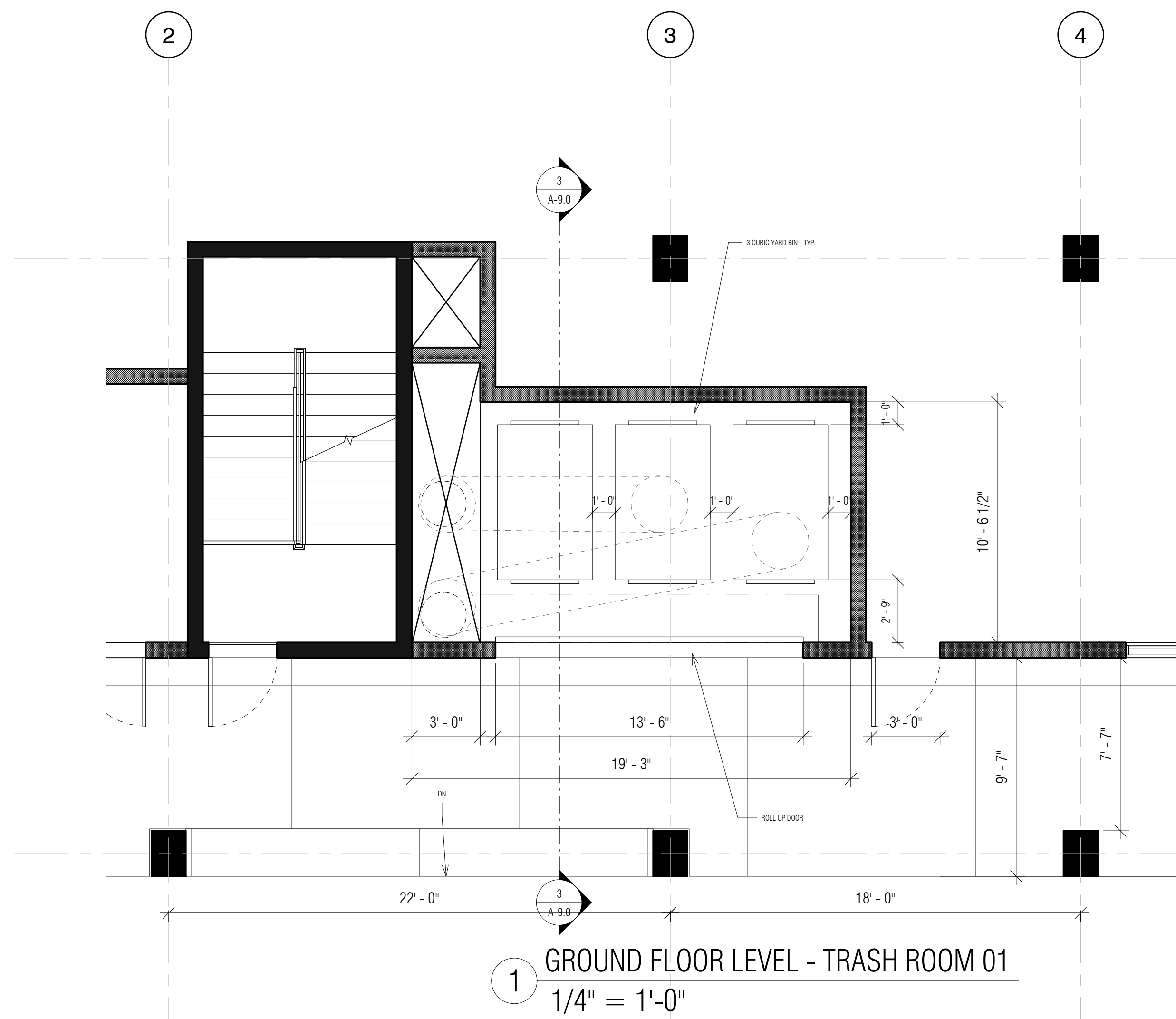
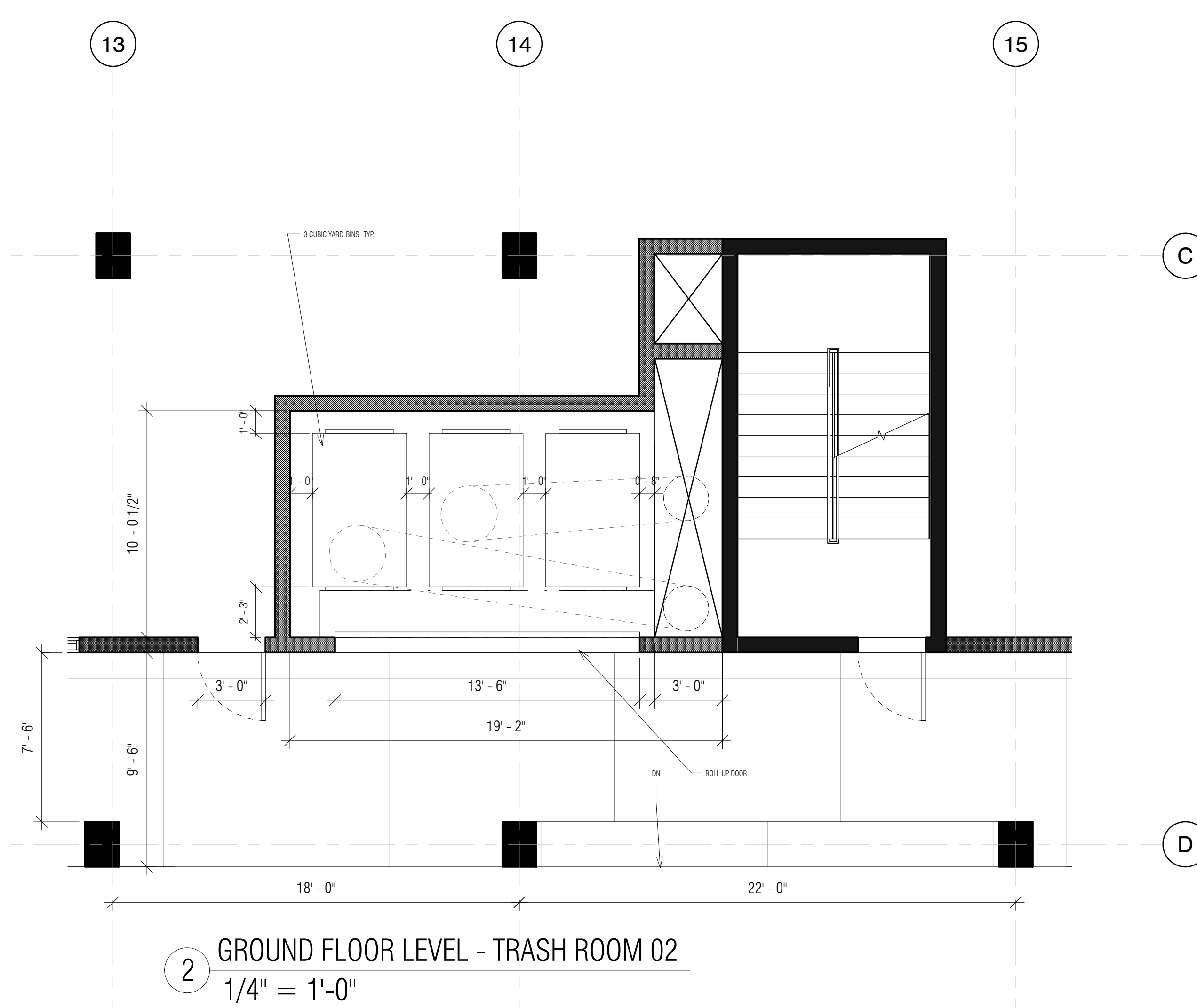


3 GROUND FLOOR TRASH ROOM - TYPICAL SECTION  
1/4" = 1'-0"



1 GROUND FLOOR LEVEL - TRASH ROOM 01  
1/4" = 1'-0"



2 GROUND FLOOR LEVEL - TRASH ROOM 02  
1/4" = 1'-0"

PRINT DATE: 4/28/2016 5:12:59 PM



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Date: 04/20/2016

Scale: 1/4" = 1'-0"

Description:

**GROUND  
LEVEL-TRASH  
ROOM DETAILS**

Sheet Number:

**A-9.0**

HILLDALE TERRACE  
9.14.15

Required Tree Planting

Required Trees:

As per the requirements of the Zoning Code, Section 27.71 – Landscape, all projects must have a minimum ratio of **1 tree per 400 square feet** of landscaped area. Existing trees that are a minimum of 6 inch diameter may count toward this total. Any trees with a 6 inch or greater diameter that are being removed must be replaced with an equivalent value of trees. Values are to be determined as stated in Section 27.71.180 of the zoning code and recorded on the Tree Evaluation Schedule and/or any required arborist report.

Landscape Area: 4392 sq. ft. ÷ 400 = 10.98 (a)

Number of existing trees with a 6 inch or greater diameter **to be preserved:** 8 (b)

Landscape Unit (LU) value **deficit** from the Tree Evaluation Schedule: 42.75 (c)

Minimum LU value to be replaced and/or met through payment of in-lieu fees: **[a – b + c = d]** 45.73 (d)

New Trees:

A minimum number of trees equivalent to (a), above, must be planted (or existing on the site). In order to make up the required LU value from the removal of trees, additional or larger trees may be planted. If the LU value shown at (e) is not equal or greater than (d), then an in-lieu fee must be paid to the City's street tree planting fund at the rate defined annually in the City's Comprehensive Fee Schedule for each deficient LU.

New Trees Being Planted			
Quantity	Size	LU Value	Total LU Value
<u>6</u>	15 gallon	1	<u>6</u>
<u>23</u>	24 inch box	2	<u>46</u>
<u>0</u>	36 inch box	3	<u>0</u>
<u>0</u>	48 inch box	4	<u>0</u>
Total LU Value of new trees being proposed:			<u>52</u> (e)

Fees Owed to the City Street Tree Planting Fund: (D IS LESS THAN E)

If (d) is greater than (e), there will be an LU value deficit calculated as follows:

[d – e = 284 x (the annually defined \$ per LU value) = \$                     ]

Q:\CDD\Planning\FORMS\Trees Preservation & Site Development\Required Tree Planting Form.doc

\* FOR LANDSCAPE PLAN ONLY - SEE A-1.3.1 FOR LATEST GROUND FLOOR PLAN



ZANTEDESCHIA, CHONDROPETALUM, PHILODENDRON,  
LIRIOPE, CLIVIA, ASPARAGUS DENSIFLORUS



CLIVIA, CHONDROPETALUM, HEUCHERA, HAKONECHLOA,  
DIETES BICOLOR, HELICONTRICHON



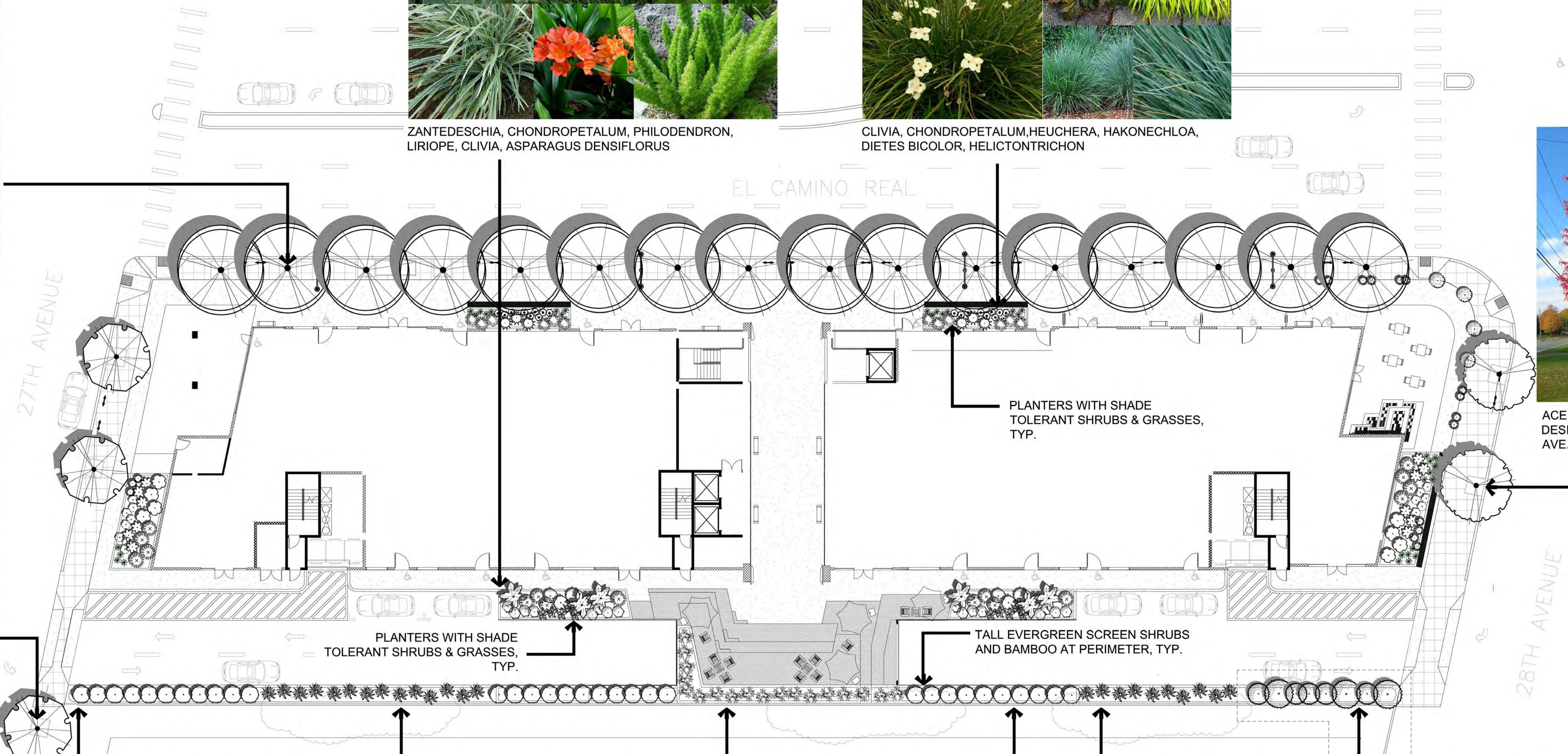
PLATANUS x ACERIFOLIA  
DESIGNATED STREET TREE,  
EL CAMINO REAL



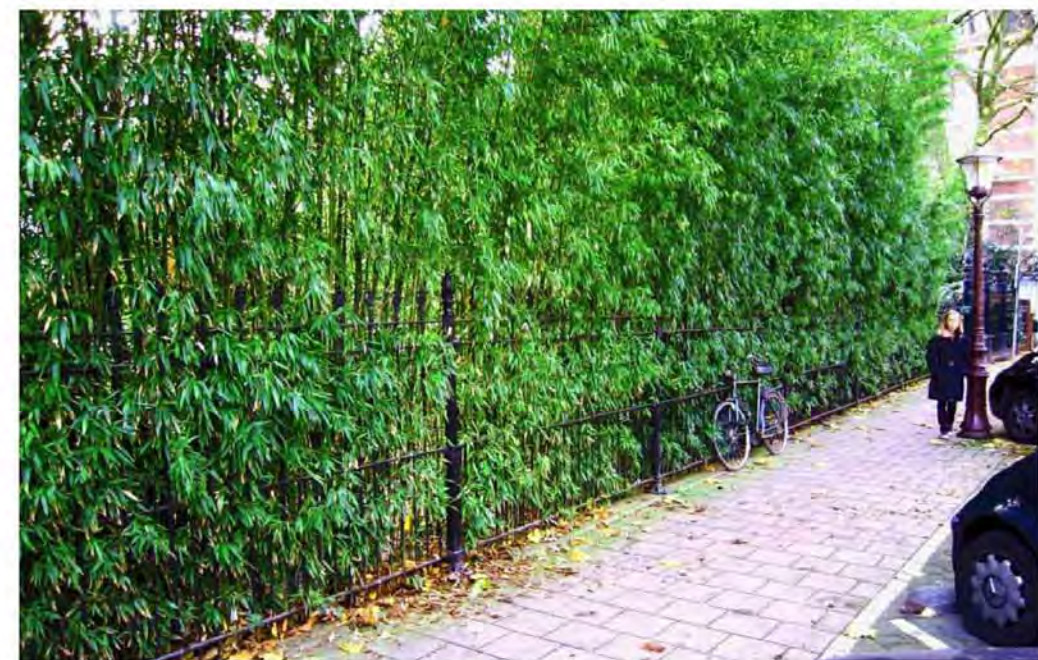
ACE BUERGERIANUM  
DESIGNATED STREET TREE,  
27th AVE.



ACE RUBRUM 'OCTOBER GLORY'  
DESIGNATED STREET TREE, 28th  
AVE.



PRUNUS CAROLINANA  
'BRIGHT & TIGHT'



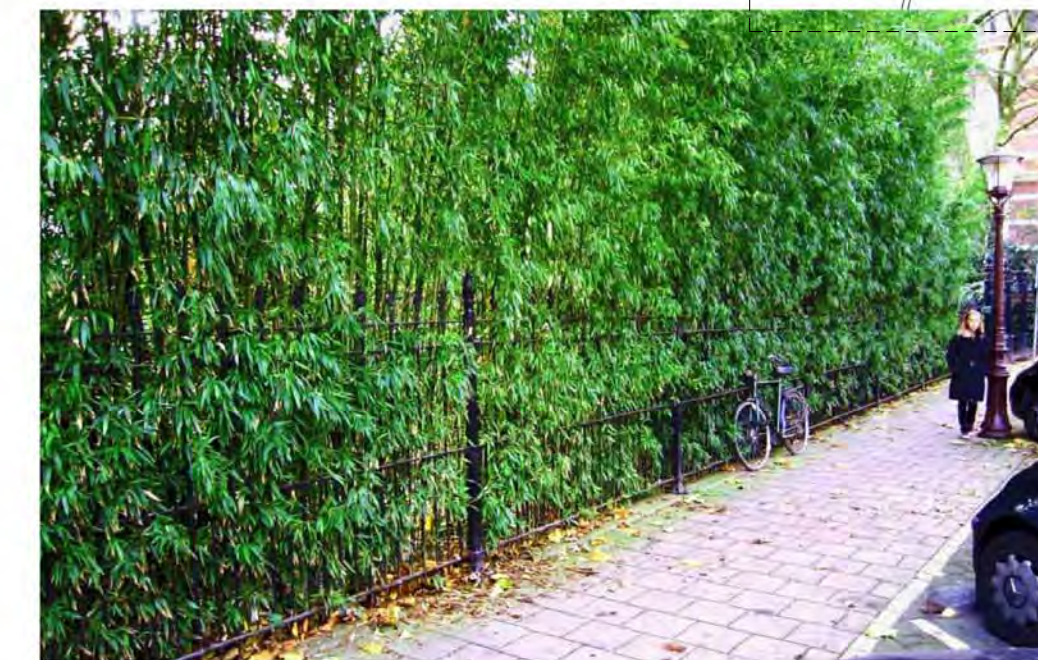
PHYLLOSTACHYS BISSETTI  
BISSETTI BAMBOO



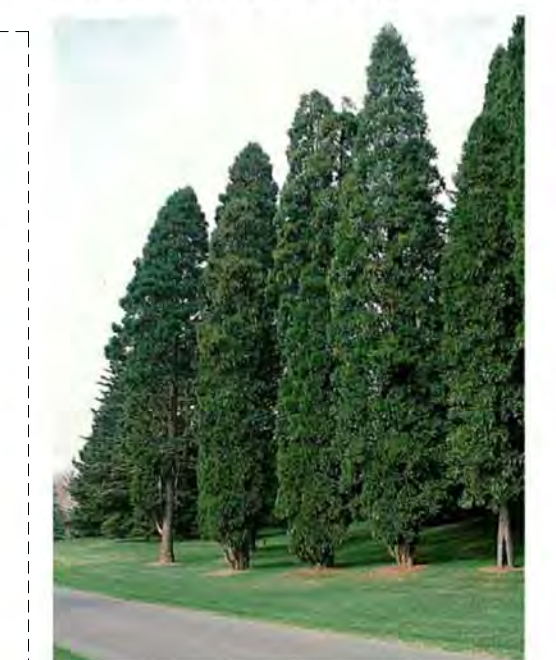
BAMBUSA OLDHAMII  
GIANT TIMBER BAMBOO



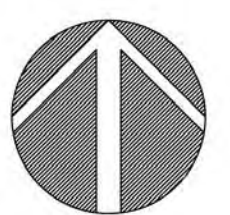
PRUNUS CAROLINANA  
'BRIGHT & TIGHT'



PHYLLOSTACHYS BISSETTI  
BISSETTI BAMBOO



EXISTING CALOCEDRUS DECURENS  
INCENSE CEDAR, TYP. OF 8





PRECAST LIGHTWEIGHT PLANTERS



SPECIMEN MULTI-TRUNK  
LAGERSTROEMIA HYBRID



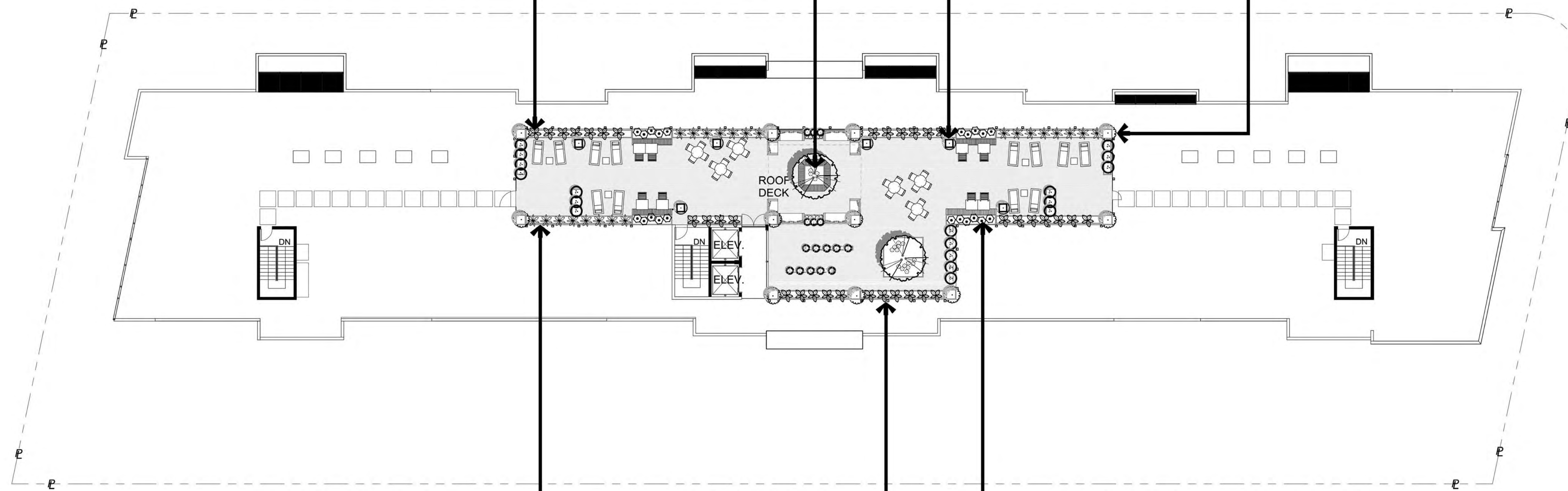
DWARF CITRUS TREES



NON-FRUITING DWARF  
OLIVE TREES



"LITTLE OLLIE" EVERGREEN SHRUB &  
PRECAST LIGHTWEIGHT PLANTERS



SEMIARUNDINARI YASHADAKE  
'KIMMEI'



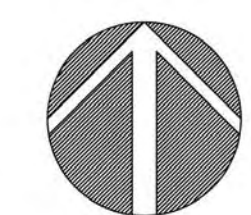
BAMBUSA MULTIPLEX  
'ALPHONSE KARR'



AEONIUM HYBRIDS



PHORMIUM HYBRIDS



**GROUND FLOOR / STREET LEVEL (PART-SHADE)**

BAMBOO	BOTANICAL NAME	COMMON NAME	SIZE	REMARKS
BAM OLD	Bambusa oldhamii	Giant Timber Bamboo	5 gal	M
BAM TEX	Bambusa textilis	Weaver's Bamboo	5 gal	M
PHY BIS	Phyllostachys bissettii	Bissett Bamboo	5 gal	M
PLE VIR	Pleioblastus viridistriatus	Dwarf Whitestripe Bamboo	5 gal	M
SHRUBS	BOTANICAL NAME	COMMON NAME	SIZE	REMARKS
AGA BLU	Agave x 'Blue Glow'	Blue Glow Agave	5 gal	L
ASP SPR	Asparagus densiflorus 'Sprenger Compacta'	Sprenger Asparagus	5 gal	L
ASP ASP	Asparagus densiflorus 'Sprenger'	Sprenger Asparagus	5 gal	L
AUC NAN	Aucuba japonica 'Nana' & 'Variegata Nana'	Dwarf Aucuba	5 gal	L
CHO TEC	Chondropetalum tectorum	Cape Rush	5 gal	M
CLI MIN	Clivia miniata 'Flame' & 'San Marcos Yellow'	Kaffir Lily	1 gal	L
DIC ANT	Dicksonia antarctica	Tasmanian Tree Fern	5 gal	M
DIE BIC	Dietes bicolor	Fortnight Lily	5 gal	L
HAK MAC	Hakonechloa macra	Japanese Forest Grass	5 gal	M
HAK AUR	Hakonechloa macra 'Aureola'	Golden Variegated Hakonechloa	5 gal	M
HEL SEM	Helictotrichon sempervirens	Blue Oat Grass	5 gal	L
HEU HYB	Heuchera Hybrids	Coral Bells	1 gal	M
HOS HYB	Hosta Hybrids	Plantain Lily	5 gal	M
JUN PAT	Juncus patens	California Gray Rush	1 gal	M
LIR GIG	Liriope gigantea	Giant Liriope	1 gal	M
LIR SUN	Liriope muscari 'Silvery Sunproof'	Silvery Sunproof Blue Lilyturf	5 gal	M
LOR CHI	Loropetalum chinense	Loropetalum	5 gal	M
PHI BIP	Philodendron bipinnatifidum	Cut Leaf Philodendron	5 gal	M
PIT MAR	Pittosporum tenuifolium 'Marjorie Channon'	Tawhiwhi	5 gal	M
PIT CRE	Pittosporum tobira 'Cream De Mint' TM	Cream De Mint Dwarf Mock Orange	5 gal	L
PRU CAR	Prunus caroliniana 'Bright and Tight'	Carolina Laurel Cherry	5 gal	L
ZAN AET	Zantedeschia aethiopica	Common Calla	5 gal	H

**DESIGNATED STREET TREES**

STREET TREES	BOTANICAL NAME	COMMON NAME	CONT	QUANTITY
ACE BUE	Acer buergerianum	Trident Maple	24"box	3
ACE GLO	Acer rubrum 'October Glory' TM	October Glory Maple	24"box	2
PLA ACE	Platanus x acerifolia	London Plane Tree	24"box	16

**ROOF DECK / UPPER LEVEL (PART-SUN)**

TREES	BOTANICAL NAME	COMMON NAME	SIZE	QUANTITY
LAG HYB	Lagerstroemia hybrid	Crape Myrtle - multi trunk	24" bx	2
OLE EUR	Olea europea dwarf	Dwarf non-fruiting olive	15 gal	6
BAMBOO	BOTANICAL NAME	COMMON NAME	SIZE	WUCOLS
BAM ALP	Bambusa multiplex 'Alphonse Karr'	Alphonse Karr Bamboo	5 gal	M
SEM YAS	Semiarundinaria yashadake 'Kimmei'	Red Cane Bamboo	5 gal	M
SHRUBS	BOTANICAL NAME	COMMON NAME	SIZE	WUCOLS
AEO KIW	Aeonium x 'Kiwi'	Kiwi Aeonium	1 gal	L
AEO SUN	Aeonium x 'Sunburst'	Aeonium	1 gal	L
AGA ATT	Agave attenuata	Agave	5 gal	L
ANI BUS	Anigozanthos x 'Bush Baby'	Bush Baby Kangaroo Paw	1 gal	L
CAR NAN	Carissa macrocarpa 'Nana'	Dwarf Natal Plum	1 gal	L
CHO TE2	Chondropetalum tectorum	Cape Rush	5 gal	M
CIT HYB	Citrus X lemon	Dwarf lemon tree	5 gal	M
DIE BIC	Dietes bicolor	Fortnight Lily	5 gal	L
EUP MAR	Euphorbia x martinii	Euphorbia	1 gal	M
EUP ASC	Euphorbia x martinii 'Ascot Rainbow'	Rainbow Spurge	1 gal	M
FES GLA	Festuca glauca	Blue Fescue	1 gal	L
HEL SEM	Helictotrichon sempervirens	Blue Oat Grass	5 gal	L
LIB PER	Libertia peregrinans	NCN	1 gal	L
OLE LIT	Olea europaea 'Little Ollie' TM	Little Ollie Olive	5 gal	L
PHO DAZ	Phormium tenax 'Dazzler'	New Zealand Flax	5 gal	L
PHO MAO	Phormium tenax 'Maori Queen'	New Zealand Flax	5 gal	L
PHO RAI	Phormium tenax 'Rainbow Warrior'	New Zealand Flax	5 gal	L
PHO GOL	Phormium x 'Gold Sword'	Gold Sword Flax	5 gal	L
PIT WHE	Pittosporum tobira 'Wheeler Dwarf'	Wheeler's Dwarf Mock Orange	5 gal	L

**PLANTING & WATER USE DESIGN INTENT STATEMENT**

THE PLANTING DESIGN INCORPORATES PRINCIPLES INCLUDED IN THE "BAY FRIENDLY LANDSCAPE GUIDELINES". THE PLANTING DESIGN UTILIZES DROUGHT TOLERANT PLANTS WITH SELECT LOW TO MEDIUM WATER-USE & SHADE TOLERANT ORNAMENTAL PLANTS THAT ARE ADAPTED TO THE LOCAL CONDITIONS. PLANTS ARE GROUPED BY HYDROZONE, EXPOSURE & LOCAL CLIMATIC CONDITIONS. THE PLANTING DESIGN ALLOWS FOR THE PLANTS TO REACH THEIR NATURAL, FULL-GROWN SIZE AND ELIMINATES THE NEED FOR EXCESSIVE PRUNING OR HEDGING.

STREET TREES SHOWN ARE THE APPROVED/DESIGNATED SPECIES PER THE CITY OF SAN MATEO. DWARF ORNAMENTAL TREES ARE UTILIZED ON THE ROOF DECK.

THE PLANTS HAVE BEEN SELECTED UTILIZING THE STATE OF CALIFORNIA'S MODEL WATER EFFICIENT LANDSCAPE ORDINANCE PLANT LIST, WUCOLS III, SANTA CLARA COUNTY WATER DISTRICT'S APPROVED PLANT LIST FOR STORM WATER TREATMENT.

NO PLANTS ARE USED THAT ARE CONSIDERED INVASIVE IN THE THE REGION AS LISTED BY THE CAL-IPC.

THE IRRIGATION SYSTEMS WILL BE AUTOMATIC, LOW GALLON USE DRIP SYSTEM. LOW, MEDIUM AND HIGH WATER USE HYDROZONES WILL BE ON SEPARATE VALVE CIRCUITS. ALL NEW TREES WILL BE IRRIGATED WITH BUBBLERS ON A SEPARATE CIRCUIT. ALL EXISTING TREES TO REMAIN WILL BE IRRIGATED PER THE ARBORIST'S RECOMMENDATIONS.

THE REMOTE CONTROL VALVES WILL HAVE INTEGRAL PRESSURE REGULATORS TO PREVENT FLUCTUATIONS AND ENSURE CONSTANT APPLICATION RATES TO MINIMIZE OVER OR UNDER WATERING. THE ELECTRONIC IRRIGATION CONTROLLER WILL HAVE SEASON ADJUSTMENTS, MULTIPLE PROGRAMS AND APPLICATION CYCLES/START TIMES. A RAIN SWITCH WILL BE INSTALLED TO PREVENT IRRIGATION DURING RAINY PERIODS. A FLOW SENSOR AND MASTER VALVE WILL BE CONNECTED TO THE CONTROLLER TO ALLOW AUTOMATIC SHUT OFF OF ANY VALVE CIRCUIT OR MAIN LINE IN THE EVENT OF A PIPE BRAKE TO PREVENT WATER WASTE.

**NEW TREES**

PLEASE SEE ARBORIST'S REPORT & TREE EVALUATION ALONG WITH THE "REQUIRED TREE PLANTING FORM" INCLUDED WITH THIS SUBMITTAL.

SUMMARY BELOW AS FOLLOWS:

REQUIRED TREE PLANTING		
LANDSCAPE AREA	4392 SF	
NEW TREES REQUIRED	11	
EXISTING TREES TO REMAIN	8	
LU VALUE TO BE REPLACED	45.73	

NEW TREE PROVIDED		
QUANTITY	SIZE	LU VALUE
23	24" BOX TREES	46
6	15 GALLON	6
		TOTAL LU VALUE: 52

**GROUND FLOOR / STREET LEVEL (PART-SHADE)**



PITTOSPORUM 'MARJORIE CHANNON'



PRUNUS CAROLINANA 'BRIGHT N TIGHT'



BAMBUSA TEXTILIS



BAMBUSA OLDHAMII



HAKONECHLOA & HOSTAS



DIETES BICOLOR



DICKSONIA ANTARCTICA



AUCUBA JAPONICA



CLIVIA MINATA



HEUCHERA & HAKONECHLOA MACRA



AGAVE 'BLUE GLOW'



AGAVE 'BLUE GLOW'



CLIVIA MINATA



CHONDROPETALUM TECTORUM



PHILODENDRON BIPINNATIFIDUM



ZANTEDESCHIA AETHIOPICA



ASPARAGUS DENSIFLORUS 'SPRENGERII'



JUNCUS PATENS



PITTOSPORUM TOBIRA 'CREAM DE MINT'

**ROOF DECK / UPPER LEVEL (PART-SUN)**



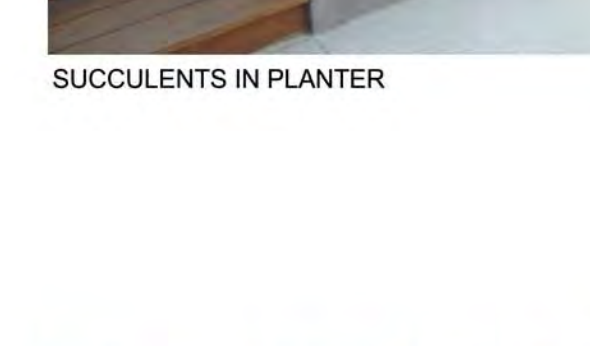
AEONIUM & AGAVE



BAMBUSA MULTIPLEX



EUPHORBIA HYBRID



SUCCULENTS IN PLANTER



AEONIUM & PHORIUM



SEMIARUNDINARIA YASHADAKE



AGAVE ATTENUATA



AEONIUM x SUNBURST



CHONDROPETALUM TECTORUM



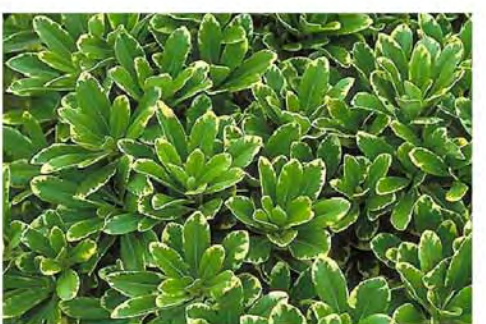
DIETES BICOLOR



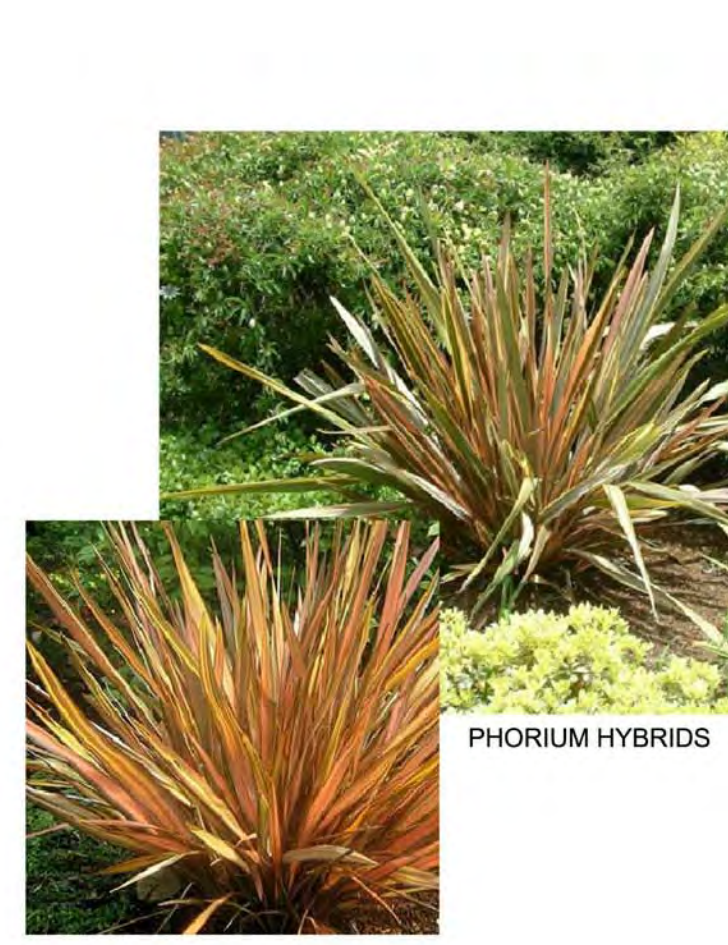
LIBERTIA PEREGRINANS



SENECIO MANDRALISCAE



PITTOSPORUM TOBIRA 'WHEELERS DWF'



PHORIUM HYBRIDS



EUPHORBIA HYBRID



ANIGOZANTHOS



ANIGOZANTHOS



FESTUCA GLAUCA



HELICOTRICHON SEMPERVIRENS



OLEA 'LITTLE OLLIE'



DWARF CITRUS IN POTS



September 17, 2014

September 17, 2014

Winnie Lam  
Hillsdale Terraces, LLC  
159 El Camino Real  
Millbrae, CA 94030

**Re: Hillsdale Terrace Tree Evaluation Survey at 2700-2790 of S. El Camino Real, San Mateo, CA**

Dear Ms. Lam,

On behalf of the Arborwell team, I would like to thank you for the opportunity to provide you with this tree evaluation survey for your upcoming planning submittal. This survey includes a *Tree Evaluation Schedule* and a *Tree Inventory Map*, along with the require planning submittal forms.

**Site Description & Background**

Hillsdale Terrace at 2700-2790 S. El Camino Real is a commercial property in the El Camino Real Corridor of San Mateo, California. The property encompasses an undeveloped lot on the southwest corner of the property and to the north of the lot, several small buildings that house commercial stores.

All *Major Vegetation*, defined as any tree with a trunk six (6) inches or greater measured at forty-eight (48) inches above natural grade, on-site was inventoried. Individual trees were mapped but not physically tagged onsite due to the small nature of the property.

There were thirty-nine (39) trees on-site or neighboring the property that are considered *Major Vegetation*. There are no Heritage Trees on the property, as defined by the City of San Mateo's Heritage Tree Ordinance §13.52.020, "any tree with a trunk diameter of sixteen (16) inches or more measured at forty-eight (48) inches above natural grade." Many, if not all, trees onsite were declining in health and will likely require removal. Site conditions may change over time.

**Methodology**

All individuals were identified in the field and identified with a number. Each tree was assessed on an individual basis and observations were made accordingly. *Major Vegetation* was recorded in *Tree Evaluation Schedule* and a *Tree Inventory Map*, mapped using ArcView® GIS.

A modified appraisal of the subject trees was performed under the direction of the *Guide for Plant Appraisal, 9th Edition* issued by the International Society of Arboriculture (ISA), Champaign, Illinois 2000, and adapted by the City of San Mateo to arrive at a LU Value. *The Species Classification and Group Assignment* (1992), a publication of the Western Chapter of the International Society of Arboriculture, was used to determine the species value. The appraised LU Value of the tree was determined using the City of San Mateo's *Tree Evaluation Schedule*.

The formula is as follows:

$$LU\ Value = (Species * Condition * Location) / 0.35 \text{ (Caliper Size * 0.70 if in allowable bldg. area * 1.25 if Heritage Tree)}$$

**Location:** each tree was assigned a location value according to *The Guide for Plant Appraisal*, which includes the average of the *site rating* (10 to 100 percent), *contribution rating* (10 to 100 percent), and *placement rating* (10 to 100 percent). Because the trees are situated within a continuous landscape, the above ratings were assigned the following:

- **Property Perimeter:** these trees serve as screen. Some have not been placed. They provide no shade, have had little maintenance, and contributed little to the long-term of the site – 20%
- **Parking Lot:** these trees were placed in the parking lot planting areas, yet have been improperly maintained – 40%
- **Street Trees:** while these trees are well placed, they are not maintained yearly – 70%
- **Landscaped Area:** these trees are well placed in high-visibility planting vaults but were not maintained regularly – 60%
- **Neighboring Property:** the trees were located on the neighboring property and yet influence the site – 40%

**Species:** each tree was assigned values in accordance with the species value corrected by the regional supplement for California, *Species Classification and Group Assignment*, available from the Western Chapter of the International Society of Arboriculture.

**Condition:** each tree has an assigned a value between 0% and 100% based on the derived value of health and structural conditions observed on the dates of inspection. Observations were recorded as *poor* = 1, *fair* = 2, *moderate* = 3, *good* = 4, and *excellent* = 5 (see Exhibit 1 for *condition ratings*), and then both values were added together then multiplied by 10 to arrive at a percentage.

**Appraisal Discussion & Conclusion**

For the purpose of this report, the LU Value derived is an approximation of an individual tree's LU Value and does not represent absolute values based on the inherent subjectivity, and questionable results, of the *Tree Evaluation Schedule*. The total appraised LU Value for the existing Hillsdale Terrace property's trees is **49,024**. If a new development is being proposed, I recommend all trees on the site be removed and replaced with high-value specimens. Neighboring trees should be preserved in place.

Thank you again; we look forward to building a long lasting relationship and taking care of your trees. Please review this information and contact me with any questions or concerns regarding the information provided in this letter.

Sincerely,

Sam Oakley  
ISA Certified Arborist, WE-9474A, TRAQ  
ASCA Registered Consulting Arborist #556

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FORMULA FOR LU VALUE:													
Ref.	Location	Species Name	Common Name	Major Vegetation (≥ 6" DBH)	Species Value %	Condition Value %	Location Value %	0.35x	x	x	x	=	
								Caliper inches	0.70 if in allowable	1.25 if heritage tree	LU Value	Note	
1	Unmaintained Landscape	Liquidambar styraciflua	Sweetgum	Yes	50	40	40	0.35	14	0.7	1	2.24	Branch Failure
2	Unmaintained Landscape	Liquidambar styraciflua	Sweetgum	Yes	50	40	40	0.35	12	0.7	1	1.92	Poor structure
3	Property Perimeter	Calocedrus decurrens	Incense Cedar	Yes	70	40	20	0.35	7	0.7	1	0.784	Raised
4	Property Perimeter	Calocedrus decurrens	Incense Cedar	Yes	70	40	20	0.35	7	0.7	1	0.784	Raised
5	Property Perimeter	Calocedrus decurrens	Incense Cedar	Yes	70	40	20	0.35	7	0.7	1	0.784	Raised
6	Property Perimeter	Calocedrus decurrens	Incense Cedar	Yes	70	40	20	0.35	7	0.7	1	0.784	Raised
7	Property Perimeter	Calocedrus decurrens	Incense Cedar	Yes	70	40	20	0.35	7	0.7	1	0.784	Raised
8	Property Perimeter	Calocedrus decurrens	Incense Cedar	Yes	70	40	20	0.35	7	0.7	1	0.784	Raised
9	Property Perimeter	Calocedrus decurrens	Incense Cedar	Yes	70	40	20	0.35	7	0.7	1	0.784	Raised
10	Property Perimeter	Calocedrus decurrens	Incense Cedar	Yes	70	40	20	0.35	7	0.7	1	0.784	Raised
11	Property Perimeter	Calocedrus decurrens	Incense Cedar	Yes	70	40	20	0.35	7	0.7	1	0.784	Raised
12	Property Perimeter	Calocedrus decurrens	Incense Cedar	Yes	70	40	20	0.35	12	0.7	1	1.344	
13	Property Perimeter	Calocedrus decurrens	Incense Cedar	Yes	70	40	20	0.35	12	0.7	1	1.344	
14	Property Perimeter	Calocedrus decurrens	Incense Cedar	Yes	70	0	20	0.35	12	0.7	1	0	Dead
15	Property Perimeter	Calocedrus decurrens	Incense Cedar	Yes	70	0	20	0.35	10	0.7	1	0	Dead
16	Neighboring Property	Calocedrus decurrens	Incense Cedar	Yes	70	40	40	0.35	10	0.7	1	2.24	Poor structure
17	Property Perimeter	Maytenus boaria	Mayten	Yes	50	0	20	0.35	12	0.7	1	0	Dead
18	Property Perimeter	Calocedrus decurrens	Incense Cedar	Yes	70	40	20	0.35	4	0.7	1	0.448	
19	Property Perimeter	Maytenus boaria	Mayten	Yes	50	40	20	0.35	4	0.7	1	0.32	
20	Parking Lot	Maytenus boaria	Mayten	Yes	50	40	40	0.35	14	0.7	1	2.24	
21	Parking Lot	Calocedrus decurrens	Incense Cedar	Yes	70	20	40	0.35	14	0.7	1	1.568	Topped
22	Parking Lot	Calocedrus decurrens	Incense Cedar	Yes	70	20	40	0.35	14	0.7	1	1.568	Topped
23	Parking Lot	Calocedrus decurrens	Incense Cedar	Yes	70	20	40	0.35	14	0.7	1	1.568	Topped
24	Parking Lot	Calocedrus decurrens	Incense Cedar	Yes	70	20	40	0.35	14	0.7	1	1.568	Topped
25	Parking Lot	Calocedrus decurrens	Incense Cedar	Yes	70	20	40	0.35	14	0.7	1	1.568	Topped
26	Parking Lot	Calocedrus decurrens	Incense Cedar	Yes	70	20	40	0.35	14	0.7	1	1.568	Topped
27	Parking Lot	Calocedrus decurrens	Incense Cedar	Yes	70	20	40	0.35	14	0.7	1	1.568	Topped
28	Parking Lot	Calocedrus decurrens	Incense Cedar	Yes	70	20	40	0.35	14	0.7	1	1.568	Topped
29	Landscaped Area	Pyrus calleryana	Ornamental Pear	Yes	50	50	60	0.35	4	0.7	1	1.2	Some blight
30	Landscaped Area	Gleditsia tricanthos	Honey Locust	Yes	30	30	60	0.35	6	0.7	1	0.648	Poor structure and health
31	Landscaped Area	Gleditsia tricanthos	Honey Locust	Yes	30	30	60	0.35	4	0.7	1	0.432	Poor structure and health
32	Landscaped Area	Trachycarpus fortunei	Windmill Palm	Yes	90	60	60	0.35	11	0.7	1	7.128	Stunted growth
33	Property Perimeter	Callistemon citrinus	Bottle Brush	Yes	50	60	20	0.35	10	0.7	1	1.2	Multiple stems
34	Property Perimeter	Callistemon citrinus	Bottle Brush	Yes	50	60	20	0.35	4	0.7	1	0.48	Multiple stems
35	Property Perimeter	Callistemon citrinus	Bottle Brush	Yes	50	60	20	0.35	12	0.7	1	1.44	Multiple stems
36	Neighboring Property	Pinus radiata	Monterey Pine	Yes	30	40	40	0.35	14	0.7	1	1.344	Topped
37	Neighboring Property	Eucalyptus sideroxylois	Red Ironbark Eucalyptus	Yes	10	40	40	0.35	12	0.7	1	0.384	Topped
38	Neighboring Property	Eucalyptus sideroxylois	Red Ironbark Eucalyptus	Yes	10	40	40	0.35	12	0.7	1	0.384	Topped
39	Neighboring Property	Cinnamomum camphora	Camphor	Yes	70	40	40	0.35	12	0.7	1	2.688	Topped



NOTE - CALOCEDRUS DECURRENS TREES #3-10 TO BE PRESERVED

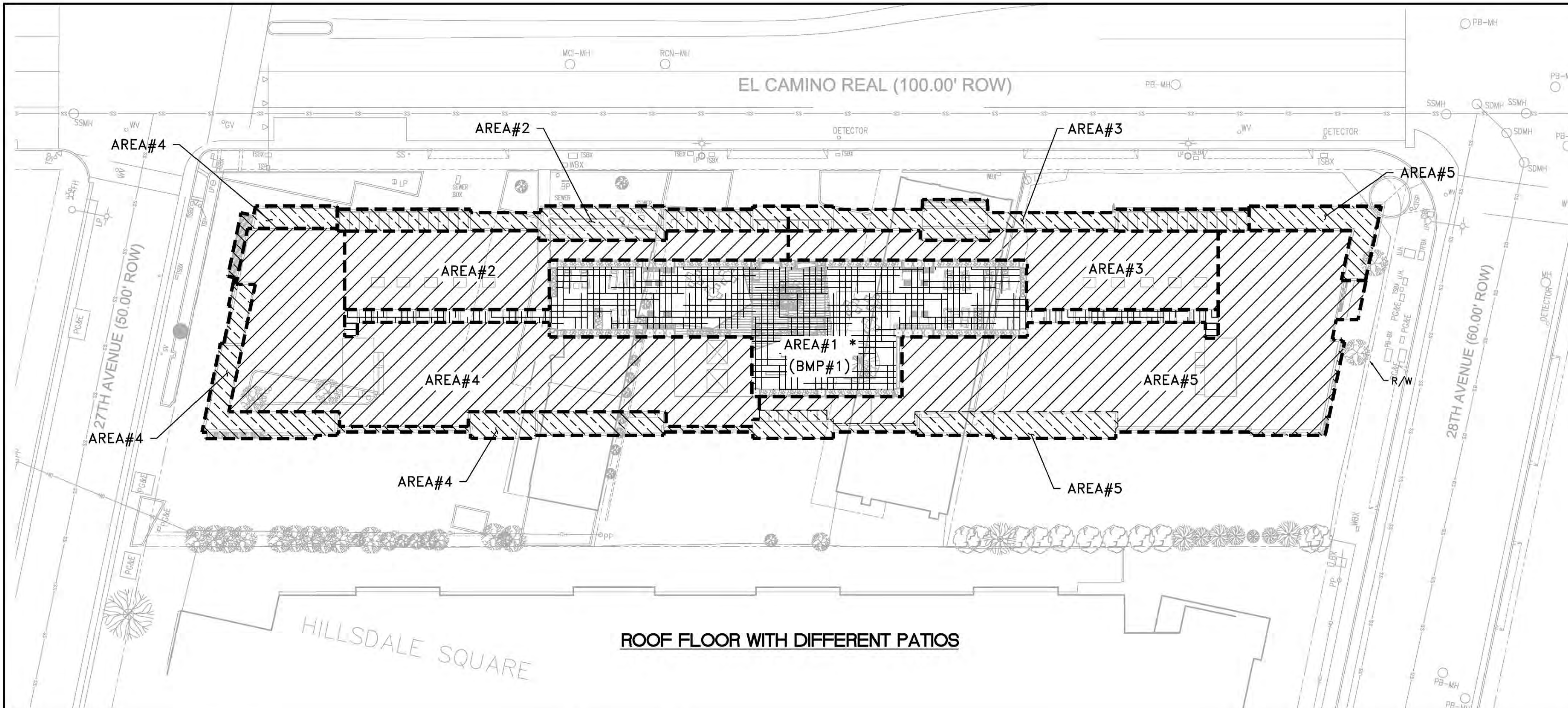
**HILLSDALE TERRACE**

2700 SOUTH EL CAMINO REAL  
SAN MATEO, CA 94403

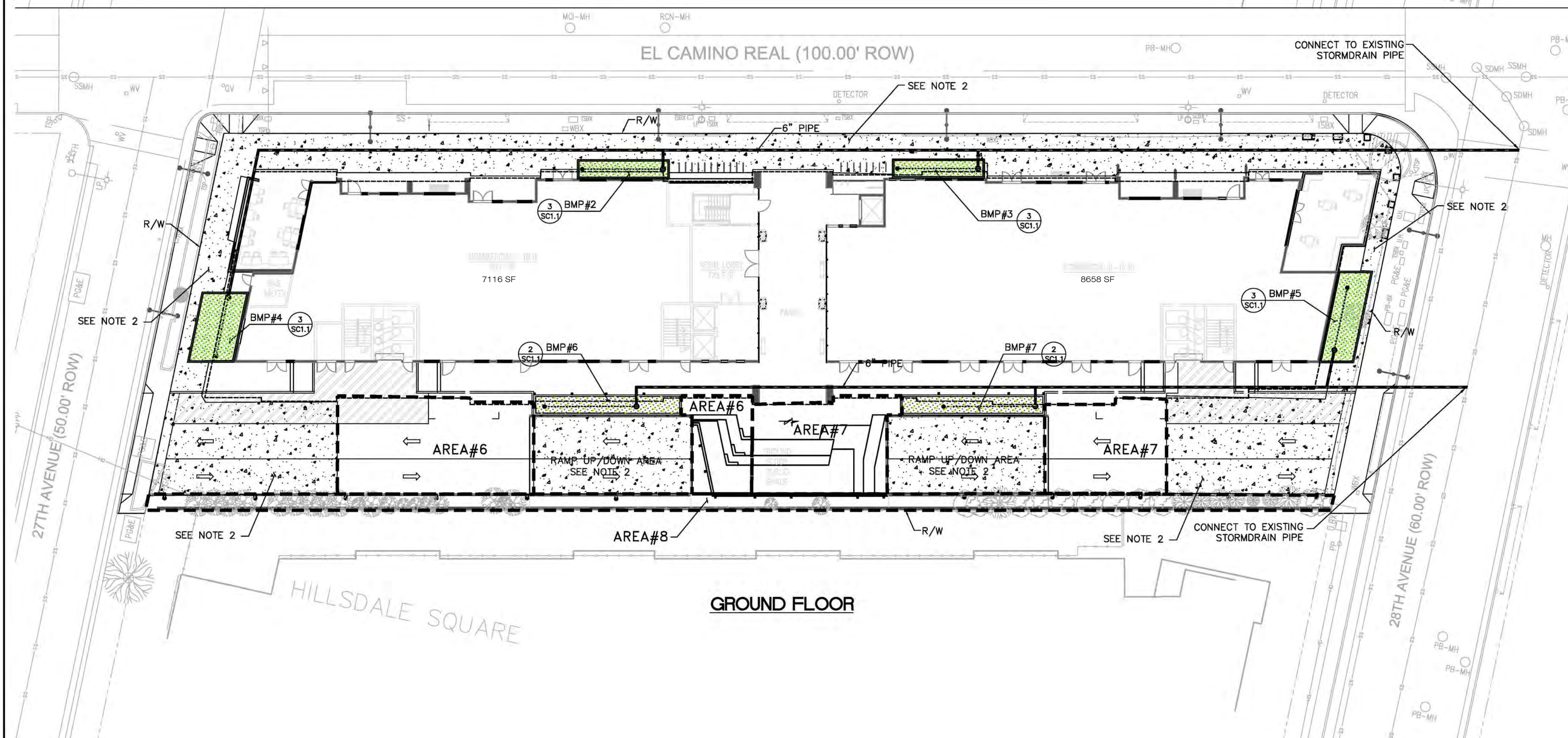
**TREE EVALUATION SCHEDULE**

SCALE: NTS

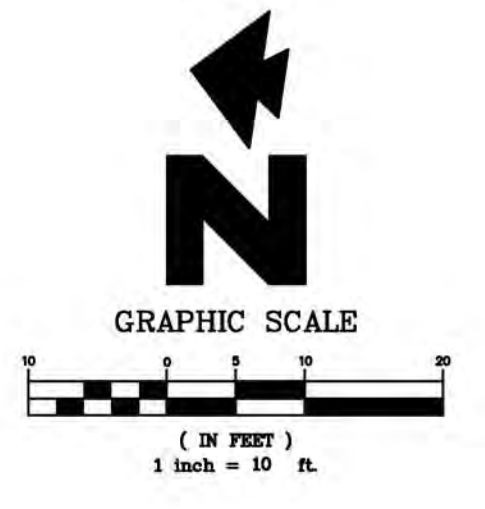
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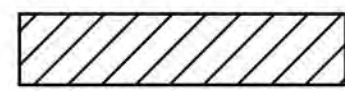
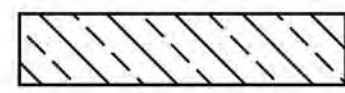


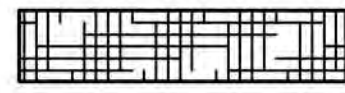


ROOF FLOOR WITH DIFFERENT PATIOS



GROUND FLOOR



LEGEND

-  AREA#1 = DRAINAGE BOUNDARY
-  = ROOF
-  = PATIO/SKYLIGHT
-  = BIO-RETENTION AREA
-  = FLOW THROUGH PLANTER AREA
-  = ROOF GARDEN COMBINED WITH PERMEABLE PAVER AND LANDSCAPE
-  = GROUND AREA, SEE NOTE 2 TO APPLY 25% CREDIT FOR SPECIAL PROJECT
-  = LANDSCAPE

TREATMENT MEASURE SIZING TABLE

TREATMENT AREA	PROPOSED TREATMENT METHOD(BMP#)	DRAINAGE AREA (SF)	REQUIRED TREATMENT AREA (SF) 4% OF DRAINAGE AREA	PROVIDED TREATMENT MEASURE(SF)
AREA#1 *	SELF-TREATING (BMP#1)	4990	-	-
AREA#2	FLOW-THROUGH PLANTER(BMP#2)	3240	130	138
AREA#3	FLOW-THROUGH PLANTER(BMP#3)	3170	127	138
AREA#4	FLOW-THROUGH PLANTER(BMP#4)	7080	283	284
AREA#5	FLOW-THROUGH PLANTER(BMP#5)	6550	262	292
AREA#6	BIO-RETENTION AREA(BMP#6)	2420	92	236
AREA#7	BIO-RETENTION AREA(BMP#7)	2340	104	231
AREA#8	LANDSCAPE	1910		
AREA#9	IMPERVIOUS AREA, SEE NOT 2	10,513		

- NOTES
- 1) SIZING GUIDELINE FOR FLOW BASED TREATMENT IS 4%, PER COUNTY OF SAN MATEO STANDARDS.
  - 2) FOR SIDEWALK ALONG EL CAMINO REAL, 27TH AVE, 28TH AVE, RAMP UP/DOWN, AND PORTION OF PRIVATE ROAD, THE PROJECT TEAM WOULD APPLY TREATMENT REDUCTION CREDIT, SEE SPECIAL PROJECT FORM FOR DETAILS.
  - 3) SEE LANDSCAPE PLAN FOR ONSITE PROPOSED LANDSCAPE DESIGN.
  - 4) DRAINAGE AREA 2, 3, 4 AND 5 CONTAIN ROOF AREAS, DIFFERENT FLOOR PATIO AREAS AND SKYLIGHT AREAS.
- \* ROOF DRAINAGE AREA COMBINED WITH LANDSCAPE AND PERMEABLE PAVER

REV.	DESCRIPTION	DATE
1	REVISED PLANS PER CITY COMMENTS	3/28/16



DATE:	02-17-2015
SCALE:	AS SHOWN
DRAWN:	CW
CHECK:	CW
JOB:	2014022



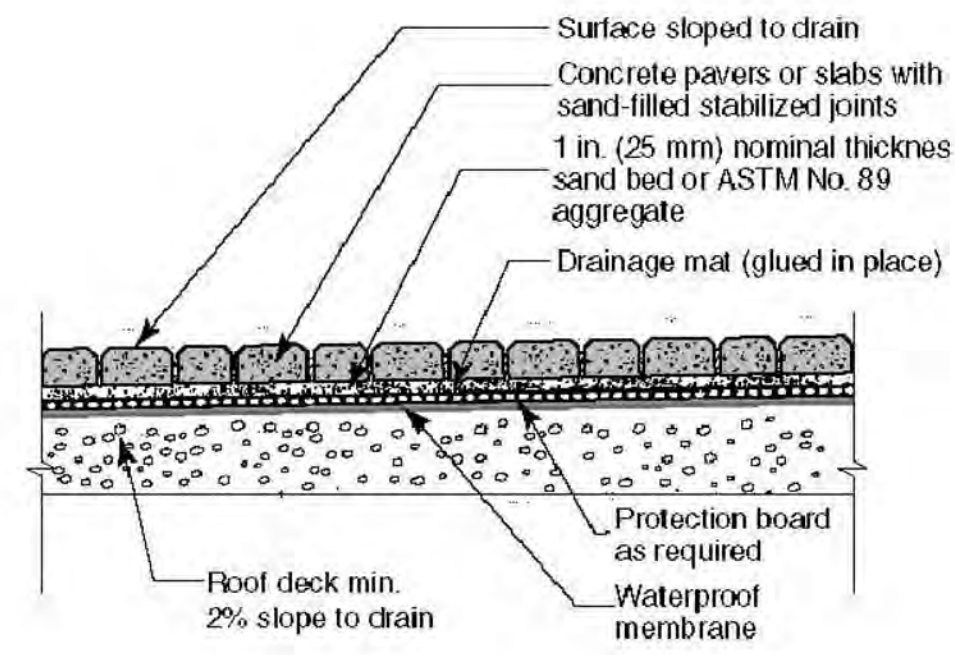
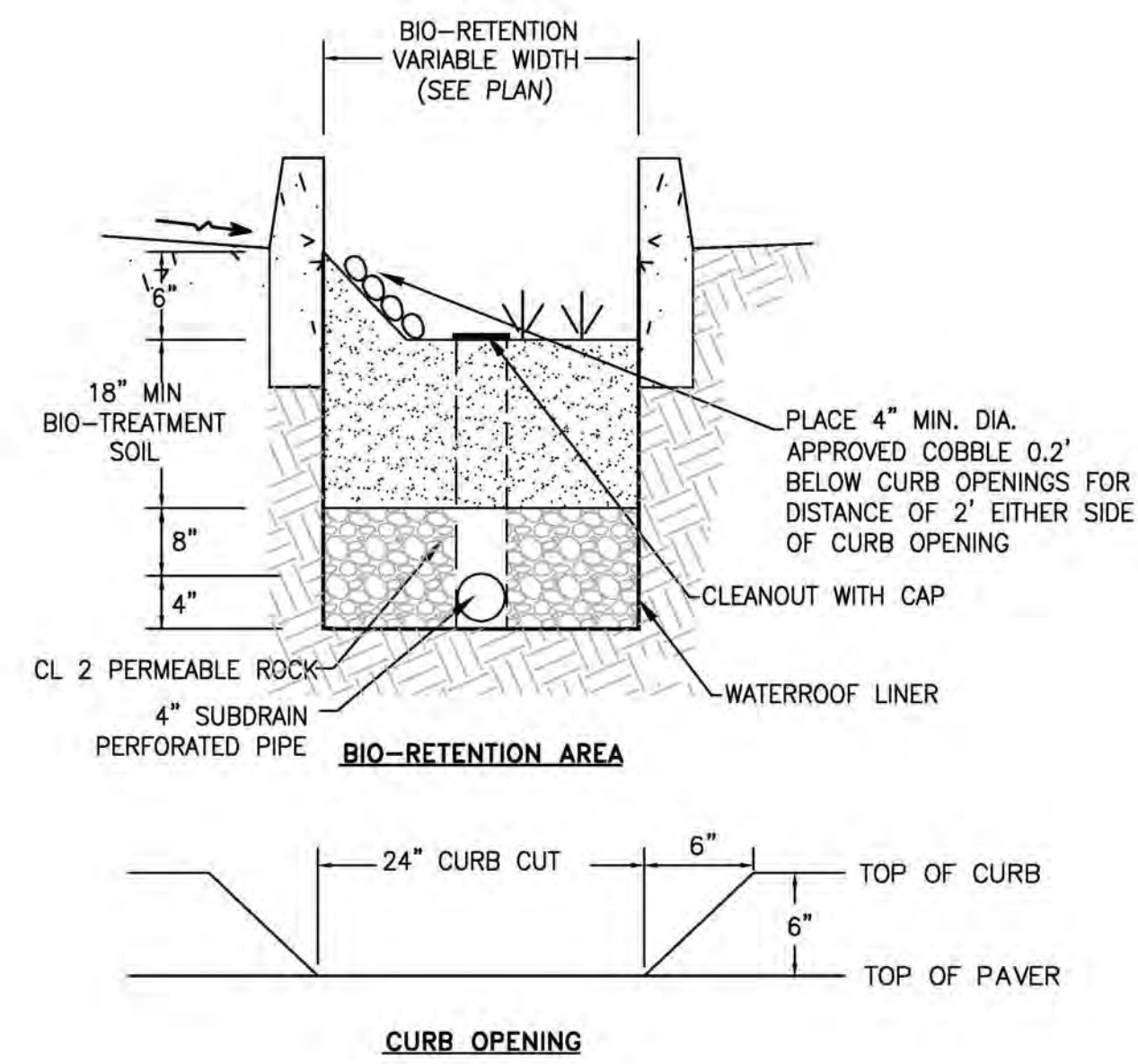
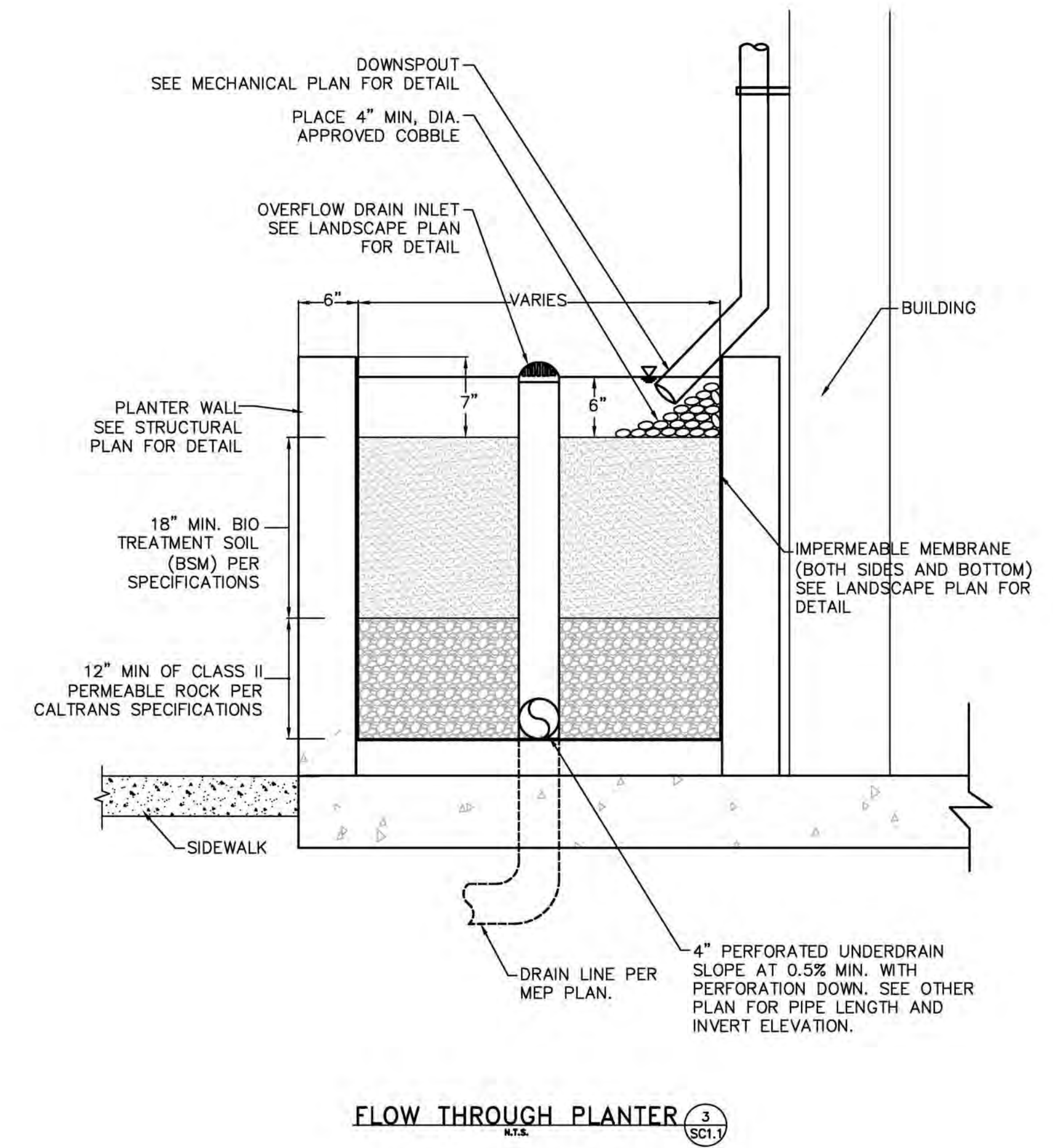


Figure 7. Sand-set concrete pavers or slabs for a pedestrian roof plaza deck. Units no larger than 12 x 12 in. (300 x 300 mm) length and width are recommended for sand-set applications to avoid tipping.

PERMEABLE PAVER  
N.T.S. (1) (SCT.1)



BIO-RETENTION AREA  
N.T.S. (2) (SCT.1)



FLOW THROUGH PLANTER  
N.T.S. (3) (SCT.1)

REV.	DESCRIPTION	DATE
1	REVISED PLANS PER CITY COMMENTS	3/28/16



DATE: 02-17-2015  
SCALE: AS SHOWN  
DRAWN: CW  
CHECK: CW  
JOB: 2014022

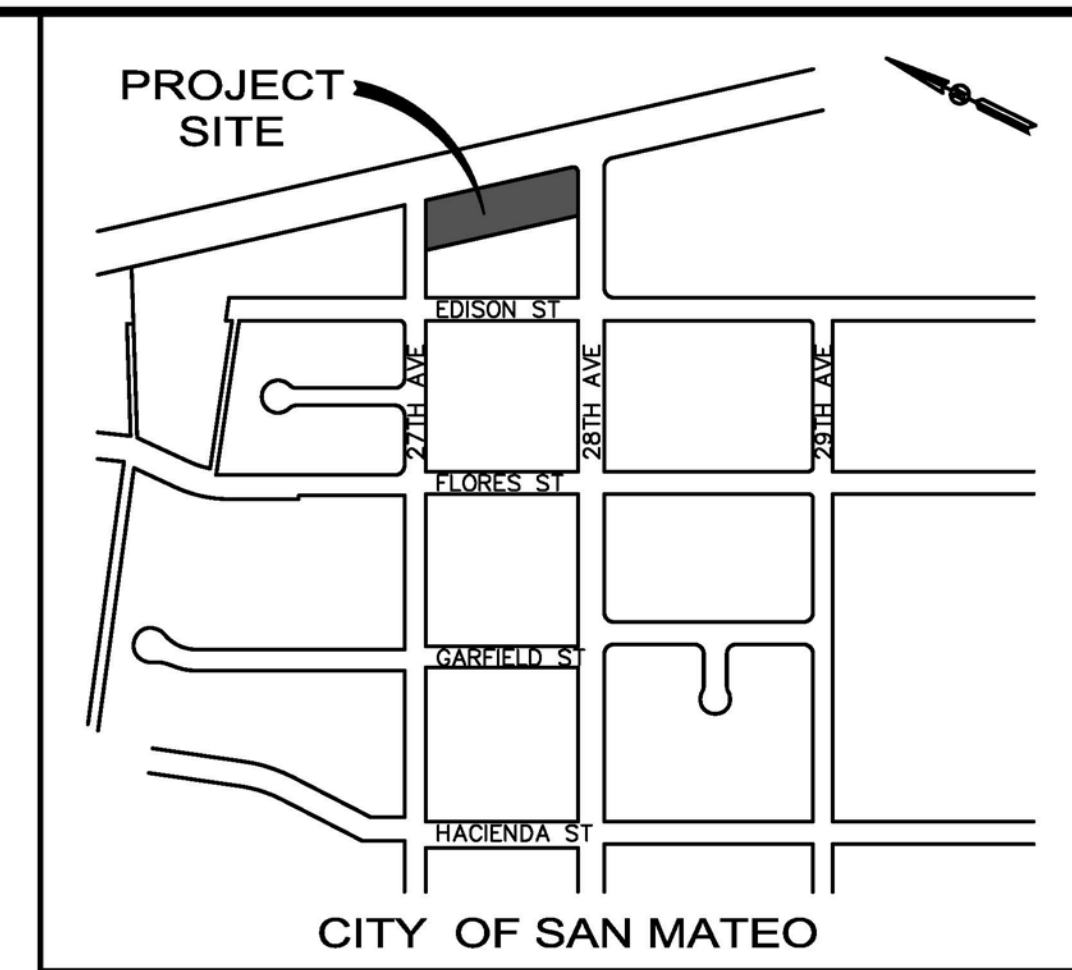
# TENTATIVE MAP

## HILLSDALE TERRACES

### 2700, 2728 & 2790 SOUTH EL CAMINO REAL

### SAN MATEO, SAN MATEO COUNTY, CALIFORNIA 94403

### FOR: HILLSDALE TERRACES, LLC



**VICINITY MAP**  
NOT TO SCALE

**ASSUMED BENCHMARK AT INTERSECTION OF 27TH AVE. & EDISON ST.**

ASSUMED BENCHMARK @ SSMH TOP RIM ELEVATION = 100.00 AS SHOWN ON THE MAP.

**BASIS OF BEARINGS**

THE BEARING N26°45'00"W OF THE CENTERLINE OF EDISON STREET (DERIVE FROM SPLITTING THE CURB LINES) PER "MAP SHOWING A SUBDIVISION OF LOTS 1, 2, 19, AND 21 OF THE BERESFORD PARK TRACT, SAN MATEO COUNTY, CAL." AND "33 RS 43", FILED IN THE OFFICE OF THE RECORDER OF SAN MATEO COUNTY, STATE OF CALIFORNIA, WAS USED AS BASIS OF BEARING FOR THIS SURVEY.

**DATE OF SURVEY:**

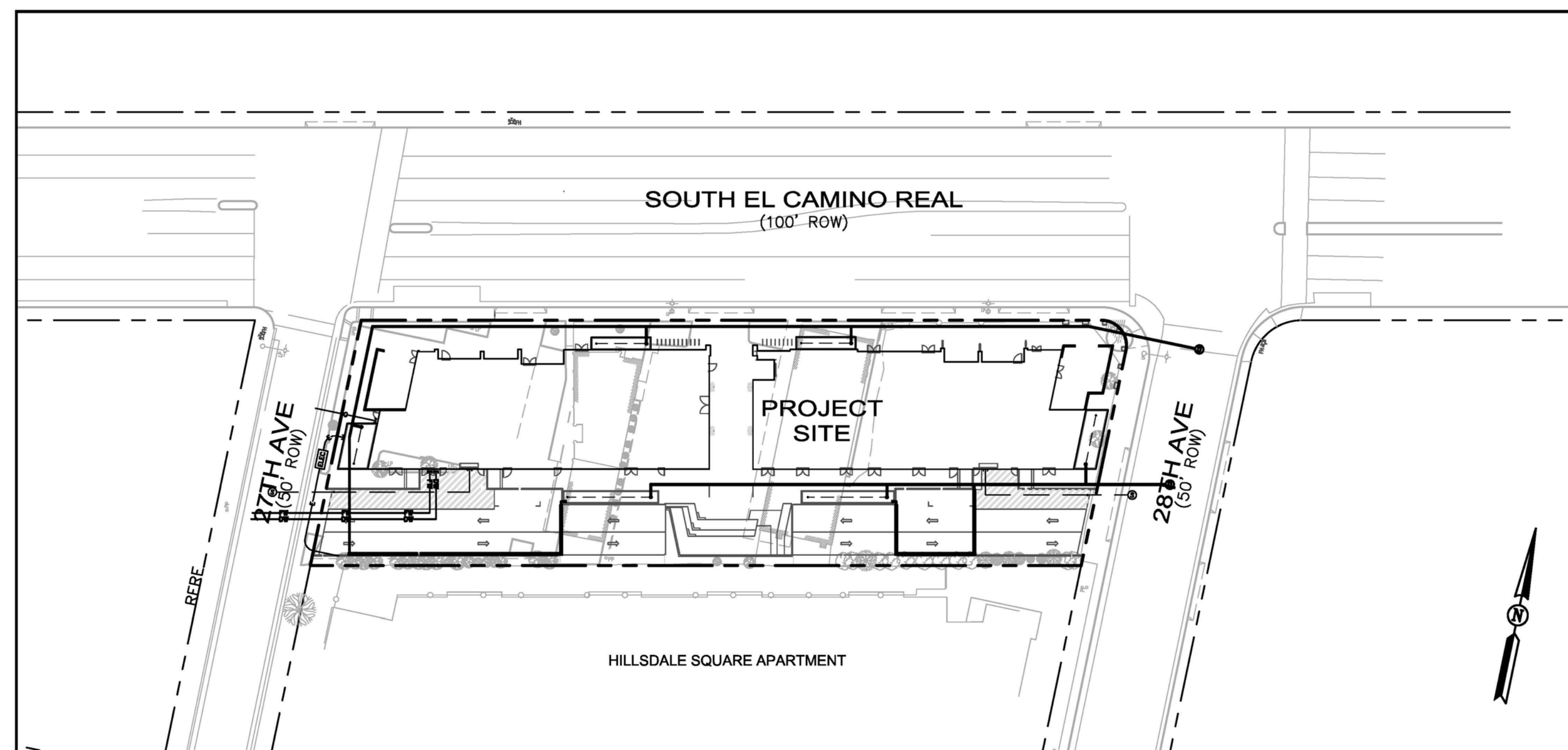
TOPOGRAPHIC INFORMATION SHOWN HERE IS BASED UPON A FIELD SURVEY PERFORMED ON JANUARY 16, 2014.

**BOUNDARY NOTES:**

1. PROPERTY AND RIGHT-OF WAY SHOWN HEREON ARE BASED ON RECORD DATA AND NOT INTENDED TO BE A DETAILED FINAL SURVEY OF THE PROPERTY.
2. ALL ANGLES ARE 90° UNLESS OTHERWISE NOTED.
3. ALL DISTANCES ARE MEASURED IN FEET AND DECIMALS THEREOF.
4. PROPERTY LINE TO MONUMENT LINE MEASURED DISTANCES WERE BASED UPON FOUND SURVEY MARKS, CURB SPLITS AND BUILDING OCCUPATIONS.
5. ENCROACHMENT FROM/ONTO THE ADJOINING PROPERTIES THAT MAY EXIST OR MAY BE CONSTRUCTED IS HEREBY ACKNOWLEDGED AND IT SHALL THE RESPONSIBILITY SOLELY OF THE PROPERTY OWNERS INVOLVED TO RESOLVE ANY ISSUES WHICH MAY ARISE THERE FROM. THIS MAP DOES NOT CONVEY ANY INTEREST IN SUCH ENCROACHMENT AREAS TO THE PROPERTY OWNER(S).
6. RECORDED MAP REFERENCE: 33 RS 43, 103 RSM 06, AND 2 RSM 37, SAN MATEO COUNTY.
7. RECORD OWNERSHIP INFORMATION WAS TAKEN FROM GRANT DEED, INSTRUMENT NO. 2013-110986, DATED JULY 30, 2013.
8. BUILDING FOOTPRINTS SHOWN ARE ALL TAKEN ON THE GROUND LEVEL.

**UTILITY STATEMENT:**

THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND/OR RECORD DATA AND ARE APPROXIMATE ONLY. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES. ACTUAL LOCATION AND SIZE, TOGETHER WITH THE PRESENCE OF ANY ADDITIONAL UTILITY LINES NOT SHOWN ON THIS PLAN, SHALL BE VERIFIED IN THE FIELD BY THE CONTRACTOR DURING CONSTRUCTION. PRIOR TO ANY DIGGING, CALL U.S.A. (1-800-642-2444) AT LEAST 48 HOURS IN ADVANCE TO HAVE EXISTING UNDERGROUND UTILITIES MARKED.



**LOCATION MAP**  
NOT TO SCALE

**LEGEND :**

- PROPERTY LINE
- EXISTING LINE
- ////// BUILDING LIMITS
- ⊕ BENCHMARK REFERENCE
- OH— OVERHEAD ELECTRICAL LINE (APPROXIMATE)
- SD— STORM DRAIN LINE (APPROXIMATE)
- SS— SANITARY SEWER LINE (APPROXIMATE)

**ABBREVIATIONS:**

AC	ASPHALT CONCRETE	PB-MH	PACIFIC BELL MANHOLE
APN	ASSESSOR'S PARCEL NUMBER	PL	PROPERTY LINE
BM	BENCHMARK	PP	POWER POLE
BC	BUILDING CORNER	ROW	RIGHT OF WAY
BL	BUILDING LINE	RTW	RETAINING WALL
BOW	BOTTOM OF WALL	(R)	PER RECORD MAPS
BP	BACKFLOW PREVENTER	SS	STREET SIGN
BRC	BACK OF ROLL CURB	SDMH	STORM DRAIN MANHOLE
BW	BACK OF WALK	SSMH	SANITARY SEWER MANHOLE
CLR.	CLEAR	S/W	SIDEWALK
(D)	PER RECORDED DEED	TC	TOP OF CURB
DI	DRAIN INLET	TR	TREE
D/W	DRIVEWAY	TSBX	TRAFFIC SIGNAL BOX
EL./ELEV.	ELEVATION	TSP	TRAFFIC SIGNAL POLE
(E)/EX.	EXISTING	TW	TOP OF WALL
FH	FIRE HYDRANT	TYP.	TYPICAL
FL	FLOW LINE	(T)	TOTAL
GND	GROUND	WBX	WATER BOX
GV	GAS VALVE	WV	WATER VALVE
LG	LIP OF GUTTER	WD	WOODEN
LP	LIGHT POLE	±0.00' CLR.*	MEAS. FROM INSIDE FACE OF RTW./WALL TO PL
MIN	MINIMUM	±0.00' CLR/OVER.**	MEAS. FROM INSIDE WD. FACE OF FENCE TO PL
(M)/MEAS.	MEASURED	±0.00' CLR.***	MEAS. FROM BLDG. CORNER/LINE TO PL
MH	MANHOLE	0.00'∅	MEAS. FROM BASE OF THE TREE (APPROXIMATE).
NTS	NOT TO SCALE	Ⓢ	103 RSM 06
P.V.	PAVEMENT		

**SHEET INDEX**

TM-1	COVER SHEET
TM-2	EXISTING PARCELS & EASEMENTS
TM-3	PROPOSED PARCELS & EASEMENTS
TM-4	PRELIMINARY GRADING & DRAINAGE PLAN
TM-5	PRELIMINARY UTILITY PLAN

**GENERAL NOTES:**

1. OWNER / DEVELOPER: HILLSDALE TERRACES, LLC  
159 EL CAMINO REAL  
MILLBRAE, CA 94030
2. ARCHITECT: COSTA BROWN ARCHITECTURE, INC.  
1620 MONTGOMERY STREET, SUITE 300  
SAN FRANCISCO, CA 94111
3. CIVIL ENGINEER: GREEN CIVIL ENGINEERING  
204 EAST 2nd AVENUE #B20  
SAN MATEO, CA 94401
4. SURVEYOR: GLA CIVIL ENGINEERING, INC.  
944 MARKET STREET, SUITE 711  
SAN FRANCISCO, CA 94102
5. APN(S): 039-352-060  
039-352-070  
039-352-090
6. ZONING: C3-1/R4
7. LOT AREA:  
LOT 1 (MERGED TO 1 LOT) 0.999± ACRE  
039-352-060 0.378± ACRE  
039-352-070 0.298± ACRE  
039-352-090 0.323± ACRE
8. TOTAL NO. OF PROPOSED UNITS: COMMERCIAL - 17,804 SF OF FLOOR AREA  
RESIDENTIAL - 74 UNITS
9. TOTAL NO. OF PARKING PROVIDED: 171 SPACES  
56 (COMMERCIAL)  
100 (RESIDENTIAL)  
15 (VISITOR)
10. UTILITIES:  
WATER: CAL WATER  
SANITARY SEWER: CITY OF SAN MATEO  
STORM DRAIN: CITY OF SAN MATEO  
FIRE: CITY OF SAN MATEO  
GAS & ELECTRIC: PACIFIC GAS & ELECTRIC  
TELEPHONE: AT&T  
CABLE TV: COMCAST

**DRAFT**

REV.	DATE	DESCRIPTION
-	3/29/2016	TENTATIVE MAP PER DEPT. OF COMMUNITY DEVELOPMENT COMMENTS, 1/20/16

**GREEN**  
CIVIL ENGINEERING

204 E 2ND AVE #B20  
SAN MATEO, CA 94401



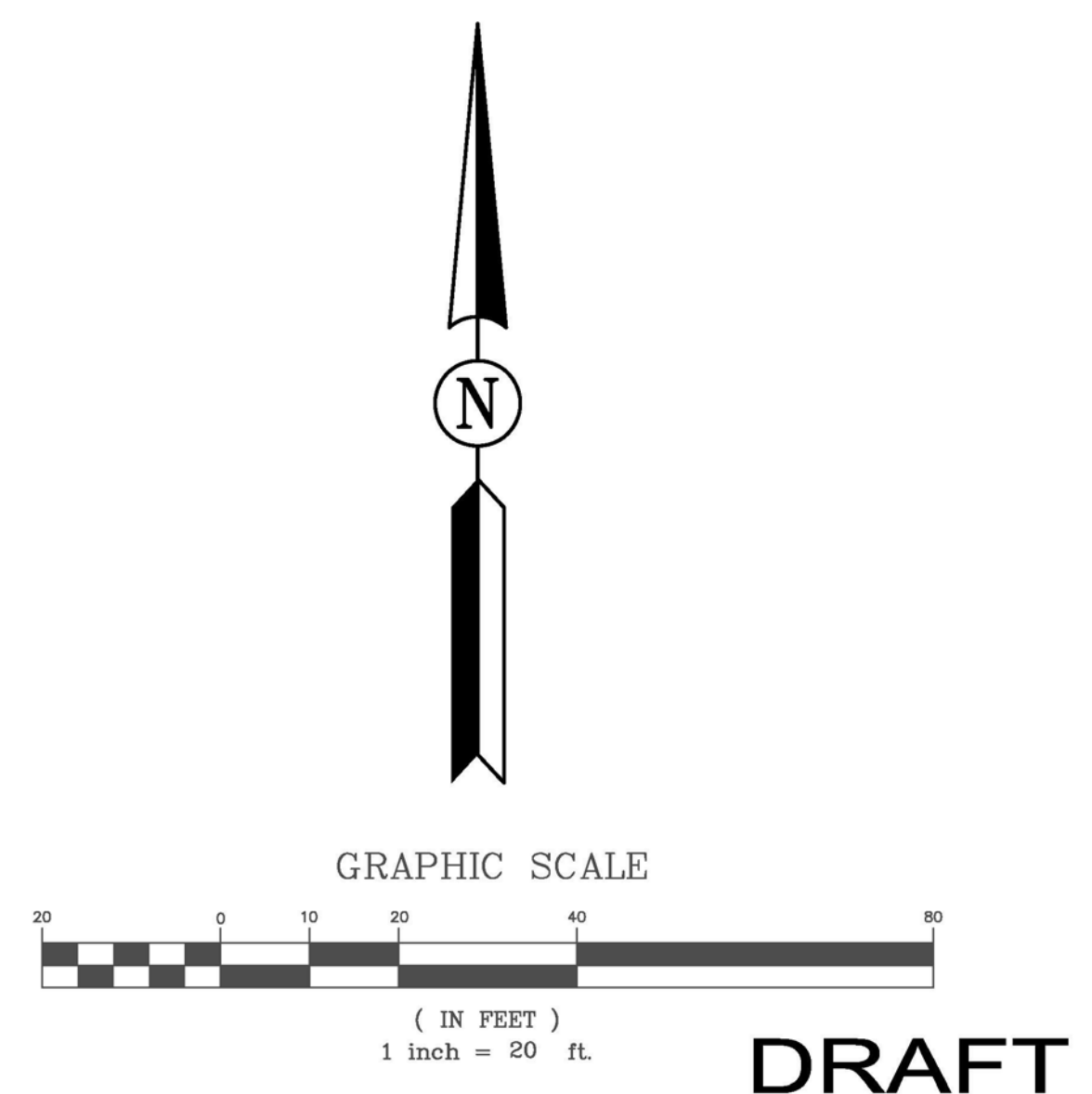
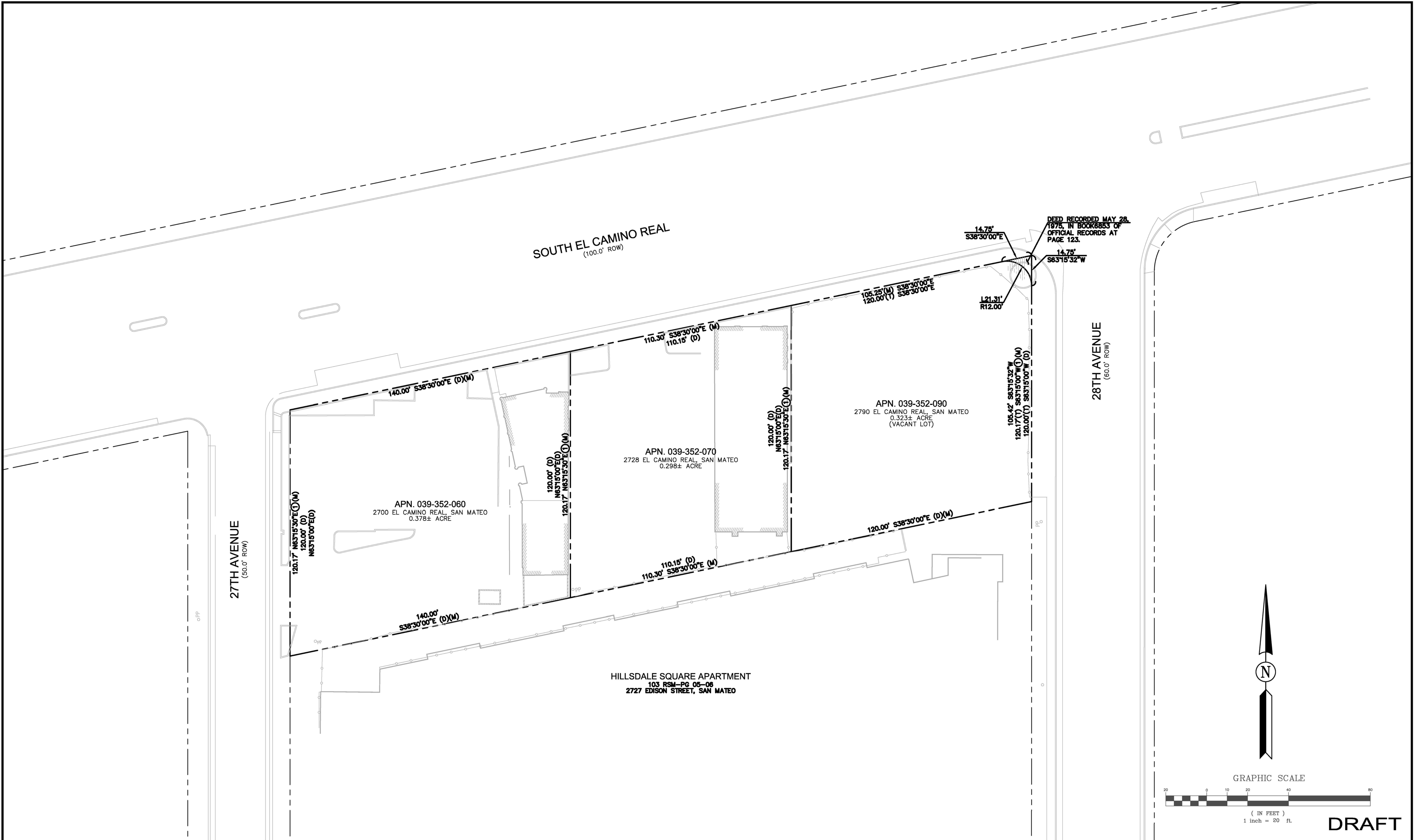
OWNER:  
**HILLSDALE TERRACES, LLC**

159 EL CAMINO REAL  
MILLBRAE, CA 94030

**COVER SHEET**  
**TENTATIVE MAP**

**2700, 2728 & 2790 SOUTH EL CAMINO REAL**  
**SAN MATEO, CALIFORNIA 94403**

SCALE VERTICAL: 1"= AS SHOWN HORIZONTAL: 1"= AS SHOWN
SHEET <b>TM-1</b> OF 5 SHEET
JOB NO. 2014022



**DRAFT**

REV.	DATE	DESCRIPTION
-	3/29/2016	TENTATIVE MAP PER DEPT. OF COMMUNITY DEVELOPMENT COMMENTS, 1/20/16

**GREEN**  
CIVIL ENGINEERING

204 E 2ND AVE #820  
SAN MATEO, CA 94401



OWNER:  
**HILLSDALE TERRACES, LLC**

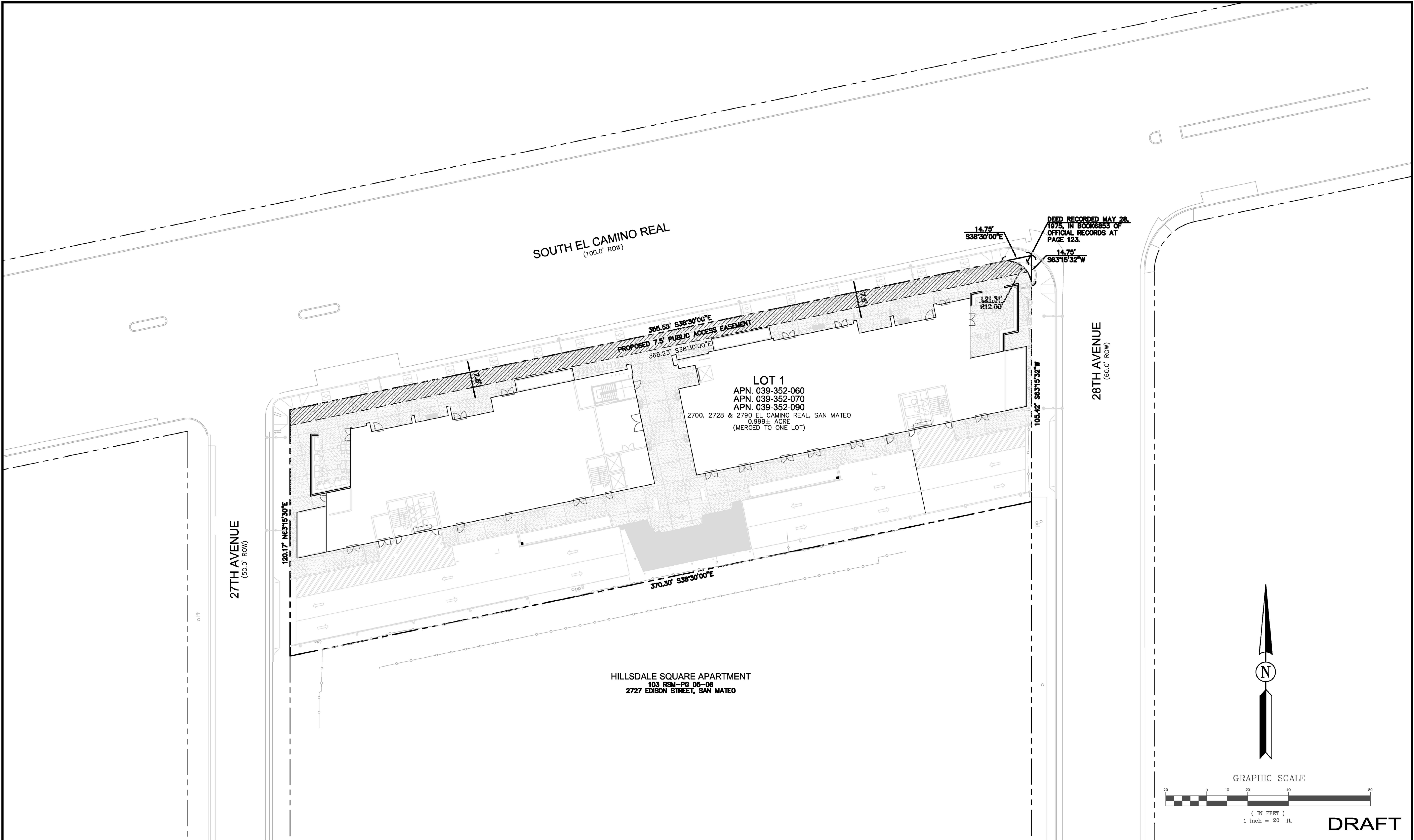
159 EL CAMINO REAL  
MILLBRAE, CA 94030

**EXISTING PARCELS & EASEMENTS**  
**TENTATIVE MAP**  
**2700, 2728 & 2790 SOUTH EL CAMINO REAL**  
**SAN MATEO, CALIFORNIA 94403**

SCALE  
VERTICAL: 1"= AS SHOWN  
HORIZONTAL: 1"= AS SHOWN

SHEET  
**TM-2**  
OF 5 SHEET

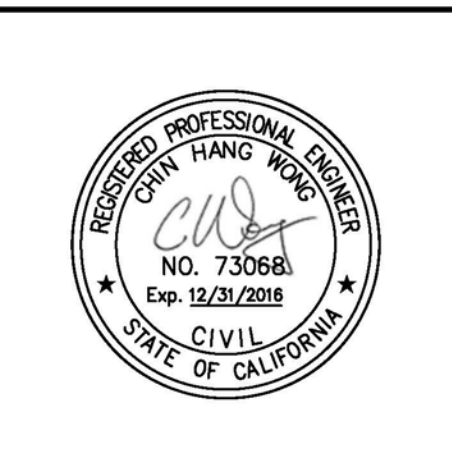
JOB NO.  
2014022



REV.	DATE	DESCRIPTION
-	3/29/2016	TENTATIVE MAP PER DEPT. OF COMMUNITY DEVELOPMENT COMMENTS, 1/20/16

**GREEN**  
CIVIL ENGINEERING

204 E 2ND AVE #820  
SAN MATEO, CA 94401



OWNER:  
**HILLSDALE TERRACES, LLC**

159 EL CAMINO REAL  
MILLBRAE, CA 94030

**PROPOSED PARCELS & EASEMENTS**  
**TENTATIVE MAP**  
**2700, 2728 & 2790 SOUTH EL CAMINO REAL**  
**SAN MATEO, CALIFORNIA 94403**

SCALE  
VERTICAL: 1"= AS SHOWN  
HORIZONTAL: 1"= AS SHOWN

SHEET  
**TM-3**  
OF 5 SHEET

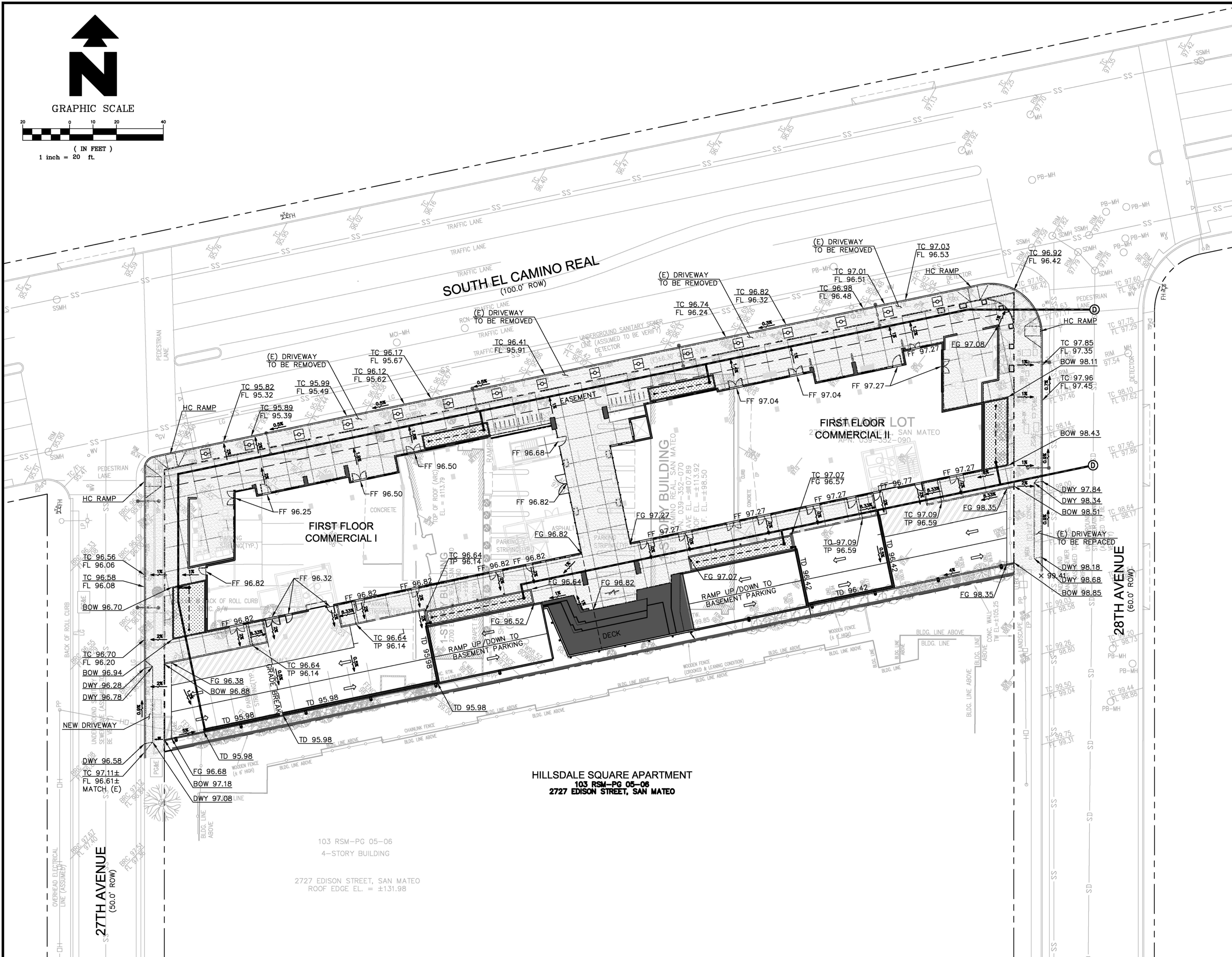
JOB NO.  
2014022



GRAPHIC SCALE



( IN FEET )  
1 inch = 20 ft.



**GENERAL NOTES:**

- IF ANY EXISTING STRUCTURES TO REMAIN ARE DAMAGED DURING CONSTRUCTION IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO REPAIR AND/OR REPLACE THE EXISTING STRUCTURE AS NECESSARY TO RETURN IT TO EXISTING CONDITIONS OR BETTER.
- CONTRACTOR SHALL PROTECT ALL PROPERTY CORNERS.
- CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE GOVERNING CODES AND BE CONSTRUCTED TO SAME.
- CONTRACTOR SHALL ADJUST AND/OR CUT EXISTING PAVEMENT AS NECESSARY TO ASSURE A SMOOTH FIT AND CONTINUOUS GRADE.
- CONTRACTOR SHALL ASSURE POSITIVE DRAINAGE AWAY FROM BUILDING FOR ALL NATURAL AND PAVED AREAS.
- THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANIES AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
- THE CONTRACTOR SHALL ADHERE TO ALL TERMS & CONDITIONS AS OUTLINED IN GENERAL N.P.D.E.S. PERMIT FOR STORMWATER DISCHARGE ASSOCIATED WITH CONSTRUCTION ACTIVITIES.
- UTILITY VAULTS, TRANSFORMERS, UTILITY CABINETS, CONCRETE BASES, OR OTHER STRUCTURES CANNOT BE PLACED OVER WATER MAINS/SERVICES. MAINTAIN 1' HORIZONTAL CLEAR SEPARATION FROM THE VAULTS, CABINET & CONCRETE BASES TO EXISTING UTILITIES AS FOUND IN THE FIELD. IF THERE IS CONFLICT WITH EXISTING UTILITIES, CABINETS, VAULTS & BASES SHALL BE RELOCATED FROM THE PLAN LOCATION AS NEEDED TO MEET FIELD CONDITIONS. TREES MAY NOT BE PLANTED WITHIN 10' OF EXISTING WATER MAINS/SERVICES OR METERS. MAINTAIN 10' BETWEEN TREES AND WATER SERVICES, MAINS & METERS.
- UTILITY INSTALLATION SHALL BE IN ACCORDANCE WITH CITY'S UTILITY STANDARDS FOR WATER, GAS & WASTEWATER.
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- THE APPLICANT SHALL OBTAIN AN ENCROACHMENT PERMIT FROM THE CITY ENGINEERING DIVISION PRIOR TO CONSTRUCTION IN CITY'S RIGHT-OF-WAY.

**LEGEND**

- = PROPERTY LINE
- = STORM DRAIN LINE
- = 4" PERFORATED PIPE
- = TRENCH DRAIN
- = STORM DRAIN MANHOLE
- = SEWER/STORM CLEANOUT
- = STORM DRAIN OVERFLOW INLET
- = POP UP DRAIN

**ABBREVIATIONS:**

- DWY = DRIVEWAY ELEVATION
- EG = EXISTING GRADE ELEVATION
- FF = FINISH FLOOR ELEVATION
- FG = FINISH GRADE ELEVATION
- FL = FLOWLINE
- TC = TOP OF CURB ELEVATION
- TP = TOP OF PAVEMENT
- S = SLOPE
- SD = STORM DRAIN
- SDCO = STORM DRAIN CLEANOUT
- SDDI = STORM DRAIN INLET
- TC = TOP OF CURB ELEVATION
- TG = TOP OF GRATE ELEVATION
- TS = TOP OF STEP ELEVATION

**DRAFT**

REV.	DATE	DESCRIPTION
-	3/29/2016	TENTATIVE MAP PER DEPT. OF COMMUNITY DEVELOPMENT COMMENTS, 1/20/16

**GREEN**  
CIVIL ENGINEERING

204 E 2ND AVE #820  
SAN MATEO, CA 94401



OWNER:  
**HILLSDALE TERRACES, LLC**

159 EL CAMINO REAL  
MILLBRAE, CA 94030

**PRELIMINARY GRADING & DRAINAGE PLAN**  
**TENTATIVE MAP**  
**2700, 2728 & 2790 SOUTH EL CAMINO REAL**  
**SAN MATEO, CALIFORNIA 94403**

SCALE  
VERTICAL: 1"= AS SHOWN  
HORIZONTAL: 1"= AS SHOWN

SHEET  
**TM-4**  
OF 5 SHEET

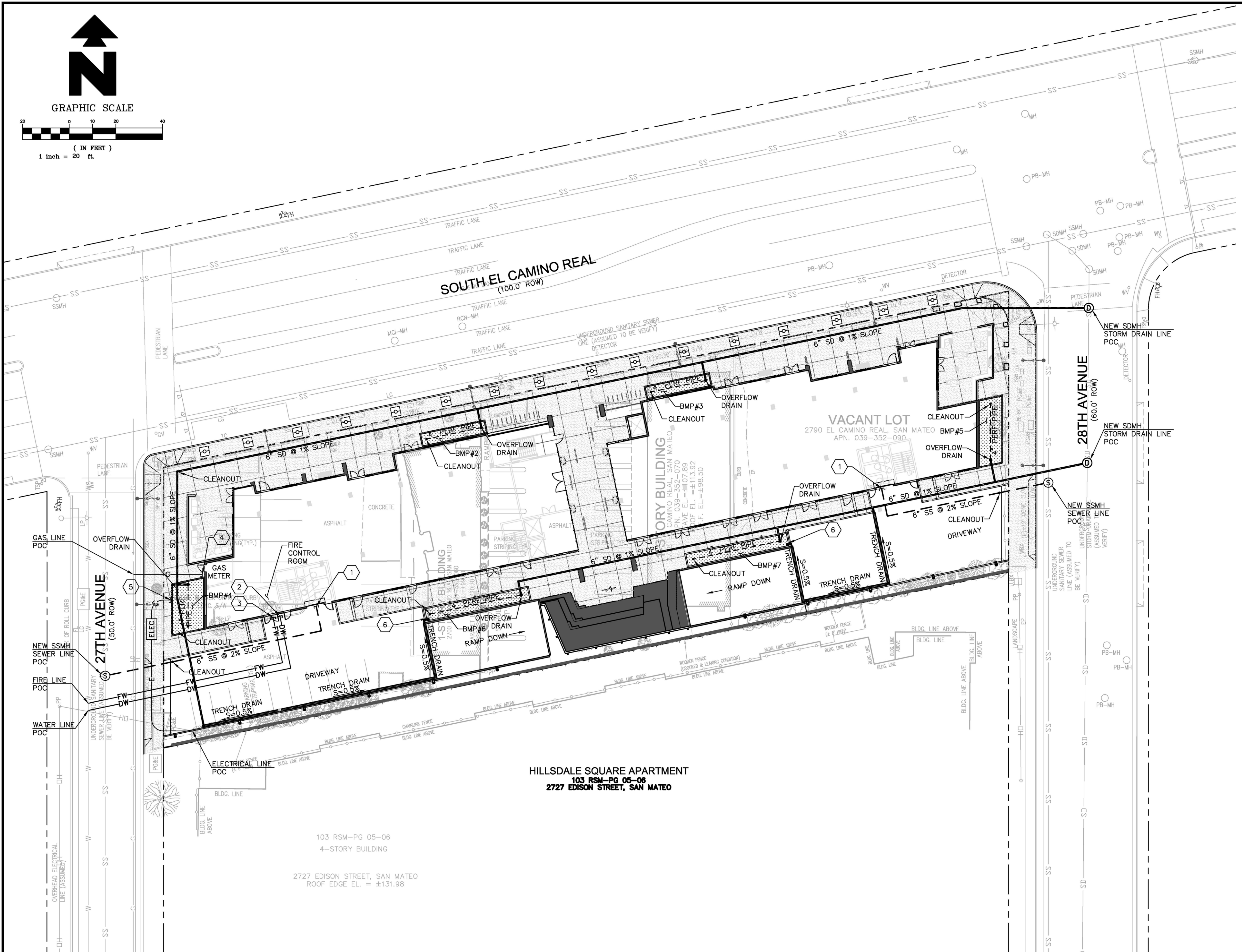
JOB NO.  
2014022



GRAPHIC SCALE



( IN FEET )  
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**LEGEND**

- = PROPERTY LINE
- = STORM DRAIN LINE
- = 4" PERFORATED PIPE
- = TRENCH DRAIN
- = SANITARY SEWER LINE
- = FIRE WATER LINE
- = DOMESTIC WATER LINE
- = 2" GAS LINE
- = ELECTRICAL LINE
- = SANITARY SEWER MANHOLE
- = STORM DRAIN MANHOLE
- = SEWER/STORM CLEANOUT
- = STORM DRAIN OVERFLOW INLET
- = POP UP DRAIN

**ABBREVIATIONS:**

- POC = POINT OF CONNECTION
- PERF = PERFORATED PIPE
- S = SLOPE

**UTILITY NOTES**

- 1 SANITARY SEWER SERVICE ENTRY
- 2 DOMESTIC WATER LINE SERVICE ENTRY
- 3 FIRE WATER LINE SERVICE ENTRY
- 4 GAS LINE SERVICE ENTRY
- 5 ELECTRICAL LINE SERVICE ENTRY
- 6 POP UP DRAIN. RECEIVES STORM WATER FROM TRENCH DRAIN

**HILLSDALE SQUARE APARTMENT**  
103 RSM-PG 05-06  
2727 EDISON STREET, SAN MATEO

103 RSM-PG 05-06  
4-STORY BUILDING

2727 EDISON STREET, SAN MATEO  
ROOF EDGE EL. = ±131.98

**DRAFT**

REV.	DATE	DESCRIPTION
-	3/29/2016	TENTATIVE MAP PER DEPT. OF COMMUNITY DEVELOPMENT COMMENTS, 1/20/16

**GREEN**  
CIVIL ENGINEERING

204 E 2ND AVE #820  
SAN MATEO, CA 94401



OWNER:  
**HILLSDALE TERRACES, LLC**

159 EL CAMINO REAL  
MILLBRAE, CA 94030

**PRELIMINARY UTILITY PLAN**  
**TENTATIVE MAP**  
**2700, 2728 & 2790 SOUTH EL CAMINO REAL**  
**SAN MATEO, CALIFORNIA 94403**

SCALE  
VERTICAL: 1"= AS SHOWN  
HORIZONTAL: 1"= AS SHOWN

SHEET  
**TM-5**  
OF 5 SHEET

JOB NO.  
2014022