00%	0.00%					

NOTE: 6 VERY LOW INCOME UNITS (12% OF ORIGINAL 50 UNITS) - LOCATIONS TO BE DETERMINED

### Parking Calculations by Level

	Residential		Commercial		Visitor		Total	
	Standard	Accessible	Standard	Accessible	Standard	Accessible		
Ground Level	0	0	2	0	0	0	2	(2 loading, not included)
Parking Level A	0	0	50	4	8	1	63	
Parking Level B	32	4	0	0	4	1	41	
Parking Level C	49	3	0	0	0	0	52	
<b>Totals</b>	<b>81</b>	<b>7</b>	<b>52</b>	<b>4</b>	<b>12</b>	<b>2</b>	<b>158</b>	

NOTE: COMMERCIAL LOADING / GARBAGE COLLECTION - 2 AREAS PROVIDED (SEE SITE PLAN)

### Parking Calculations by Category

Total # of Parking Spaces	Based on CBC Table 208.2		Based on 2013 CBC 11B-1109A.5		Low-Emitting, Fuel Efficient Parking Spaces Provided	Bike Parking		Based on 2013 CalGreen Section 5.106.4 and the San Mateo Municipal Code				
	Accessible Provided	Required	Van Accessible Provided	Required		# of Units / Sq. Ft.	Long Term	Short Term	Spaces Per Unit	Provided	Required	
	Residential	6	1	1	1	11	Spaces Per Unit	Provided	Required	Spaces Per Unit	Provided	Required
Residential	88	6	1	1	11	1 Bedroom	17	1	17	17	1	1
Commercial	56	3	3	1	6	2 Bedroom	37	1.25	47	47	0.1	4
Visitor	14	1	1	1	0	3 Bedroom	14	1.5	21	21	0.15	3
<b>Totals</b>	<b>158</b>	<b>10</b>	<b>10</b>	<b>3</b>	<b>17</b>	Retail	13,978 sq.ft.	1 per 12,000 sq.ft.	2	2	1 per 2,000 sq.ft.	28
						<b>Totals</b>			<b>87</b>	<b>87</b>		<b>36</b>

NOTE: LOCKED EMPLOYEE BIKE ROOM TO BE PROVIDED ON GROUND FLOOR, LOCATION TBD.

Recommended Parking:	Units or GSF	Residential		Visitor		Com. Parking Factor per 1000 Square Feet	Resident Spaces	Commercial Spaces	Visitor Spaces	Total Spaces
		Parking	Parking	Parking	Parking					
1 Bedroom	17	1.0	0.2			17.0			3.4	
2 Bedroom	37	1.3	0.2			48.1			7.4	
3 Bedroom	14	1.6	0.2			22.4			2.8	
Restaurant/Commercial	13,978			4			56			
Total Units	68									
<b>Recommended Parking Spaces</b>						<b>88</b>	<b>56</b>	<b>14</b>	<b>158</b>	

Parking factors are from the Hillsdale Station Area Plan, Page 149, Figure 14 "Recommended SAP Minimum Parking Requirements"

Landscaped Areas Floor	Landscape Area 1	Landscape Area 2	Landscape Area 3	Landscape Area 4	Landscape Area 5	Landscape Area 6	Landscape Area 7	Landscape Area 8	Total
Roof	324	137	98	108	25	100	24	16	832
Ground Floor	24	139	139	284	269	335			

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TYPE OF CONSTRUCTION - I-B - 160' 0"							
FLOOR LEVELS (LOCATION)	TYPE OF CONSTRUCTION	OCCUPANCY	ALLOWABLE STORIES ABOVE GRADE PLANE	ALLOWABLE AREAS, BUILDING AREA PER STORY - SQ.FT.	STORIES PER OCCUPANCY	PROPOSED STORIES ABOVE GRADE PLANE	PROPOSED AREAS - BUILDING AREA PER STORY (SQ. FT.)
1. ROOF DECK	I-B	A - 3	11	UNLIMITED	-	-	4471
2. RESIDENTIAL - LEVEL 5	I-B	R - 2	11	UNLIMITED	4	5TH FLOOR	21408
3. RESIDENTIAL - LEVEL 4	I-B	R - 2	11	UNLIMITED	4	4TH FLOOR	23234
4. RESIDENTIAL - LEVEL 3	I-B	R - 2	11	UNLIMITED	4	3RD FLOOR	24410
5. RESIDENTIAL - LEVEL 2	I-B	R - 2	11	UNLIMITED	4	2ND FLOOR	24227
6. COMMERCIAL / RETAIL AT GROUND LEVEL	I-B	M / B	11 / 11	UNLIMITED / UNLIMITED	1	GROUND FLOOR ON GRADE	16938
7. PARKING LEVEL - A	I-B	S - 2	11	79000	3	BELOW GRADE	37159
8. PARKING LEVEL - B	I-B	S - 2	11	79000	3	BELOW GRADE	37159
9. PARKING LEVEL - C	I-B	S - 2	11	79000	3	BELOW GRADE	37159

CONSTRUCTION

8

FIRE RESISTANCE RATING REQUIREMENTS FOR TYPE I-B, PER TABLE 601:

STRUCTURAL FRAME  
EXTERIOR BEARING WALLS  
INTERIOR BEARING WALLS  
EXTERIOR NONBEARING WALLS & PARTITIONS  
INTERIOR NONBEARING WALLS & PARTITIONS  
FLOOR CONSTRUCTION (BEAMS & JOISTS)  
ROOF CONSTRUCTION (BEAMS & JOISTS)  
SHAFT / STAIRWAY ENCLOSURES

2 HR. / 1 HR ROOF SUPPORT  
2 HR.  
2 HR. / 1 HR ROOF SUPPORT  
SEE BELOW  
0 HR.  
2 HR.  
1 HR.  
2 HR.

FIRE-RESISTANCE RATING REQUIREMENTS FOR EXTERIOR WALLS FOR TYPE I-B BASED ON FIRE SEPARATION DISTANCE, PER TABLE 602:

FIRE SEP. DIST.  
X < 5  
5 ≤ X < 10  
10 ≤ X < 30  
X ≥ 30

M / B, R-2  
1 HR.  
1 HR.  
1 HR.  
0 HR.

NOTE: ALL EXTERIOR WALLS ARE 2-HR FIRE-RESISTIVE ASSEMBLY, U.N.O., SEE FIRE RESISTANCE RATING REQUIREMENTS FOR TYPE I-B TABLE FOR ALL BUILDING ELEMENTS.

WIDTH OF REQUIRED EXITS : BASED ON TABLE 1018.2 - MINIMUM CORRIDOR WIDTH

OCCUPANCY	WIDTH (MINIMUM)
ANY FACILITIES NOT LISTED IN TABLE	44 INCHES
ACCESS TO AND UTILIZATION OF MECHANICAL, PLUMBING OR ELECTRICAL SYSTEMS OR EQUIPMENT	24 INCHES
WITH REQUIRED OCCUPANCY CAPACITY LESS THAN 50	36 INCHES
WITHIN A DWELLING UNIT	36 INCHES

• WIDTH OF EXIT PASSAGEWAYS PER 1023.2 SHALL BE MINIMUM 44 INCHES EXCEPT FOR OCCUPANT LOAD LESS THAN 50, WIDTH WILL BE 36 INCHES MINIMUM.

• WIDTH OF STAIRWAYS SHALL NOT BE LESS THAN 44 INCHES CLEAR BETWEEN HANDRAILS FOR BUILDING EQUIPPED THROUGHOUT WITH AUTOMATIC SPRINKLER SYSTEM. CBC 2013 1007.3 - EXCEPTION 1 AND 1009.4.

FIRE RESISTANCE

3

EXIT WIDTHS

2

BASED ON TABLE 508.4 - REQUIRED SEPARATION OF OCCUPANCIES (HOURS)	
OCCUPANCY	B, M
S	NS.
R - 2	1 2
S - 2	1 2

• S = BUILDINGS EQUIPPED THROUGHOUT WITH AN AUTOMATIC SPRINKLER SYSTEM INSTALLED IN ACCORDANCE WITH SECTION 903.3.1.1.

• NS = BUILDINGS NOT EQUIPPED THROUGHOUT WITH AN AUTOMATIC SPRINKLER SYSTEM INSTALLED IN ACCORDANCE WITH SECTION 903.3.1.1.

BASED ON TABLE 1014.3 - COMMON PATH OF EGRESS TRAVEL	
OCCUPANCY	WITH SPRINKLER SYSTEM (FEET)
B	100
S - 2	100
R - 2	125
ALL OTHERS	75

EGRESS TRAVEL

6

BASED ON TABLE 1016.2 - EXIT ACCESS TRAVEL DISTANCE	
OCCUPANCY	WITH SPRINKLER SYSTEM (FEET)
A, M, R	250
B	300
S - 2	400

EXIT TRAVEL DISTANCE

5

FIRE COMMENTS :

1. FIRE SPRINKLER SYSTEM : INSTALL AN N.F.P.A.13 FIRE SPRINKLER SYSTEM COMPLYING WITH LOCAL AMENDMENTS. SUBMIT UNDER SEPARATE FIRE PLAN CHECK AND PERMIT. SEPARATE PLAN CHECK PERMIT REQUIRED FOR THE UNDERGROUND FIRE SERVICE.
2. ROOF HATCHES ON BOTH STAIRWELLS : REQUIRED ROOF HATCHES SHALL BE A MINIMUM SIZE OF 4 FEET BY 6 FEET.
3. PROVIDE SMOKE CONTROL AT ELEVATOR LOBBY AND IN CENTER CORRIDOR BY BOTH STAIRWELLS.
4. PROVIDE SMOKE CONTROL FOR BELOW GRADE PARKING.

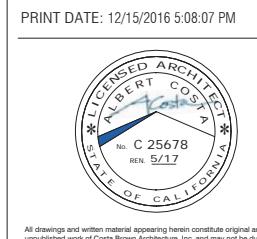
FIRE COMMENTS

1

OCCUPANT LOAD AND REQUIRED NUMBER OF EXITS						
OCCUPANCY	FLOOR	AREA (SQ. FT.)	BASED ON TABLE 1004.1.2, FLOOR AREA PER OCCUPANT - OCCUPANT LOAD FACTOR	OCCUPANT LOAD	REQUIRED NO. OF EXITS AT EACH FLOOR	PROVIDED NO. OF EXITS AT EACH FLOOR
A - 3	ROOF DECK	4471	15 NET	298	2	3
R - 2	5TH FLOOR	21408	200 GROSS	107	2	3
R - 2	4TH FLOOR	23234	200 GROSS	116	2	3
R - 2	3RD FLOOR	24410	200 GROSS	120	2	3
R - 2	2ND FLOOR	24227	200 GROSS	121	2	3
M / B	GROUND FLOOR	6241 (C I) / 7737 (C II) (16938 TOTAL)	30 GROSS (FOR MERCANTILE)	208 (C I) / 258 (C II) (466 TOTAL)	2 (C I) / 2 (C II)	2 (C I) / 3 (C II)
S - 2	PARKING - A	37159	200 GROSS	173	2	4
S - 2	PARKING - B	37159	200 GROSS	173	2	3
S - 2	PARKING - C	37159	200 GROSS	173	2	3

OCCUPANT LOADS

4



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Scale:

Description:

BUILDING USAGE / TYPE

Sheet Number:

A-0.4

PRINT DATE: 12/15/2016 5:08:07 PM

**HILLSDALE  
TERRACES**

2700 SOUTH EL CAMINO REAL  
SAN MATEO, CA 94403

Job Number: 13090

No.	Issue	Date
1	Planning Pre-Application	11/27/2013
2	Planning Study Session	01/16/2014
3	Planning Formal Application	04/02/2015
4	Response To Plan Check	12/17/2015
5	Response To Plan Check	04/14/2016
6	Revision to Comment	05/05/2016
7	Issue For Revision	07/22/2016
8	Issue For Revision	09/14/2016
9	Issue For Revision	12/15/2016



1 SITE PLAN  
1" = 20'-0"

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Date: 09/14/2016

Scale: 1" = 20'-0"

Description:

**SITE PLAN**

Sheet Number:

**A-1.0**

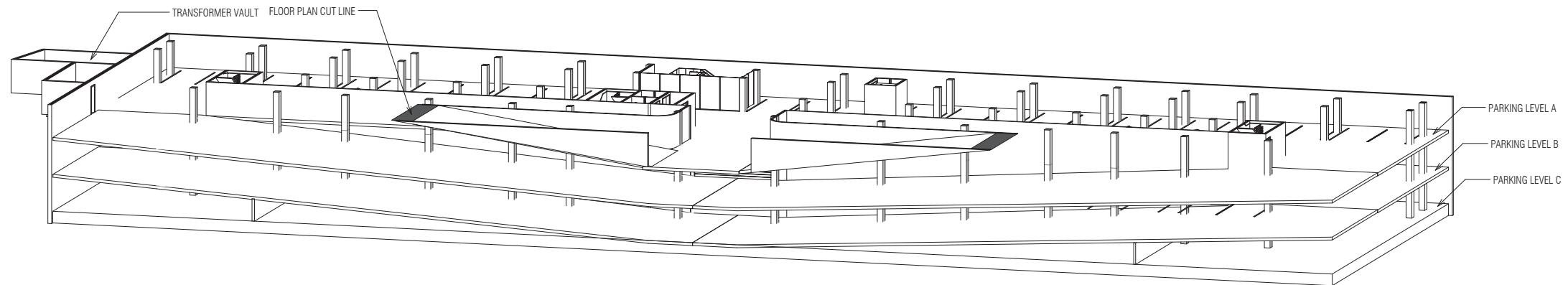


# HILLSDALE TERRACES

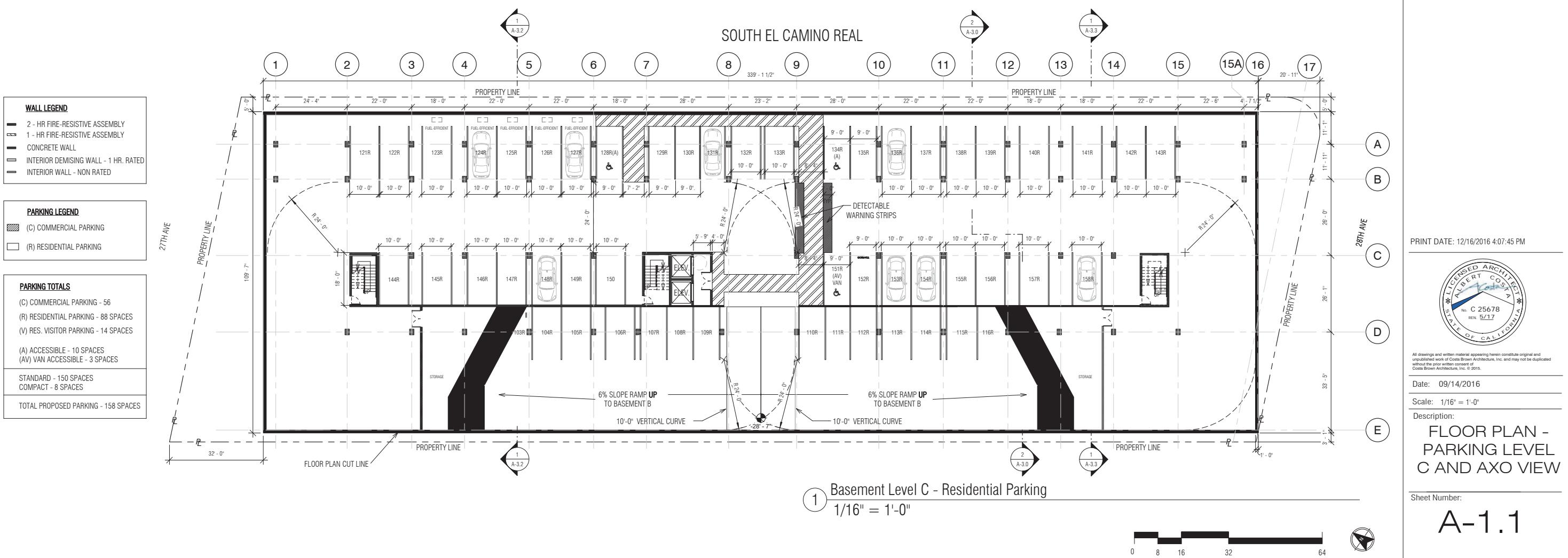
2700 SOUTH EL CAMINO REAL  
SAN MATEO, CA 94403

Job Number: 13090

No.	Issue	Date
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9	Issue For Revision	12/15/2016



## 2 Garage Axonometric View

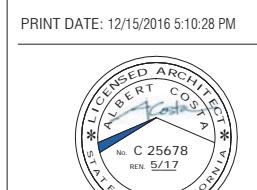
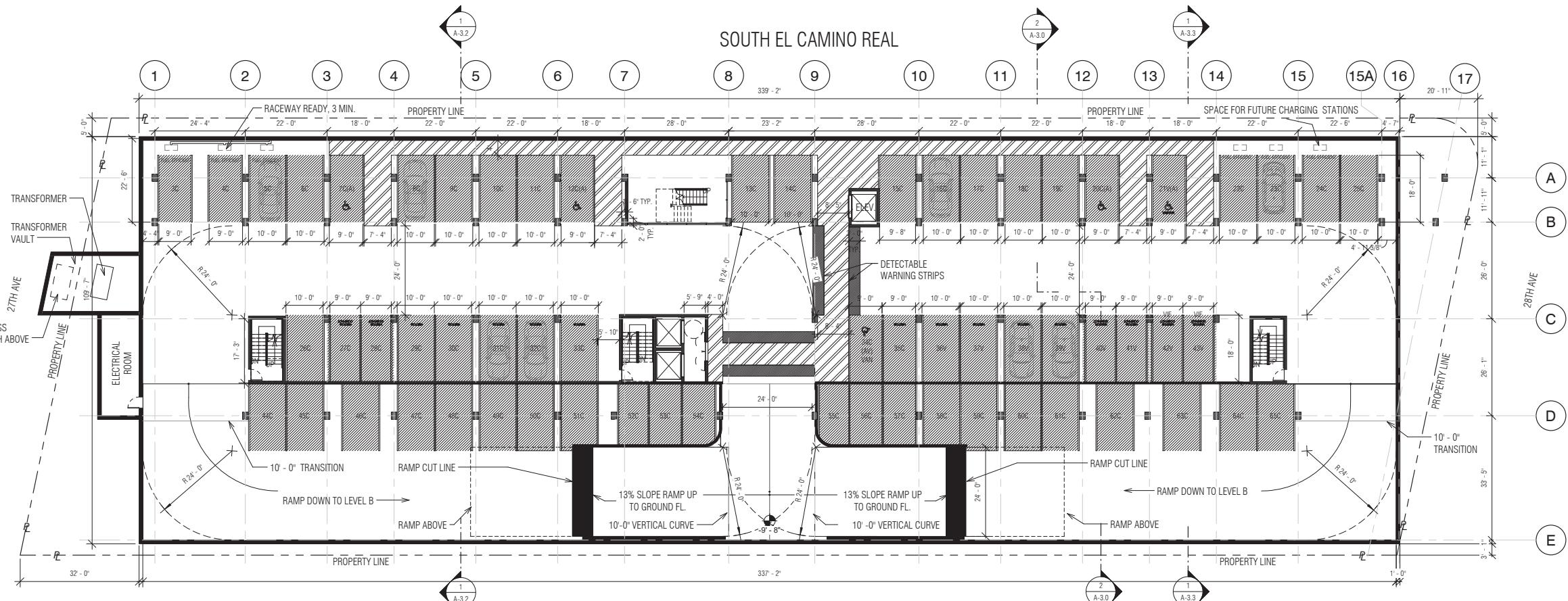
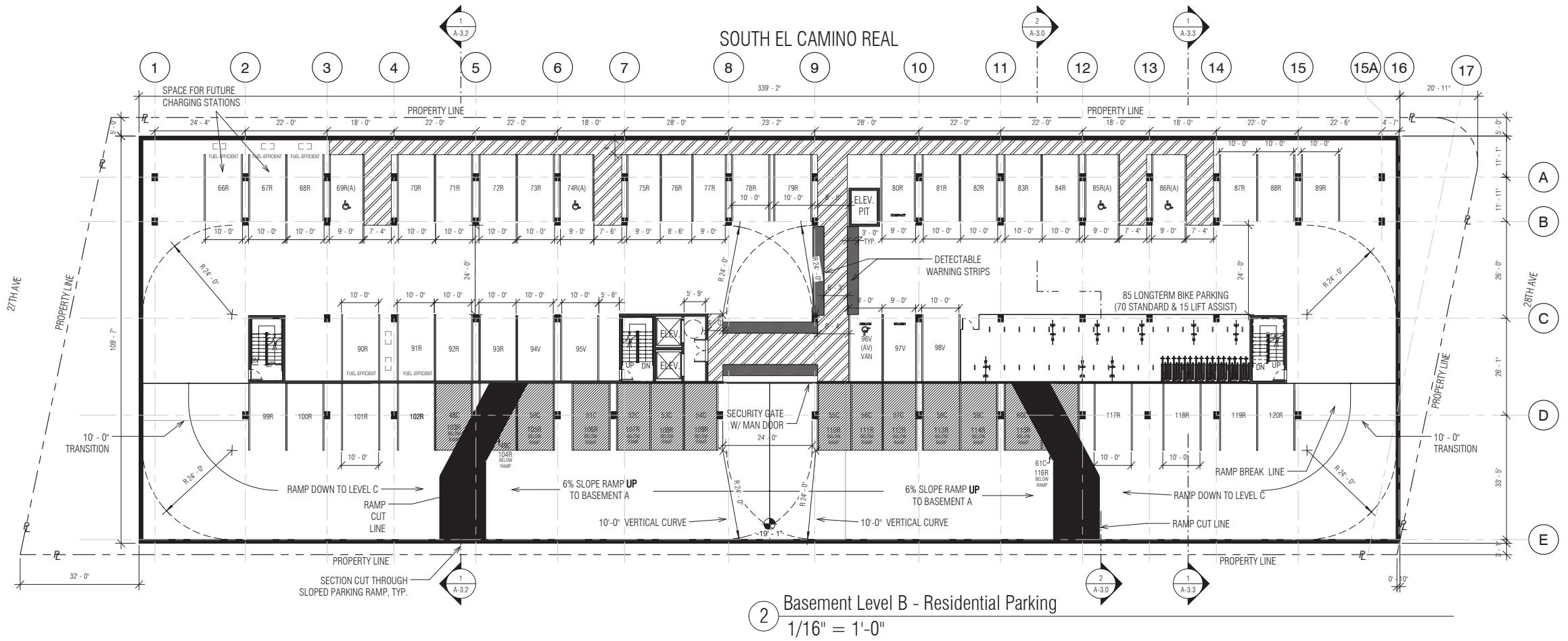


**HILLSDALE  
TERRACES**

2700 SOUTH EL CAMINO REAL  
SAN MATEO, CA 94403

Job Number: 13090

No.	Issue	Date
1	Planning Pre-Application	11/27/2013
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Date: 09/14/2016

Scale: 1/16" = 1'-0"

Description:

**FLOOR PLANS -  
PARKING LEVEL  
A AND B**

Sheet Number:

**A-1.2**

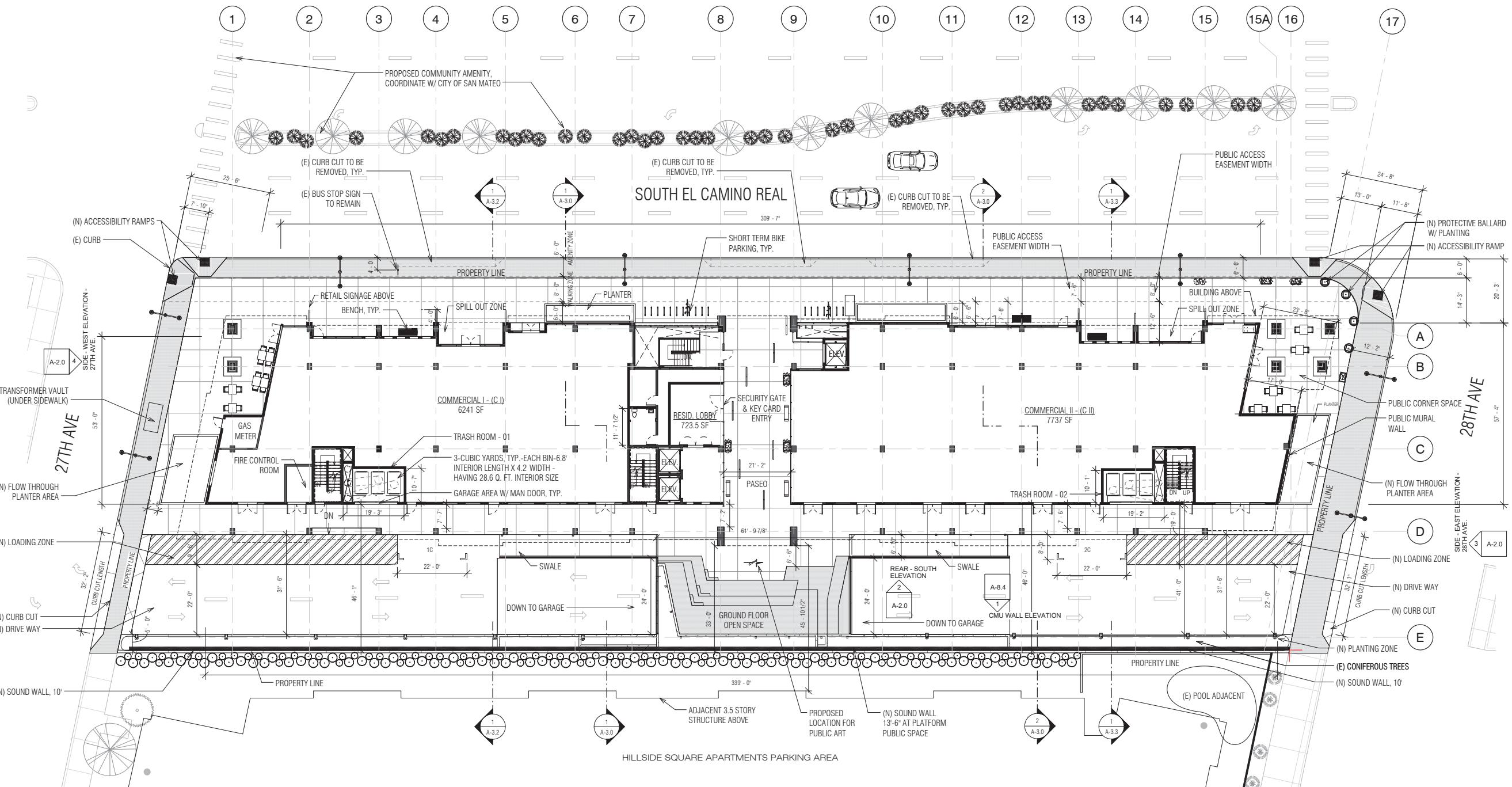


# HILLSDALE TERRACES

2700 SOUTH EL CAMINO REAL  
SAN MATEO, CA 94403

Job Number: 13090

No.	Issue	Date
1	Planning Pre-Application	11/27/2013
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9	Issue For Revision	12/15/2016



1 Ground Floor Level - Base  
1/16" = 1'-0"



GROUP

## ANNOTATED GROUND FLOOR

## PLAN

Sheet Number:

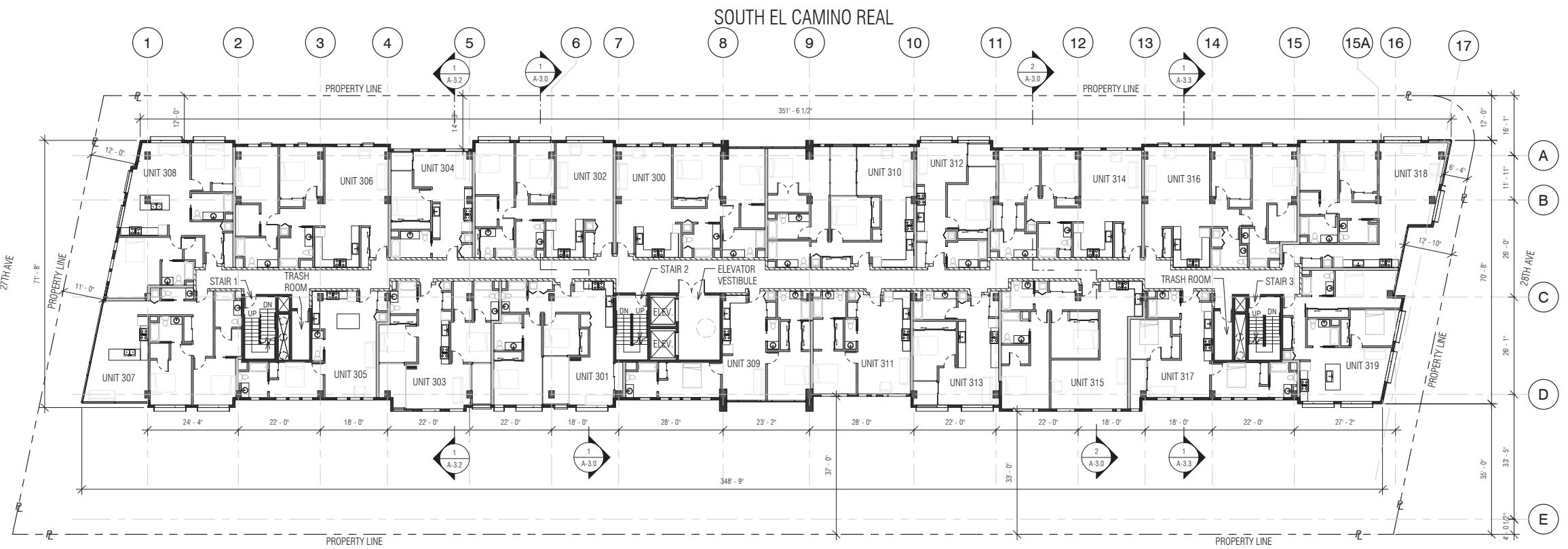
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**HILLSDALE  
TERRACES**

2700 SOUTH EL CAMINO REAL  
SAN MATEO, CA 94403

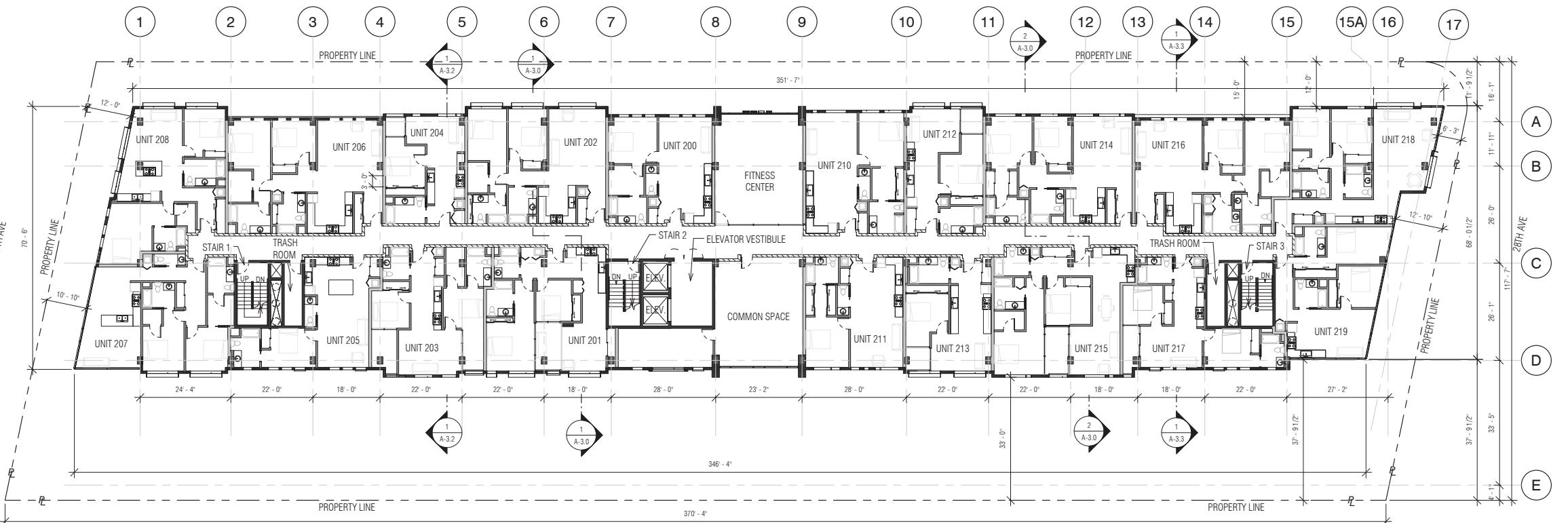
Job Number: 13090

No.	Issue	Date
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2	Planning Study Session	01/16/2014
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9	Issue For Revision	12/15/2016



② Level 3  
1/16" = 1'-0"

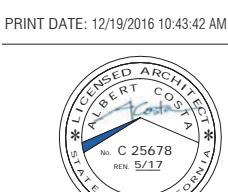
**SOUTH EL CAMINO REAL**



① Level 2  
1/16" = 1'-0"

Sheet Number:

**A-1.4**



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Description:

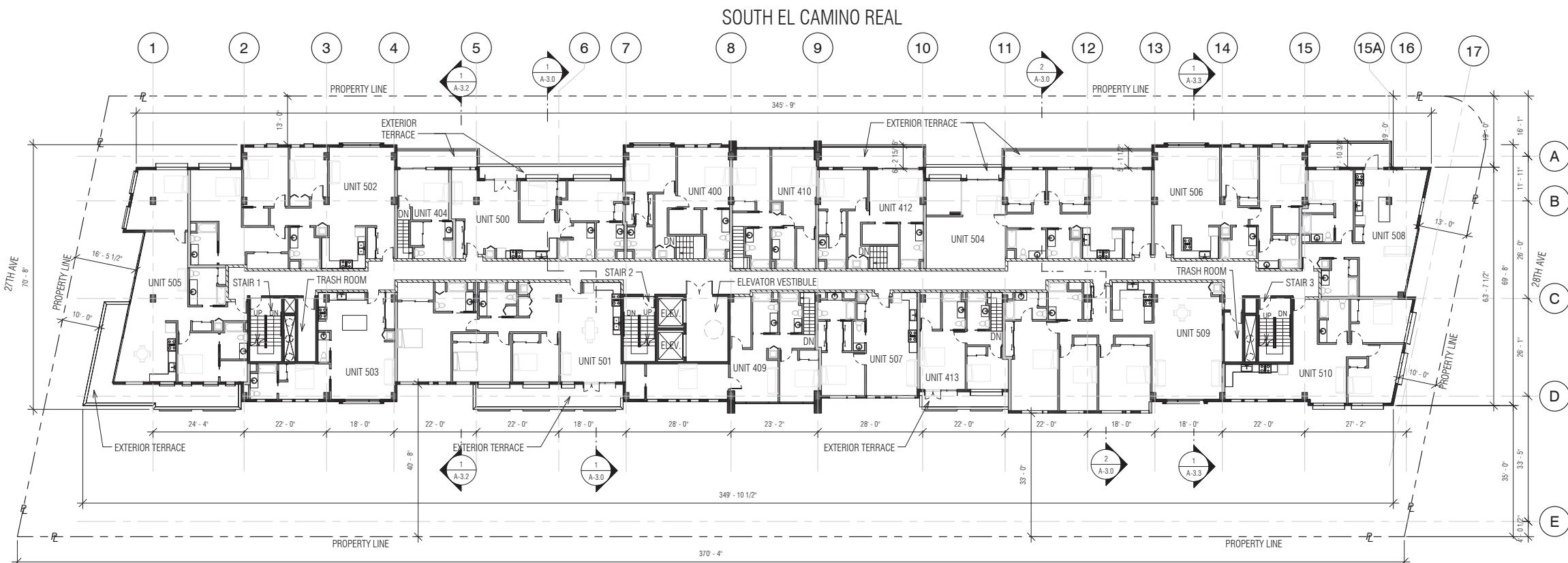
**FLOOR PLANS -  
LEVEL 2 & 3**

**HILLSDALE  
TERRACES**

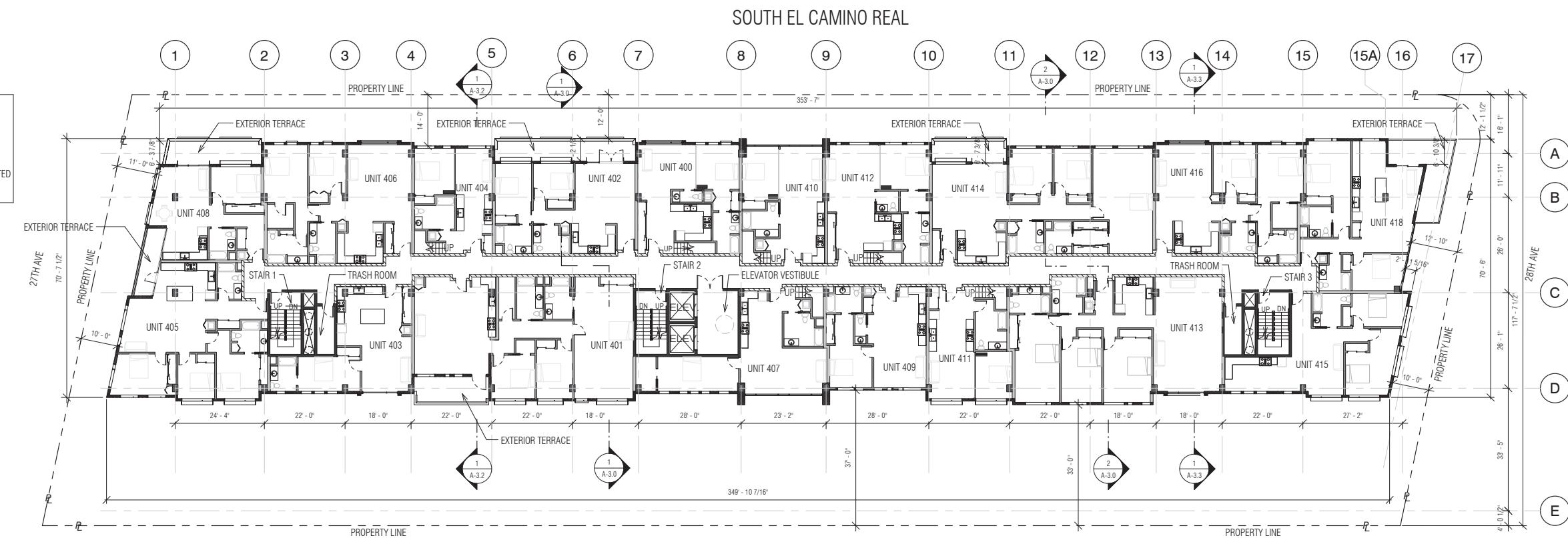
2700 SOUTH EL CAMINO REAL  
SAN MATEO, CA 94403

Job Number: 13090

No.	Issue	Date
1	Planning Pre-Application	11/27/2013
2	Planning Study Session	01/16/2014
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9	Issue For Revision	12/15/2016



2 Level 5  
1/16" = 1'-0"



1 Level 4  
1/16" = 1'-0"

Sheet Number:

**A-1.5**

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Scale: 1/16" = 1'-0"

Description:

**FLOOR PLANS -  
LEVEL 4 & 5**

Sheet Number:

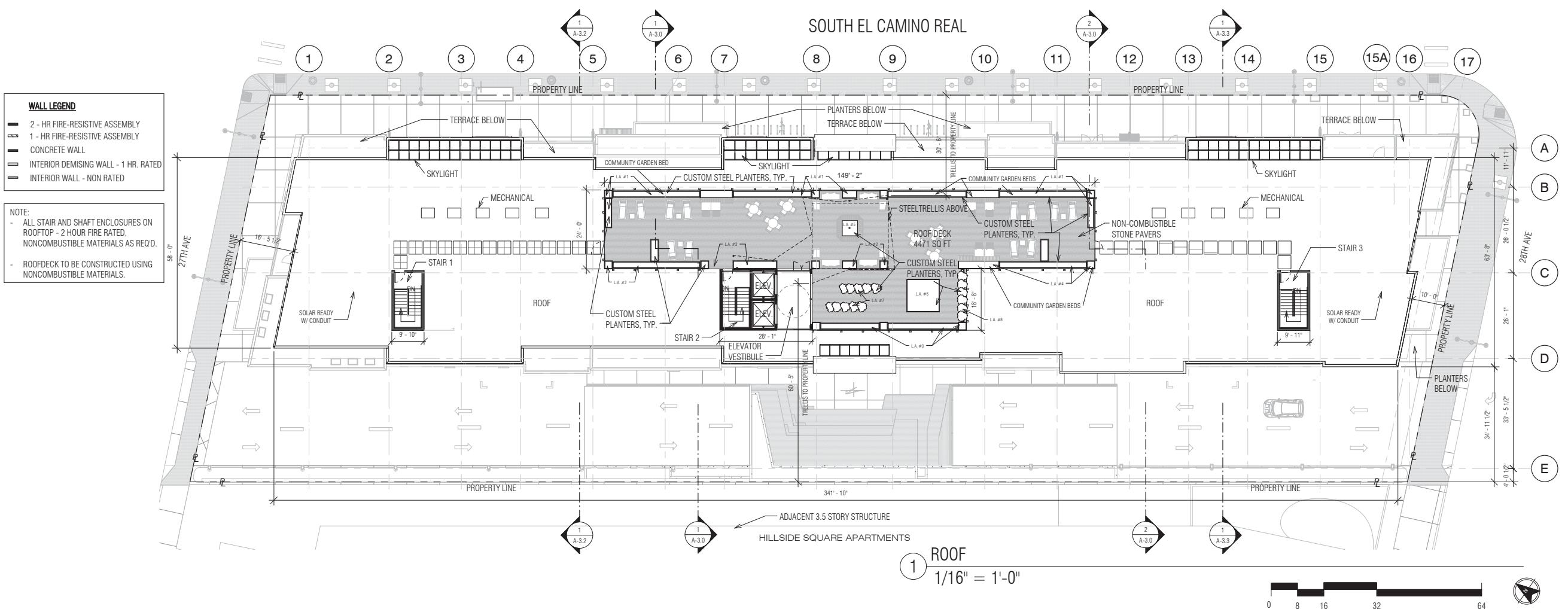
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# HILLSDALE TERRACES

2700 SOUTH EL CAMINO REAL  
SAN MATEO, CA 94403

Job Number: 13090

No.	Issue	Date
1	Planning Pre-Application	11/27/2013
2	Planning Study Session	01/16/2014
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**HILLSDALE  
TERRACES**

2700 SOUTH EL CAMINO REAL  
SAN MATEO, CA 94403

Job Number: 13090

No.	Issue	Date
1	Planning Pre-Application	11/27/2013
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Scale: 1/16" = 1'-0"

Description:

**BUILDING  
ELEVATIONS**

Sheet Number:

**A-2.0**

**HILLSDALE  
TERRACES**

2700 SOUTH EL CAMINO REAL  
SAN MATEO, CA 94403

Job Number: 13090

No.	Issue	Date
1	Planning Pre-Application	11/27/2013
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RETAIL PROMENADE - SOUTH EL CAMINO REAL

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Scale:

Description:

RETAIL  
PROMENADE  
PERSPECTIVE

Sheet Number:

**A-2.1**

**HILLSDALE  
TERRACES**

2700 SOUTH EL CAMINO REAL  
SAN MATEO, CA 94403

Job Number: 13090

No.	Issue	Date
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Date: 09/14/2016

Scale:

Description:

**MAIN ENTRANCE  
& PASEO**

Sheet Number:

**A-2.2**



HILLSDALE TERRACES - MAIN ENTRANCE & PASEO

**HILLSDALE  
TERRACES**

2700 SOUTH EL CAMINO REAL  
SAN MATEO, CA 94403

Job Number: 13090

No.	Issue	Date
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CORNER PERSPECTIVE AT SOUTH EL CAMINO REAL & 28TH AVENUE

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Scale:

Description:

28TH AVENUE  
CORNER  
PERSPECTIVE

Sheet Number:

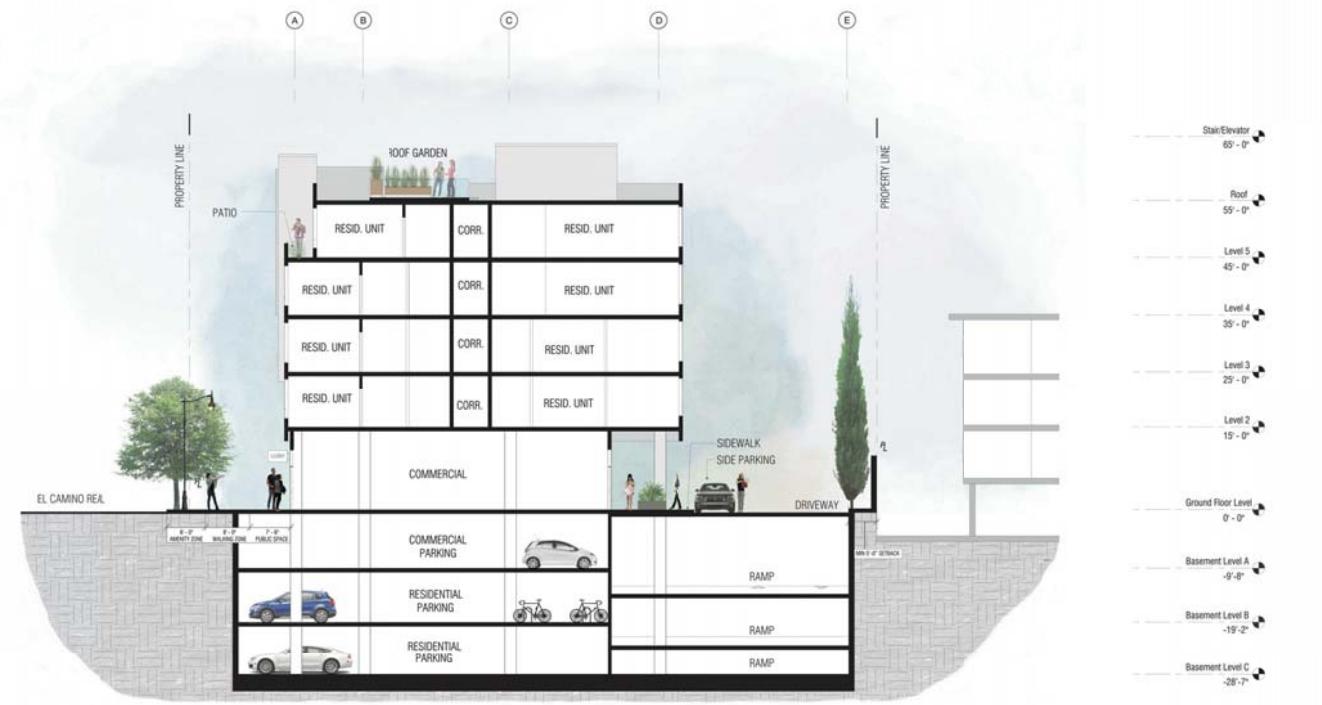
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**HILLSDALE  
TERRACES**

2700 SOUTH EL CAMINO REAL  
SAN MATEO, CA 94403

Job Number: 13090

No.	Issue	Date
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9	Issue For Revision	12/15/2016



2 EAST FACING GARAGE SECTION  
1/16" = 1'-0"



1 EAST FACING SIDEWALK SECTION  
1/8" = 1'-0"



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Date: 09/14/2016

Scale: As indicated

Description:

**EAST FACING  
GARAGE &  
SIDEWALK  
SECTION**

Sheet Number:

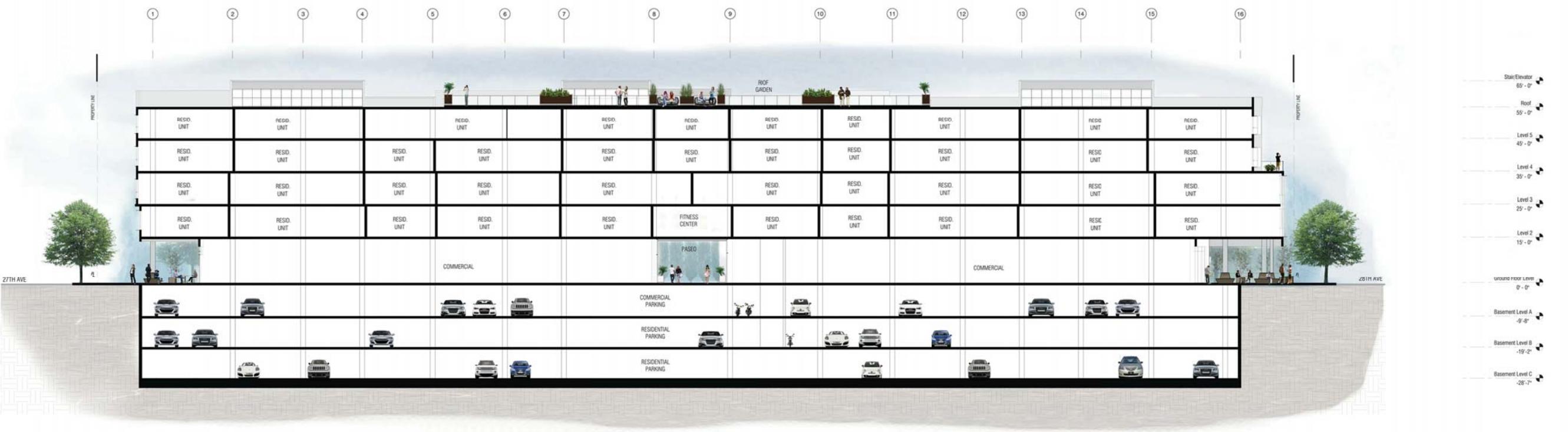
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**HILLSDALE  
TERRACES**

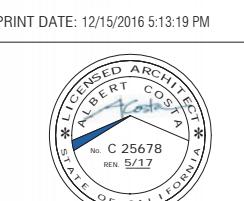
2700 SOUTH EL CAMINO REAL  
SAN MATEO, CA 94403

Job Number: 13090

No.	Issue	Date
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1 LONGITUDINAL SECTION  
1/16" = 1'-0"



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Scale: 1/16" = 1'-0"

Description:

LONGITUDINAL  
SECTION

Sheet Number:

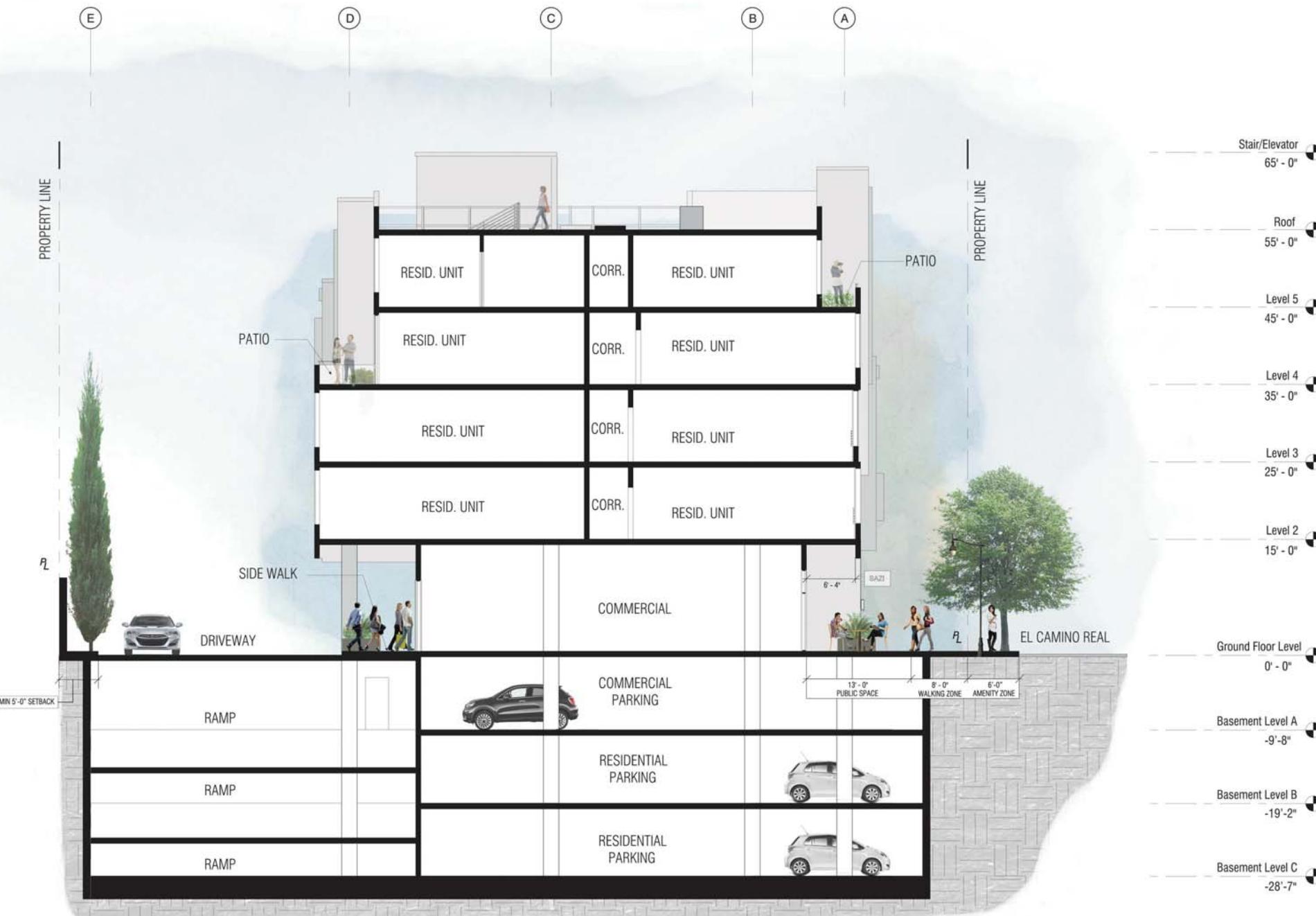
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**HILLSDALE  
TERRACES**

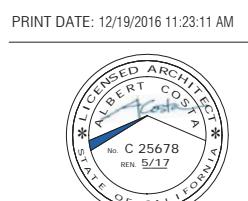
2700 SOUTH EL CAMINO REAL  
SAN MATEO, CA 9403

Job Number: 13090

No.	Issue	Date
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1 WEST FACING SECTION  
1/8" = 1'-0"



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Scale: 1/8" = 1'-0"

Description:

WEST FACING  
BUILDING  
SECTION

Sheet Number:

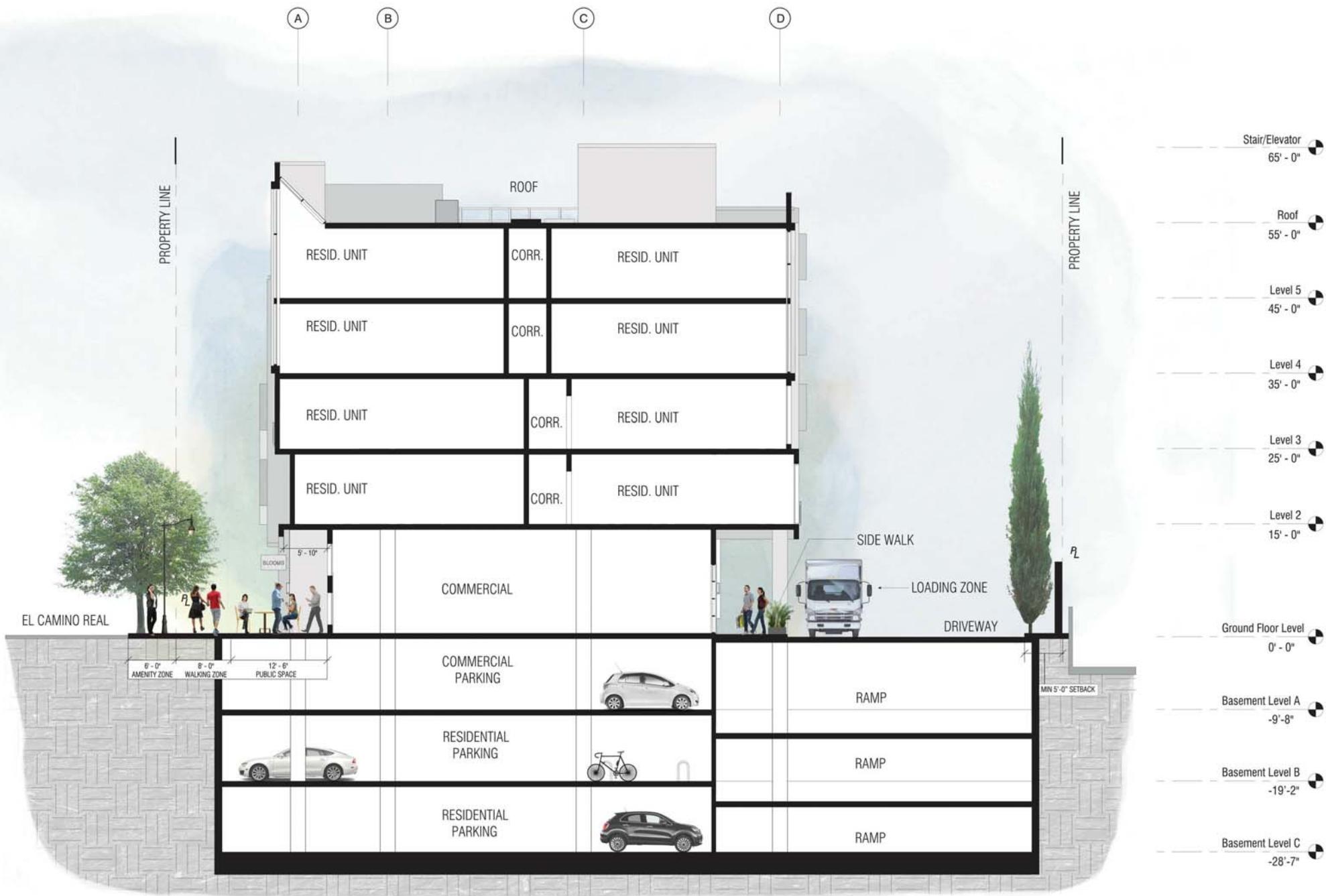
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**HILLSDALE  
TERRACES**

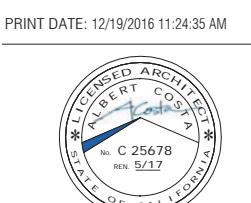
2700 SOUTH EL CAMINO REAL  
SAN MATEO, CA 94403

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① EAST FACING SECTION  
1/8" = 1'-0"



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Description:

EAST FACING  
BUILDING  
SECTION

Sheet Number:

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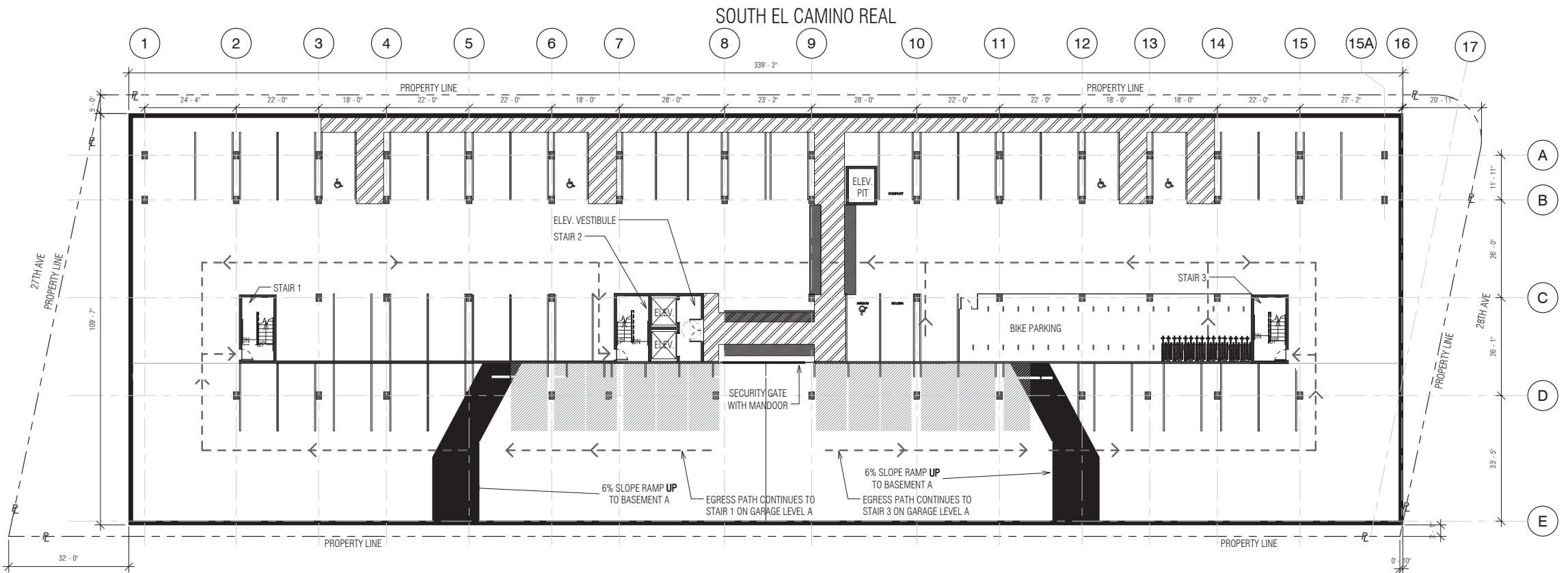
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Tel: 415 986 0101

# HILLSDALE TERRACES

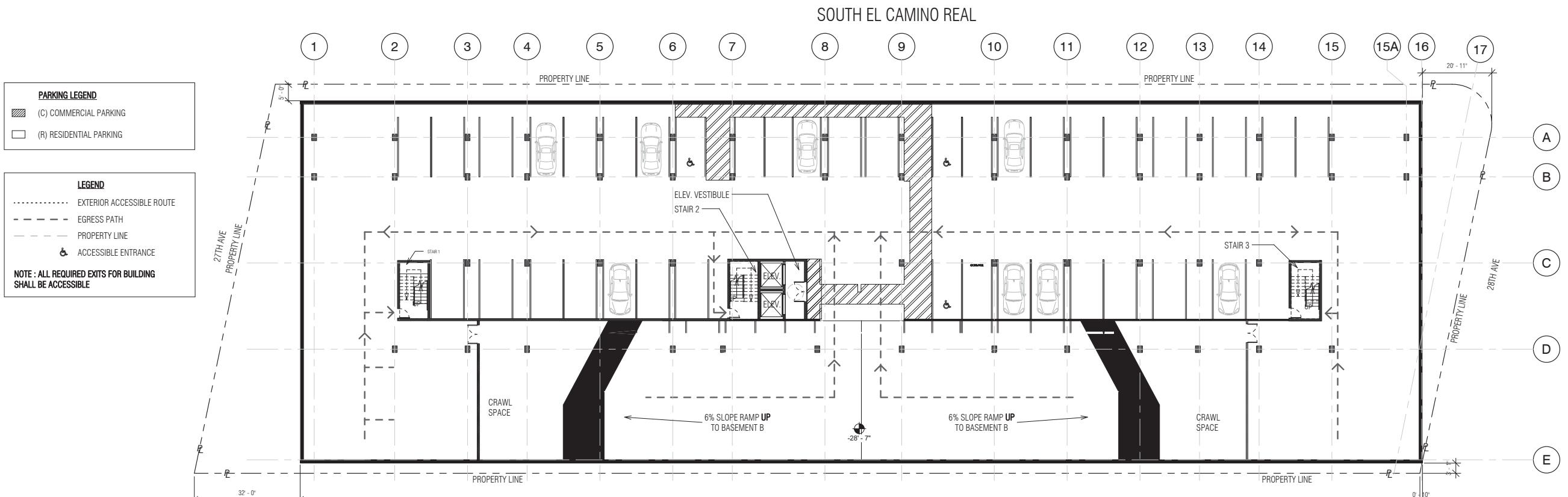
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SAN MATEO, CA 94403

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1 Basement Level B - Residential Parking - Egress  
1/16" = 1'-0"



2 Basement Level C - Residential Parking - Egress  
1/16" = 1'-0"

PBINT DATE: 12/19/2016 10:49:34 AM



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Date: 09/14/2016

Scallop 11.25 - 11.25

Scale.  $1/16^{\circ} = 1^{\circ}$

## EGRESS PLANS - PARKING LEVEL C AND B

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Sheet Number: \_\_\_\_\_

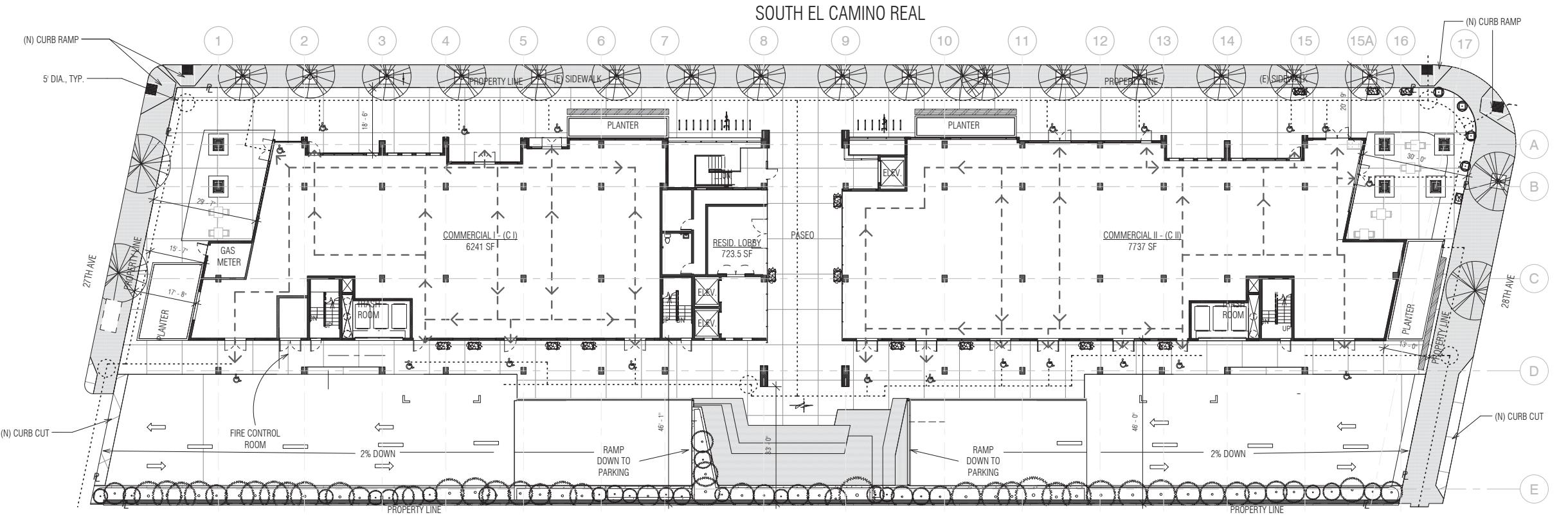
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TERRACES**

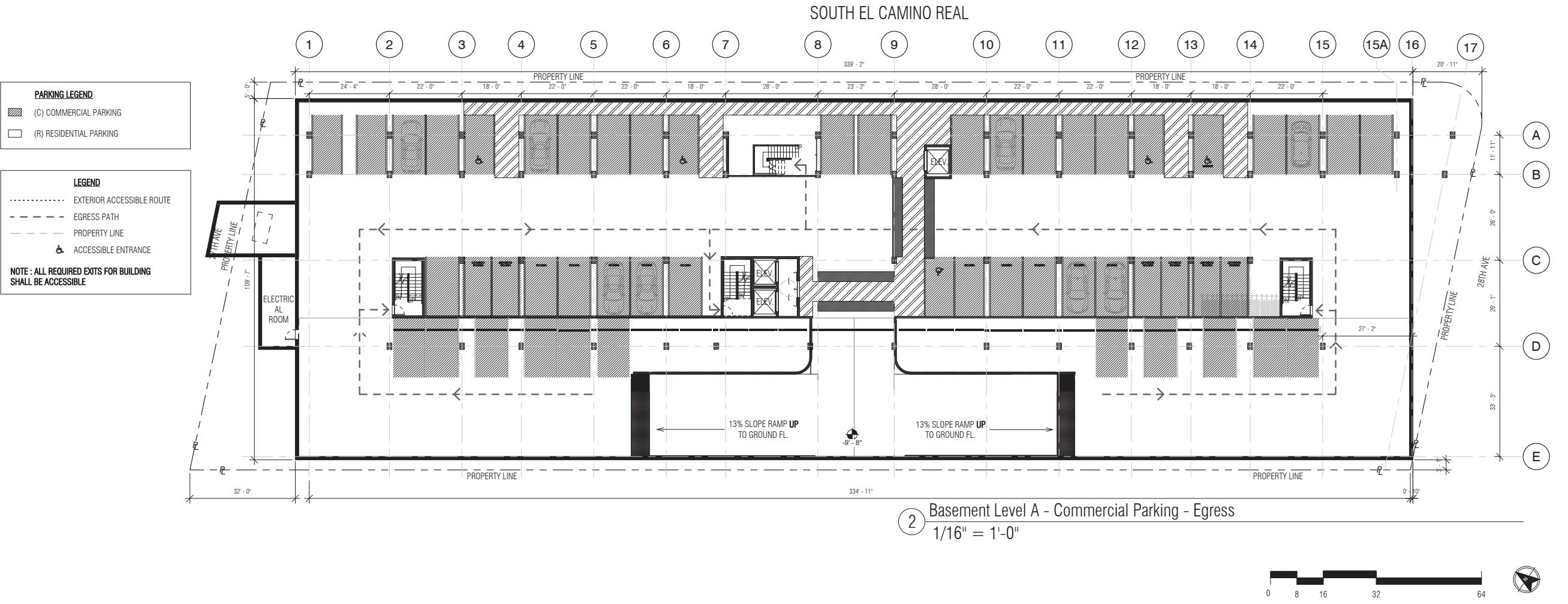
2700 SOUTH EL CAMINO REAL  
SAN MATEO, CA 94403

Job Number: 13090

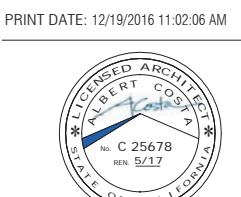
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9	Issue For Revision	12/15/2016



① Ground Floor Level - Egress  
1/16" = 1'-0"



② Basement Level A - Commercial Parking - Egress  
1/16" = 1'-0"



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Date: 09/14/2016

Scale: 1/16" = 1'-0"

Description:

**EGRESS PLAN -  
GROUND FLOOR  
/ PARKING LEVEL**

Sheet Number:

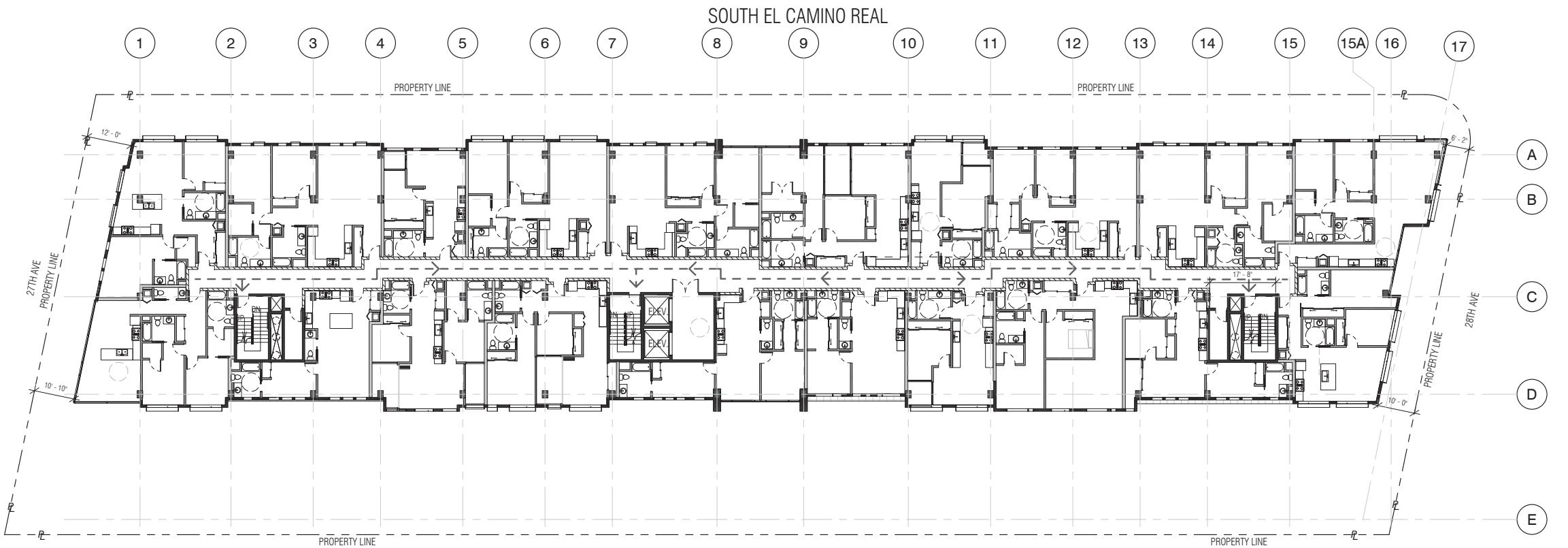
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**HILLSDALE  
TERRACES**

2700 SOUTH EL CAMINO REAL  
SAN MATEO, CA 94403

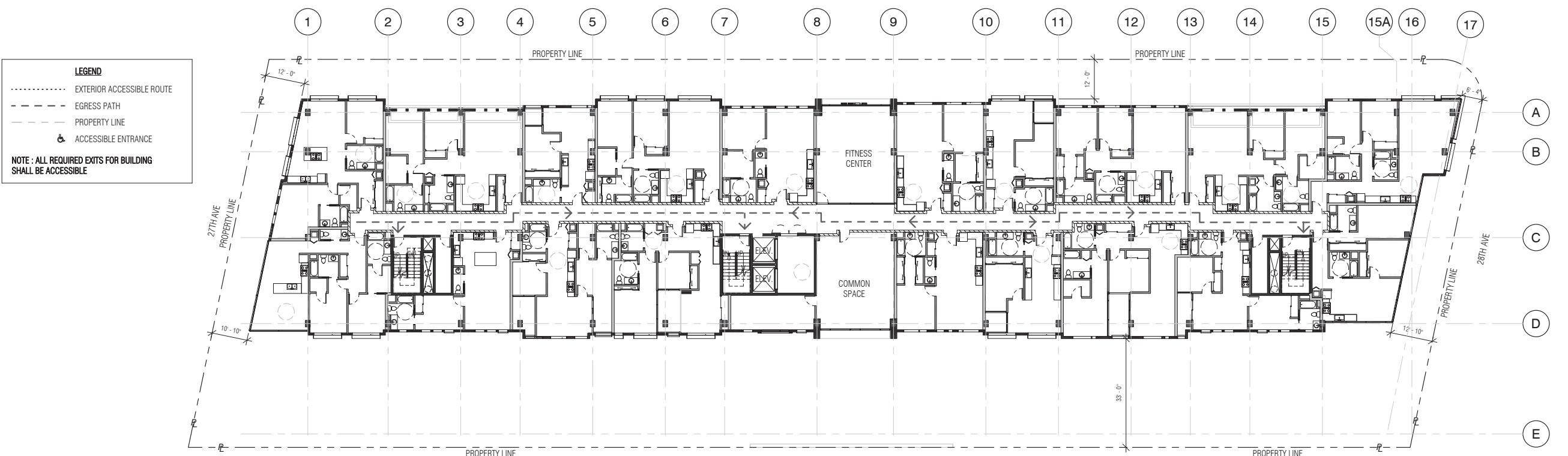
Job Number: 13090

No.	Issue	Date
1	Planning Pre-Application	11/27/2013
2	Planning Study Session	01/16/2014
3	Planning Formal Application	04/02/2015
4	Response To Plan Check	12/17/2015
5	Response To Plan Check	04/14/2016
6	Revision to Comment	05/05/2016
7	Issue For Revision	07/22/2016
8	Issue For Revision	09/14/2016
9	Issue For Revision	12/15/2016

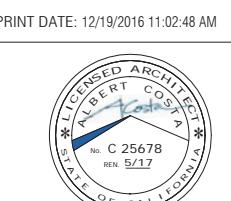


② Level 3 - Egress  
1/16" = 1'-0"

**SOUTH EL CAMINO REAL**



① Level 2 - Egress  
1/16" = 1'-0"



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Date: 09/14/2016

Scale: 1/16" = 1'-0"

Description:

**EGRESS PLANS -  
LEVEL 2 & 3**

Sheet Number:

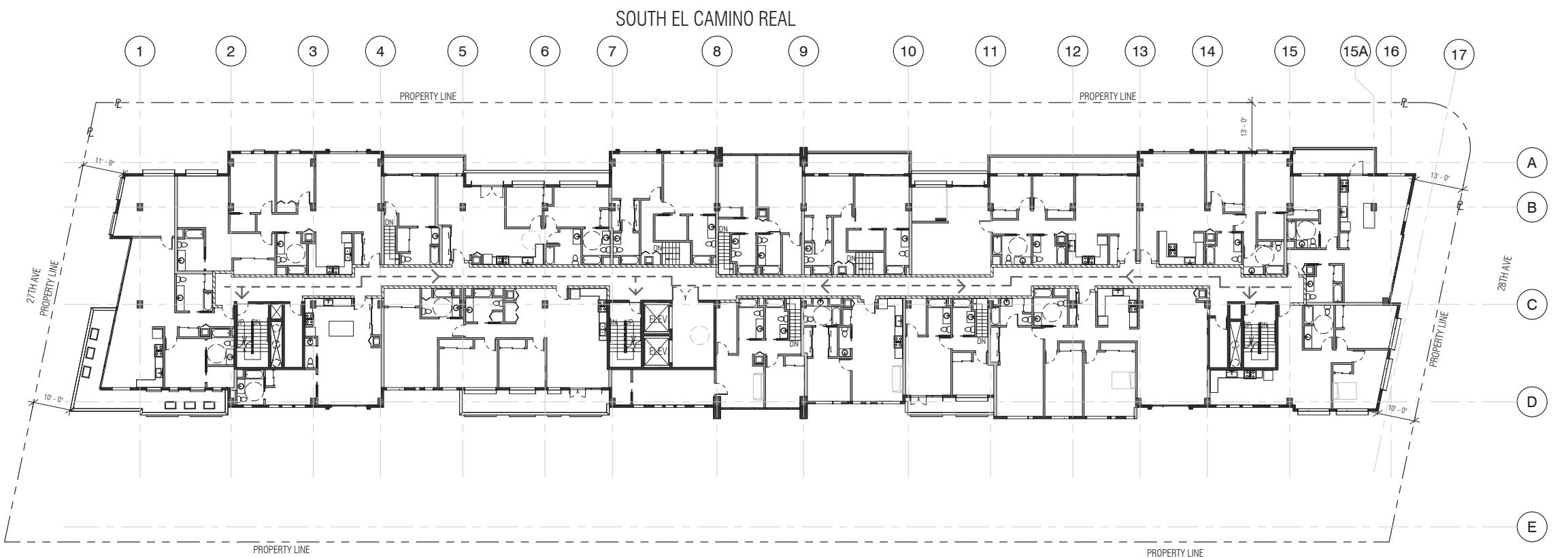
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**HILLSDALE  
TERRACES**

2700 SOUTH EL CAMINO REAL  
SAN MATEO, CA 94403

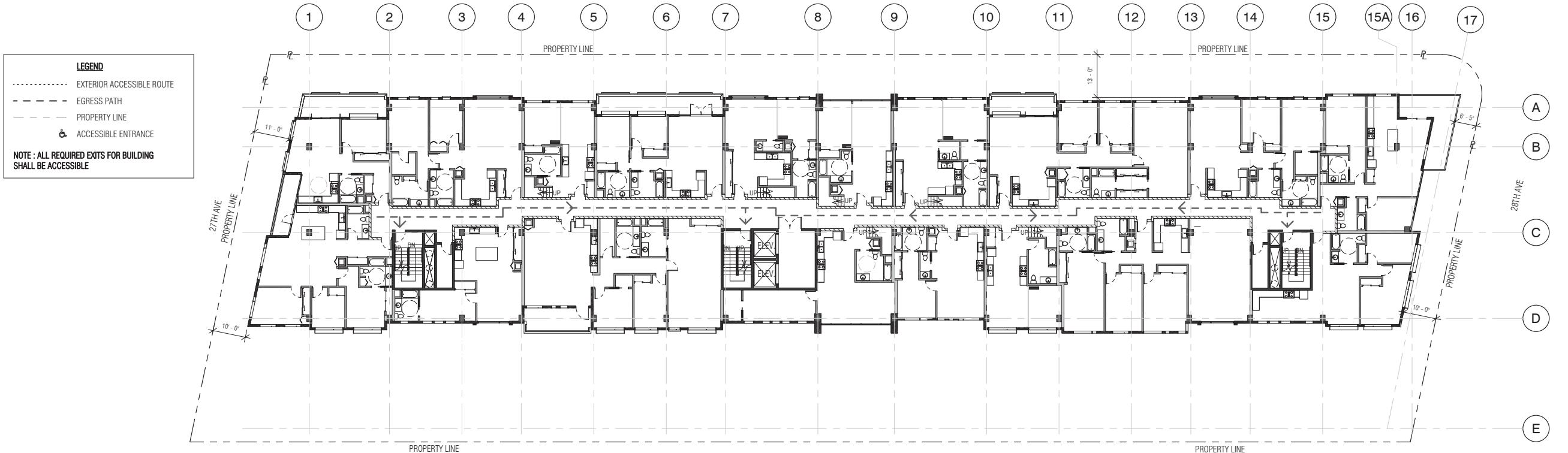
Job Number: 13090

No.	Issue	Date
1	Planning Pre-Application	11/27/2013
2	Planning Study Session	01/16/2014
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9	Issue For Revision	12/15/2016



② Level 5 - Egress  
1/16" = 1'-0"

**SOUTH EL CAMINO REAL**



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Date: 09/14/2016

Scale: 1/16" = 1'-0"

Description:

**EGRESS PLANS -  
LEVEL 4 & 5**

Sheet Number:

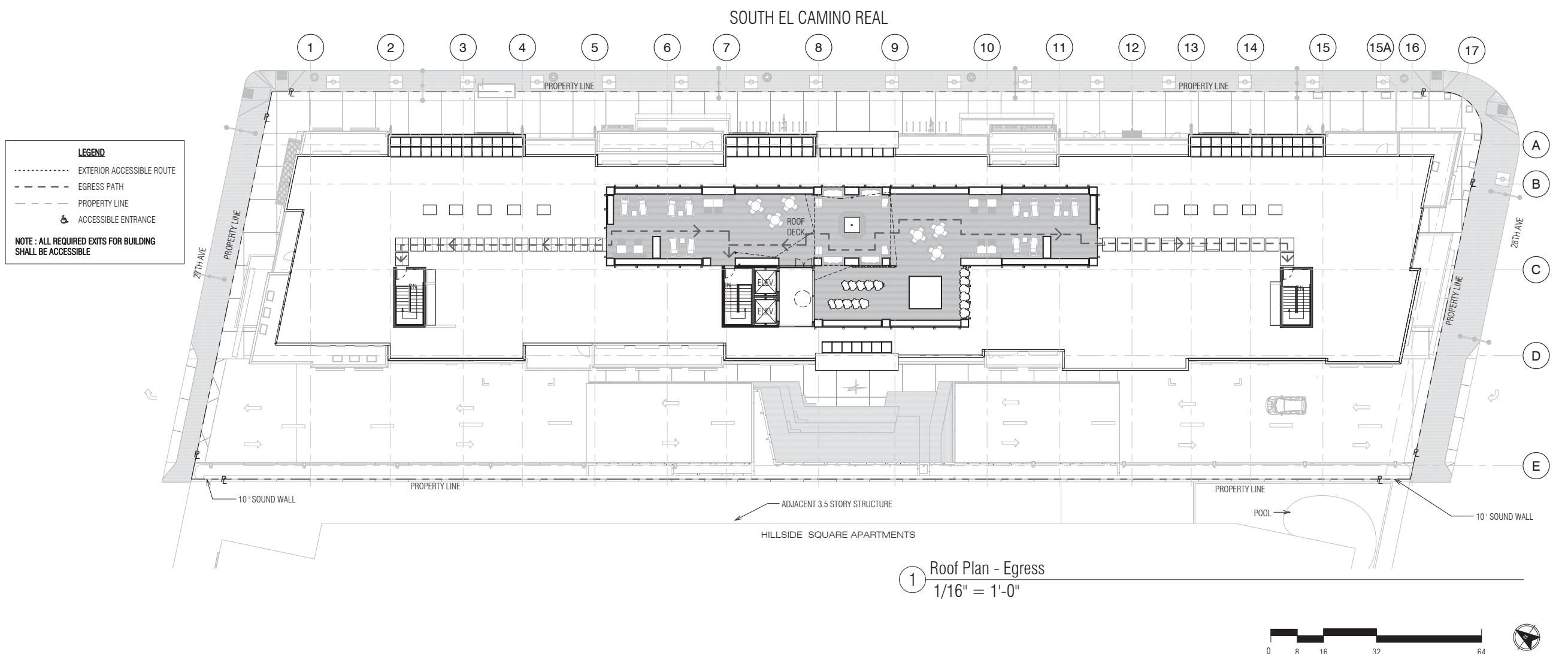
**A-6.3**

# HILLSDALE TERRACES

2700 SOUTH EL CAMINO REAL  
SAN MATEO, CA 94403

Job Number: 13090

No.	Issue	Date
1	Planning Pre-Application	11/27/2013
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8	Issue For Revision	09/14/2016
9	Issue For Revision	12/15/2016

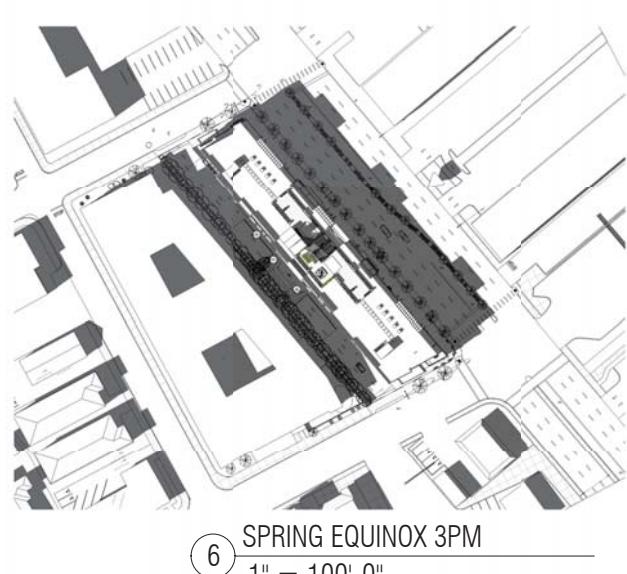
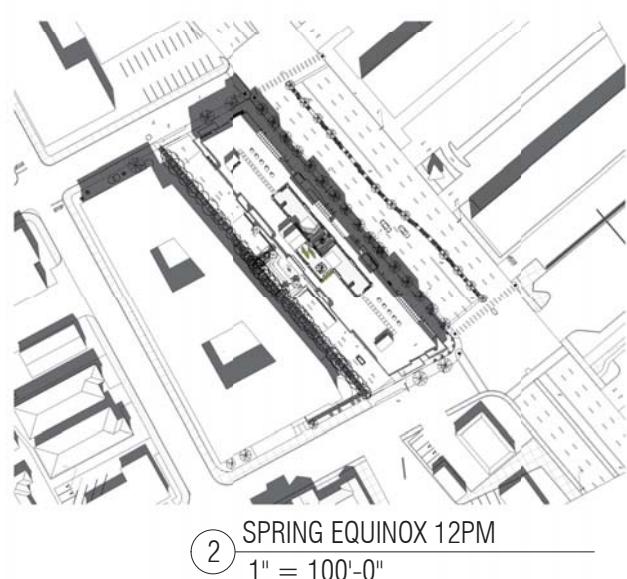
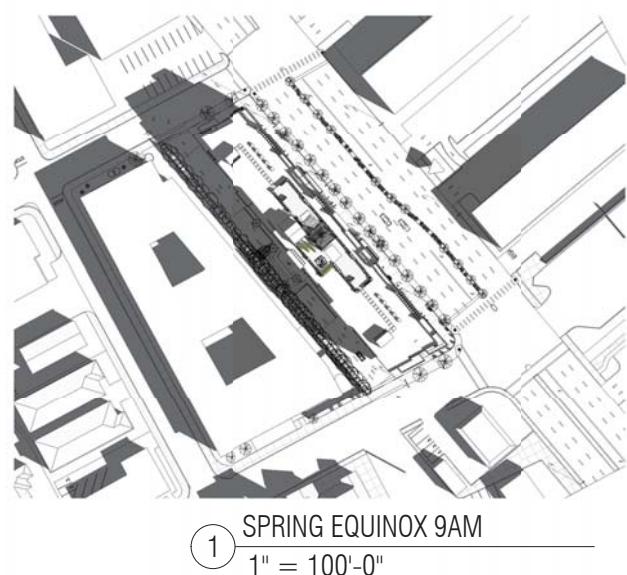


**HILLSDALE  
TERRACES**

2700 SOUTH EL CAMINO REAL  
SAN MATEO, CA 94403

Job Number: 13090

No.	Issue	Date
1	Planning Pre-Application	11/27/2013
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9	Issue For Revision	12/15/2016



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Date: 09/14/2016

Scale: 1" = 100'-0"

Description:

SHADOW  
STUDIES

Sheet Number:

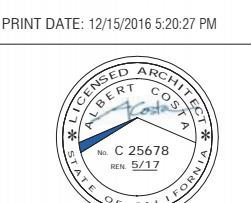
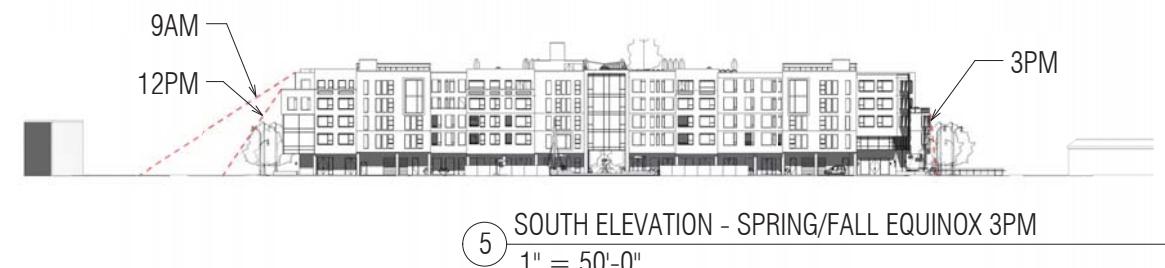
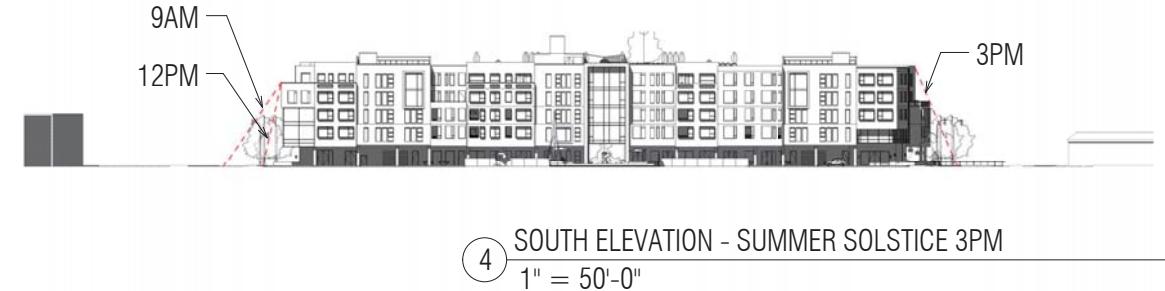
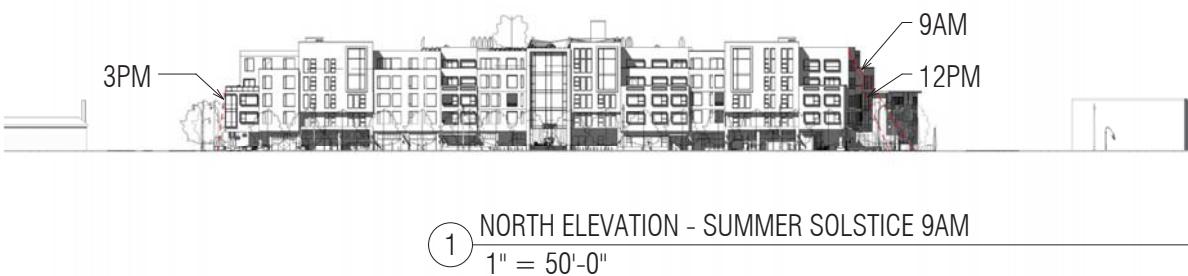
A-7.0

**HILLSDALE  
TERRACES**

2700 SOUTH EL CAMINO REAL  
SAN MATEO, CA 94403

Job Number: 13090

No.	Issue	Date
1	Planning Pre-Application	11/27/2013
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9	Issue For Revision	12/15/2016



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Date: 09/14/2016

Scale: 1" = 50'-0"

Description:

SHADOW STUDY  
- NORTH/SOUTH  
ELEVATION

Sheet Number:

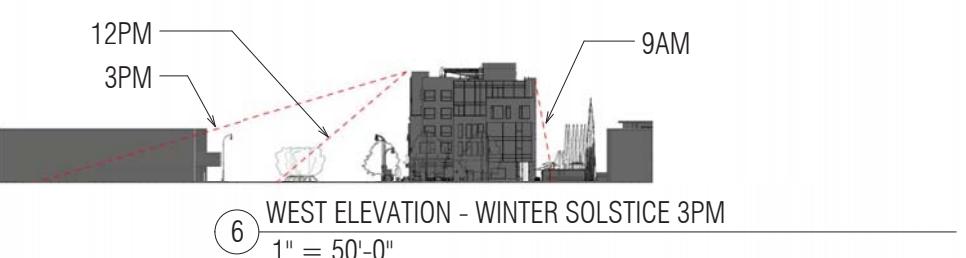
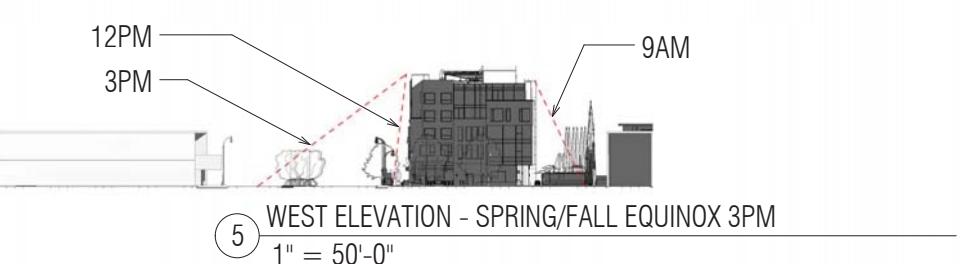
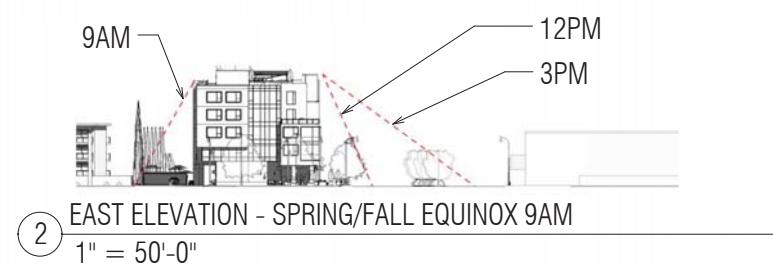
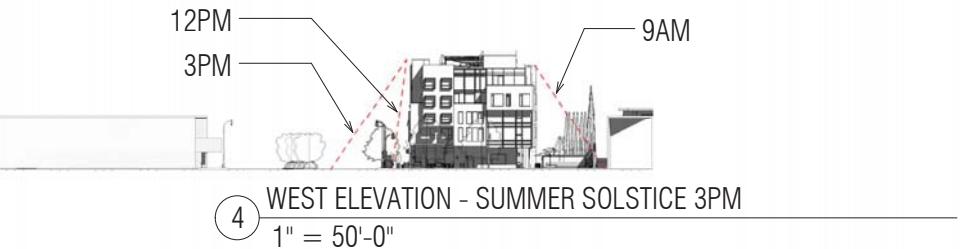
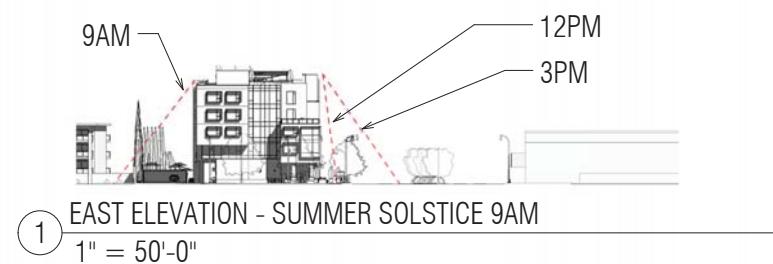
**A-7.1**

**HILLSDALE  
TERRACES**

2700 SOUTH EL CAMINO REAL  
SAN MATEO, CA 94403

Job Number: 13090

No.	Issue	Date
1	Planning Pre-Application	11/27/2013
2	Planning Study Session	01/16/2014
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9	Issue For Revision	12/15/2016



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Date: 09/14/2016

Scale: 1" = 50'-0"

Description:

**SHADOW STUDY  
- EAST/WEST  
ELEVATION**

Sheet Number:

**A-7.2**

**HILLSDALE  
TERRACES**

2700 SOUTH EL CAMINO REAL  
SAN MATEO, CA 94403

Job Number: 13090

No.	Issue	Date
1	Planning Pre-Application	11/27/2013
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Date: 09/14/2016

Scale: 1" = 1'-0"

Description:

**EXISTING SITE  
PHOTOS**

Sheet Number:

**A-7.3**

**HILLSDALE  
TERRACES**

2700 SOUTH EL CAMINO REAL  
SAN MATEO, CA 94403

Job Number: 13090

No.	Issue	Date
1	Planning Pre-Application	11/27/2013
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8	Issue For Revision	09/14/2016
9	Issue For Revision	12/15/2016

Lighting Schedule								
Mark	Item	Qty	Manufac.	Model #	Description	Material Finish	Dimensions	Addtl Notes
L-1	LED LIGHT	-	TMS LIGHTING	QS-CAL	CALVIN PENDANT	MATTE BLACK	16" D X 7 3/4"H	SUITABLE FOR WET LOCATION
L-2	LED LIGHT	-	BEGA	4426P.537	SURFACE WALL - LINEAR W/ WHITE ACRYLIC DIFFUSER	POWDER COATED BLACK	25 5/8" X 7 7/8" X 6 1/4"	SUITABLE FOR WET LOCATION
L-3	LED LIGHT	-	BEGA	8062LED	SHIELDED BOLLARD WITH SYMMETRICAL LIGHT DISTRIBUTION	POWDER COATED BLACK	10 3/8" X 28 1/8" X 5 1/4"	SUITABLE FOR WET LOCATION
L-4	LED LIGHT	-	HESS	LEDIA LL OD 36	RECESSED FRAMELESS LINEAR LED GLASS	ANODIZED ALUMINUM	19 5/8" L X 1 3/8" W	SUITABLE FOR WET LOCATION
L-5	LED LIGHT	-	Q-TRAN LED	IQ-35-50-90-2.6	LED IP67 FLEXIBLE TAPE LIGHT	WARM WHITE	35L X 1/2" W	DIMMABLE W/ MOTION SENSOR
L-6	LED LIGHT	-	BEGA	9499LED	LED POLE TOP LUMINAIRES	POWDER COATED BLACK	17 3/8" L X 2 3/8" H X 18" W	OUTDOOR, 10' POLE
L-7	LED LIGHT	-	PHILIPS	P6R LYTEPROFILE	6" RECESSED ROUND DOWNLIGHT	WHITE	6" Dia X 4 1/2" H	SUITABLE FOR WET LOCATION

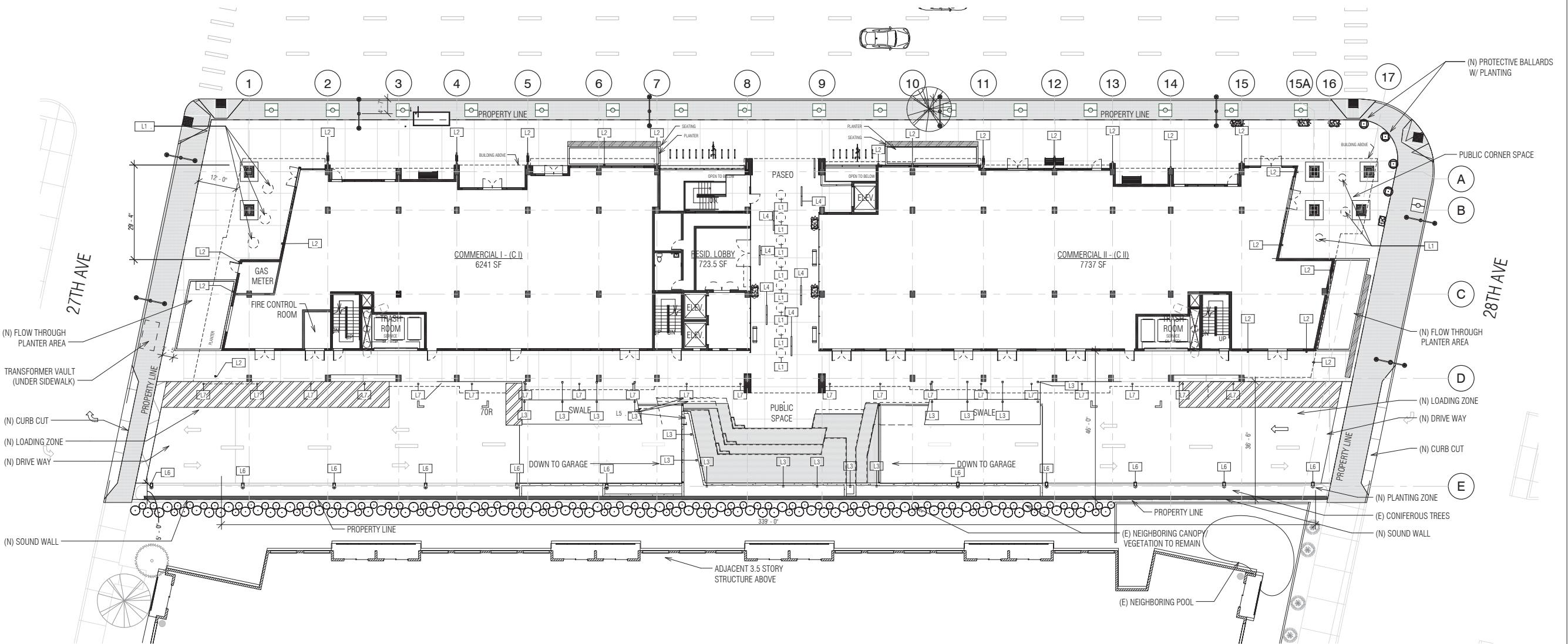


2 LIGHT IMAGES

3/64" = 1'-0"

EXTERIOR LIGHT LEGEND

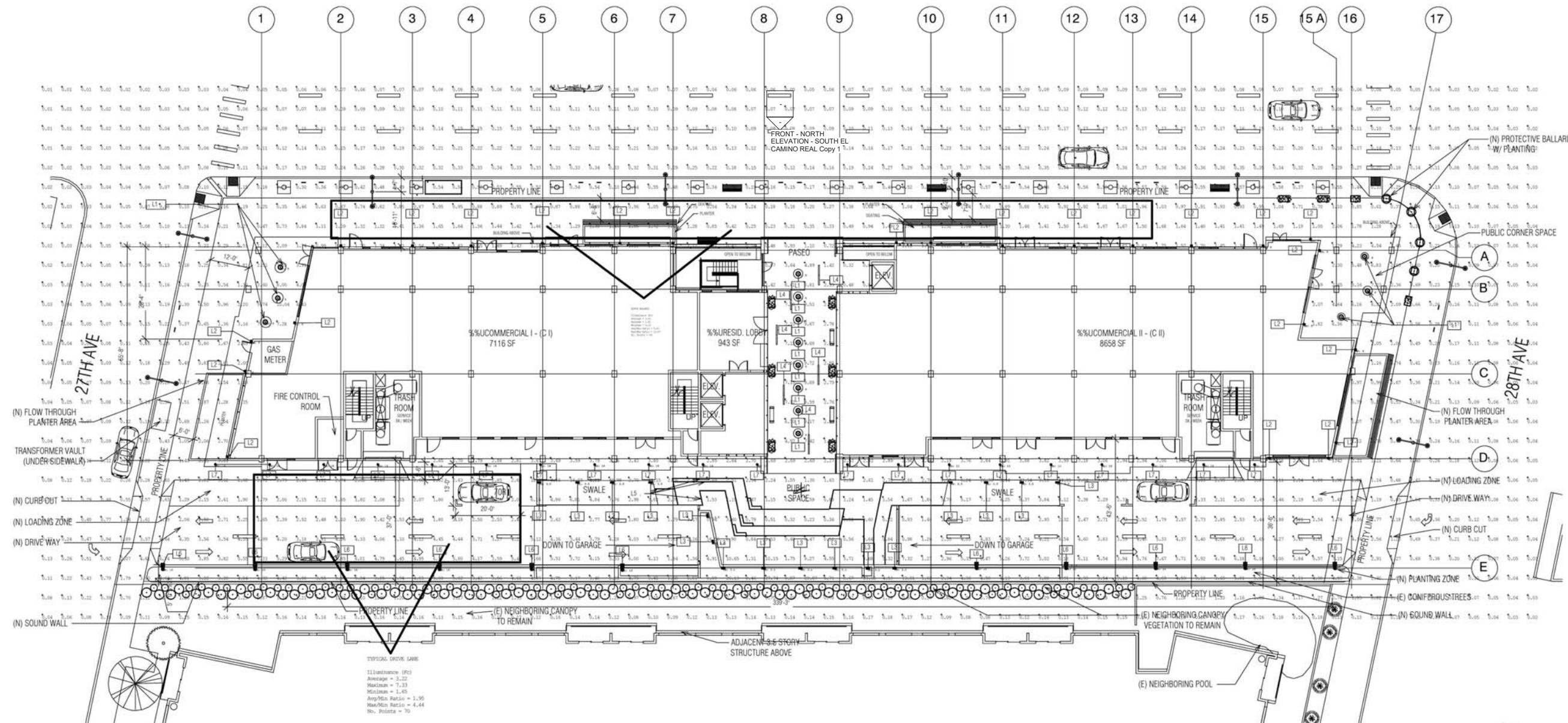
- OUTDOOR PENDANT LIGHT
- EXTERIOR LED WALL SCONCE
- △ BOLLARD LED LIGHT
- LINEAR RECESSED FLOOR LIGHT
- - - OUTDOOR LED STRIP LIGHT
- LED POLE TOP LUMINAIRES
- RECESSED DOWNLIGHT



1 Ground Floor - Lighting Plan  
1/16" = 1'-0"

Sheet Number:

A-8.1



\* FOR PHOTOMETRY ONLY. SEE A-1.3.1 FOR LATEST GROUND FLOOR PLAN

### \*\*\*LIGHTING LAYOUT VERIFICATION\*\*\*

ALL VALUES SHOWN ARE MAINTAINED HORIZONTAL FOOTCANDLES AT GRADE  
PHOTOMETRIC DATA USED AS INPUT FOR THESE CALCULATIONS IS BASED ON ESTABLISHED IES PROCEDURES AND PUBLISHED LAMP, RATINGS, FIELD PERFORMANCE WILL DEPEND ON ACTUAL LAMP, BALLAST, ELECTRICAL, AND SITE CHARACTERISTICS.

Calculations have been performed according to IES standards and good practice. Some differences between measured values and calculated results may occur due to tolerances in calculation methods, testing procedures, component performance, measurement techniques and environmental conditions and site specific variations. Input data used to generate the attached calculations such as room dimensions, reflectances, furniture and architectural elements significantly affect the lighting calculations. If the real environment conditions do not match the input data, differences will occur between measured values and calculated values.

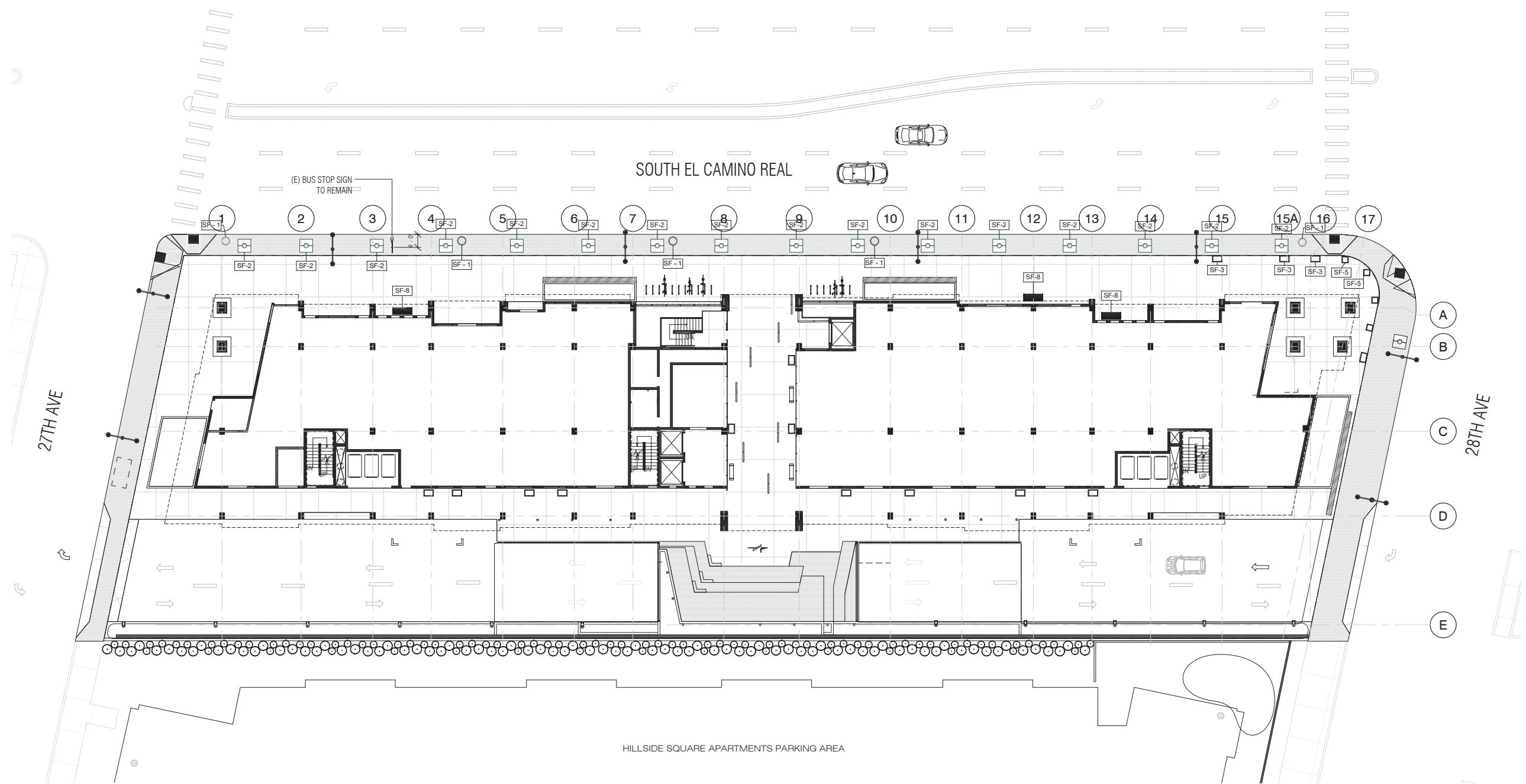
**HILLSDALE  
TERRACES**

2700 SOUTH EL CAMINO REAL  
SAN MATEO, CA 94403

Job Number: 13090

No.	Issue	Date
1	Planning Pre-Application	11/27/2013
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9	Issue For Revision	12/15/2016

Mark	Item	Qty	Manuf.	Model #	Description	Material Finish	Dimensions (l x w x h)	Add'l Notes
SF-1	TRASH CAN	6	VICTOR STANLEY INC	RONIGE SERIES S-424	6 GALLON CAPACITY SURFACE MOUNTED	BLACK, POWDER COAT	2'-8" X 2'-11"	
SF-2	TREE GRATE	18	URBAN ACCESSORIES	GT-TITLE 24		POWDER COAT PAL 803A (BLACK)	4' X 4'	CUSTOMIZED TO PROVIDE TWO 4" HOLES FOR BUBBLER ACCESS
SF-3	PLANTER	3	WABASH VALLEY			CERAMIC	2' X 3'	
SF-5	PLANTER	2	WABASH VALLEY			SLAT PATTERN, BLACK, POWDER COAT	2'-2 3/4" X 2'-11"	
SF-7	BIKE RACK	14	WELLE	CIRCULAR RACK, ROUND		STAINLESS STEEL	30" X 10" X 2'-4"	
SF-8	BENCH	4	WABASH VALLEY	ESTATE SERIES		SLAT PATTERN, BLACK, POWDER COAT	2'-2 3/4" X 8'-2 3/4" X 39"	



1 Ground Floor - Hardscape Plan  
1/16" = 1'-0"

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Date: 09/14/2016

Scale: 1/16" = 1'-0"

Description:  
**SITE  
FURNISHINGS &  
HARDSCAPE  
PLAN**  
Sheet Number:

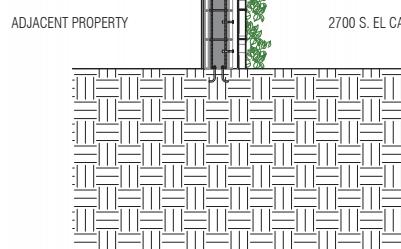
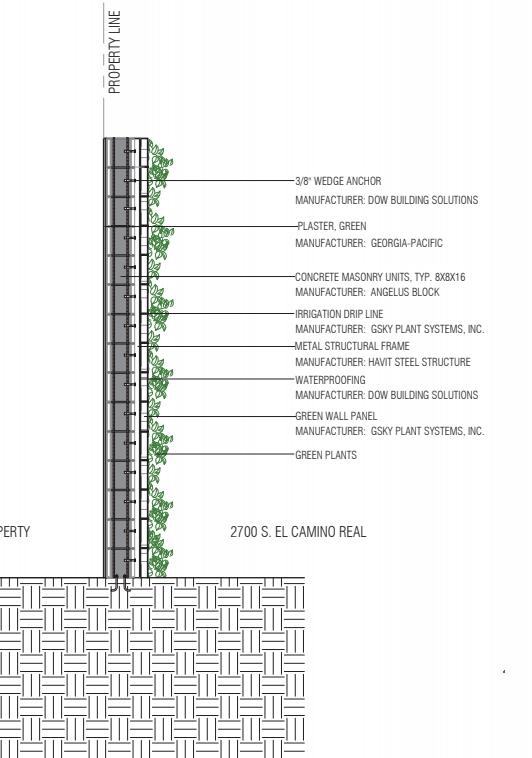
**A-8.3**

**HILLSDALE  
TERRACES**

2700 SOUTH EL CAMINO REAL  
SAN MATEO, CA 94403

Job Number: 13090

No.	Issue	Date
1	Planning Pre-Application	11/27/2013
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9	Issue For Revision	12/15/2016



② CMU Wall Section  
1/2" = 1'-0"

PRINT DATE: 12/15/2016 5:24:54 PM



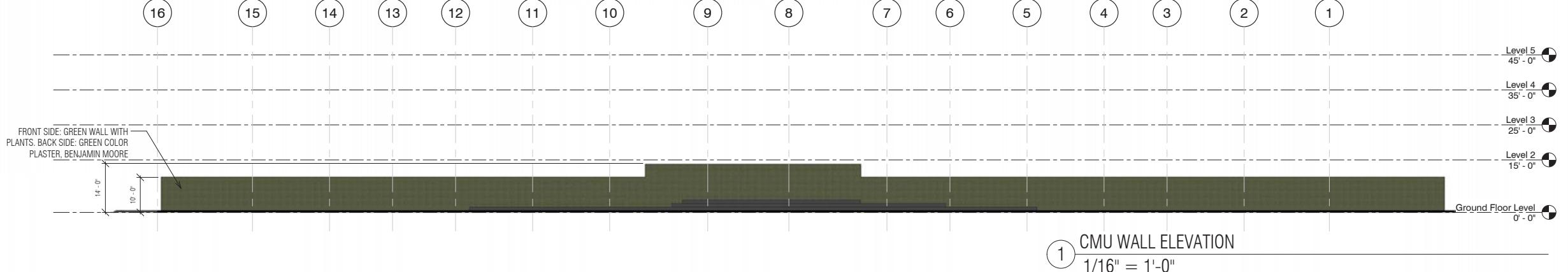
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Date: 09/14/2016

Scale: As indicated

Description:  
WALL  
ELEVATION AND  
SECTION ON SITE  
BOUNDARY  
Sheet Number:

A-8.4

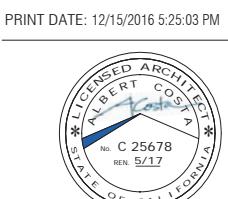
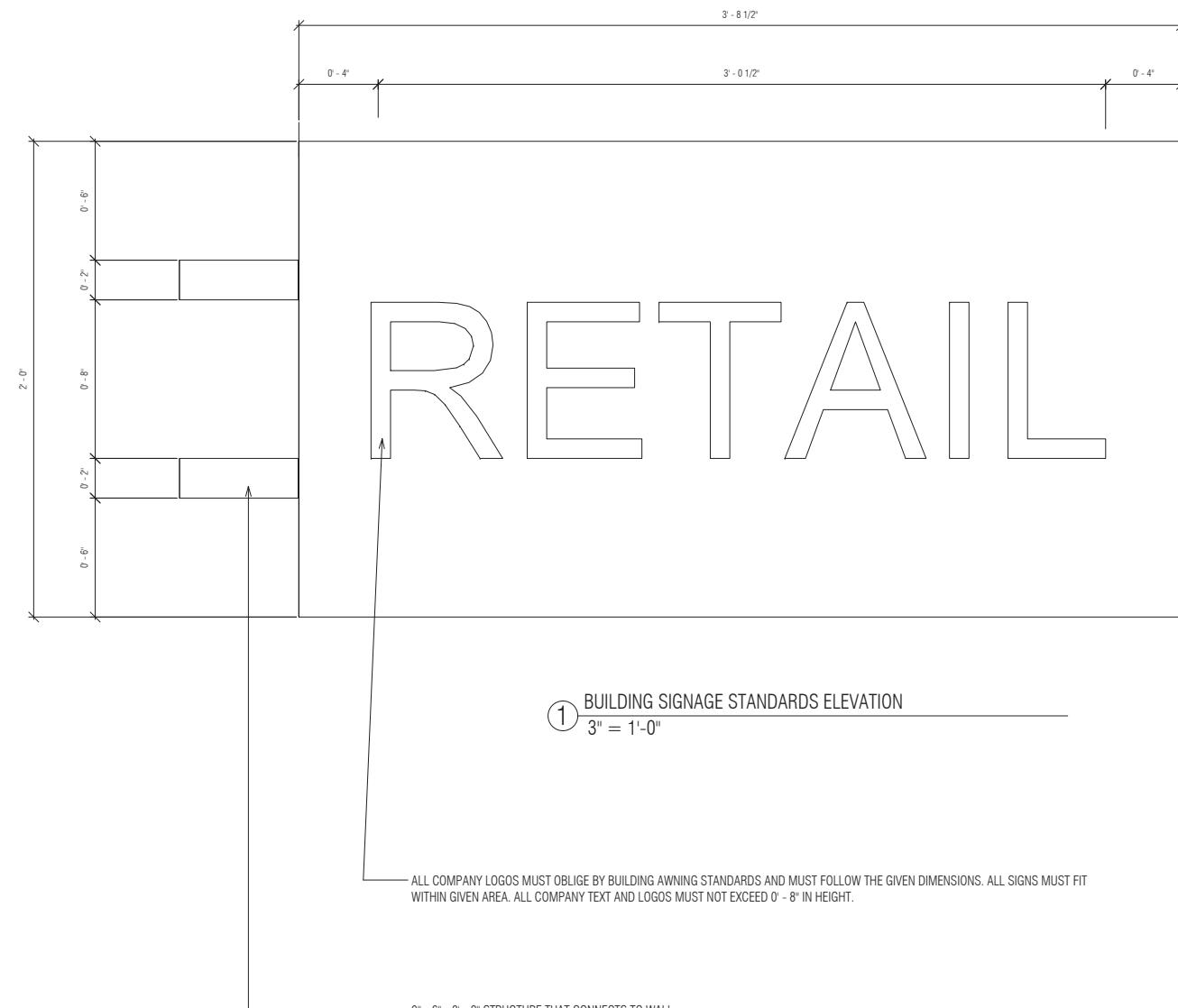
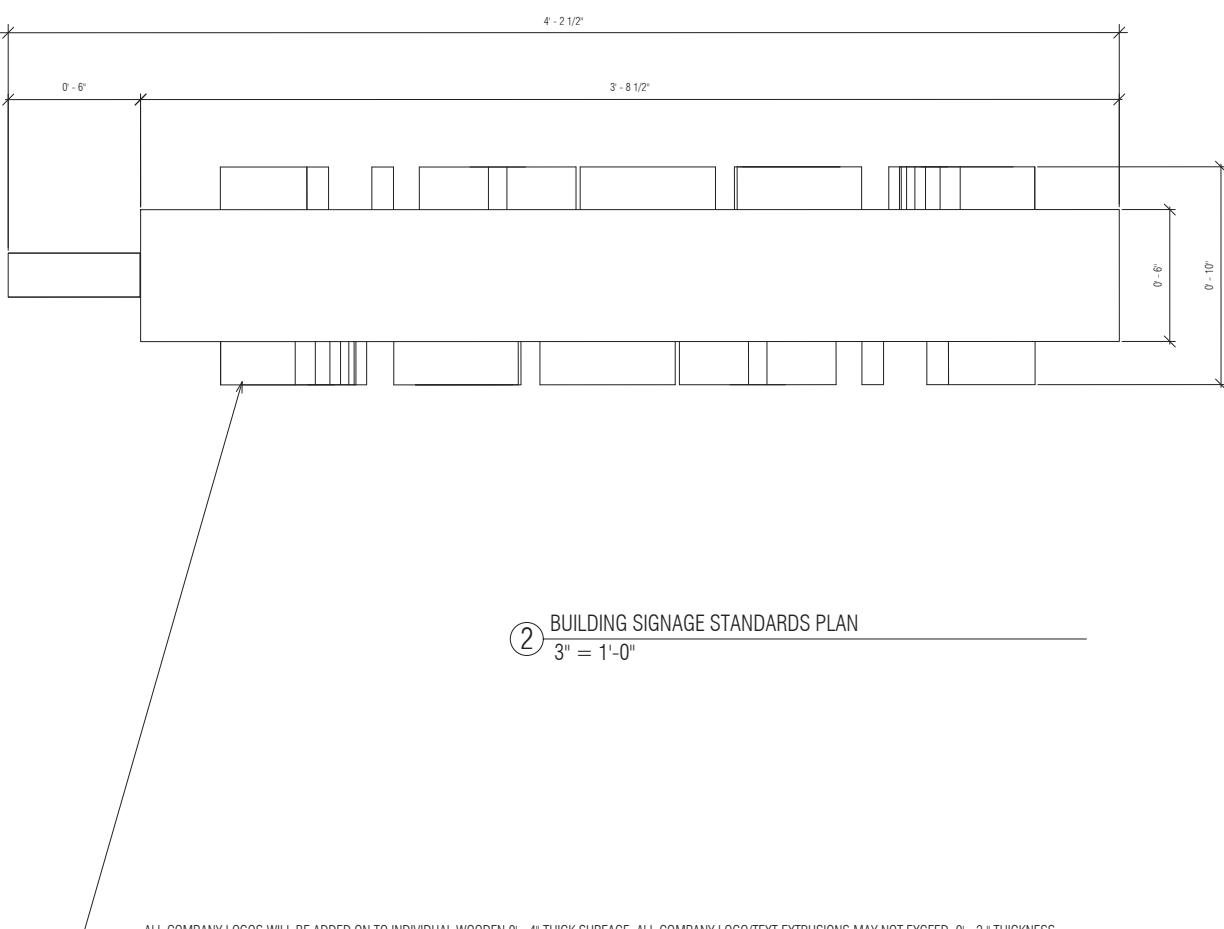


**HILLSDALE  
TERRACES**

2700 SOUTH EL CAMINO REAL  
SAN MATEO, CA 94403

Job Number: 13090

No.	Issue	Date
1	Planning Pre-Application	11/27/2013
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Date: 09/14/2016

Scale: 3" = 1'-0"

Description:

**BUILDING  
SIGNAGE  
STANDARDS**

Sheet Number:

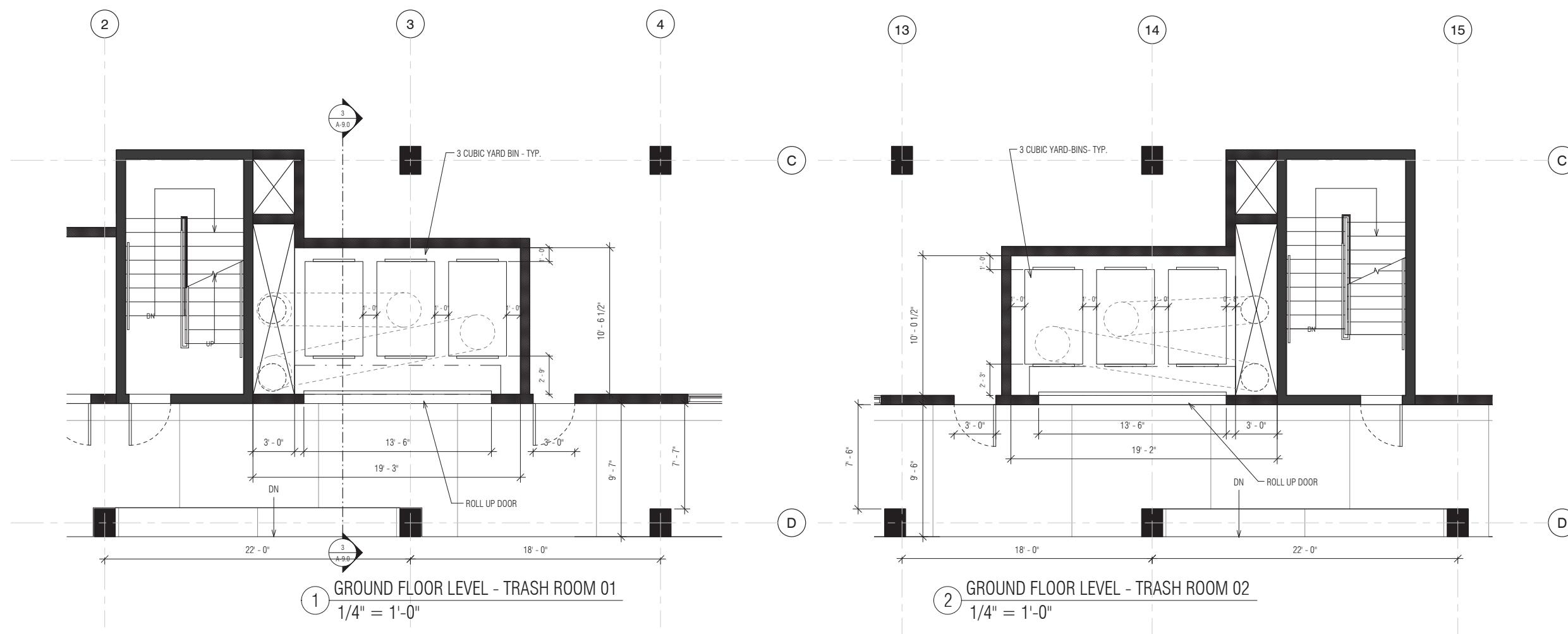
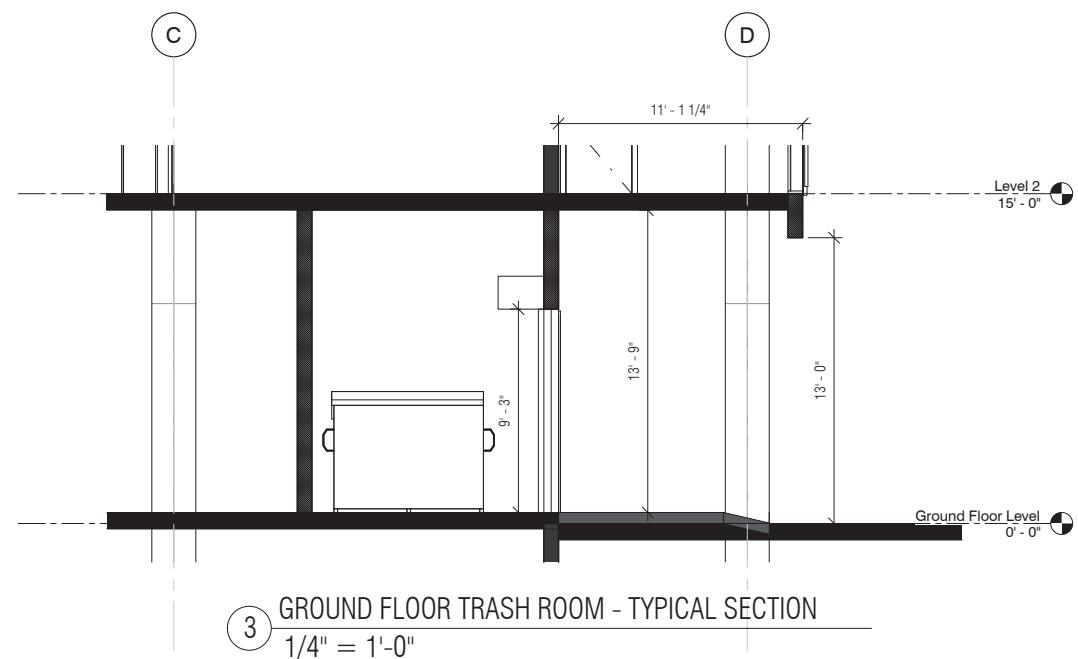
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**HILLSDALE  
TERRACES**

2700 SOUTH EL CAMINO REAL  
SAN MATEO, CA 94403

Job Number: 13090

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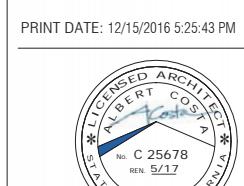
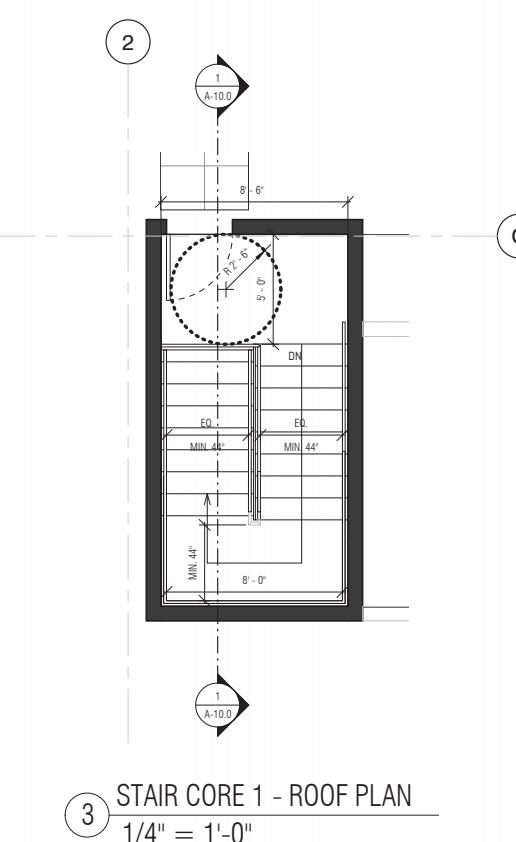
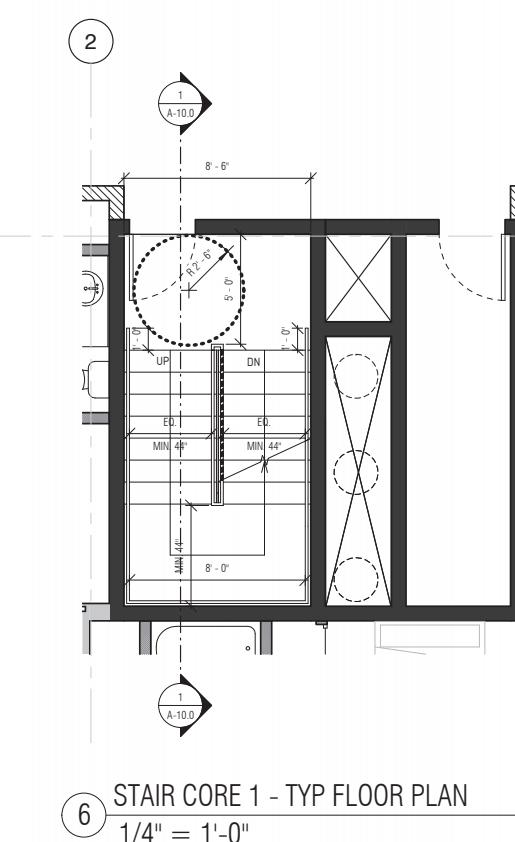
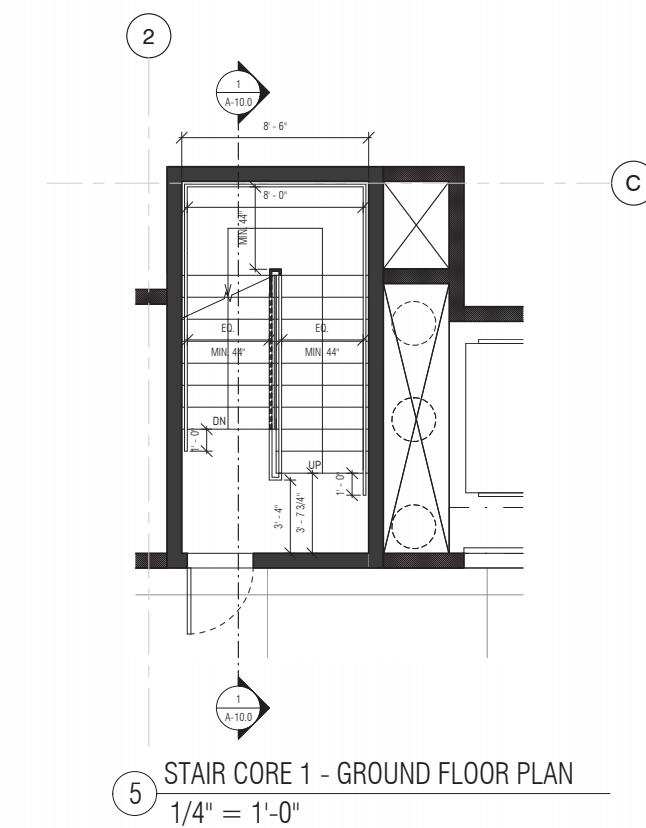
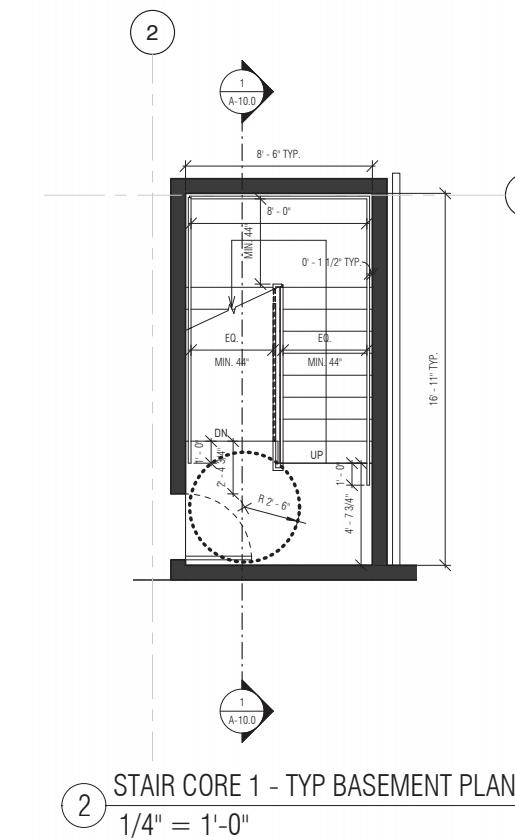


**HILLSDALE  
TERRACES**

2700 SOUTH EL CAMINO REAL  
SAN MATEO, CA 94403

Job Number: 13090

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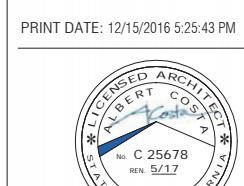
Scale: As indicated

Description:

**STAIR CORE 1  
DETAILS**

Sheet Number:

**A-10.0**



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Date: 09/14/2016

Scale: As indicated

Description:

**STAIR CORE 1  
DETAILS**

Sheet Number:

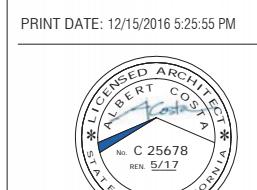
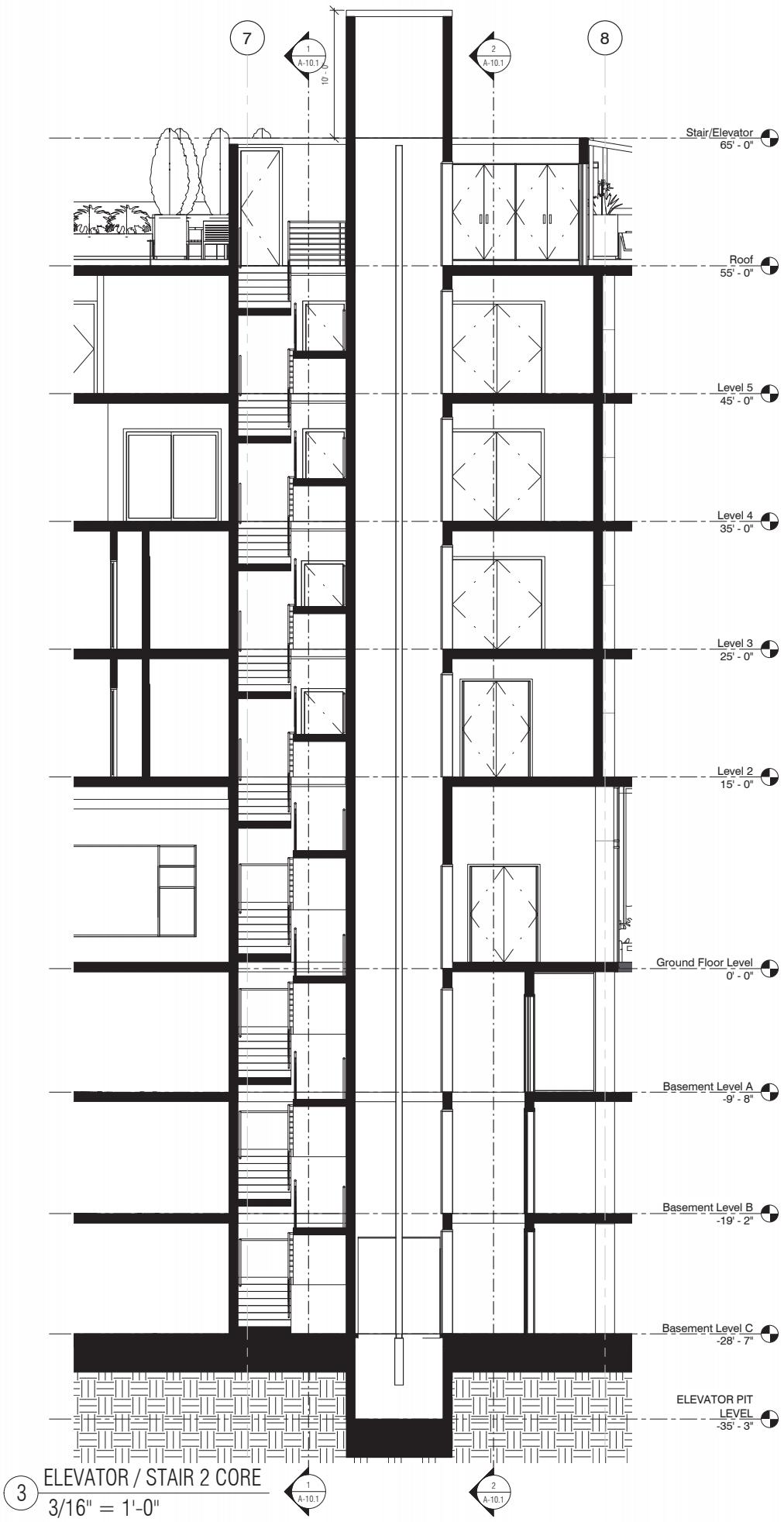
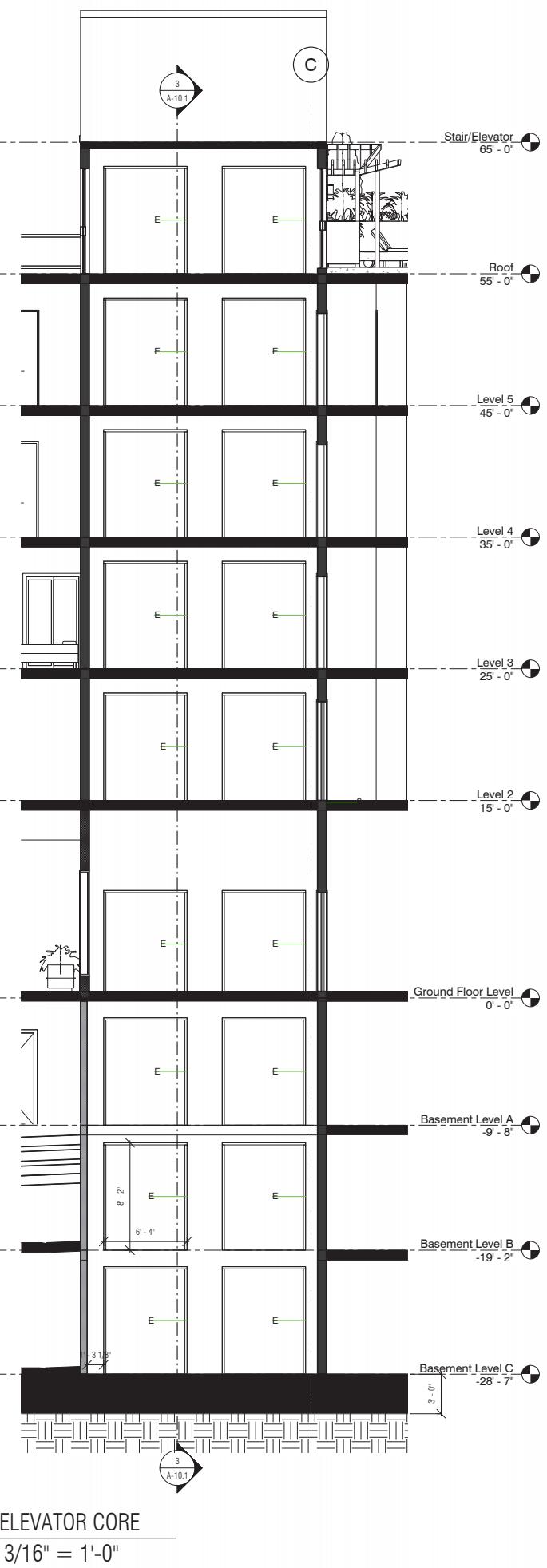
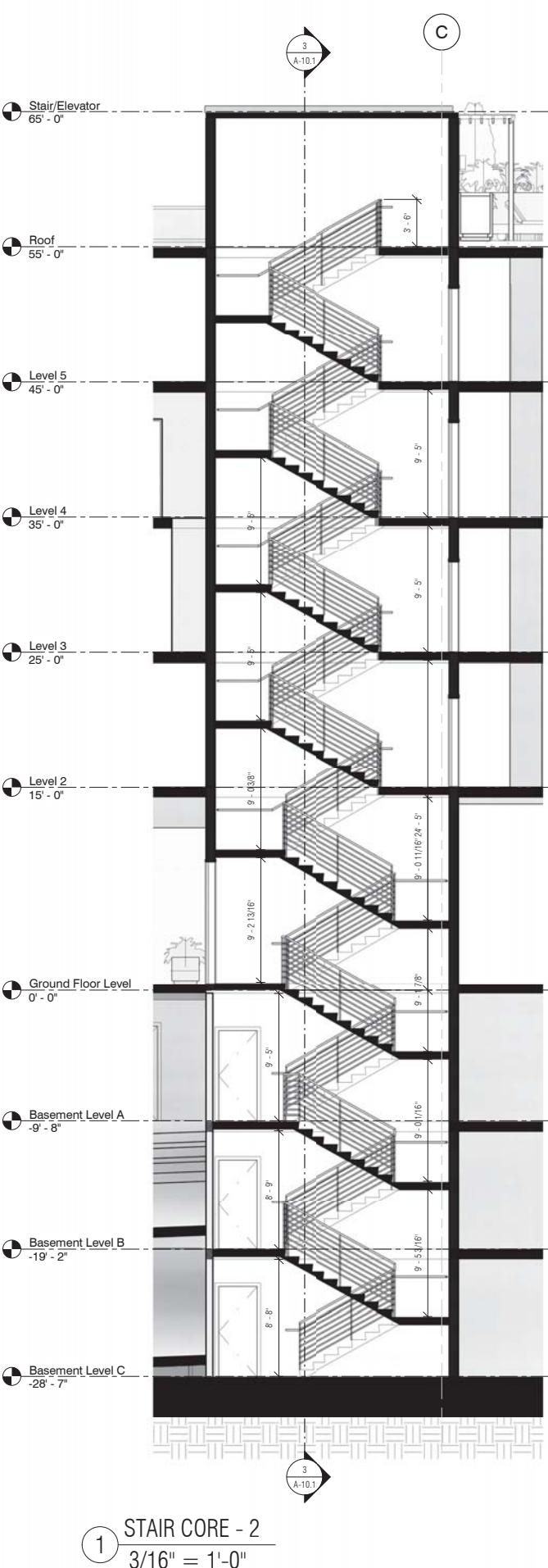
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**HILLSDALE  
TERRACES**

2700 SOUTH EL CAMINO REAL  
SAN MATEO, CA 94403

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8	Issue For Revision	09/14/2016
9	Issue For Revision	12/15/2016



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Date: 09/14/2016

Scale: 3/16" = 1'-0"

Description:

STAIR CORE 2 &  
ELEVATOR CORE  
SECTIONS

Sheet Number:

**A-10.1**

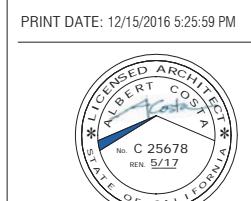
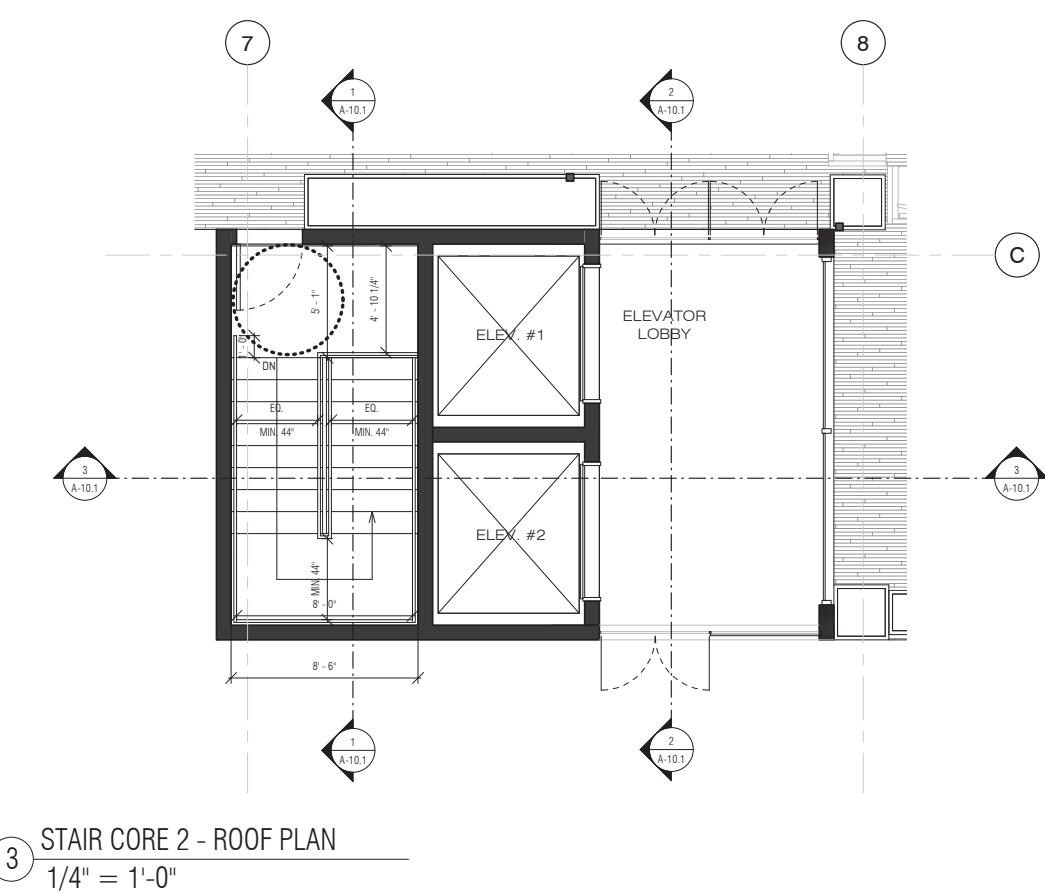
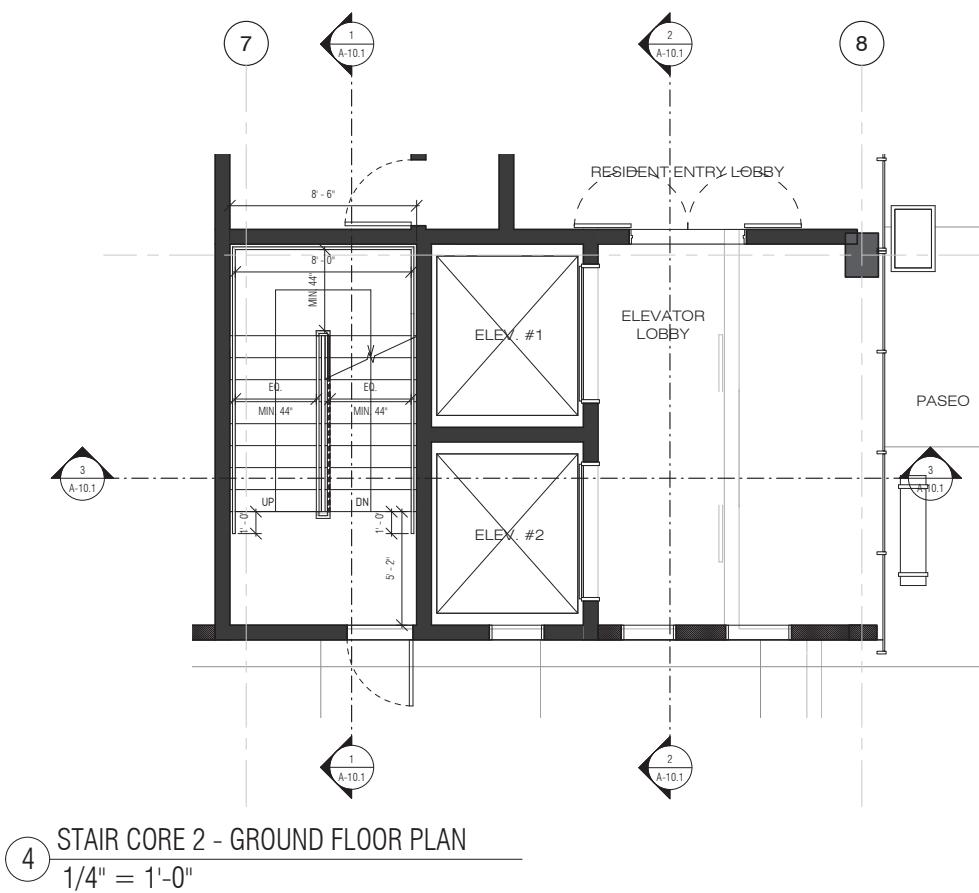
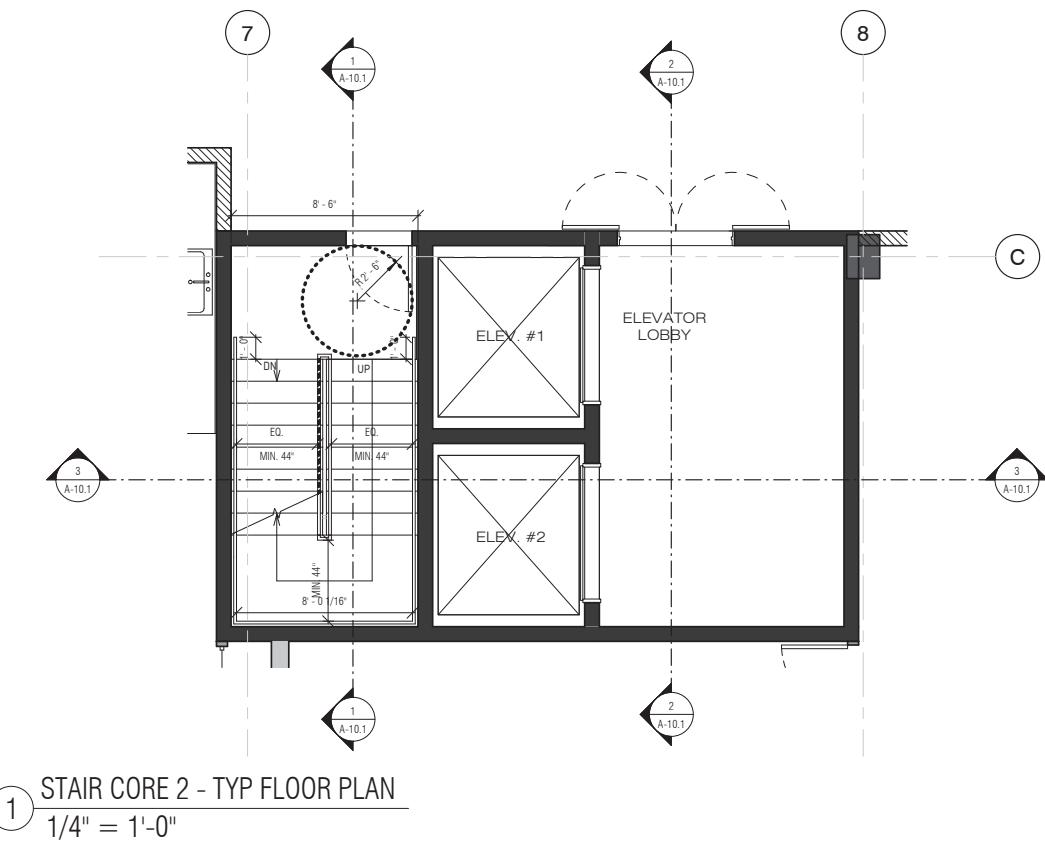
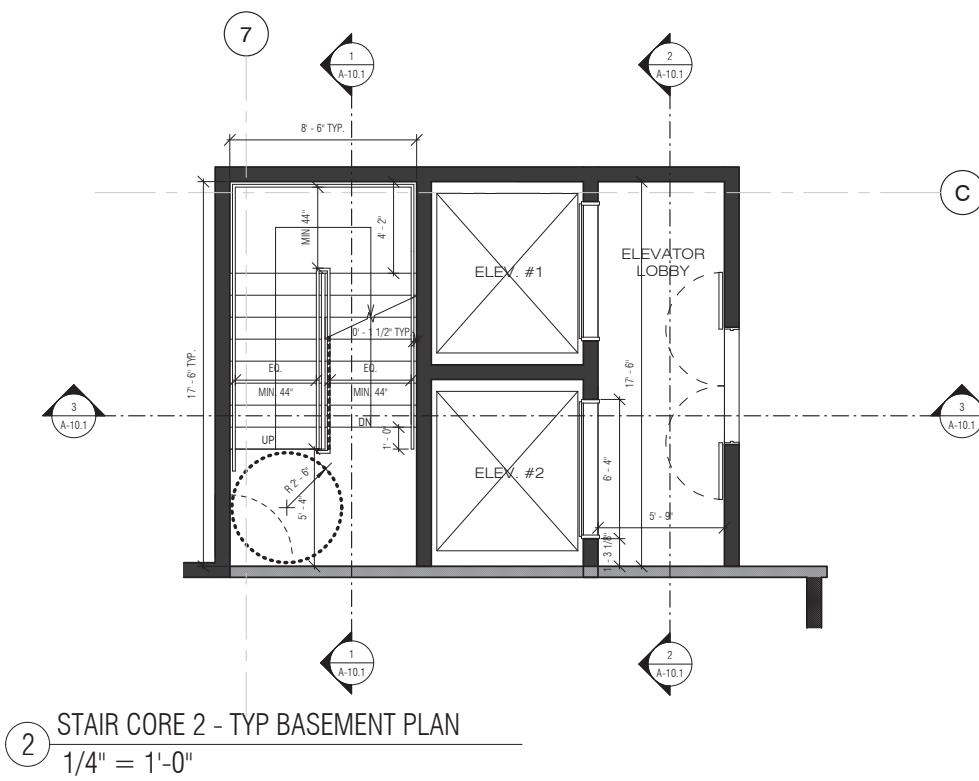
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**HILLSDALE  
TERRACES**

2700 SOUTH EL CAMINO REAL  
SAN MATEO, CA 94403

Job Number: 13090

No.	Issue	Date
1	Planning Pre-Application	11/27/2013
2	Planning Study Session	01/16/2014
3	Planning Formal Application	04/02/2015
4	Response To Plan Check	12/17/2015
5	Response To Plan Check	04/14/2016
6	Revision to Comment	05/05/2016
7	Issue For Revision	07/22/2016
8	Issue For Revision	09/14/2016
9	Issue For Revision	12/15/2016



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Date: 09/14/2016

Scale: 1/4" = 1'-0"

Description:  
STAIR CORE 2 &  
ELEVATOR CORE  
PLANS

Sheet Number:

**A-10.2**

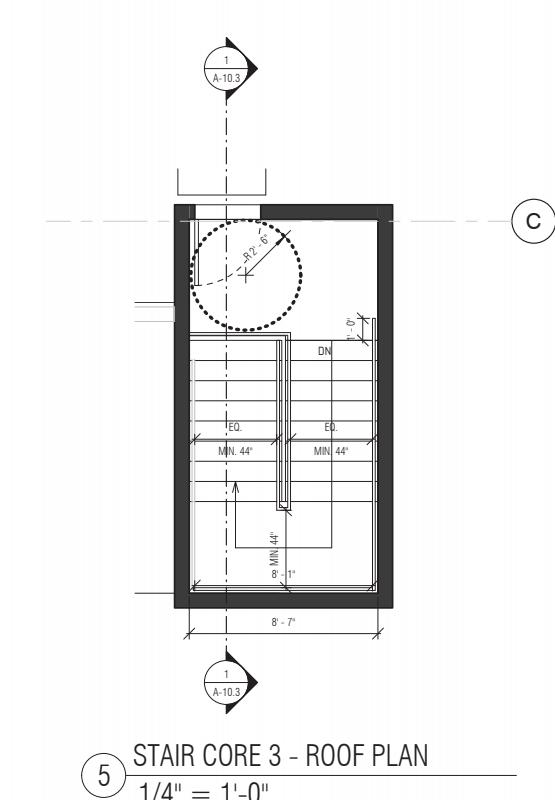
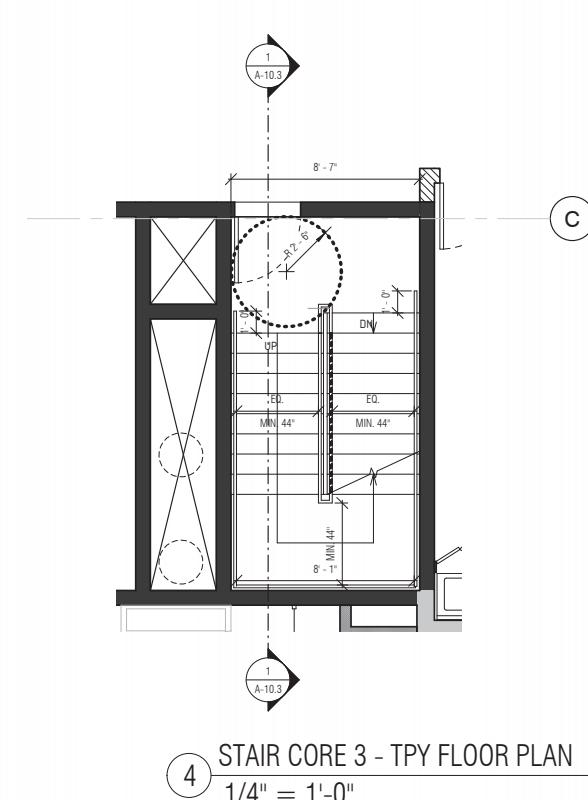
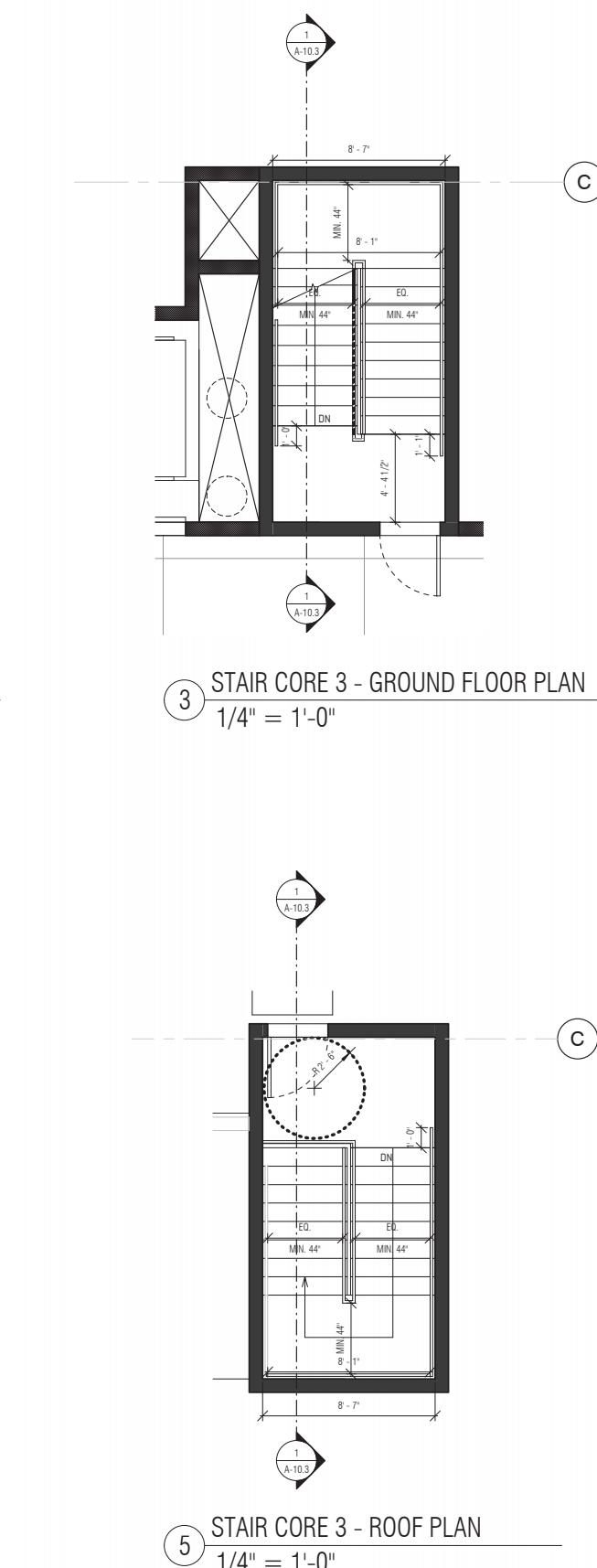
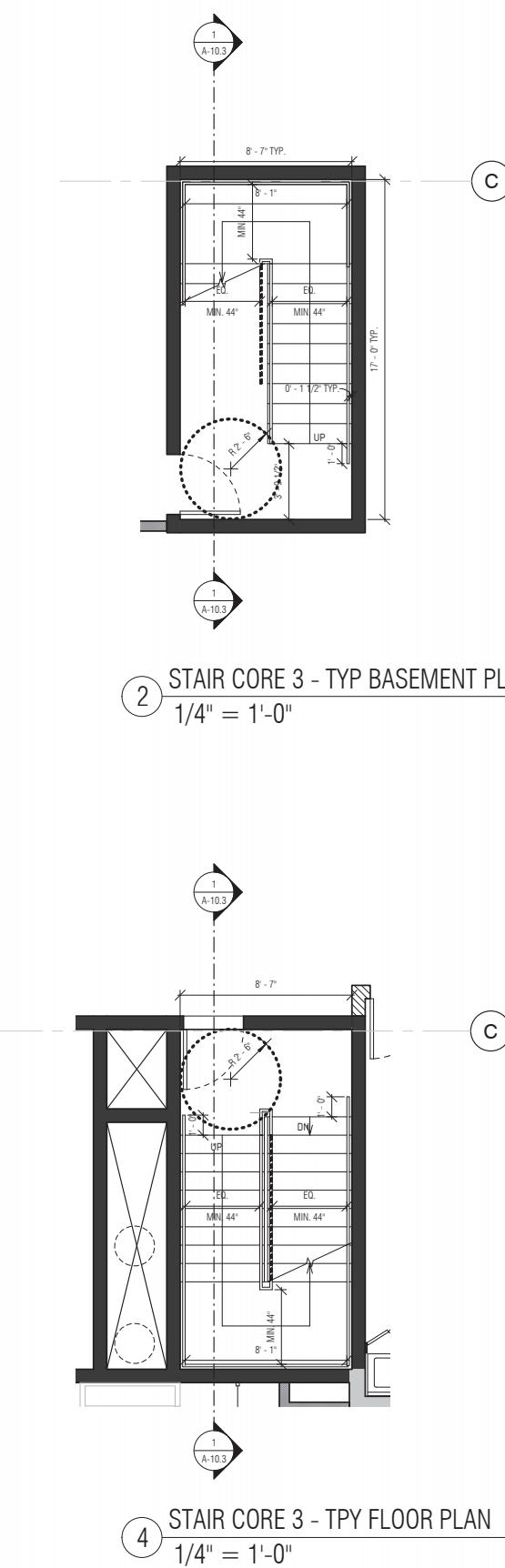
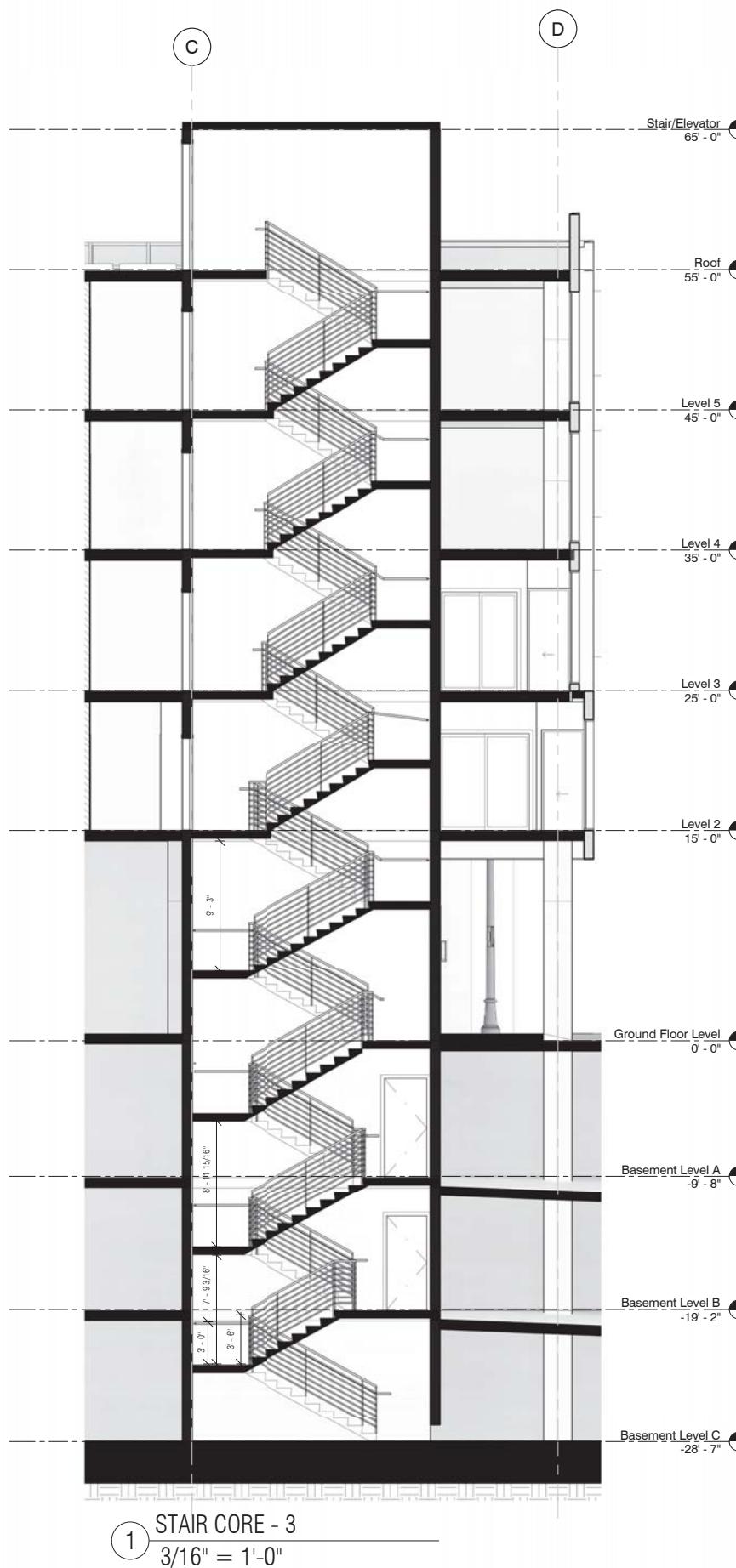
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**HILLSDALE  
TERRACES**

2700 SOUTH EL CAMINO REAL  
SAN MATEO, CA 94403

Job Number: 13090

No.	Issue	Date
1	Planning Pre-Application	11/27/2013
2	Planning Study Session	01/16/2014
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9	Issue For Revision	12/15/2016



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Date: 09/14/2016

Scale: As indicated

Description:

STAIR CORE 3 -  
DETAILS

Sheet Number:

A-10.3

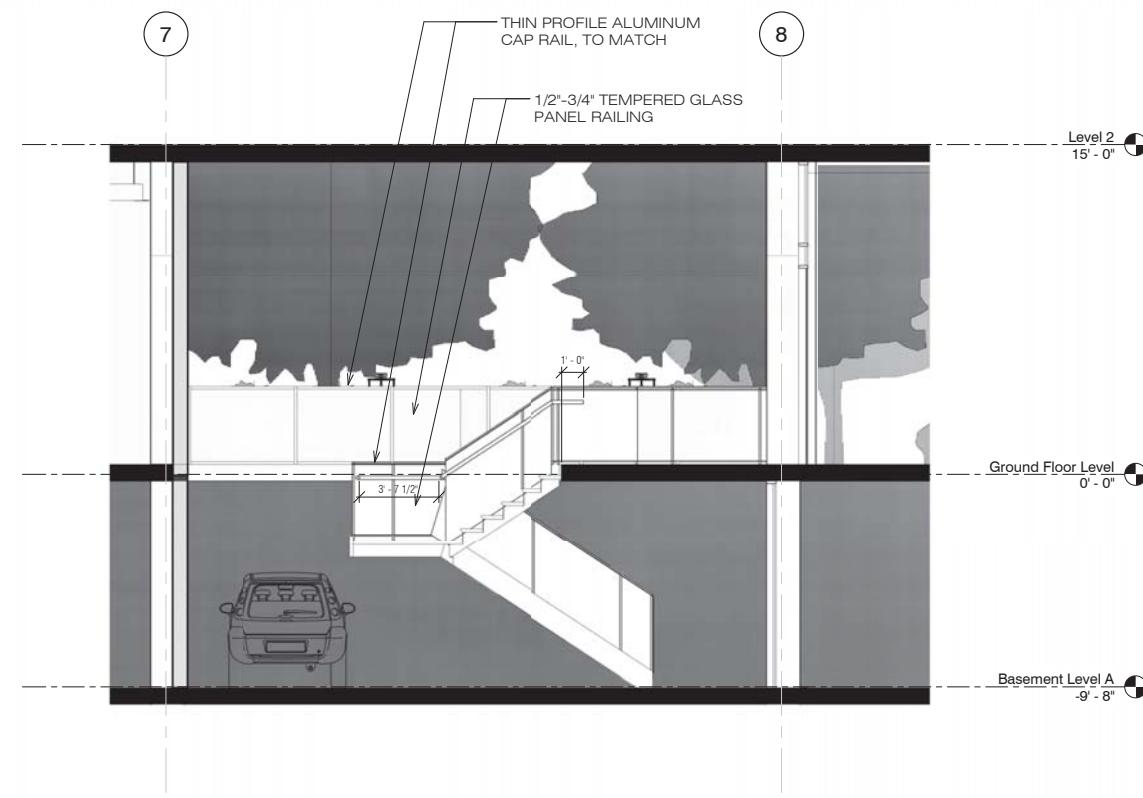
PRINT DATE: 12/15/2016 5:26:08 PM

**HILLSDALE  
TERRACES**

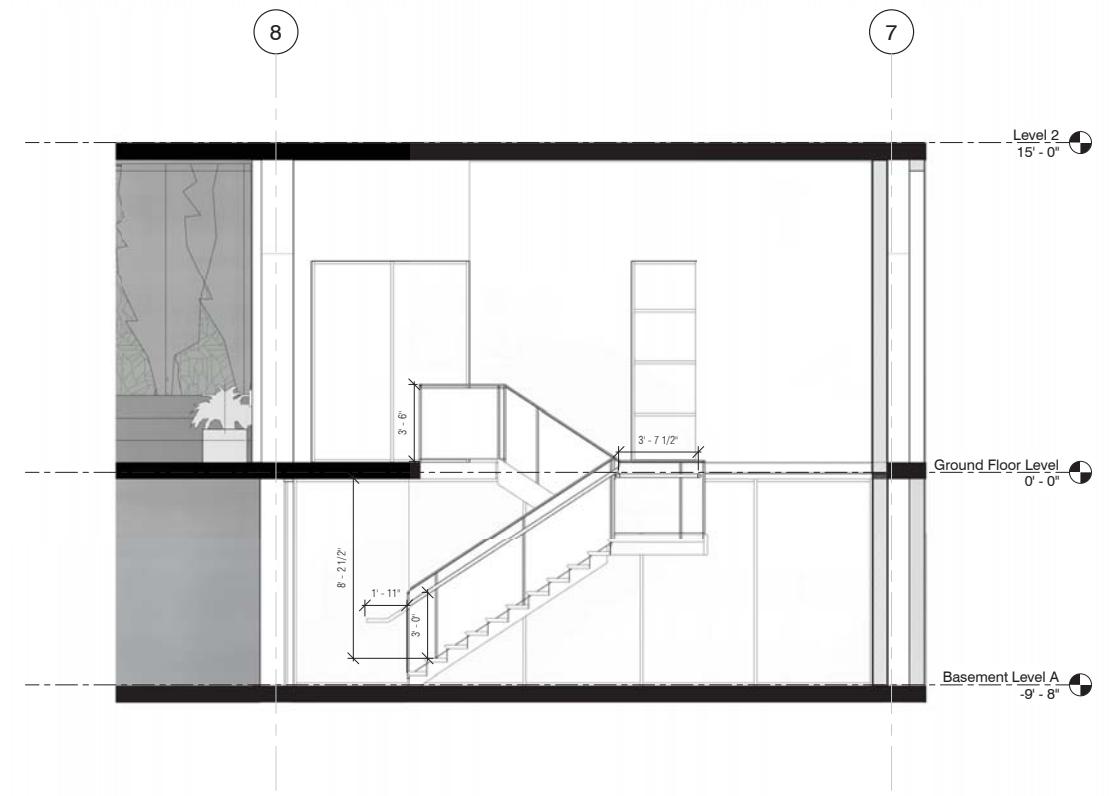
2700 SOUTH EL CAMINO REAL  
SAN MATEO, CA 94403

Job Number: 13090

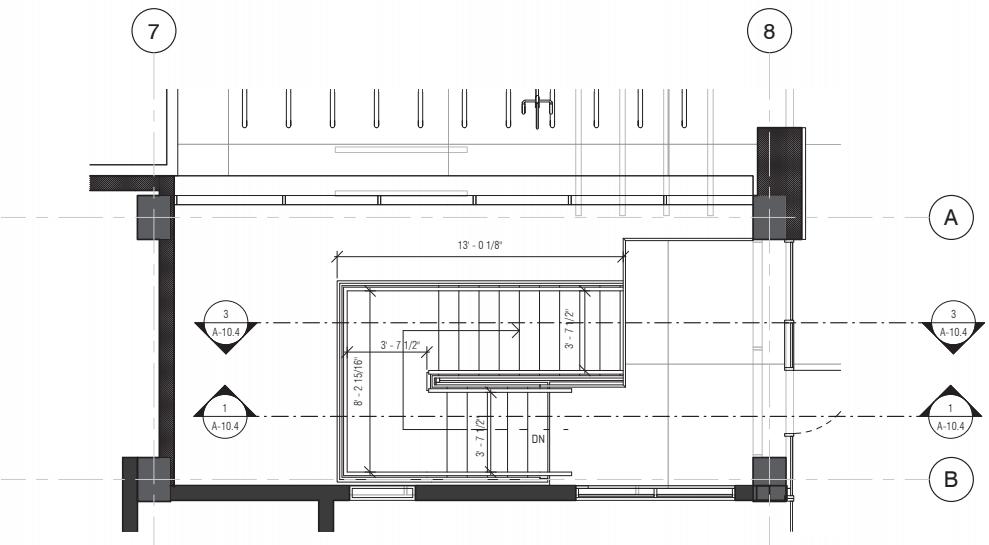
No.	Issue	Date
1	Planning Pre-Application	11/27/2013
2	Planning Study Session	01/16/2014
3	Planning Formal Application	04/02/2015
4	Response To Plan Check	12/17/2015
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6	Revision to Comment	05/05/2016
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9	Issue For Revision	12/15/2016



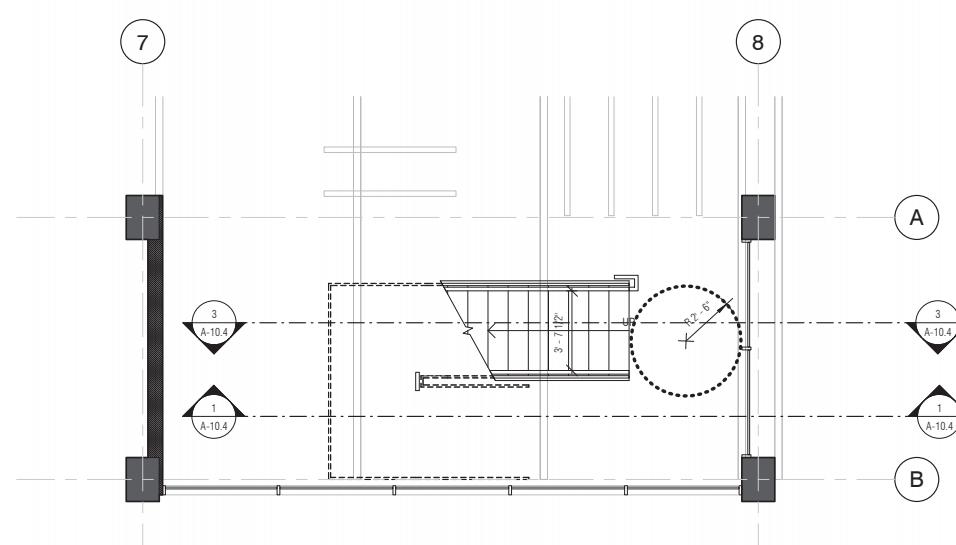
① STAIR CORE - 4 - SECTION 1  
1/4" = 1'-0"



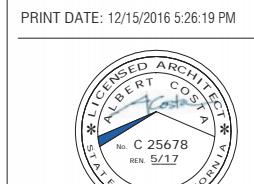
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1/4" = 1'-0"



② GROUND FLOOR PLAN  
1/4" = 1'-0"



④ PARKING LEVEL A - PLAN  
1/4" = 1'-0"



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Date: 09/14/2016

Scale: 1/4" = 1'-0"

Description:

STAIR 4 -  
DETAILS

Sheet Number:

A-10.4

PRINT DATE: 12/15/2016 5:26:19 PM

**HILLSDALE  
TERRACES**

2700 SOUTH EL CAMINO REAL  
SAN MATEO, CA 94403

Job Number: 13090

No.	Issue	Date
1	Planning Pre-Application	11/27/2013
2	Planning Study Session	01/16/2014
3	Planning Formal Application	04/02/2015
4	Response To Plan Check	12/17/2015
5	Response To Plan Check	04/14/2016
6	Revision to Comment	05/05/2016
7	Issue For Revision	07/22/2016
8	Issue For Revision	09/14/2016
9	Issue For Revision	12/15/2016



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Date: 09/14/2016

Scale:

Description:

27TH STREET  
SIMULATION

Sheet Number:

**A-11.0**

**HILLSDALE  
TERRACES**

2700 SOUTH EL CAMINO REAL  
SAN MATEO, CA 94403

Job Number: 13090

No.	Issue	Date
1	Planning Pre-Application	11/27/2013
2	Planning Study Session	01/16/2014
3	Planning Formal Application	04/02/2015
4	Response To Plan Check	12/17/2015
5	Response To Plan Check	04/14/2016
6	Revision to Comment	05/05/2016
7	Issue For Revision	07/22/2016
8	Issue For Revision	09/14/2016
9	Issue For Revision	12/15/2016



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Date: 09/14/2016

Scale:

Description:

27TH STREET  
SIMULATION 2

Sheet Number:

**A-11.1**

**HILLSDALE  
TERRACES**

2700 SOUTH EL CAMINO REAL  
SAN MATEO, CA 94080

Job Number: 13090

No.	Issue	Date
1	Planning Pre-Application	11/27/2013
2	Planning Study Session	01/16/2014
3	Planning Formal Application	04/02/2015
4	Response To Plan Check	12/17/2015
5	Response To Plan Check	04/14/2016
6	Revision to Comment	05/05/2016
7	Issue For Revision	07/22/2016
8	Issue For Revision	09/14/2016
9	Issue For Revision	12/15/2016



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Date: 09/14/2016

Scale:

Description:

28TH STREET  
SIMULATION

Sheet Number:

**A-11.2**

**HILLSDALE  
TERRACES**

2700 SOUTH EL CAMINO REAL  
SAN MATEO, CA 94403

Job Number: 13090

No.	Issue	Date
1	Planning Pre-Application	11/27/2013
2	Planning Study Session	01/16/2014
3	Planning Formal Application	04/02/2015
4	Response To Plan Check	12/17/2015
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6	Revision to Comment	05/05/2016
7	Issue For Revision	07/22/2016
8	Issue For Revision	09/14/2016
9	Issue For Revision	12/15/2016



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Date: 09/14/2016

Scale:

Description:

28TH STREET  
SIMULATION 2

Sheet Number:

**A-11.3**



No.	Issue	Date
1	Planning Pre-Application	11/27/2013
2	Planning Study Session	01/16/2014
3	Planning Formal Application	04/02/2015
4	Response To Plan Check	12/17/2015
5	Response To Plan Check	04/14/2016
6	Revision To Comment	05/05/2016
7	Issue For Revision	07/22/2016
8	Issue For Revision	09/14/2016
9	Issue For Revision	12/15/2016

## D. ELEVATORS (CONTINUED).

302.0.2 GLASS IN ELEVATOR ENCLOSURES. GLASS IN ELEVATOR ENCLOSURES SHALL COMPLY WITH SECTION 2409.

302.0.2.1 PULLING CABLES. CABLES SHALL NOT BE PULLED THROUGH ELEVATOR ENCLOSURES.

302.0.2.2 ELEVATORS EQUIPPED WITH PHOTOELECTRIC DEVICE WHICH CONTROL THE CLOSING OF AUTOMATIC, POWER-OPERATED CAR OR HOLDWAY DOORS, OR BOTH, SHALL HAVE A SWITCH IN THE CAR WHICH, WHEN ACTUATED, WILL RENDER THE PHOTOELECTRIC DEVICE INACTIVE.

302.0.2.3 THE SWITCH SHALL BE CONSTANT-PRESSURE TYPE, REQUIRE NOT LESS THAN 10 POUNDS (45.4 N) OR MORE THAN 15 POUNDS (68.7 N) PRESSURE TO ACTUATE.

302.0.2.4 THE SWITCH SHALL BE CLEARLY LABELED TO BE USED IN CASE OF FIRE ONLY. 3002.0.5 SWITCHES SHALL BE KEPT IN WORKING ORDER OR BE REMOVED WHEN EXISTING INSTALLATIONS ARE ARRANGED TO COMPLY WITH SECTION 3002.0.5. SECTION 0.1.

**EXCEPTIONS:** THE SWITCH SHALL BE INSTALLED AND SECTIONED IN CONFORMANCE WITH SECTION 3003. 2. WHERE ALTERNATE MEANS ACCEPTABLE TO THE FIRE AUTHORITY HAVING JURISDICTION ARE PROVIDED THAT WILL ENSURE THE DOORS CAN CLOSE UNDER ADVERSE SMOKE CONDITIONS.

SECTION 303.0.3 EMERGENCY OPERATIONS.

303.0.1.1 STANDBY POWER. IN BUILDINGS AND STRUCTURES WHERE STANDBY POWER IS REQUIRED OR FURNISHED TO OPERATE AN ELEVATOR, THE OPERATION SHALL BE IN ACCORDANCE WITH SECTION 3003.1.1 THROUGH 3003.1.4.

303.0.1.2 ONE ELEVATOR. WHERE ONLY ONE ELEVATOR IS INSTALLED, THE ELEVATOR SHALL AUTOMATICALLY TRANSFER TO STANDBY POWER WITHIN 60 SECONDS AFTER FAILURE OF NORMAL POWER.

303.0.1.3 TWO OR MORE ELEVATORS. WHERE TWO OR MORE ELEVATORS ARE CONTROLLED BY A COMMON OPERATING SYSTEM, ALL ELEVATORS SHALL AUTOMATICALLY TRANSFER TO STANDBY POWER WITHIN 60 SECONDS AFTER FAILURE OF NORMAL POWER. WHERE THE STANDBY POWER SOURCE IS OF SUFFICIENT CAPACITY TO POWER ALL ELEVATORS AT THE SAME TIME, THE STANDBY POWER SOURCE IS NOT OF SUFFICIENT CAPACITY TO POWER ALL ELEVATORS TO THE DESIGNATED LANDING AND DISCERN FROM THE STANDBY POWER SOURCE. AFTER ALL ELEVATORS HAVE BEEN TRANSFERRED TO STANDBY POWER, THE STANDBY POWER SOURCE SHALL BE REMOVED.

303.0.1.4 VENTILATION. WHERE STANDBY POWER IS CONNECTED TO ELEVATORS, THE MACHINE ROOM VENTILATION OR AIR CONDITIONING SHALL BE CONNECTED TO THE STANDBY POWER SOURCE.

303.0.1.5 FIRE-PROT. / EMERGENCY OPERATION. ELEVATORS SHALL BE PROVIDED WITH PHASE / EMERGENCY RELAY AND PHASE / EMERGENCY IN CAR OPERATION IN ACCORDANCE WITH CALIFORNIA CODE OF REGULATIONS, TITLE 14, CHAPTER 4, SUBCHAPTER E, ELEVATOR SAFETY ORDERS.

303.0.2.1 FLUSH HAMMERS. ELEVATOR HOLDWAYS SHALL HAVE A FLOOR NUMBER NOT LESS THAN 10 INCHES (102 MM) IN HEIGHT, PLACED ON THE WALLS AND/OR DOORS OF THE HOLDWAY AT INLETS SUCH THAT A STANDBY ELEVATOR, UPON OPENING THE CAR DOOR, CAN OPERATE.

303.0.2.2 FIRE SIGNS. ALL AUTOMATIC ELEVATORS SHALL NOT HAVE A SIGN ON EACH LANDING PRINTED ON A CONTRASTING BACKGROUND IN LETTERS NOT LESS THAN 10 INCHES (102 MM) IN HEIGHT. IN THE EVENT OF A FIRE, THE SIGN SHALL BE REMOVED.

303.0.2.3 STANDARDIZED FIRE SERVICE ELEVATOR KEYS. ALL ELEVATORS SHALL BE EQUIPPED TO OPERATE WITH A STANDARDIZED FIRE SERVICE ELEVATOR KEY IN ACCORDANCE WITH THE CALIFORNIA FIRE CODE.

303.0.2.4 MANUFACTURER. STANDBY POWER SHALL BE MANUALLY TRANSFERABLE TO ALL ELEVATORS IN EACH BUILDING.

303.0.2.5 THE SWITCH SHALL BE CLEARLY LABELED TO BE USED IN CASE OF FIRE ONLY. 3002.0.5 SWITCHES SHALL BE KEPT IN WORKING ORDER OR BE REMOVED WHEN EXISTING INSTALLATIONS ARE ARRANGED TO COMPLY WITH SECTION 3002.0.5. SECTION 0.1.

**EXCEPTIONS:** THE SWITCH SHALL BE INSTALLED AND SECTIONED IN CONFORMANCE WITH SECTION 3003. 2. WHERE ALTERNATE MEANS ACCEPTABLE TO THE FIRE AUTHORITY HAVING JURISDICTION ARE PROVIDED THAT WILL ENSURE THE DOORS CAN CLOSE UNDER ADVERSE SMOKE CONDITIONS.

SECTION 303.0.3.1 EMERGENCY OPERATIONS.

303.0.3.1.1 STANDBY POWER. IN BUILDINGS AND STRUCTURES WHERE STANDBY POWER IS REQUIRED OR FURNISHED TO OPERATE AN ELEVATOR, THE OPERATION SHALL BE IN ACCORDANCE WITH SECTION 3003.1.1 THROUGH 3003.1.4.

303.0.3.1.2 ONE ELEVATOR. WHERE ONLY ONE ELEVATOR IS INSTALLED, THE ELEVATOR SHALL AUTOMATICALLY TRANSFER TO STANDBY POWER WITHIN 60 SECONDS AFTER FAILURE OF NORMAL POWER.

303.0.3.1.3 TWO OR MORE ELEVATORS. WHERE TWO OR MORE ELEVATORS ARE CONTROLLED BY A COMMON OPERATING SYSTEM, ALL ELEVATORS SHALL AUTOMATICALLY TRANSFER TO STANDBY POWER WITHIN 60 SECONDS AFTER FAILURE OF NORMAL POWER. WHERE THE STANDBY POWER SOURCE IS OF SUFFICIENT CAPACITY TO POWER ALL ELEVATORS AT THE SAME TIME, THE STANDBY POWER SOURCE IS NOT OF SUFFICIENT CAPACITY TO POWER ALL ELEVATORS TO THE DESIGNATED LANDING AND DISCERN FROM THE STANDBY POWER SOURCE. AFTER ALL ELEVATORS HAVE BEEN TRANSFERRED TO STANDBY POWER, THE STANDBY POWER SOURCE SHALL BE REMOVED.

303.0.3.1.4 VENTILATION. WHERE STANDBY POWER IS CONNECTED TO ELEVATORS, THE MACHINE ROOM VENTILATION OR AIR CONDITIONING SHALL BE CONNECTED TO THE STANDBY POWER SOURCE.

303.0.3.1.5 FIRE-PROT. / EMERGENCY OPERATION. ELEVATORS SHALL BE PROVIDED WITH PHASE / EMERGENCY RELAY AND PHASE / EMERGENCY IN CAR OPERATION IN ACCORDANCE WITH CALIFORNIA CODE OF REGULATIONS, TITLE 14, CHAPTER 4, SUBCHAPTER E, ELEVATOR SAFETY ORDERS.

303.0.3.2.1 FLUSH HAMMERS. ELEVATOR HOLDWAYS SHALL HAVE A FLOOR NUMBER NOT LESS THAN 10 INCHES (102 MM) IN HEIGHT, PLACED ON THE WALLS AND/OR DOORS OF THE HOLDWAY AT INLETS SUCH THAT A STANDBY ELEVATOR, UPON OPENING THE CAR DOOR, CAN OPERATE.

303.0.3.2.2 FIRE SIGNS. ALL AUTOMATIC ELEVATORS SHALL NOT HAVE A SIGN ON EACH LANDING PRINTED ON A CONTRASTING BACKGROUND IN LETTERS NOT LESS THAN 10 INCHES (102 MM) IN HEIGHT. IN THE EVENT OF A FIRE, THE SIGN SHALL BE REMOVED.

303.0.3.2.3 STANDARDIZED FIRE SERVICE ELEVATOR KEYS. ALL ELEVATORS SHALL BE EQUIPPED TO OPERATE WITH A STANDARDIZED FIRE SERVICE ELEVATOR KEY IN ACCORDANCE WITH THE CALIFORNIA FIRE CODE.

303.0.3.2.4 MANUFACTURER. STANDBY POWER SHALL BE MANUALLY TRANSFERABLE TO ALL ELEVATORS IN EACH BUILDING.

303.0.3.5 THE SWITCH SHALL BE CLEARLY LABELED TO BE USED IN CASE OF FIRE ONLY. 3002.0.5 SWITCHES SHALL BE KEPT IN WORKING ORDER OR BE REMOVED WHEN EXISTING INSTALLATIONS ARE ARRANGED TO COMPLY WITH SECTION 3002.0.5. SECTION 0.1.

**EXCEPTIONS:** THE SWITCH SHALL BE INSTALLED AND SECTIONED IN CONFORMANCE WITH SECTION 3003. 2. WHERE ALTERNATE MEANS ACCEPTABLE TO THE FIRE AUTHORITY HAVING JURISDICTION ARE PROVIDED THAT WILL ENSURE THE DOORS CAN CLOSE UNDER ADVERSE SMOKE CONDITIONS.

SECTION 303.0.3.6 EMERGENCY OPERATIONS.

303.0.3.6.1 STANDBY POWER. IN BUILDINGS AND STRUCTURES WHERE STANDBY POWER IS REQUIRED OR FURNISHED TO OPERATE AN ELEVATOR, THE OPERATION SHALL BE IN ACCORDANCE WITH SECTION 3003.1.1 THROUGH 3003.1.4.

303.0.3.6.2 ONE ELEVATOR. WHERE ONLY ONE ELEVATOR IS INSTALLED, THE ELEVATOR SHALL AUTOMATICALLY TRANSFER TO STANDBY POWER WITHIN 60 SECONDS AFTER FAILURE OF NORMAL POWER.

303.0.3.6.3 TWO OR MORE ELEVATORS. WHERE TWO OR MORE ELEVATORS ARE CONTROLLED BY A COMMON OPERATING SYSTEM, ALL ELEVATORS SHALL AUTOMATICALLY TRANSFER TO STANDBY POWER WITHIN 60 SECONDS AFTER FAILURE OF NORMAL POWER. WHERE THE STANDBY POWER SOURCE IS OF SUFFICIENT CAPACITY TO POWER ALL ELEVATORS AT THE SAME TIME, THE STANDBY POWER SOURCE IS NOT OF SUFFICIENT CAPACITY TO POWER ALL ELEVATORS TO THE DESIGNATED LANDING AND DISCERN FROM THE STANDBY POWER SOURCE. AFTER ALL ELEVATORS HAVE BEEN TRANSFERRED TO STANDBY POWER, THE STANDBY POWER SOURCE SHALL BE REMOVED.

303.0.3.6.4 VENTILATION. WHERE STANDBY POWER IS CONNECTED TO ELEVATORS, THE MACHINE ROOM VENTILATION OR AIR CONDITIONING SHALL BE CONNECTED TO THE STANDBY POWER SOURCE.

303.0.3.6.5 FIRE-PROT. / EMERGENCY OPERATION. ELEVATORS SHALL BE PROVIDED WITH PHASE / EMERGENCY RELAY AND PHASE / EMERGENCY IN CAR OPERATION IN ACCORDANCE WITH CALIFORNIA CODE OF REGULATIONS, TITLE 14, CHAPTER 4, SUBCHAPTER E, ELEVATOR SAFETY ORDERS.

303.0.3.6.6.1 FLUSH HAMMERS. ELEVATOR HOLDWAYS SHALL HAVE A FLOOR NUMBER NOT LESS THAN 10 INCHES (102 MM) IN HEIGHT, PLACED ON THE WALLS AND/OR DOORS OF THE HOLDWAY AT INLETS SUCH THAT A STANDBY ELEVATOR, UPON OPENING THE CAR DOOR, CAN OPERATE.

303.0.3.6.6.2 FIRE SIGNS. ALL AUTOMATIC ELEVATORS SHALL NOT HAVE A SIGN ON EACH LANDING PRINTED ON A CONTRASTING BACKGROUND IN LETTERS NOT LESS THAN 10 INCHES (102 MM) IN HEIGHT. IN THE EVENT OF A FIRE, THE SIGN SHALL BE REMOVED.

303.0.3.6.6.3 STANDARDIZED FIRE SERVICE ELEVATOR KEYS. ALL ELEVATORS SHALL BE EQUIPPED TO OPERATE WITH A STANDARDIZED FIRE SERVICE ELEVATOR KEY IN ACCORDANCE WITH THE CALIFORNIA FIRE CODE.

303.0.3.6.4.1 MANUFACTURER. STANDBY POWER SHALL BE MANUALLY TRANSFERABLE TO ALL ELEVATORS IN EACH BUILDING.

303.0.3.6.5.1 THE SWITCH SHALL BE CLEARLY LABELED TO BE USED IN CASE OF FIRE ONLY. 3002.0.5 SWITCHES SHALL BE KEPT IN WORKING ORDER OR BE REMOVED WHEN EXISTING INSTALLATIONS ARE ARRANGED TO COMPLY WITH SECTION 3002.0.5. SECTION 0.1.

**EXCEPTIONS:** THE SWITCH SHALL BE INSTALLED AND SECTIONED IN CONFORMANCE WITH SECTION 3003. 2. WHERE ALTERNATE MEANS ACCEPTABLE TO THE FIRE AUTHORITY HAVING JURISDICTION ARE PROVIDED THAT WILL ENSURE THE DOORS CAN CLOSE UNDER ADVERSE SMOKE CONDITIONS.

SECTION 303.0.3.7 EMERGENCY OPERATIONS.

303.0.3.7.1 STANDBY POWER. IN BUILDINGS AND STRUCTURES WHERE STANDBY POWER IS REQUIRED OR FURNISHED TO OPERATE AN ELEVATOR, THE OPERATION SHALL BE IN ACCORDANCE WITH SECTION 3003.1.1 THROUGH 3003.1.4.

303.0.3.7.2 ONE ELEVATOR. WHERE ONLY ONE ELEVATOR IS INSTALLED, THE ELEVATOR SHALL AUTOMATICALLY TRANSFER TO STANDBY POWER WITHIN 60 SECONDS AFTER FAILURE OF NORMAL POWER.

303.0.3.7.3 TWO OR MORE ELEVATORS. WHERE TWO OR MORE ELEVATORS ARE CONTROLLED BY A COMMON OPERATING SYSTEM, ALL ELEVATORS SHALL AUTOMATICALLY TRANSFER TO STANDBY POWER WITHIN 60 SECONDS AFTER FAILURE OF NORMAL POWER. WHERE THE STANDBY POWER SOURCE IS OF SUFFICIENT CAPACITY TO POWER ALL ELEVATORS AT THE SAME TIME, THE STANDBY POWER SOURCE IS NOT OF SUFFICIENT CAPACITY TO POWER ALL ELEVATORS TO THE DESIGNATED LANDING AND DISCERN FROM THE STANDBY POWER SOURCE. AFTER ALL ELEVATORS HAVE BEEN TRANSFERRED TO STANDBY POWER, THE STANDBY POWER SOURCE SHALL BE REMOVED.

303.0.3.7.4 VENTILATION. WHERE STANDBY POWER IS CONNECTED TO ELEVATORS, THE MACHINE ROOM VENTILATION OR AIR CONDITIONING SHALL BE CONNECTED TO THE STANDBY POWER SOURCE.

303.0.3.7.5 FIRE-PROT. / EMERGENCY OPERATION. ELEVATORS SHALL BE PROVIDED WITH PHASE / EMERGENCY RELAY AND PHASE / EMERGENCY IN CAR OPERATION IN ACCORDANCE WITH CALIFORNIA CODE OF REGULATIONS, TITLE 14, CHAPTER 4, SUBCHAPTER E, ELEVATOR SAFETY ORDERS.

303.0.3.7.6.1 FLUSH HAMMERS. ELEVATOR HOLDWAYS SHALL HAVE A FLOOR NUMBER NOT LESS THAN 10 INCHES (102 MM) IN HEIGHT, PLACED ON THE WALLS AND/OR DOORS OF THE HOLDWAY AT INLETS SUCH THAT A STANDBY ELEVATOR, UPON OPENING THE CAR DOOR, CAN OPERATE.

303.0.3.7.6.2 FIRE SIGNS. ALL AUTOMATIC ELEVATORS SHALL NOT HAVE A SIGN ON EACH LANDING PRINTED ON A CONTRASTING BACKGROUND IN LETTERS NOT LESS THAN 10 INCHES (102 MM) IN HEIGHT. IN THE EVENT OF A FIRE, THE SIGN SHALL BE REMOVED.

303.0.3.7.6.3 STANDARDIZED FIRE SERVICE ELEVATOR KEYS. ALL ELEVATORS SHALL BE EQUIPPED TO OPERATE WITH A STANDARDIZED FIRE SERVICE ELEVATOR KEY IN ACCORDANCE WITH THE CALIFORNIA FIRE CODE.

303.0.3.7.4.1 MANUFACTURER. STANDBY POWER SHALL BE MANUALLY TRANSFERABLE TO ALL ELEVATORS IN EACH BUILDING.

303.0.3.7.5.1 THE SWITCH SHALL BE CLEARLY LABELED TO BE USED IN CASE OF FIRE ONLY. 3002.0.5 SWITCHES SHALL BE KEPT IN WORKING ORDER OR BE REMOVED WHEN EXISTING INSTALLATIONS ARE ARRANGED TO COMPLY WITH SECTION 3002.0.5. SECTION 0.1.

**EXCEPTIONS:** THE SWITCH SHALL BE INSTALLED AND SECTIONED IN CONFORMANCE WITH SECTION 3003. 2. WHERE ALTERNATE MEANS ACCEPTABLE TO THE FIRE AUTHORITY HAVING JURISDICTION ARE PROVIDED THAT WILL ENSURE THE DOORS CAN CLOSE UNDER ADVERSE SMOKE CONDITIONS.

SECTION 303.0.3.8 EMERGENCY OPERATIONS.

303.0.3.8.1 STANDBY POWER. IN BUILDINGS AND STRUCTURES WHERE STANDBY POWER IS REQUIRED OR FURNISHED TO OPERATE AN ELEVATOR, THE OPERATION SHALL BE IN ACCORDANCE WITH SECTION 3003.1.1 THROUGH 3003.1.4.

303.0.3.8.2 ONE ELEVATOR. WHERE ONLY ONE ELEVATOR IS INSTALLED, THE ELEVATOR SHALL AUTOMATICALLY TRANSFER TO STANDBY POWER WITHIN 60 SECONDS AFTER FAILURE OF NORMAL POWER.

303.0.3.8.3 TWO OR MORE ELEVATORS. WHERE TWO OR MORE ELEVATORS ARE CONTROLLED BY A COMMON OPERATING SYSTEM, ALL ELEVATORS SHALL AUTOMATICALLY TRANSFER TO STANDBY POWER WITHIN 60 SECONDS AFTER FAILURE OF NORMAL POWER. WHERE THE STANDBY POWER SOURCE IS OF SUFFICIENT CAPACITY TO POWER ALL ELEVATORS AT THE SAME TIME, THE STANDBY POWER SOURCE IS NOT OF SUFFICIENT CAPACITY TO POWER ALL ELEVATORS TO THE DESIGNATED LANDING AND DISCERN FROM THE STANDBY POWER SOURCE. AFTER ALL ELEVATORS HAVE BEEN TRANSFERRED TO STANDBY POWER, THE STANDBY POWER SOURCE SHALL BE REMOVED.

303.0.3.8.4 VENTILATION. WHERE STANDBY POWER IS CONNECTED TO ELEVATORS, THE MACHINE ROOM VENTILATION OR AIR CONDITIONING SHALL BE CONNECTED TO THE STANDBY POWER SOURCE.

303.0.3.8.5 FIRE-PROT. / EMERGENCY OPERATION. ELEVATORS SHALL BE PROVIDED WITH PHASE / EMERGENCY RELAY AND PHASE / EMERGENCY IN CAR OPERATION IN ACCORDANCE WITH CALIFORNIA CODE OF REGULATIONS, TITLE 14, CHAPTER 4, SUBCHAPTER E, ELEVATOR SAFETY ORDERS.

303.0.3.8.6.1 FLUSH HAMMERS. ELEVATOR HOLDWAYS SHALL HAVE A FLOOR NUMBER NOT LESS THAN 10 INCHES (102 MM) IN HEIGHT, PLACED ON THE WALLS AND/OR DOORS OF THE HOLDWAY AT INLETS SUCH THAT A STANDBY ELEVATOR, UPON OPENING THE CAR DOOR, CAN OPERATE.

303.0.3.8.6.2 FIRE SIGNS. ALL AUTOMATIC ELEVATORS SHALL NOT HAVE A SIGN ON EACH LANDING PRINTED ON A CONTRASTING BACKGROUND IN LETTERS NOT LESS THAN 10 INCHES (102 MM) IN HEIGHT. IN THE EVENT OF A FIRE, THE SIGN SHALL BE REMOVED.

303.0.3.8.6.3 STANDARDIZED FIRE SERVICE ELEVATOR KEYS. ALL ELEVATORS SHALL BE EQUIPPED TO OPERATE WITH A STANDARDIZED FIRE SERVICE ELEVATOR KEY IN ACCORDANCE WITH THE CALIFORNIA FIRE CODE.

303.0.3.8.4.1 MANUFACTURER. STANDBY POWER SHALL BE MANUALLY TRANSFERABLE TO ALL ELEVATORS IN EACH BUILDING.

303.0.3.8.5.1 THE SWITCH SHALL BE CLEARLY LABELED TO BE USED IN CASE OF FIRE ONLY. 3002.0.5 SWITCHES SHALL BE KEPT IN WORKING ORDER OR BE REMOVED WHEN EXISTING INSTALLATIONS ARE ARRANGED TO COMPLY WITH SECTION 3002.0.5. SECTION 0.1.

**EXCEPTIONS:** THE SWITCH SHALL BE INSTALLED AND SECTIONED IN CONFORMANCE WITH SECTION 3003. 2. WHERE ALTERNATE MEANS ACCEPTABLE TO THE FIRE AUTHORITY HAVING JURISDICTION ARE PROVIDED THAT WILL ENSURE THE DOORS CAN CLOSE UNDER ADVERSE SMOKE CONDITIONS.

SECTION 303.0.3.9 EMERGENCY OPERATIONS.

303.0.3.9.1 STANDBY POWER. IN BUILDINGS AND STRUCTURES WHERE STANDBY POWER IS REQUIRED OR FURNISHED TO OPERATE AN ELEVATOR, THE OPERATION SHALL BE IN ACCORDANCE WITH SECTION 3003.



HILLSDALE TERRACE  
9.14.15

Required Tree Planting

Required Trees:

As per the requirements of the Zoning Code, Section 27.71 – Landscape, all projects must have a minimum ratio of **1 tree per 400 square feet** of landscaped area. Existing trees that are a minimum of 6 inch diameter may count toward this total. Any trees with a 6 inch or greater diameter that are being removed must be replaced with an equivalent value of trees. Values are to be determined as stated in Section 27.71.180 of the zoning code and recorded on the Tree Evaluation Schedule and/or any required arborist report.

Landscape Area: 4392 sq. ft.  $\div$  400 = 10.98 (a)

Number of existing trees with a 6 inch or greater diameter **to be preserved:** 8 (b)

Landscape Unit (LU) value **deficit** from the Tree Evaluation Schedule: 42.75 (c)

Minimum LU value to be replaced and/or met through payment of in-lieu fees: **[a – b + c = d]** 45.73 (d)

New Trees:

A minimum number of trees equivalent to (a), above, must be planted **(or existing on the site)**. In order to make up the required LU value from the removal of trees, additional or larger trees may be planted. If the LU value shown at (c) is not equal or greater than (d), then an in-lieu fee must be paid to the City's street tree planting fund at the rate defined annually in the City's Comprehensive Fee Schedule for each deficient LU.

New Trees Being Planted			
Quantity	Size	LU Value	Total LU Value
<u>6</u>	15 gallon	1	<u>6</u>
<u>23</u>	24 inch box	2	<u>46</u>
<u>8</u>	36 inch box	3	<u>24</u>
<u>2</u>	48 inch box	4	<u>8</u>
Total LU Value of new trees being proposed:			<u>52</u> (e)

Fees Owed to the City Street Tree Planting Fund: **(D is less than E)**  
If (d) is greater than (e), there will be an LU value deficit calculated as follows:

**[d – e =    x (the annually defined \$ per LU value) = \$** 284

Q:\CDD\Planning\FORMS\Trees Preservation & Site Development\Required Tree Planting Form.doc

\* FOR LANDSCAPE PLAN ONLY. SEE A-1.3.1 FOR LATEST GROUND FLOOR PLAN.



PLATANUS x ACERIFOLIA  
DESIGNATED STREET TREE,  
EL CAMINO REAL



ACE BURGERIANUM  
DESIGNATED STREET TREE,  
27th AVE.



PRUNUS CAROLINANA  
'BRIGHT & TIGHT'



PHYLOSTACHYS BISSETTI  
BISSETTI BAMBOO



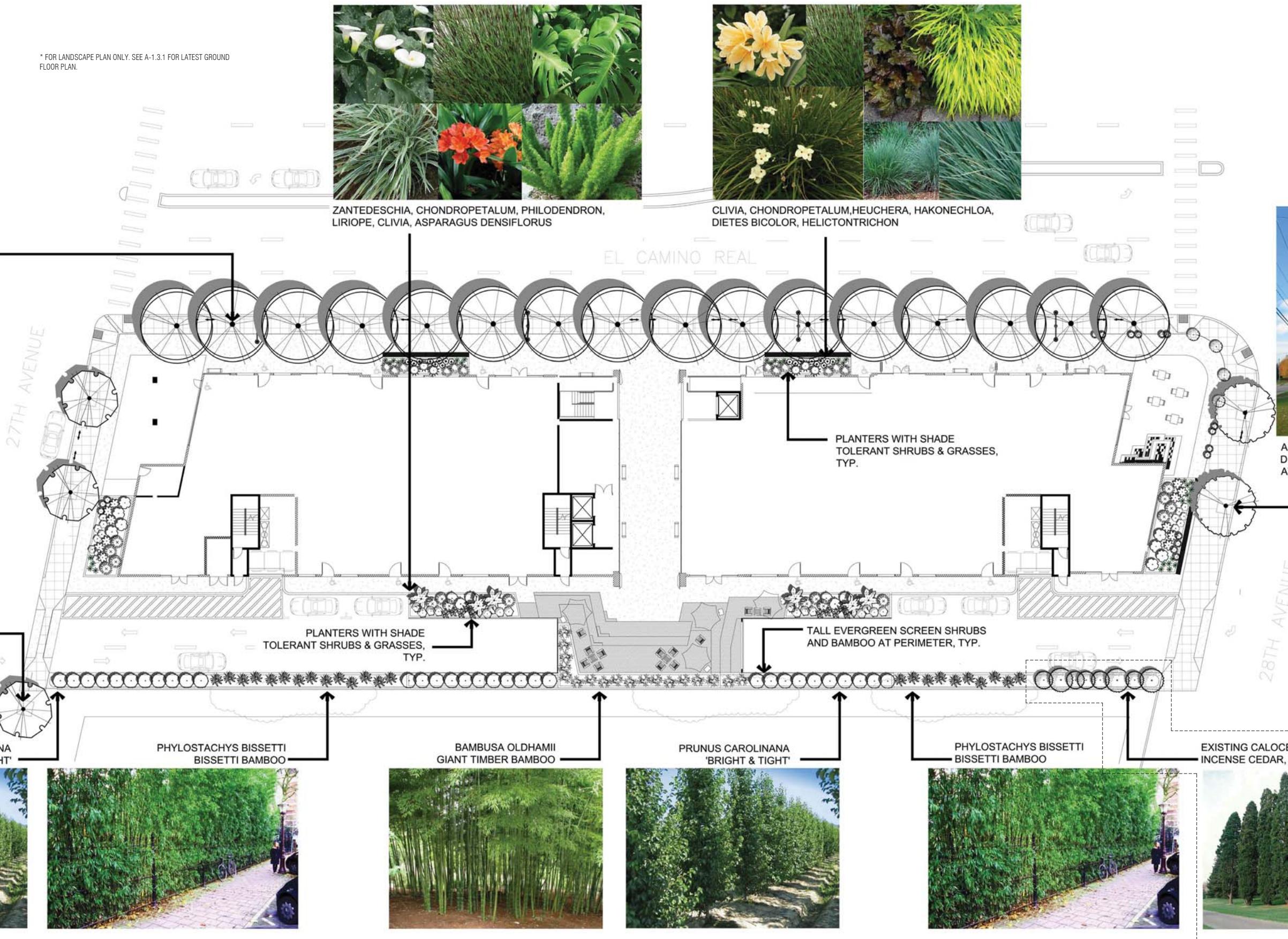
ZANTEDESCHIA, CHONDROPELALUM, PHILODENDRON,  
LIRIOPE, CLIVIA, ASPARAGUS DENSIFLORUS



CLIVIA, CHONDROPELALUM, HEUCHERA, HAKONECHLOA,  
DIETES BICOLOR, HELICTOTRICHON



ACE RUBRUM 'OCTOBER GLORY'  
DESIGNATED STREET TREE, 28th  
AVE.





PRECAST LIGHTWEIGHT PLANTERS



PRECAST LIGHTWEIGHT PLANTERS



SPECIMEN MULTI-TRUNK  
LAGERSTROEMIA HYBRID



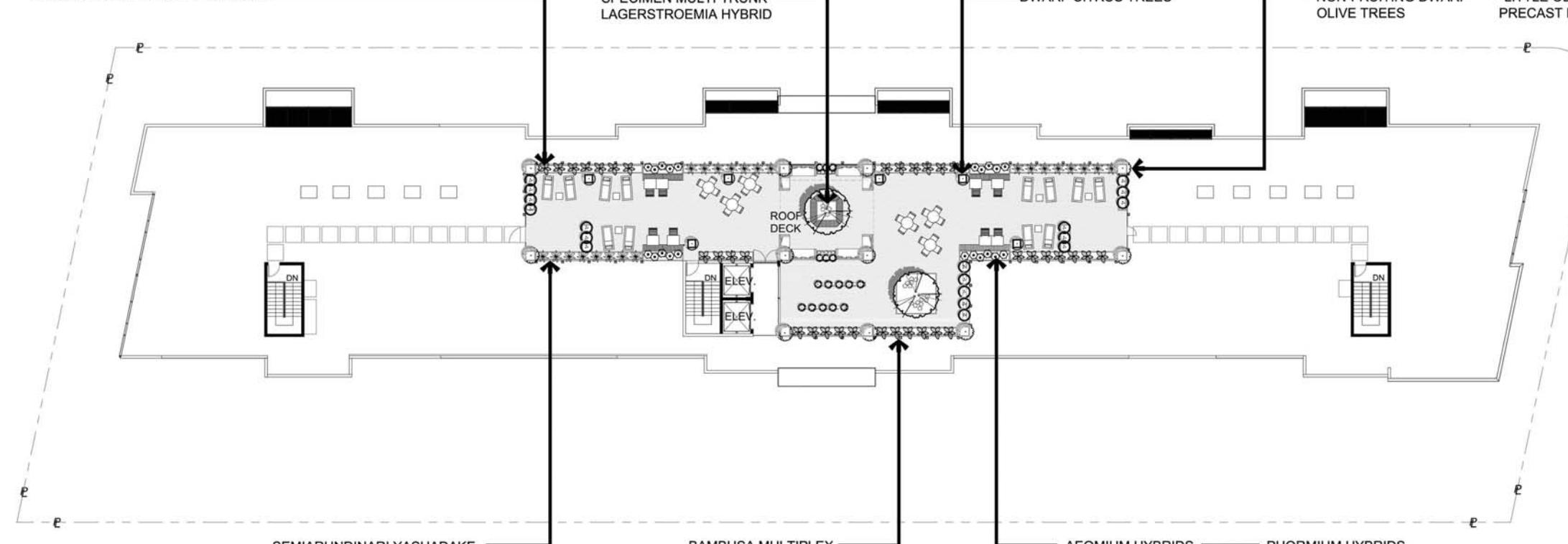
DWARF CITRUS TREES



NON-FRUITING DWARF  
OLIVE TREES



"LITTLE OLLIE" EVERGREEN SHRUB &  
PRECAST LIGHTWEIGHT PLANTERS



SEMIARUNDINARI YASHADAKE  
'KIMMEI'



BAMBUZA MULTIPLEX  
'ALPHONSE KARR'



AEOMIUM HYBRIDS



PHORMIUM HYBRIDS

## GROUND FLOOR / STREET LEVEL (PART-SHADE)

BAMBOO	BOTANICAL NAME	COMMON NAME	SIZE	REMARKS
BAM OLD	<i>Bambusa oldhamii</i>	Giant Timber Bamboo	5 gal	M
BAM TEX	<i>Bambusa textilis</i>	Weaver's Bamboo	5 gal	M
PHY BIS	<i>Phyllostachys bissettii</i>	Bissett Bamboo	5 gal	M
PLE VIR	<i>Pleioblastus viridistriatus</i>	Dwarf Whistripe Bamboo	5 gal	M

SHRUBS	BOTANICAL NAME	COMMON NAME	SIZE	REMARKS
AGA BLU	<i>Agave x 'Blue Glow'</i>	Blue Glow Agave	5 gal	L
ASP SPR	<i>Asparagus densiflorus 'Sprenger Compacta'</i>	Sprenger Asparagus	5 gal	L
ASP ASP	<i>Asparagus densiflorus 'Sprenger'</i>	Sprenger Asparagus	5 gal	L
AUC NAN	<i>Aucuba japonica 'Nana' &amp; 'Variegata Nana'</i>	Dwarf Aucuba	5 gal	L
CHO TEC	<i>Chondropetalum tectorum</i>	Cape Rush	5 gal	M
CLI MIN	<i>Clivia miniata 'Flame' &amp; 'San Marcos Yellow'</i>	Kaffir Lily	1 gal	L
DIC ANT	<i>Dicksonia antarctica</i>	Tasmanian Tree Fern	5 gal	M
DIE BIC	<i>Dietes bicolor</i>	Fortnight Lily	5 gal	L
HAK MAC	<i>Hakonechloa macra</i>	Japanese Forest Grass	5 gal	M
HAK AUR	<i>Hakonechloa macra 'Aureola'</i>	Golden Variegated Hakonechloa	5 gal	M
HEL SEM	<i>Helictotrichon sempervirens</i>	Blue Oat Grass	5 gal	L
HEU HYB	Heuchera Hybrids	Coral Bells	1 gal	M
HOS HYB	Hosta Hybrids	Plantain Lily	5 gal	M
JUN PAT	<i>Juncus patens</i>	California Gray Rush	1 gal	M
LIR GIG	<i>Liriope gigantea</i>	Giant Liriope	1 gal	M
LIR SUN	<i>Liriope muscari 'Silvery Sunproof'</i>	Silvery Sunproof Blue Lilyturf	5 gal	M
LOR CHI	<i>Loropetalum chinense</i>	Loropetalum	5 gal	M
PHI BIP	<i>Philodendron bipinnatifidum</i>	Cut Leaf Philodendron	5 gal	M
PIT MAR	<i>Pittosporum tenuifolium 'Marjorie Channon'</i>	Tawhiwhi	5 gal	M
PIT CRE	<i>Pittosporum tobira 'Cream De Mint' TM</i>	Cream De Mint Dwarf Mock Orange	5 gal	L
PRU CAR	<i>Prunus caroliniana 'Bright and Tight'</i>	Carolina Laurel Cherry	5 gal	L
ZAN AET	<i>Zantedeschia aethiopica</i>	Common Calla	5 gal	H

## DESIGNATED STREET TREES

STREET TREES	BOTANICAL NAME	COMMON NAME	CONT	QUANTITY
ACE BUE	<i>Acer buergerianum</i>	Trident Maple	24"box	3
ACE GLO	<i>Acer rubrum 'October Glory' TM</i>	October Glory Maple	24"box	2
PLA ACE	<i>Platanus x acerifolia</i>	London Plane Tree	24"box	16

## ROOF DECK / UPPER LEVEL (PART-SUN)

TREES	BOTANICAL NAME	COMMON NAME	SIZE	QUANTITY
LAG HYB	<i>Lagerstroemia hybrid</i>	Crape Myrtle - multi trunk	24" bx	2
OLE EUR	<i>Olea europaea dwarf</i>	Dwarf non-fruiting olive	15 gal	6
BAMBOO	BOTANICAL NAME	COMMON NAME	SIZE	WUCOLS
BAM ALP	<i>Bambusa multiplex 'Alphonse Karr'</i>	Alphonse Karr Bamboo	5 gal	M
SEM YAS	<i>Semiarundinaria yashadake 'Kimmie'</i>	Red Cane Bamboo	5 gal	M
SHRUBS	BOTANICAL NAME	COMMON NAME	SIZE	WUCOLS
AEO KIW	<i>Aeonium x 'Kiwi'</i>	Kiwi Aeonium	1 gal	L
AEO SUN	<i>Aeonium x 'Sunburst'</i>	Aeonium	1 gal	L
AGA ATT	<i>Agave attenuata</i>	Agave	5 gal	L
ANI BUS	<i>Anigozanthos x 'Bush Baby'</i>	Bush Baby Kangaroo Paw	1 gal	L
CAR NAN	<i>Carissa macrocarpa 'Nana'</i>	Dwarf Natal Plum	1 gal	L
CHO TE2	<i>Chondropetalum tectorum</i>	Cape Rush	5 gal	M
CIT HYB	<i>Citrus X lemon</i>	Dwarf lemon tree	5 gal	M
DIE BIC	<i>Dietes bicolor</i>	Fortnight Lily	5 gal	L
EUP MAR	<i>Euphorbia x martinii</i>	Euphorbia	1 gal	M
EUP ASC	<i>Euphorbia x martinii 'Ascot Rainbow'</i>	Rainbow Spurge	1 gal	M
FES GLA	<i>Festuca glauca</i>	Blue Fescue	1 gal	L
HEL SEM	<i>Helictotrichon sempervirens</i>	Blue Oat Grass	5 gal	L
LIB PER	<i>Libertia peregrinans</i>	NCN	1 gal	L
OLE LIT	<i>Olea europaea 'Little Ollie' TM</i>	Little Ollie Olive	5 gal	L
PHO DAZ	<i>Phormium tenax 'Dazzler'</i>	New Zealand Flax	5 gal	L
PHO MAO	<i>Phormium tenax 'Maori Queen'</i>	New Zealand Flax	5 gal	L
PHO RAI	<i>Phormium tenax 'Rainbow Warrior'</i>	New Zealand Flax	5 gal	L
PHO GOL	<i>Phormium x 'Gold Sword'</i>	Gold Sword Flax	5 gal	L
PIT WHE	<i>Pittosporum tobira 'Wheelers Dwarf'</i>	Wheeler's Dwarf Mock Orange	5 gal	L

## PLANTING & WATER USE DESIGN INTENT STATEMENT

THE PLANTING DESIGN INCORPORATES PRINCIPLES INCLUDED IN THE "BAY FRIENDLY LANDSCAPE GUIDELINES". THE PLANTING DESIGN UTILIZES DROUGHT TOLERANT PLANTS WITH SELECT LOW TO MEDIUM WATER-USE & SHADE TOLERANT ORNAMENTAL PLANTS THAT ARE ADAPTED TO THE LOCAL CONDITIONS. PLANTS ARE GROUPED BY HYDROZONE, EXPOSURE & LOCAL CLIMATIC CONDITIONS. THE PLANTING DESIGN ALLOWS FOR THE PLANTS TO REACH THEIR NATURAL, FULL-GROWN SIZE AND ELIMINATES THE NEED FOR EXCESSIVE PRUNING OR HEDGING.

STREET TREES SHOWN ARE THE APPROVED/DESIGNATED SPECIES PER THE CITY OF SAN MATEO. DWARF ORNAMENTAL TREES ARE UTILIZED ON THE ROOF DECK.

THE PLANTS HAVE BEEN SELECTED UTILIZING THE STATE OF CALIFORNIA'S MODEL WATER EFFICIENT LANDSCAPE ORDINANCE PLANT LIST, WUCOLS III, SANTA CLARA COUNTY WATER DISTRICT'S APPROVED PLANT LIST FOR STORM WATER TREATMENT.

NO PLANTS ARE USED THAT ARE CONSIDERED INVASIVE IN THE THE REGION AS LISTED BY THE CAL-IPC. THE IRRIGATION SYSTEMS WILL BE AUTOMATIC, LOW GALLON USE DRIP SYSTEM. LOW, MEDIUM AND HIGH WATER USE HYDROZONES WILL BE ON SEPARATE VALVE CIRCUITS. ALL NEW TREES WILL BE IRRIGATED WITH BUBBLERS ON A SEPARATE CIRCUIT. ALL EXISTING TREES TO REMAIN WILL BE IRRIGATED PER THE ARBORIST'S RECOMMENDATIONS.

THE REMOTE CONTROL VALVES WILL HAVE INTEGRAL PRESSURE REGULATORS TO PREVENT FLUCTUATIONS AND ENSURE CONSTANT APPLICATION RATES TO MINIMIZE OVER OR UNDER WATERING. THE ELECTRONIC IRRIGATION CONTROLLER WILL HAVE SEASON ADJUSTMENTS, MULTIPLE PROGRAMS AND APPLICATION CYCLES/START TIMES. A RAIN SWITCH WILL BE INSTALLED TO PREVENT IRRIGATION DURING RAINY PERIODS. A FLOW SENSOR AND MASTER VALVE WILL BE CONNECTED TO THE CONTROLLER TO ALLOW AUTOMATIC SHUT OFF OF ANY VALVE CIRCUIT OR MAIN LINE IN THE EVENT OF A PIPE BRAKE TO PREVENT WATER WASTE.

## NEW TREES

PLEASE SEE ARBORIST'S REPORT & TREE EVALUATION ALONG WITH THE "REQUIRED TREE PLANTING FORM" INCLUDED WITH THIS SUBMITTAL.

SUMMARY BELOW AS FOLLOWS:

REQUIRED TREE PLANTING		
LANDSCAPE AREA	4392 SF	
NEW TREES REQUIRED	11	
EXISTING TREES TO REMAIN	8	
LU VALUE TO BE REPLACED	45.73	

## NEW TREE PROVIDED

QUANTITY	SIZE	LU VALUE
23	24" BOX TREES	46
6	15 GALLON	6
		TOTAL LU VALUE: 52

## GROUND FLOOR / STREET LEVEL (PART-SHADE)



## ROOF DECK / UPPER LEVEL (PART-SUN)





September 17, 2014

Winnie Lam  
Hillsdale Terraces, LLC  
159 El Camino Real  
Millbrae, CA 94030

**Re: Hillsdale Terrace Tree Evaluation Survey at 2700-2790 of S. El Camino Real, San Mateo, CA**

Dear Ms. Lam,

On behalf of the Arborwell team, I would like to thank you for the opportunity to provide you with this tree evaluation survey for your upcoming planning submittal. This survey includes a *Tree Evaluation Schedule* and a *Tree Inventory Map*, along with the required planning submittal forms.

**Site Description & Background**

Hillsdale Terrace at 2700-2790 S. El Camino Real is a commercial property in the El Camino Real Corridor of San Mateo, California. The property encompasses an undeveloped lot on the southwest corner of the property and to the north of the lot, several small buildings that house commercial stores.

All *Major Vegetation*, defined as any tree with a trunk six (6) inches or greater measured at forty-eight (48) inches above natural grade, on-site was inventoried. Individual trees were mapped but not physically tagged onsite due to the small nature of the property.

There were thirty-nine (39) trees on-site or neighboring the property that are considered *Major Vegetation*. There are no *Heritage Trees* on the property, as defined by the City of San Mateo's Heritage Tree Ordinance §13.52.020, "any tree with a trunk diameter of sixteen (16) inches or more measured at forty-eight (48) inches above natural grade." Many, if not all, trees onsite were declining in health and will likely require removal. Site conditions may change over time.

**Methodology**

All individuals were identified in the field and identified with a number. Each tree was assessed on an individual basis and observations were made accordingly. *Major Vegetation* was recorded in *Tree Evaluation Schedule* and a *Tree Inventory Map*, mapped using ArcView® GIS.

A modified appraisal of the subject trees was performed under the direction of the *Guide for Plant Appraisal, 9th Edition* issued by the International Society of Arboriculture (ISA), Champaign, Illinois 2000, and adapted by the City of San Mateo to arrive at a LU Value. *The Species Classification and Group Assignment* (1992), a publication of the Western Chapter of the International Society of Arboriculture, was used to determine the species value. The appraised LU Value of the tree was determined using the City of San Mateo's *Tree Evaluation Schedule*.

The formula is as follows:

LU Value = (Species \* Condition \* Location) / 0.35 (Caliper Size \* 0.70 if in allowable bldg. area \* 1.25 if Heritage Tree)

**Location:** each tree was assigned a location value according to *The Guide for Plant Appraisal*, which includes the average of the *site rating* (10 to 100 percent), *contribution rating* (10 to 100 percent), and *placement rating* (10 to 100 percent). Because the trees are situated within a continuous landscape, the above ratings were assigned the following:

2337 AMERICAN AVE, HAYWARD, CA 94545  
1993 EAST BAYSHORE ROAD, REDWOOD CITY, CA 94063

OFFICE: (888) 969-8733  
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WWW.ARBORWELL.COM

September 17, 2014



- *Property Perimeter*: these trees serve as screen. Some have not been placed. They provide no shade, have had little maintenance, and contributed little to the long-term of the site – 20%
- *Parking Lot*: these trees were placed in the parking lot planting areas, yet have been improperly maintained – 40%
- *Street Trees*: while these trees are well placed, they are not maintained yearly – 70%
- *Landscaped Area*: these trees are well placed in high-visibility planting vaults but were not maintained regularly – 60%
- *Neighboring Property*: the trees were located on the neighboring property and yet influence the site – 40%

**Species:** each tree was assigned values in accordance with the species value corrected by the regional supplement for California, *Species Classification and Group Assignment*, available from the Western Chapter of the International Society of Arboriculture.

**Condition:** each tree has an assigned value between 0% and 100% based on the derived value of health and structural conditions observed on the dates of inspection. Observations were recorded as *poor* = 1, *fair* = 2, *moderate* = 3, *good* = 4, and *excellent* = 5 (see Exhibit 1 for *condition ratings*), and then both values were added together then multiplied by 10 to arrive at a percentage.

**Appraisal Discussion & Conclusion**

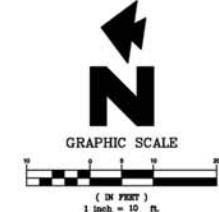
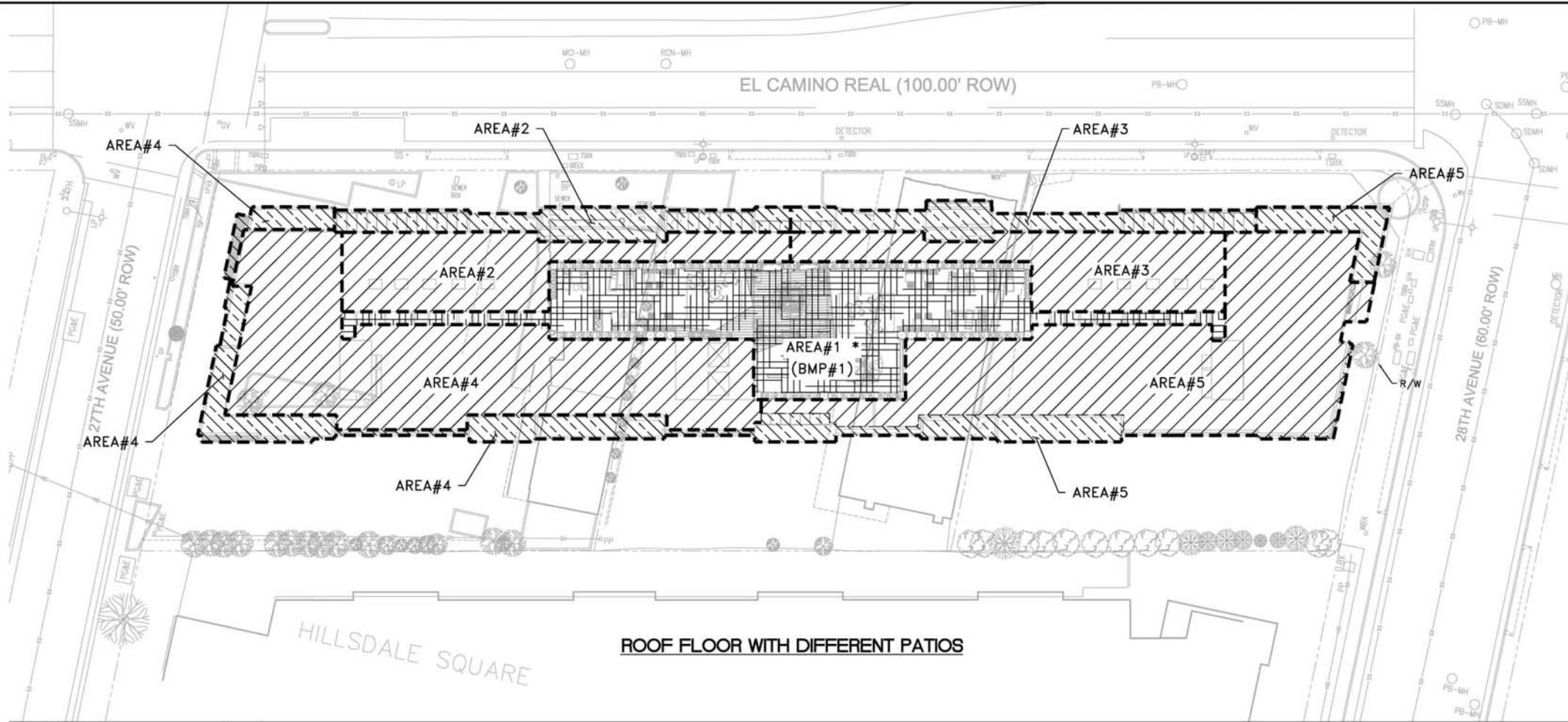
For the purpose of this report, the LU Value derived is an approximation of an individual tree's LU Value and does not represent absolute values based on the inherent subjectivity, and questionable results, of the *Tree Evaluation Schedule*. The total appraised LU Value for the existing Hillsdale Terrace property's trees is **49.024**. If a new development is being proposed, I recommend all trees on the site be removed and replaced with high-value specimens. Neighboring trees should be preserved in place.

Thank you again; we look forward to building a long lasting relationship and taking care of your trees. Please review this information and contact me with any questions or concerns regarding the information provided in this letter.

Sincerely,

Sam Oakley  
ISA Certified Arborist, WE-9474A, TRAQ  
ASCA Registered Consulting Arborist #556

Ref.	Location	Species Name	Common Name	Major Vegetation ( $\geq 6"$ DBH)	Species Value %	Condition Value %	Location Value %	Tree Evaluation Schedule		Caliper inches	.70" if allowable	1.25" if heritage tree	LU Value	Note
								x	x / 0.35x					
1	Unmanned Landscape	<i>Liquidambar styraciflua</i>	Sweetgum	Yes	50	40	40	0.35	14	0.7	1	2.24	Branch Failure	
2	Unmanned Landscape	<i>Liquidambar styraciflua</i>	Sweetgum	Yes	50	40	40	0.35	12	0.7	1	1.92	Poor structure	
3	Property Perimeter	<i>Calocedrus decurrens</i>	Incense Cedar	Yes	70	40	20	0.35	7	0.7	1	0.784	Raised	
4	Property Perimeter	<i>Calocedrus decurrens</i>	Incense Cedar	Yes	70	40	20	0.35	7	0.7	1	0.784	Raised	
5	Property Perimeter	<i>Calocedrus decurrens</i>	Incense Cedar	Yes	70	40	20	0.35	7	0.7	1	0.784	Raised	
6	Property Perimeter	<i>Calocedrus decurrens</i>	Incense Cedar	Yes	70	40	20	0.35	7	0.7	1	0.784	Raised	
7	Property Perimeter	<i>Calocedrus decurrens</i>	Incense Cedar	Yes	70	40	20	0.35	7	0.7	1	0.784	Raised	
8	Property Perimeter	<i>Calocedrus decurrens</i>	Incense Cedar	Yes	70	40	20	0.35	7	0.7	1	0.784	Raised	
9	Property Perimeter	<i>Calocedrus decurrens</i>	Incense Cedar	Yes	70	40	20	0.35	7	0.7	1	0.784	Raised	
10	Property Perimeter	<i>Calocedrus decurrens</i>	Incense Cedar	Yes	70	40	20	0.35	7	0.7	1	0.784	Raised	
11	Property Perimeter	<i>Calocedrus decurrens</i>	Incense Cedar	Yes	70	40	20	0.35	7	0.7	1	0.784	Raised	
12	Property Perimeter	<i>Calocedrus decurrens</i>	Incense Cedar	Yes	70	40	20	0.35	12	0.7	1	1.344		
13	Property Perimeter	<i>Calocedrus decurrens</i>	Incense Cedar	Yes	70	40	20	0.35	12	0.7	1	1.344		
14	Property Perimeter	<i>Calocedrus decurrens</i>	Incense Cedar	Yes	70	0	20	0.35	12	0.7	1	0	Dead	
15	Property Perimeter	<i>Calocedrus decurrens</i>	Incense Cedar	Yes	70	0	20	0.35	10	0.7	1	0	Dead	
16	Neighboring Property	<i>Calocedrus decurrens</i>	Incense Cedar	Yes	70	40	40	0.35	10	0.7	1	2.24	Poor structure	
17	Property Perimeter	<i>Maytenus boaria</i>	Mayten	Yes	50	0	20	0.35	12	0.7	1	0	Dead	
18	Property Perimeter	<i>Calocedrus decurrens</i>	Incense Cedar	Yes	70	40	20	0.35	4	0.7	1	0.448		
19	Property Perimeter	<i>Maytenus boaria</i>	Mayten	Yes	50	40	20	0.35	4	0.7	1	0.32		
20	Parking Lot	<i>Maytenus boaria</i>	Mayten	Yes	50	40	40	0.35	14	0.7	1	2.24		
21	Parking Lot	<i>Calocedrus decurrens</i>	Incense Cedar	Yes	70	20	40	0.35	14	0.7	1	1.568	Topped	
22	Parking Lot	<i>Calocedrus decurrens</i>	Incense Cedar	Yes	70	20	40	0.35	14	0.7	1	1.568	Topped	
23	Parking Lot	<i>Calocedrus decurrens</i>	Incense Cedar	Yes	70	20	40	0.35	14	0.7	1	1.568	Topped	
24	Parking Lot	<i>Calocedrus decurrens</i>	Incense Cedar	Yes	70	20	40	0.35	14	0.7	1	1.568	Topped	
25	Parking Lot	<i>Calocedrus decurrens</i>	Incense Cedar	Yes	70	20	40	0.35	14	0.7	1	1.568	Topped	
26	Parking Lot	<i>Calocedrus decurrens</i>	Incense Cedar	Yes	70	20	40	0.35	14	0.7	1	1.568	Topped	
27	Parking Lot	<i>Calocedrus decurrens</i>	Incense Cedar	Yes	70	20	40	0.35	14	0.7	1	1.568	Topped	
28	Parking Lot	<i>Calocedrus decurrens</i>	Incense Cedar	Yes	70	20	40	0.35	14	0.7	1	1.568	Topped	
29	Landskaped Area	<i>Pyrus calleryana</i>	Ornamental Pear	Yes	50	50	60	0.35	4	0.7	1	1.2	Some bight	
30	Landskaped Area	<i>Gleditsia triacanthos</i>	Honey Locust	Yes	30	30	60	0.35	6	0.7	1	0.648	Poor structure and health	
31	Landskaped Area	<i>Gleditsia triacanthos</i>	Honey Locust	Yes	30	30	60	0.35	4	0.7	1	0.432	Poor structure and health	
32	Landskaped Area	<i>Trachycarpus fortunei</i>	Windmill Palm	Yes	90	60	60	0.35	11	0.7	1	7.128	Stunted growth	
33	Property Perimeter	<i>Callistemon citrinus</i>	Bottle Brush	Yes	50	60	20	0.35	10	0.7	1	1.2	Multiple stems	
34	Property Perimeter	<i>Callistemon citrinus</i>	Bottle Brush	Yes	50	60	20	0.35	4	0.7	1	0.48	Multiple stems	
35	Property Perimeter	<i>Callistemon citrinus</i>	Bottle Brush	Yes	50	60	20	0.35	12	0.7	1	1.44	Multiple stems	
36	Neighboring Property	<i>Pinus radiata</i>	Monterey Pine	Yes	30	40	40	0.35	14	0.7	1	1.344	Topped	
37	Neighboring Property	<i>Eucalyptus sideroxylon</i>	Red Ironbark Eucalyptus	Yes	10	40	40	0.35	12	0.7	1	0.384	Topped	
38	Neighboring Property	<i>Eucalyptus sideroxylon</i>	Red Ironbark Eucalyptus	Yes	10	40	40	0.35	12	0.7	1	0.384	Topped	
39	Neighboring Property	<i>Cinnamomum camphora</i>	Camphor	Yes	70	40	40	0.35	12	0.7	1	2.6		



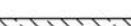
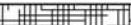
**GREEN**  
CIVIL ENGINEERING  
GREEN-ENG@HOTMAIL.COM  
204 E 2ND AVE #B20  
SAN MATEO, CA 94401

CIVIL ENGINEERING  
GREEN-ENG@HOTMAIL.COM  
204 E 2ND AVE #B20  
SAN MATEO, CA 94401

STORMWATER CONTROL PLAN

2700 SOUTH EL CAMINO REAL  
SAN MATEO, CA 94403

#### LEGEND

	= DRAINAGE BOUNDARY
	= ROOF
	= PATIO/SKYLIGHT
	= BIO-RETENTION AREA
	= FLOW THROUGH PLANTER AREA
	= ROOF GARDEN COMBINED WITH PERMEABLE PAVER AND LANDSCAPE
	= GROUND AREA, SEE NOTE 2 TO APPLY 25% CREDIT FOR SPECIAL PROJECT
	= LANDSCAPE

TREATMENT MEASURE SIZING TABLE

TREATMENT AREA	PROPOSED TREATMENT METHOD(BMP#)	DRAINAGE AREA (SF)	REQUIRED TREATMENT AREA (SF) 4% OF DRAINAGE AREA	PROVIDED TREATMENT MEASURE(SF)
AREA#1 *	SELF-TREATING (BMP#1)	4990	-	-
AREA#2	FLOW-THROUGH PLANTER(BMP#2)	3240	130	138
AREA#3	FLOW-THROUGH PLANTER(BMP#3)	3170	127	138
AREA#4	FLOW-THROUGH PLANTER(BMP#4)	7080	283	284
AREA#5	FLOW-THROUGH PLANTER(BMP#5)	6550	262	292
AREA#6	BIO-RETENTION AREA(BMP#6)	2420	92	236
AREA#7	BIO-RETENTION AREA(BMP#7)	2340	104	231
AREA#8	LANDSCAPE	1910		
AREA#9	IMPERVIOUS AREA, SEE NOT 2	10,513		



NOTE

- 1) SIZING GUIDELINE FOR FLOW BASED TREATMENT IS 4%, PER COUNTY OF SAN MATEO STANDARDS.
- 2) FOR SIDEWALK ALONG EL CAMINO REAL, 27TH AVE, 28TH AVE, RAMP UP/DOWN, AND PORTION OF PRIVATE ROAD, THE PROJECT TEAM WOULD APPLY TREATMENT REDUCTION CREDIT, SEE SPECIAL PROJECT FORM FOR DETAILS.
- 3) SEE LANDSCAPE PLAN FOR ONSITE PROPOSED LANDSCAPE DESIGN.
- 4) DRAINAGE AREA 2, 3, 4 AND 5 CONTAIN ROOF AREAS, DIFFERENT FLOOR PATIO AREAS AND SKYLIGHT AREAS.
  - \* ROOF DRAINAGE AREA COMBINED WITH LANDSCAPE AND PERMEABLE PAVER

WELL-BALANCED DIET COMBINED WITH VITAMIN E AND VITAMIN E-1000

DATE: 02-17-2015  
FILE: AS SHOWN  
AWN: CW  
ECK: CW  
B: 2014022

~SHEET~

SC1.0

**DETAIL SHEET**

2700 SOUTH EL CAMINO REAL  
SAN MATEO, CA 94403

REV.	DESCRIPTION	DATE
1	REVISED PLANS PER CITY COMMENTS	3/28/16 - -



DATE: 02-17-2015  
SCALE: AS SHOWN  
DRAWN: CW  
CHECK: CW  
JOB: 2014022

~SHEET~

SC1.1

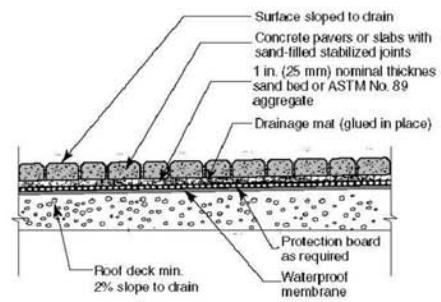
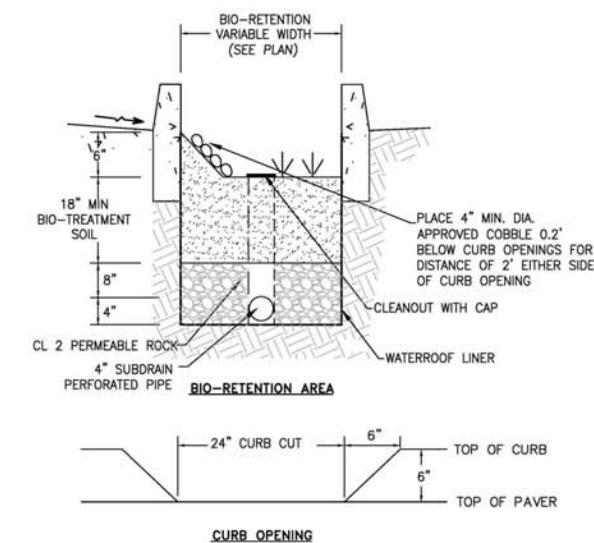
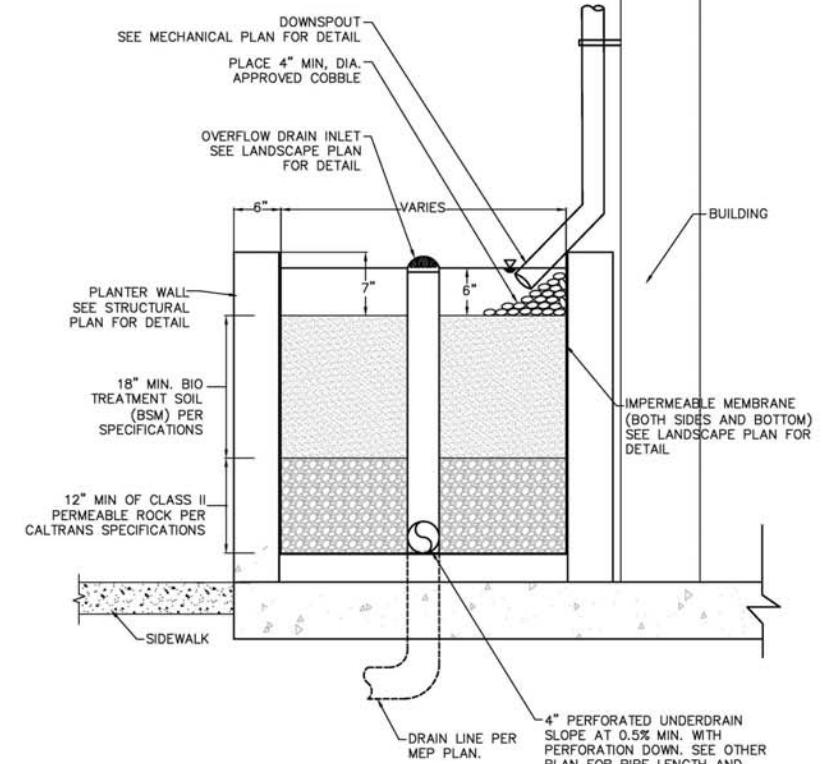


Figure 7. Sand-set concrete pavers or slabs for a pedestrian roof plaza deck. Units no larger than 12 x 12 in. (300 x 300 mm) length and width are recommended for sand-set applications to avoid tipping.

**PERMEABLE PAVER** N.T.S. SC1.1



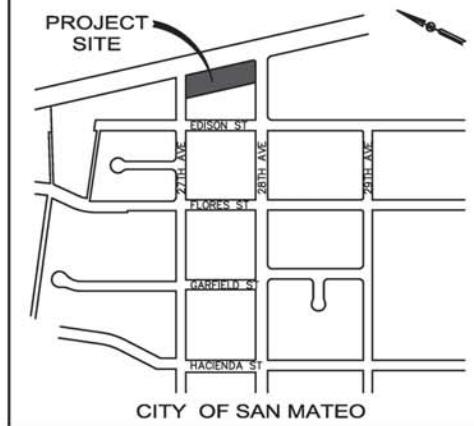
**BIO-RETENTION AREA** N.T.S. SC1.1



**FLOW THROUGH PLANTER** N.T.S. SC1.1



**TENTATIVE MAP  
HILLSDALE TERRACES  
2700, 2728 & 2790 SOUTH EL CAMINO REAL  
SAN MATEO, SAN MATEO COUNTY, CALIFORNIA 94403  
FOR: HILLSDALE TERRACES, LLC**



**ASSUMED BENCHMARK AT INTERSECTION OF 27TH AVE.  
& EDISON ST.**

ASSUMED BENCHMARK @ SSMH TOP RIM ELEVATION = 100.00 AS SHOWN ON THE MAP.

**BASIS OF BEARINGS**

THE BEARING N26°45'00"W OF THE CENTERLINE OF EDISON STREET (DERIVE FROM SPLITTING THE CURB LINES) PER "MAP SHOWING A SUBDIVISION OF LOTS 1, 2, 19, AND 21 OF THE BERESFORD PARK TRACT, SAN MATEO COUNTY, CAL." AND "33 RS 43", FILED IN THE OFFICE OF THE RECORDER OF SAN MATEO COUNTY, STATE OF CALIFORNIA, WAS USED AS BASIS OF BEARING FOR THIS SURVEY.

**DATE OF SURVEY:**

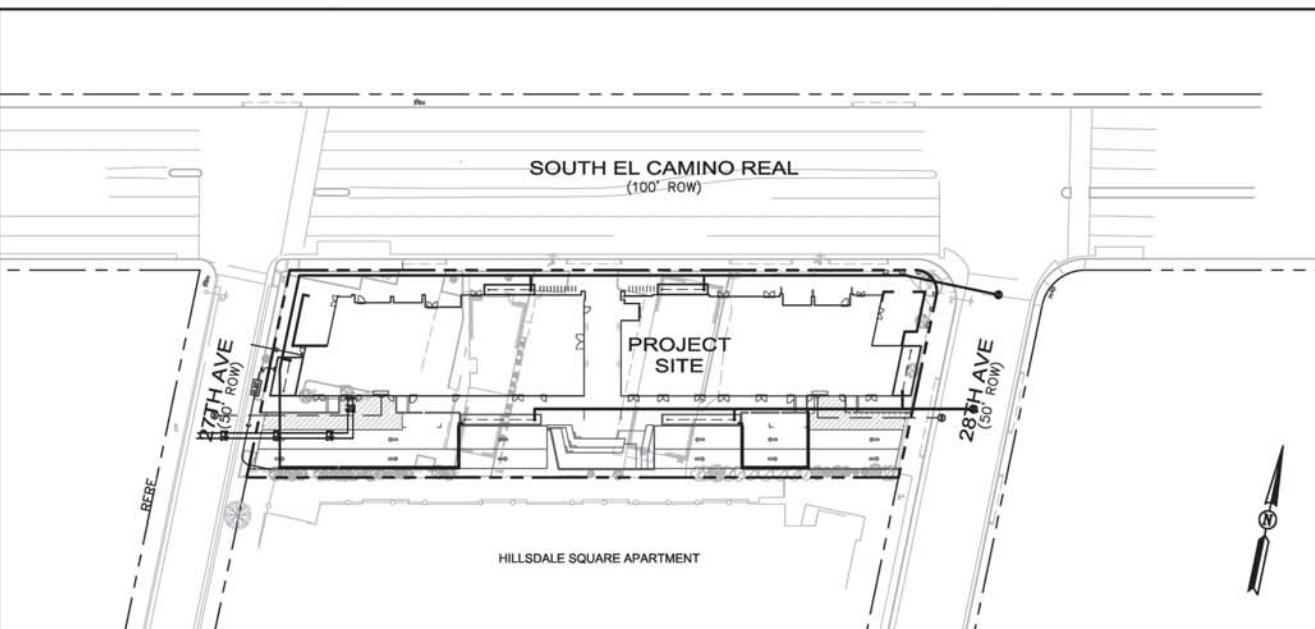
TOPOGRAPHIC INFORMATION SHOWN HERE IS BASED UPON A FIELD SURVEY PERFORMED ON JANUARY 16, 2014.

**BOUNDARY NOTES:**

- PROPERTY AND RIGHT-OF WAY SHOWN HEREON ARE BASED ON RECORD DATA AND NOT INTENDED TO BE A DETAILED FINAL SURVEY OF THE PROPERTY.
- ALL ANGLES ARE 90° UNLESS OTHERWISE NOTED.
- ALL DISTANCES ARE MEASURED IN FEET AND DECIMALS THEREOF.
- PROPERTY LINE TO MONUMENT LINE MEASURED DISTANCES WERE BASED UPON FOUND SURVEY MARKS, CURB SPLITS AND BUILDING OCCUPATIONS.
- ENCROACHMENT FROM/ONTO THE ADJOINING PROPERTIES THAT MAY EXIST OR MAY BE CONSTRUCTED IS HEREBY ACKNOWLEDGED AND IT SHALL THE RESPONSIBILITY SOLELY OF THE PROPERTY OWNERS INVOLVED TO RESOLVE ANY ISSUES WHICH MAY ARISE THERE FROM. THIS MAP DOES NOT CONVEY ANY INTEREST IN SUCH ENCROACHMENT AREAS TO THE PROPERTY OWNER(S).
- RECORDED MAP REFERENCE: 33 RS 43, 103 RSM 06, AND 2 RSM 37, SAN MATEO COUNTY.
- RECORD OWNERSHIP INFORMATION WAS TAKEN FROM GRANT DEED, INSTRUMENT NO. 2013-110986, DATED JULY 30, 2013.
- BUILDING FOOTPRINTS SHOWN ARE ALL TAKEN ON THE GROUND LEVEL.

**UTILITY STATEMENT:**

THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND/OR RECORD DATA AND ARE APPROXIMATE ONLY. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRIZE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES. ACTUAL LOCATION AND SIZE, TOGETHER WITH THE PRESENCE OF ANY ADDITIONAL UTILITY LINES NOT SHOWN ON THIS PLAN, SHALL BE VERIFIED IN THE FIELD BY THE CONTRACTOR DURING CONSTRUCTION. PRIOR TO ANY DIGGING, CALL U.S.A. (1-800-642-2444) AT LEAST 48 HOURS IN ADVANCE TO HAVE EXISTING UNDERGROUND UTILITIES MARKED.



**LEGEND :**

-----	PROPERTY LINE
.....	EXISTING LINE
/ / / / /	BUILDING LIMITS
◆	BENCHMARK REFERENCE
OH	OVERHEAD ELECTRICAL LINE (APPROXIMATE)
SD	STORM DRAIN LINE (APPROXIMATE)
SS	SANITARY SEWER LINE (APPROXIMATE)

**VICINITY MAP**  
NOT TO SCALE

**ABBREVIATIONS:**

AC	ASPHALT CONCRETE	PB-MH	PACIFIC BELL MANHOLE
APN	ASSESSOR'S PARCEL NUMBER	PL	PROPERTY LINE
BM	BENCHMARK	PP	POWER POLE
BC	BUILDING CORNER	ROW	RIGHT OF WAY
BL	BUILDING LINE	RTW.	RETAINING WALL
BOW	BOTTOM OF WALL	(R)	PER RECORD MAPS
BP	BACKFLOW PREVENTER	SS	STREET SIGN
BRC	BACK OF ROLL CURB	SDMH	STORM DRAIN MANHOLE
BW	BACK OF WALK	SSMH	SANITARY SEWER MANHOLE
CLR.	CLEAR	S/W	SIDEWALK
(D)	PER RECORDED DEED	TC	TOP OF CURB
DI	DRAIN INLET	TR	TREE
D/W	DRIVEWAY	TSBX	TRAFFIC SIGNAL BOX
EL./ELEV.	ELEVATION	TSP	TRAFFIC SIGNAL POLE
(E)/EX.	EXISTING	TW	TOP OF WALL
FH	FIRE HYDRANT	TYP.	TYPICAL
FL	FLOW LINE	(T)	TOTAL
GND	GROUND	WBX	WATER BOX
GV	GAS VALVE	WV	WATER VALVE
LG	LIP OF GUTTER	WD	WOODEN
LP	LIGHT POLE	±0.00' CLR.*	MEAS. FROM INSIDE FACE OF RTW./WALL TO PL
MIN	MINIMUM	±0.00' CLR./OVER.**	MEAS. FROM INSIDE WD. FACE OF FENCE TO PL
(M)/MEAS.	MEASURED	±0.00' CLR.***	MEAS. FROM BLDG. CORNER/LINE TO PL
MH	MANHOLE	0.00'*	MEAS. FROM BASE OF THE TREE (APPROXIMATE).
NTS	NOT TO SCALE	①	103 RSM 06
PAV.	PAVEMENT		

**LOCATION MAP**

NOT TO SCALE

**SHEET INDEX**

TM-1	COVER SHEET
TM-2	EXISTING PARCELS & EASEMENTS
TM-3	PROPOSED PARCELS & EASEMENTS
TM-4	PRELIMINARY GRADING & DRAINAGE PLAN
TM-5	PRELIMINARY UTILITY PLAN

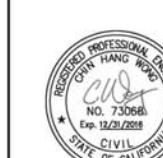
**GENERAL NOTES:**

1. OWNER / DEVELOPER: HILLSDALE TERRACES, LLC 159 EL CAMINO REAL MILLBRAE, CA 94030	7. LOT AREA: LOT 1 (MERGED TO 1 LOT) 0.999± ACRE 039-352-060 0.378± ACRE 039-352-070 0.298± ACRE 039-352-090 0.323± ACRE
2. ARCHITECT: COSTA BROWN ARCHITECTURE, INC. 1620 MONTGOMERY STREET, SUITE 300 SAN FRANCISCO, CA 94111	8. TOTAL NO. OF PROPOSED UNITS: COMMERCIAL - 17,804 SF OF FLOOR AREA RESIDENTIAL - 74 UNITS
3. CIVIL ENGINEER: GREEN CIVIL ENGINEERING 204 EAST 2nd AVENUE #820 SAN MATEO, CA 94401	9. TOTAL NO. OF PARKING PROVIDED: 171 SPACES 56 (COMMERCIAL) 100 (RESIDENTIAL) 15 (VISITOR)
4. SURVEYOR: GLA CIVIL ENGINEERING, INC. 944 MARKET STREET, SUITE 711 SAN FRANCISCO, CA 94102	10. UTILITIES: WATER: CAL WATER SANITARY SEWER: CITY OF SAN MATEO STORM DRAIN: CITY OF SAN MATEO FIRE: CITY OF SAN MATEO GAS & ELECTRIC: PACIFIC GAS & ELECTRIC TELEPHONE: AT&T CABLE TV: COMCAST
5. APN(S): 039-352-060 039-352-070 039-352-090	
6. ZONING: C3-1/R4	

**DRAFT**

REV.	DATE	DESCRIPTION
-	3/29/2016	TENTATIVE MAP PER DEPT. OF COMMUNITY DEVELOPMENT COMMENTS, 1/20/16

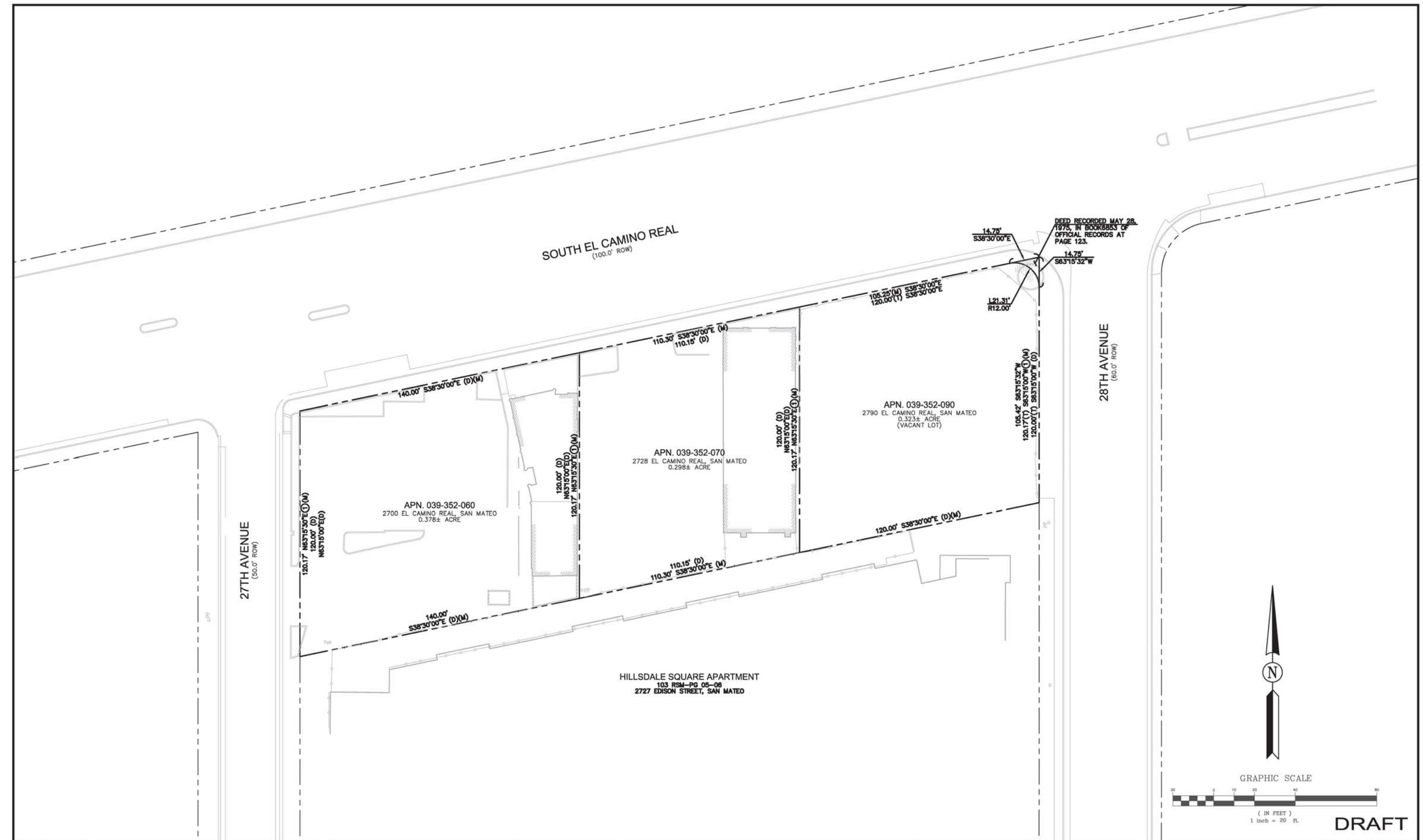
**GREEN**  
CIVIL ENGINEERING  
204 E 2ND AVE #820  
SAN MATEO, CA 94401



OWNER:  
**HILLSDALE TERRACES, LLC**  
159 EL CAMINO REAL  
MILLBRAE, CA 94030

**COVER SHEET  
TENTATIVE MAP  
2700, 2728 & 2790 SOUTH EL CAMINO REAL  
SAN MATEO, CALIFORNIA 94403**

SCALE  
VERTICAL: 1" AS SHOWN  
HORIZONTAL: 1" AS SHOWN  
**TM-1**  
OF 5 SHEET  
JOB NO.  
2014022



REV.	DATE	DESCRIPTION
-	3/29/2016	TENTATIVE MAP PER DEPT. OF COMMUNITY DEVELOPMENT COMMENTS, 1/20/16

**GREEN**  
CIVIL ENGINEERING

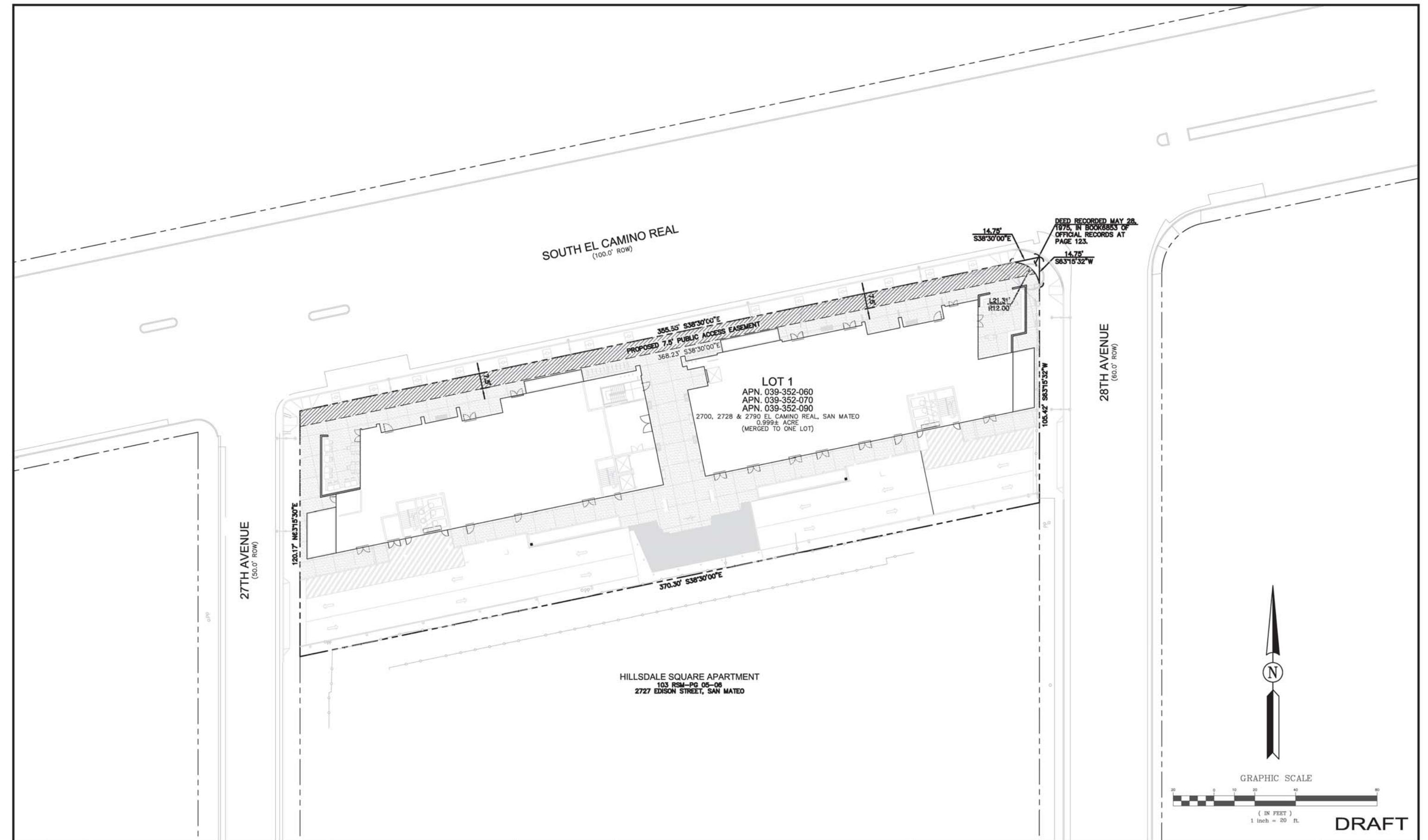
204 E 2ND AVE #820  
SAN MATEO, CA 94401



OWNER:  
**HILLSDALE TERRACES, LLC**  
159 EL CAMINO REAL  
MILLBRAE, CA 94030

**EXISTING PARCELS & EASEMENTS  
TENTATIVE MAP  
2700, 2728 & 2790 SOUTH EL CAMINO REAL  
SAN MATEO, CALIFORNIA 94403**

SCALE VERTICAL: 1" AS SHOWN HORIZONTAL: 1" AS SHOWN
SHEET <b>TM-2</b>
OF 5 SHEET
JOB NO. 2014022



REV.	DATE	DESCRIPTION
-	3/29/2016	TENTATIVE MAP PER DEPT. OF COMMUNITY DEVELOPMENT COMMENTS, 1/20/16

**GREEN**  
CIVIL ENGINEERING

204 E 2ND AVE #820  
SAN MATEO, CA 94401



OWNER:

**HILLSDALE TERRACES, LLC**

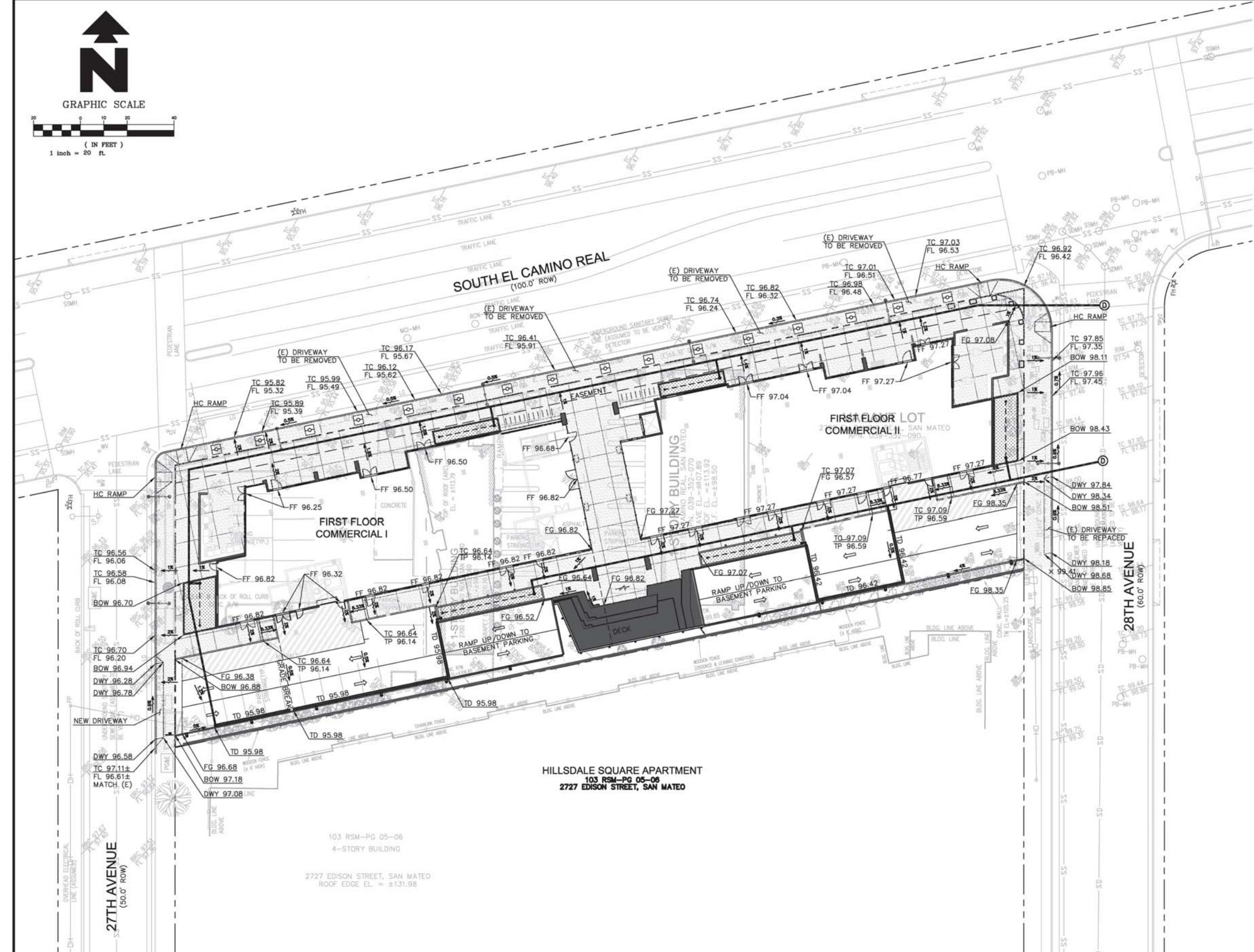
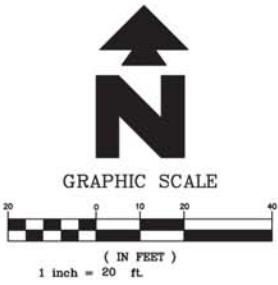
159 EL CAMINO REAL  
MILLBRAE, CA 94030

**PROPOSED PARCELS & EASEMENTS**  
**TENTATIVE MAP**  
**2700, 2728 & 2790 SOUTH EL CAMINO REAL**  
**SAN MATEO, CALIFORNIA 94403**

SCALE  
VERTICAL: 1" = AS SHOWN  
HORIZONTAL: 1" = AS SHOWN

**TM-3**  
OF 5 SHEET

JOB NO.  
2014022



#### GENERAL NOTES:

1. IF ANY EXISTING STRUCTURES TO REMAIN ARE DAMAGED DURING CONSTRUCTION IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO REPAIR AND/OR REPLACE THE EXISTING STRUCTURE AS NECESSARY TO RETURN IT TO EXISTING CONDITIONS OR BETTER.
2. CONTRACTOR SHALL PROTECT ALL PROPERTY CORNERS.
3. CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE GOVERNING CODES AND BE CONSTRUCTED TO SAME.
4. CONTRACTOR SHALL ADJUST AND/OR CUT EXISTING PAVEMENT AS NECESSARY TO ASSURE A SMOOTH FIT AND CONTINUOUS GRADE.
5. CONTRACTOR SHALL ASSURE POSITIVE DRAINAGE AWAY FROM BUILDING FOR ALL NATURAL AND PAVED AREAS.
6. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANIES AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
7. THE CONTRACTOR SHALL ADHERE TO ALL TERMS & CONDITIONS AS OUTLINED IN GENERAL N.P.D.E.S. PERMIT FOR STORMWATER DISCHARGE ASSOCIATED WITH CONSTRUCTION ACTIVITIES.
8. UTILITY VAULTS, TRANSFORMERS, UTILITY CABINETS, CONCRETE BASES, OR OTHER STRUCTURES CANNOT BE PLACED OVER WATER MAINS/SERVICES. MAINTAIN 1' HORIZONTAL CLEAR SEPARATION FROM THE VAULTS, CABINET & CONCRETE BASES TO EXISTING UTILITIES AS FOUND IN THE FIELD. IF THERE IS CONFLICT WITH EXISTING UTILITIES, CABINETS, VAULTS & BASES SHALL BE RELOCATED FROM THE PLAN LOCATION AS NEEDED TO MEET FIELD CONDITIONS. TREES MAY NOT BE PLANTED WITHIN 10' OF EXISTING WATER MAINS/SERVICES OR METERS. MAINTAIN 10' BETWEEN TREES AND WATER SERVICES, MAINS & METERS.
9. UTILITY INSTALLATION SHALL BE IN ACCORDANCE WITH CITY'S UTILITY STANDARDS FOR WATER, GAS & WASTEWATER.
10. CONTRACTOR SHALL REFER TO ARCH. PLANS FOR EXACT LOCATIONS OF UTILITIES SERVICES TO NEW BUILDING. COORDINATE WITH LOCAL UTILITIES COMPANIES FOR SERVICE CONNECTIONS. PERMITS AS NECESSARY TO PERFORM UTILITY WORK IN ROW.
11. PG&E AND LOCAL WATER PURVEYOR SHALL OBTAIN SEPARATE ENCROACHMENT
12. THE APPLICANT SHALL OBTAIN AN ENCROACHMENT PERMIT FROM THE CITY ENGINEERING DIVISION PRIOR TO CONSTRUCTION IN CITY'S RIGHT-OF-WAY.

#### LEGEND

	= PROPERTY LINE
	= STORM DRAIN LINE
	= 4" PERFORATED PIPE
	= TRENCH DRAIN
	= STORM DRAIN MANHOLE
	= SEWER/STORM CLEANOUT
	= STORM DRAIN OVERFLOW INLET
	= POP UP DRAIN

#### ABBREVIATIONS:

DWY	= DRIVEWAY ELEVATION
EG	= EXISTING GRADE ELEVATION
FF	= FINISH FLOOR ELEVATION
FG	= FINISH GRADE ELEVATION
FL	= FLOWLINE
TC	= TOP OF CURB ELEVATION
TG	= TOP OF GRATE ELEVATION
TP	= TOP OF PAVEMENT
S	= SLOPE
SD	= STORM DRAIN
SDCO	= STORM DRAIN CLEAN OUT
SDDI	= STORM DRAIN DRAIN INLET
TD	= TOP OF DRAIN ELEVATION
TS	= TOP OF STEP ELEVATION

DRAFT

REV.	DATE	DESCRIPTION
-	3/29/2016	TENTATIVE MAP PER DEPT. OF COMMUNITY DEVELOPMENT COMMENTS, 1/20/16

GREEN  
CIVIL ENGINEERING

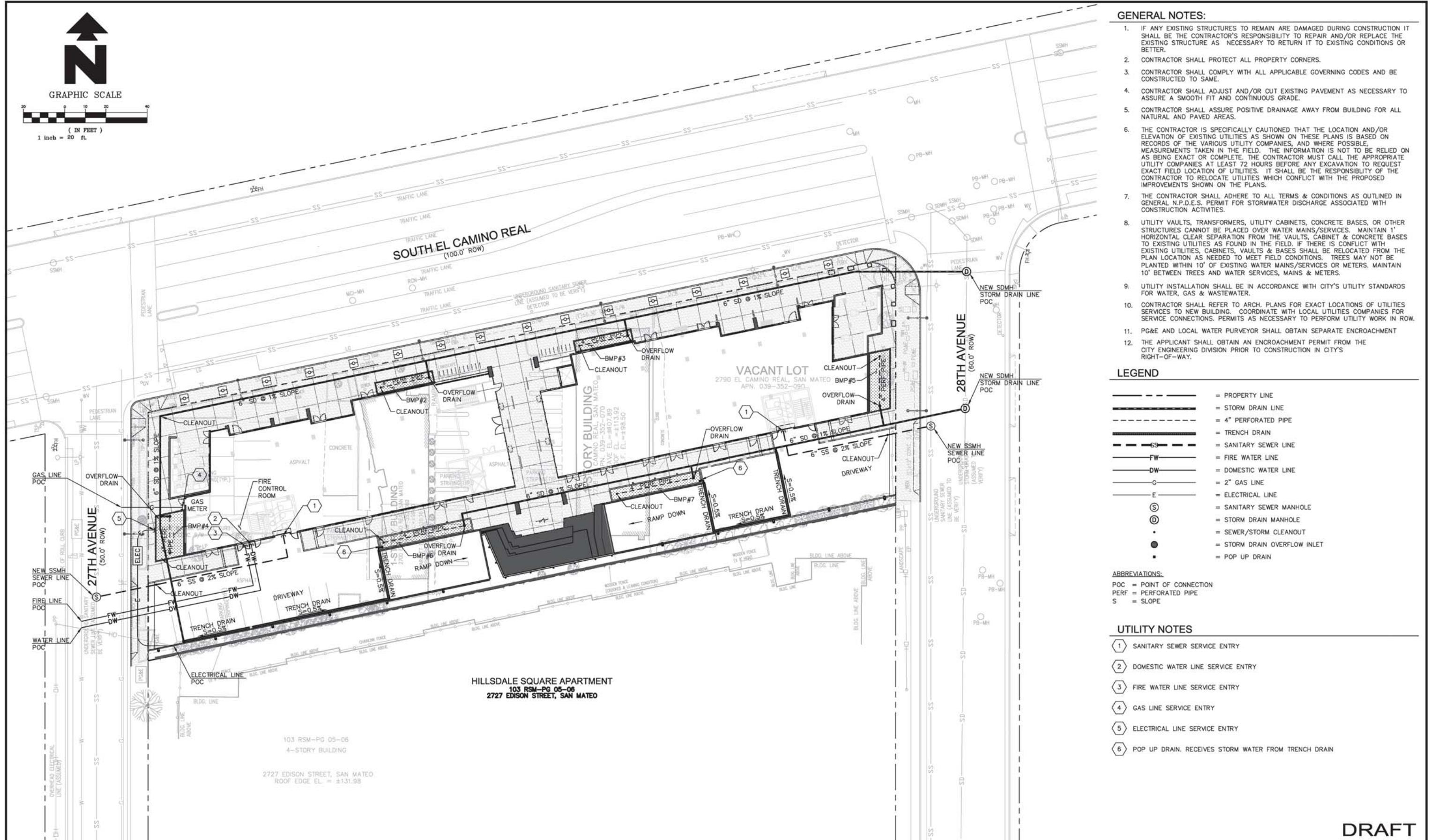
204 E 2ND AVE #820  
SAN MATEO, CA 94401



OWNER:  
HILLSDALE TERRACES, LLC  
159 EL CAMINO REAL  
MILLBRAE, CA 94030

PRELIMINARY GRADING & DRAINAGE PLAN  
TENTATIVE MAP  
2700, 2728 & 2790 SOUTH EL CAMINO REAL  
SAN MATEO, CALIFORNIA 94403

SCALE
VERTICAL: 1" AS SHOWN
HORIZONTAL: 1" AS SHOWN
SHEET
TM-4
OF 5 SHEET
JOB NO. 2014022



REV.	DATE	DESCRIPTION
-	3/29/2016	TENTATIVE MAP PER DEPT. OF COMMUNITY DEVELOPMENT COMMENTS, 1/20/16

GREEN  
CIVIL ENGINEERING  
204 E 2ND AVE #820  
SAN MATEO, CA 94401



OWNER:  
HILLSDALE TERRACES, LLC  
159 EL CAMINO REAL  
MILLBRAE, CA 94030

PRELIMINARY UTILITY PLAN  
TENTATIVE MAP  
2700, 2728 & 2790 SOUTH EL CAMINO REAL  
SAN MATEO, CALIFORNIA 94403

SCALE  
VERTICAL: 1" AS SHOWN  
HORIZONTAL: 1" AS SHOWN  
SHEET  
TM-5  
OF 5 SHEET  
JOB NO.  
2014022

DRAFT