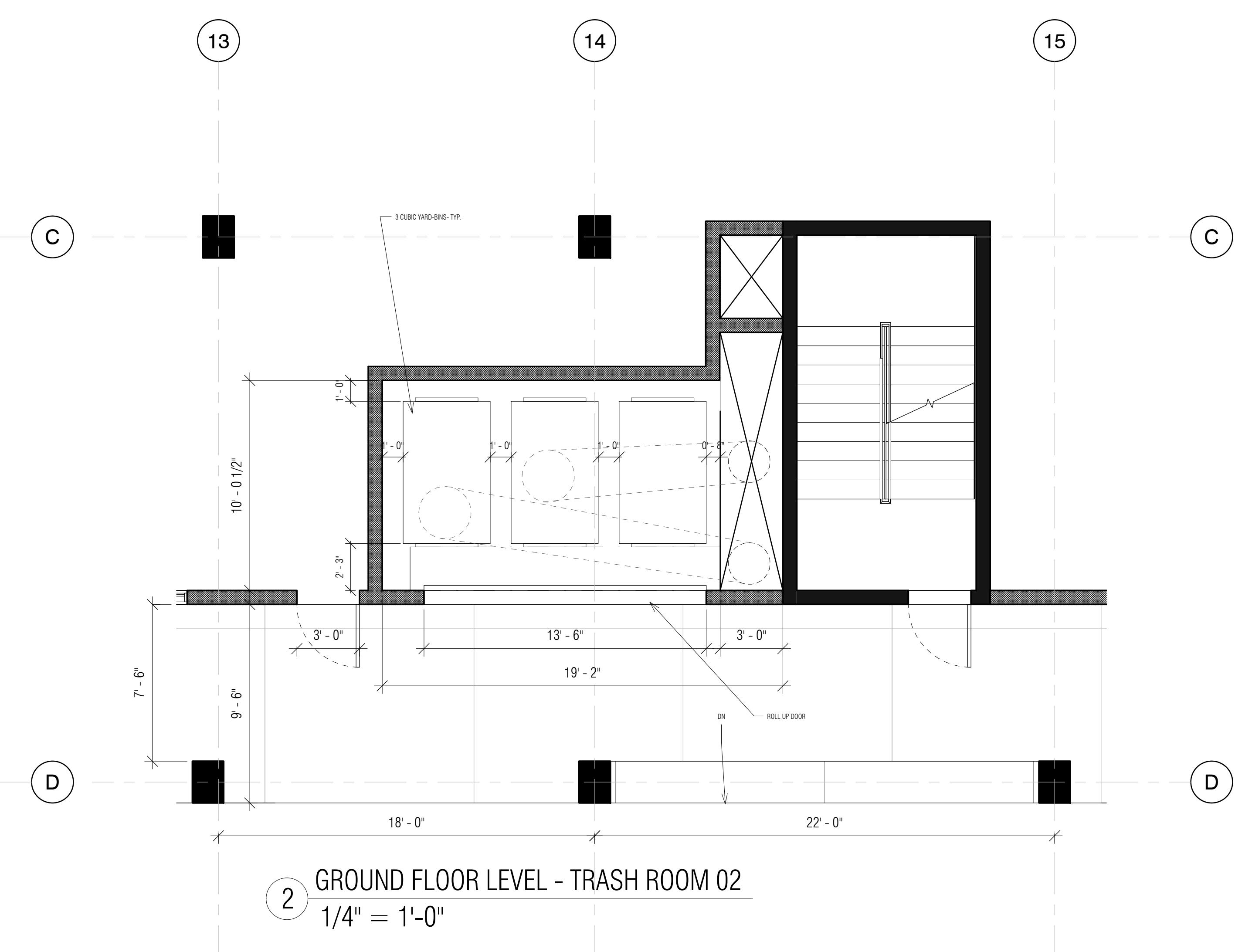
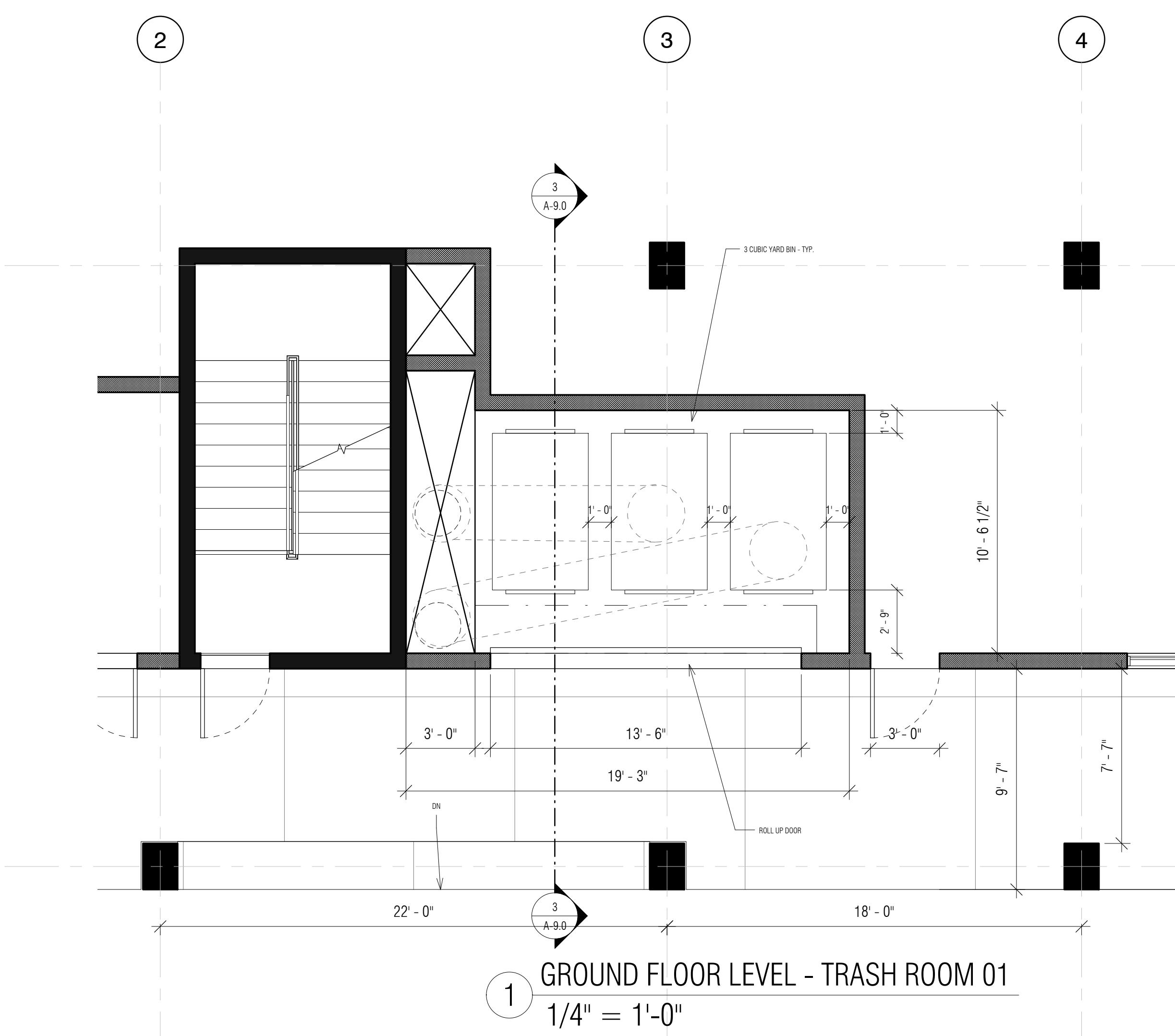
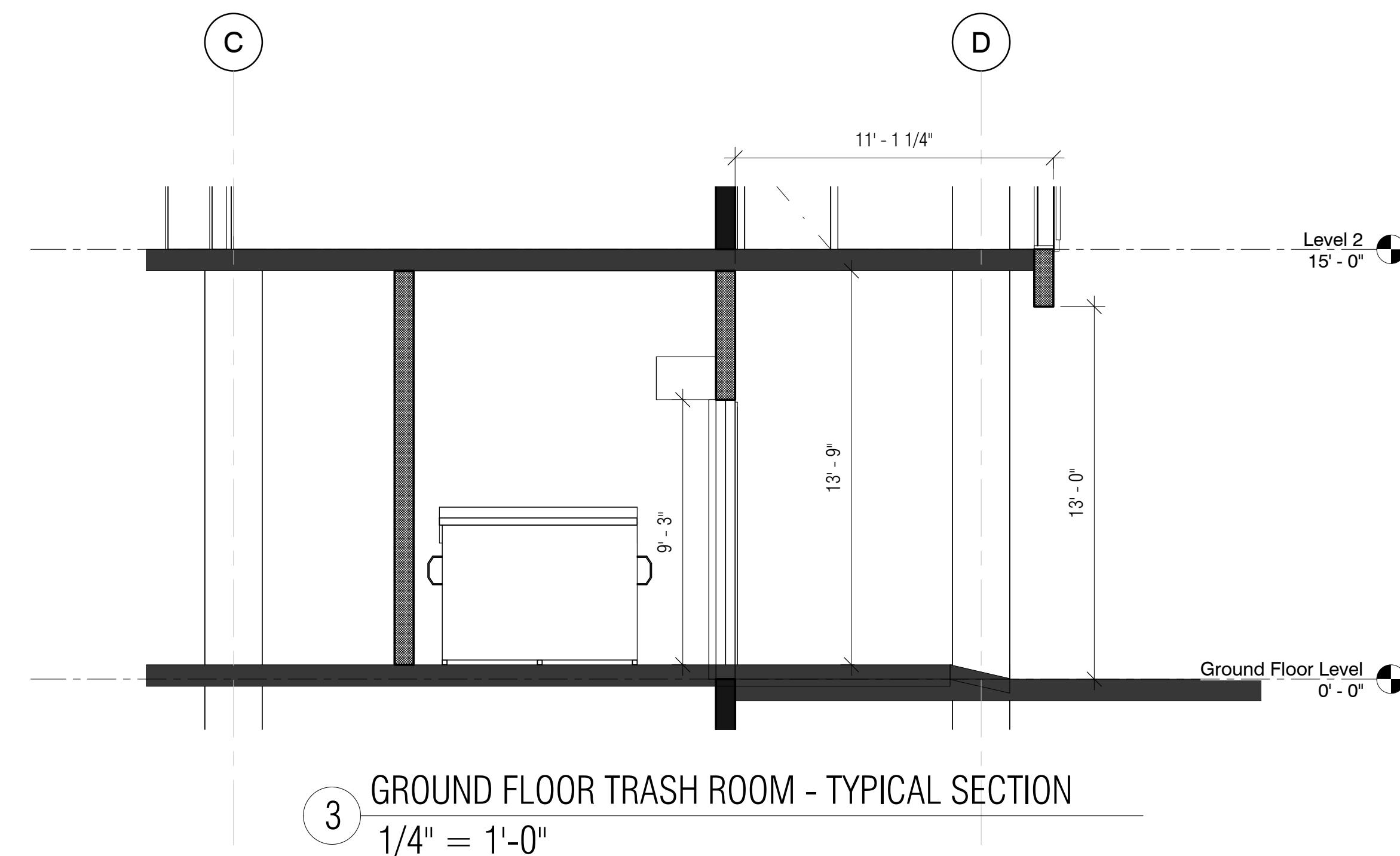


**HILLSDALE
TERRACES**

2700 SOUTH EL CAMINO REAL
SAN MATEO, CA 94403

Job Number: 13090

| | | |
|-----|------------------------|------------|
| No. | Issue | Date |
| 6 | Response to Plan Check | 04/20/2016 |



PRINT DATE: 4/28/2016 5:12:59 PM



All drawings and written material appearing herein constitute original and unpublished work of Costa Brown Architecture, Inc. and may not be duplicated without the prior written consent of Costa Brown Architecture, Inc. © 2015.

Date: 04/20/2016

Scale: 1/4" = 1'-0"

Description:
**GROUND
LEVEL-TRASH
ROOM DETAILS**

Sheet Number:

A-9.0

HILLSDALE TERRACE
9.14.15

Required Tree Planting

Required Trees:

As per the requirements of the Zoning Code, Section 27.71 – Landscape, all projects must have a minimum ratio of **1 tree per 400 square feet** of landscaped area. Existing trees that are a minimum of 6 inch diameter may count toward this total. Any trees with a 6 inch or greater diameter that are being removed must be replaced with an equivalent value of trees. Values are to be determined as stated in Section 27.71.180 of the zoning code and recorded on the Tree Evaluation Schedule and/or any required arborist report.

Landscape Area: 4392 sq. ft. \div 400 = 10.98 (a)

Number of existing trees with a 6 inch or greater diameter **to be preserved:** 8 (b)

Landscape Unit (LU) value **deficit** from the Tree Evaluation Schedule: 42.75 (c)

Minimum LU value to be replaced and/or met through payment of in-lieu fees: **[a – b + c = d]** 45.73 (d)

New Trees:

A minimum number of trees equivalent to (a), above, must be planted (or existing on the site). In order to make up the required LU value from the removal of trees, additional or larger trees may be planted. If the LU value shown at (e) is not equal or greater than (d), then an in-lieu fee must be paid to the City's street tree planting fund at the rate defined annually in the City's Comprehensive Fee Schedule for each deficient LU.

| New Trees Being Planted | | | |
|---|-------------|----------|----------------|
| Quantity | Size | LU Value | Total LU Value |
| <u>6</u> | 15 gallon | 1 | <u>6</u> |
| <u>23</u> | 24 inch box | 2 | <u>46</u> |
| <u>0</u> | 36 inch box | 3 | <u>0</u> |
| <u>0</u> | 48 inch box | 4 | <u>0</u> |
| Total LU Value of new trees being proposed: | | | <u>52</u> (e) |

Fees Owed to the City Street Tree Planting Fund: (D is less than E)
If (d) is greater than (e), there will be an LU value deficit calculated as follows:

[d – e = x (the annually defined \$ per LU value] = \$ 284

Q:\CDD\Planning\FORMS\Trees Preservation & Site Development\Required Tree Planting Form.doc



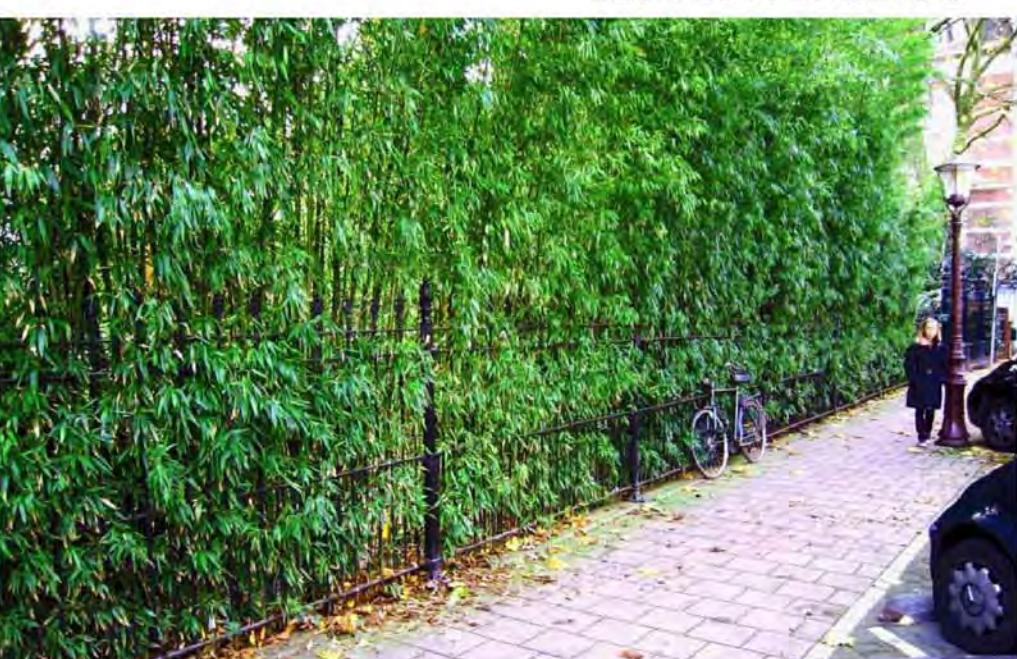
PLATANUS x ACERIFOLIA
DESIGNATED STREET TREE, EL CAMINO REAL



ACE BUERGERIANUM
DESIGNATED STREET TREE, 27th AVE.



PRUNUS CAROLINANA
'BRIGHT & TIGHT'



PHYLLOSTACHYS BISSETTI
BISSETTI BAMBOO



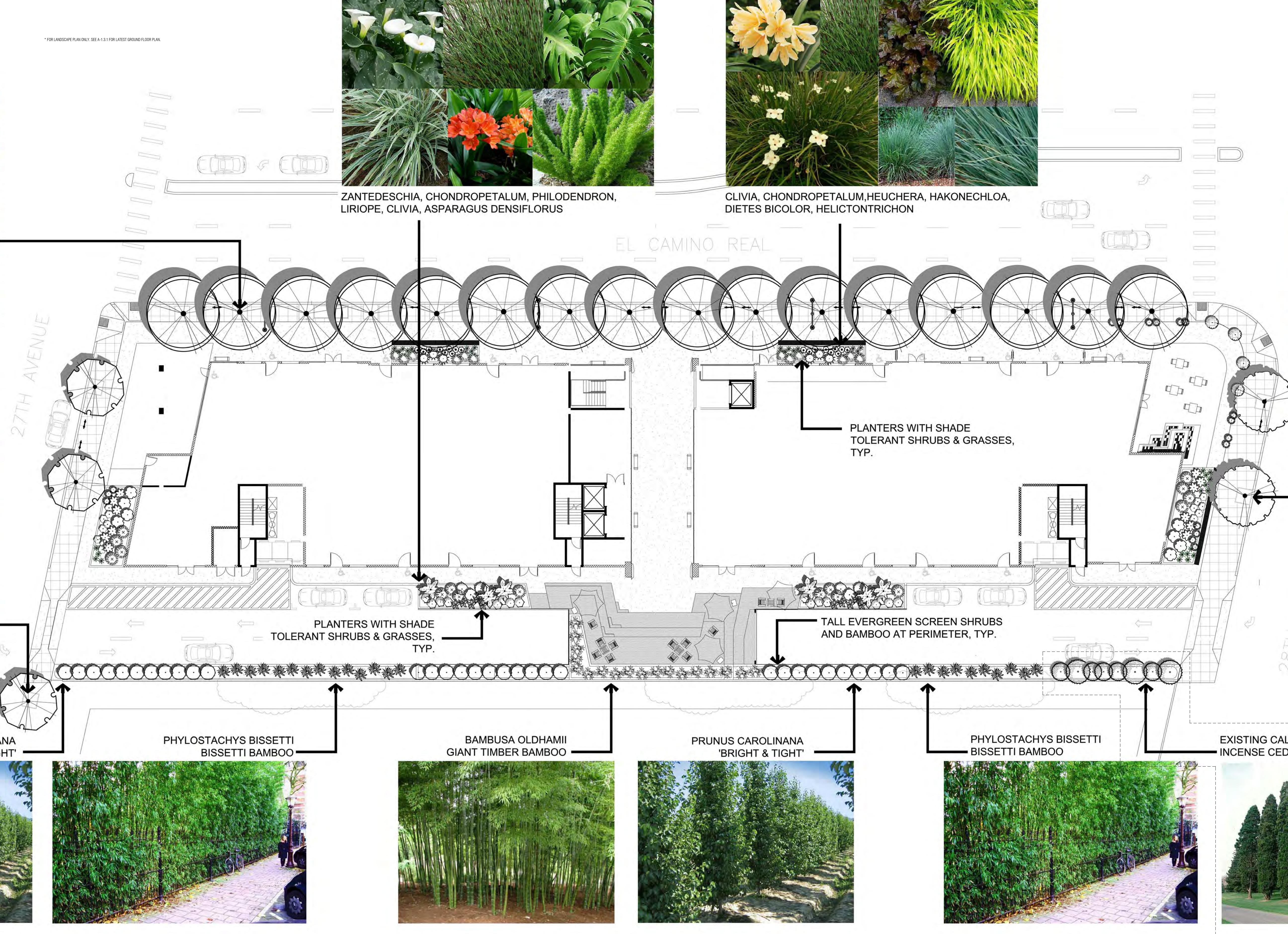
ZANTEDESCHIA, CHONDROPELALUM, PHILODENDRON,
LIRIOPE, CLIVIA, ASPARAGUS DENSIFLORUS



CLIVIA, CHONDROPELALUM, HEUCHERA, HAKONECHLOA,
DIETES BICOLOR, HELICTOTRICHON



ACE RUBRUM 'OCTOBER GLORY'
DESIGNATED STREET TREE, 28th AVE.





PRECAST LIGHTWEIGHT PLANTERS



SPECIMEN MULTI-TRUNK
LAGERSTROEMIA HYBRID



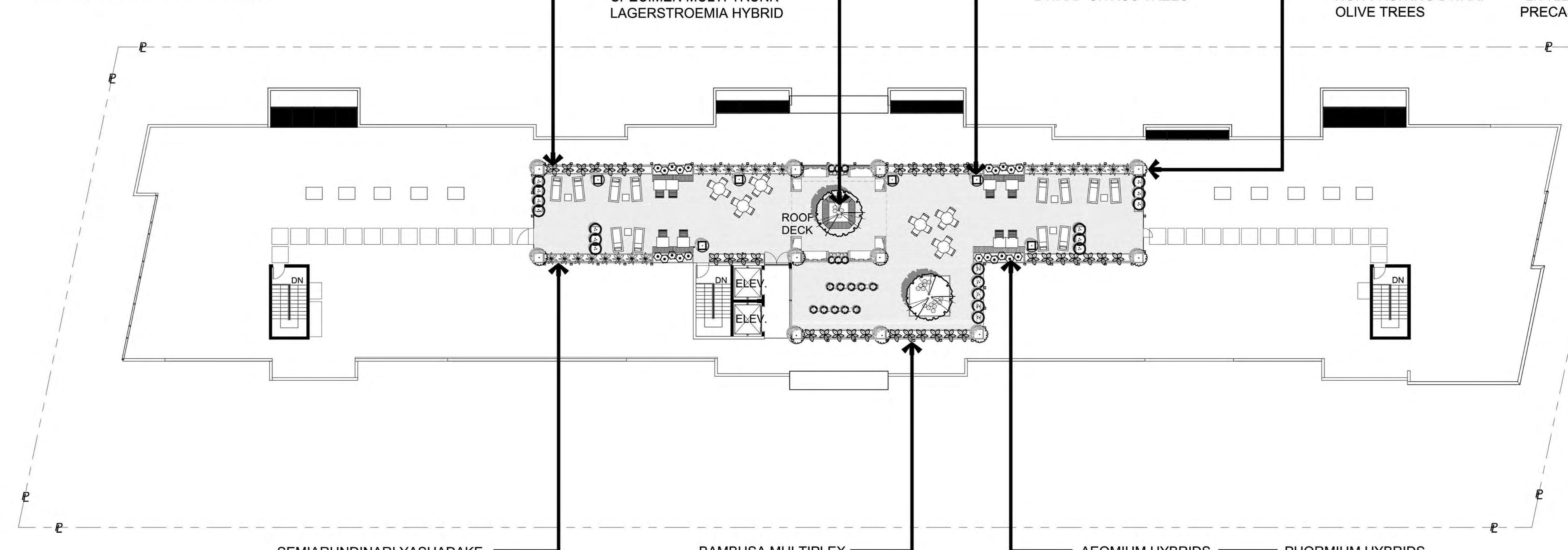
DWARF CITRUS TREES



NON-FRUITING DWARF
OLIVE TREES



"LITTLE OLLIE" EVERGREEN SHRUB &
PRECAST LIGHTWEIGHT PLANTERS



GROUND FLOOR / STREET LEVEL (PART-SHADE)

| BAMBOO | BOTANICAL NAME | COMMON NAME | SIZE | REMARKS |
|---------|--|---------------------------------|-------|---------|
| BAM OLD | Bambusa oldhamii | Giant Timber Bamboo | 5 gal | M |
| BAM TEX | Bambusa textilis | Weaver's Bamboo | 5 gal | M |
| PHY BIS | Phyllostachys bissettii | Bissett Bamboo | 5 gal | M |
| PLE VIR | Pleioblastus viridistriatus | Dwarf Whitestripe Bamboo | 5 gal | M |
| SHRUBS | BOTANICAL NAME | COMMON NAME | SIZE | REMARKS |
| AGA BLU | Agave x 'Blue Glow' | Blue Glow Agave | 5 gal | L |
| ASP SPR | Asparagus densiflorus 'Sprenger Compacta' | Sprenger Asparagus | 5 gal | L |
| ASP ASP | Asparagus densiflorus 'Sprenger' | Sprenger Asparagus | 5 gal | L |
| AUC NAN | Aucuba japonica 'Nana' & 'Variegata Nana' | Dwarf Aucuba | 5 gal | L |
| CHO TEC | Chondropetalum tectorum | Cape Rush | 5 gal | M |
| CLI MIN | Clivia miniata 'Flame' & 'San Marcos Yellow' | Kaffir Lily | 1 gal | L |
| DIC ANT | Dicksonia antarctica | Tasmanian Tree Fern | 5 gal | M |
| DIE BIC | Dieteres bicolor | Fortnight Lily | 5 gal | L |
| HAK MAC | Hakonechloa macra | Japanese Forest Grass | 5 gal | M |
| HAK AUR | Hakonechloa macra 'Aureola' | Golden Variegated Hakonechloa | 5 gal | M |
| HEL SEM | Helictotrichon sempervirens | Blue Oat Grass | 5 gal | L |
| HEU HYB | Heuchera Hybrids | Coral Bells | 1 gal | M |
| HOS HYB | Hosta Hybrids | Plantain Lily | 5 gal | M |
| JUN PAT | Juncus patens | California Gray Rush | 1 gal | M |
| LIR GIG | Liriope gigantea | Giant Liriope | 1 gal | M |
| LIR SUN | Liriope muscari 'Silvery Sunproof' | Silvery Sunproof Blue Lilyturf | 5 gal | M |
| LOR CHI | Loropetalum chinense | Loropetalum | 5 gal | M |
| PHI BIP | Philodendron bipinnatifidum | Cut Leaf Philodendron | 5 gal | M |
| PIT MAR | Pittosporum tenuifolium 'Marjorie Channon' | Tawhiwhi | 5 gal | M |
| PIT CRE | Pittosporum tobira 'Cream De Mint' TM | Cream De Mint Dwarf Mock Orange | 5 gal | L |
| PRU CAR | Prunus caroliniana 'Bright and Tight' | Carolina Laurel Cherry | 5 gal | L |
| ZAN AET | Zantedeschia aethiopica | Common Calla | 5 gal | H |

DESIGNATED STREET TREES

| STREET TREES | BOTANICAL NAME | COMMON NAME | CONT | QUANTITY |
|--------------|--------------------------------|---------------------|--------|----------|
| ACE BUE | Acer buergerianum | Trident Maple | 24"box | 3 |
| ACE GLO | Acer rubrum 'October Glory' TM | October Glory Maple | 24"box | 2 |
| PLA ACE | Platanus x acerifolia | London Plane Tree | 24"box | 16 |

ROOF DECK / UPPER LEVEL (PART-SUN)

| TREES | BOTANICAL NAME | COMMON NAME | SIZE | QUANTITY |
|---------|--------------------------------------|-----------------------------|--------|----------|
| LAG HYB | Lagerstroemia hybrid | Crape Myrtle - multi trunk | 24" bx | 2 |
| OLE EUR | Olea europaea dwarf | Dwarf non-fruiting olive | 15 gal | 6 |
| BAMBOO | BOTANICAL NAME | COMMON NAME | SIZE | WUCOLS |
| BAM ALP | Bambusa multiplex 'Alphonse Karr' | Alphonse Karr Bamboo | 5 gal | M |
| SEM YAS | Semiarundinaria yashadake 'Kimmei' | Red Cane Bamboo | 5 gal | M |
| SHRUBS | BOTANICAL NAME | COMMON NAME | SIZE | WUCOLS |
| AEO KIW | Aeonium x 'Kiwi' | Kiwi Aeonium | 1 gal | L |
| AEO SUN | Aeonium x 'Sunburst' | Aeonium | 1 gal | L |
| AGA ATT | Agave attenuata | Agave | 5 gal | L |
| ANI BUS | Anigozanthos x 'Bush Baby' | Bush Baby Kangaroo Paw | 1 gal | L |
| CAR NAN | Carissa macrocarpa 'Nana' | Dwarf Natal Plum | 1 gal | L |
| CHO TE2 | Chondropetalum tectorum | Cape Rush | 5 gal | M |
| CIT HYB | Citrus X lemon | Dwarf lemon tree | 5 gal | M |
| DIE BIC | Dieteres bicolor | Fortnight Lily | 5 gal | L |
| EUP MAR | Euphorbia x martinii | Euphorbia | 1 gal | M |
| EUP ASC | Euphorbia x martinii 'Ascot Rainbow' | Rainbow Spurge | 1 gal | M |
| FES GLA | Festuca glauca | Blue Fescue | 1 gal | L |
| HEL SEM | Helictotrichon sempervirens | Blue Oat Grass | 5 gal | L |
| LIB PER | Libertia peregrinans | NCN | 1 gal | L |
| OLE LIT | Olea europaea 'Little Ollie' TM | Little Ollie Olive | 5 gal | L |
| PHO DAZ | Phormium tenax 'Dazzler' | New Zealand Flax | 5 gal | L |
| PHO MAO | Phormium tenax 'Maori Queen' | New Zealand Flax | 5 gal | L |
| PHO RAI | Phormium tenax 'Rainbow Warrior' | New Zealand Flax | 5 gal | L |
| PHO GOL | Phormium x 'Gold Sword' | Gold Sword Flax | 5 gal | L |
| PIT WHE | Pittosporum tobira 'Wheelers Dwarf' | Wheeler's Dwarf Mock Orange | 5 gal | L |

PLANTING & WATER USE DESIGN INTENT STATEMENT

THE PLANTING DESIGN INCORPORATES PRINCIPLES INCLUDED IN THE "BAY FRIENDLY LANDSCAPE GUIDELINES". THE PLANTING DESIGN UTILIZES DROUGHT TOLERANT ORNAMENTAL PLANTS THAT ARE ADAPTED TO THE LOCAL CONDITIONS. PLANTS ARE GROUPED BY HYDROZONE, EXPOSURE & LOCAL CLIMATIC CONDITIONS. THE PLANTING DESIGN ALLOWS FOR THE PLANTS TO REACH THEIR NATURAL, FULL-GROWN SIZE AND ELIMINATES THE NEED FOR EXCESSIVE PRUNING OR HEDGING.

STREET TREES SHOWN ARE THE APPROVED/DESIGNATED SPECIES PER THE CITY OF SAN MATEO. DWARF ORNAMENTAL TREES ARE UTILIZED ON THE ROOF DECK.

THE PLANTS HAVE BEEN SELECTED UTILIZING THE STATE OF CALIFORNIA'S MODEL WATER EFFICIENT LANDSCAPE ORDINANCE PLANT LIST, WUCOLS III, SANTA CLARA COUNTY WATER DISTRICT'S APPROVED PLANT LIST FOR STORM WATER TREATMENT.

NO PLANTS ARE USED THAT ARE CONSIDERED INVASIVE IN THE REGION AS LISTED BY THE CAL-IPC. THE IRRIGATION SYSTEMS WILL BE AUTOMATIC, LOW GALLON USE DRIP SYSTEM. LOW, MEDIUM AND HIGH WATER USE HYDROZONES WILL BE ON SEPARATE VALVE CIRCUITS. ALL NEW TREES WILL BE IRRIGATED WITH BUBBLERS ON A SEPARATE CIRCUIT. ALL EXISTING TREES TO REMAIN WILL BE IRRIGATED PER THE ARBORIST'S RECOMMENDATIONS.

THE REMOTE CONTROL VALVES WILL HAVE INTEGRAL PRESSURE REGULATORS TO PREVENT FLUCTUATIONS AND ENSURE CONSTANT APPLICATION RATES TO MINIMIZE OVER OR UNDER WATERING. THE ELECTRONIC IRRIGATION CONTROLLER WILL HAVE SEASON ADJUSTMENTS, MULTIPLE PROGRAMS AND APPLICATION CYCLES/START TIMES. A RAIN SWITCH WILL BE INSTALLED TO PREVENT IRRIGATION DURING RAINY PERIODS. A FLOW SENSOR AND MASTER VALVE WILL BE CONNECTED TO THE CONTROLLER TO ALLOW AUTOMATIC SHUT OFF OF ANY VALVE CIRCUIT OR MAIN LINE IN THE EVENT OF A PIPE BRAKE TO PREVENT WATER WASTE.

NEW TREES

PLEASE SEE ARBORIST'S REPORT & TREE EVALUATION ALONG WITH THE "REQUIRED TREE PLANTING FORM" INCLUDED WITH THIS SUBMITTAL.

SUMMARY BELOW AS FOLLOWS:

| REQUIRED TREE PLANTING | | |
|--------------------------|---------|--|
| LANDSCAPE AREA | 4392 SF | |
| NEW TREES REQUIRED | 11 | |
| EXISTING TREES TO REMAIN | 8 | |
| LU VALUE TO BE REPLACED | 45.73 | |

NEW TREE PROVIDED

| QUANTITY | SIZE | LU VALUE |
|----------|---------------|--------------------|
| 23 | 24" BOX TREES | 46 |
| 6 | 15 GALLON | 6 |
| | | TOTAL LU VALUE: 52 |

GROUND FLOOR / STREET LEVEL (PART-SHADE)



ROOF DECK / UPPER LEVEL (PART-SUN)





September 17, 2014

Winnie Lam
Hillsdale Terraces, LLC
159 El Camino Real
Millbrae, CA 94030

Re: Hillsdale Terrace Tree Evaluation Survey at 2700-2790 of S. El Camino Real, San Mateo, CA

Dear Ms. Lam,

On behalf of the Arborwell team, I would like to thank you for the opportunity to provide you with this tree evaluation survey for your upcoming planning submittal. This survey includes a *Tree Evaluation Schedule* and a *Tree Inventory Map*, along with the required planning submittal forms.

Site Description & Background

Hillsdale Terrace at 2700-2790 S. El Camino Real is a commercial property in the El Camino Real Corridor of San Mateo, California. The property encompasses an undeveloped lot on the southwest corner of the property and to the north of the lot, several small buildings that house commercial stores.

All *Major Vegetation*, defined as any tree with a trunk six (6) inches or greater measured at forty-eight (48) inches above natural grade, on-site was inventoried. Individual trees were mapped but not physically tagged onsite due to the small nature of the property.

There were thirty-nine (39) trees on-site or neighboring the property that are considered *Major Vegetation*. There are no *Heritage Trees* on the property, as defined by the City of San Mateo's *Heritage Tree Ordinance* §13.52.020, "any tree with a trunk diameter of sixteen (16) inches or more measured at forty-eight (48) inches above natural grade." Many, if not all, trees onsite were declining in health and will likely require removal. Site conditions may change over time.

Methodology

All individuals were identified in the field and identified with a number. Each tree was assessed on an individual basis and observations were made accordingly. *Major Vegetation* was recorded in *Tree Evaluation Schedule* and a *Tree Inventory Map*, mapped using ArcView® GIS.

A modified appraisal of the subject trees was performed under the direction of the *Guide for Plant Appraisal*, 9th Edition issued by the International Society of Arboriculture (ISA), Champaign, Illinois 2000, and adapted by the City of San Mateo to arrive at a LU Value. *The Species Classification and Group Assignment* (1992), a publication of the Western Chapter of the International Society of Arboriculture, was used to determine the species value. The appraised LU Value of the tree was determined using the City of San Mateo's *Tree Evaluation Schedule*.

The formula is as follows:

$$\text{LU Value} = (\text{Species} * \text{Condition} * \text{Location}) / 0.35) (\text{Caliper Size} * 0.70 \text{ if in allowable bldg. area} * 1.25 \text{ if Heritage Tree})$$

Location: each tree was assigned a location value according to *The Guide for Plant Appraisal*, which includes the average of the *site rating* (10 to 100 percent), *contribution rating* (10 to 100 percent), and *placement rating* (10 to 100 percent). Because the trees are situated within a continuous landscape, the above ratings were assigned the following:

2337 AMERICAN AVE, HAYWARD, CA 94545
1993 EAST BAYSHORE ROAD, REDWOOD CITY, CA 94063

OFFICE: (888) 969-8733
CELL: (925) 518-2028
WWW.ARBORWELL.COM

September 17, 2014

- **Property Perimeter:** these trees serve as screen. Some have not been placed. They provide no shade, have had little maintenance, and contributed little to the long-term of the site – 20%
- **Parking Lot:** these trees were placed in the parking lot planting areas, yet have been improperly maintained – 40%
- **Street Trees:** while these trees are well placed, they are not maintained yearly – 70%
- **Landscape Area:** these trees are well placed in high-visibility planting vaults but were not maintained regularly – 60%
- **Neighboring Property:** the trees were located on the neighboring property and yet influence the site – 40%

Species: each tree was assigned values in accordance with the species value corrected by the regional supplement for California, *Species Classification and Group Assignment*, available from the Western Chapter of the International Society of Arboriculture.

Condition: each tree has an assigned a value between 0% and 100% based on the derived value of health and structural conditions observed on the dates of inspection. Observations were recorded as *poor* = 1, *fair* = 2, *moderate* = 3, *good* = 4, and *excellent* = 5 (see Exhibit 1 for *condition ratings*), and then both values were added together then multiplied by 10 to arrive at a percentage.

Appraisal Discussion & Conclusion

For the purpose of this report, the LU Value derived is an approximation of an individual tree's LU Value and does not represent absolute values based on the inherent subjectivity, and questionable results, of the *Tree Evaluation Schedule*. The total appraised LU Value for the existing Hillsdale Terrace property's trees is **49.024**. If a new development is being proposed, I recommend all trees on the site be removed and replaced with high-value specimens. Neighboring trees should be preserved in place.

Thank you again; we look forward to building a long lasting relationship and taking care of your trees. Please review this information and contact me with any questions or concerns regarding the information provided in this letter.

Sincerely,

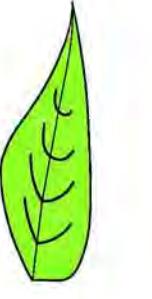
Sam Oakley
ISA Certified Arborist, WE-9474A, TRAQ
ASCA Registered Consulting Arborist #556

2337 AMERICAN AVE, HAYWARD, CA 94545
1993 EAST BAYSHORE ROAD, REDWOOD CITY, CA 94063



Tree Evaluation Schedule

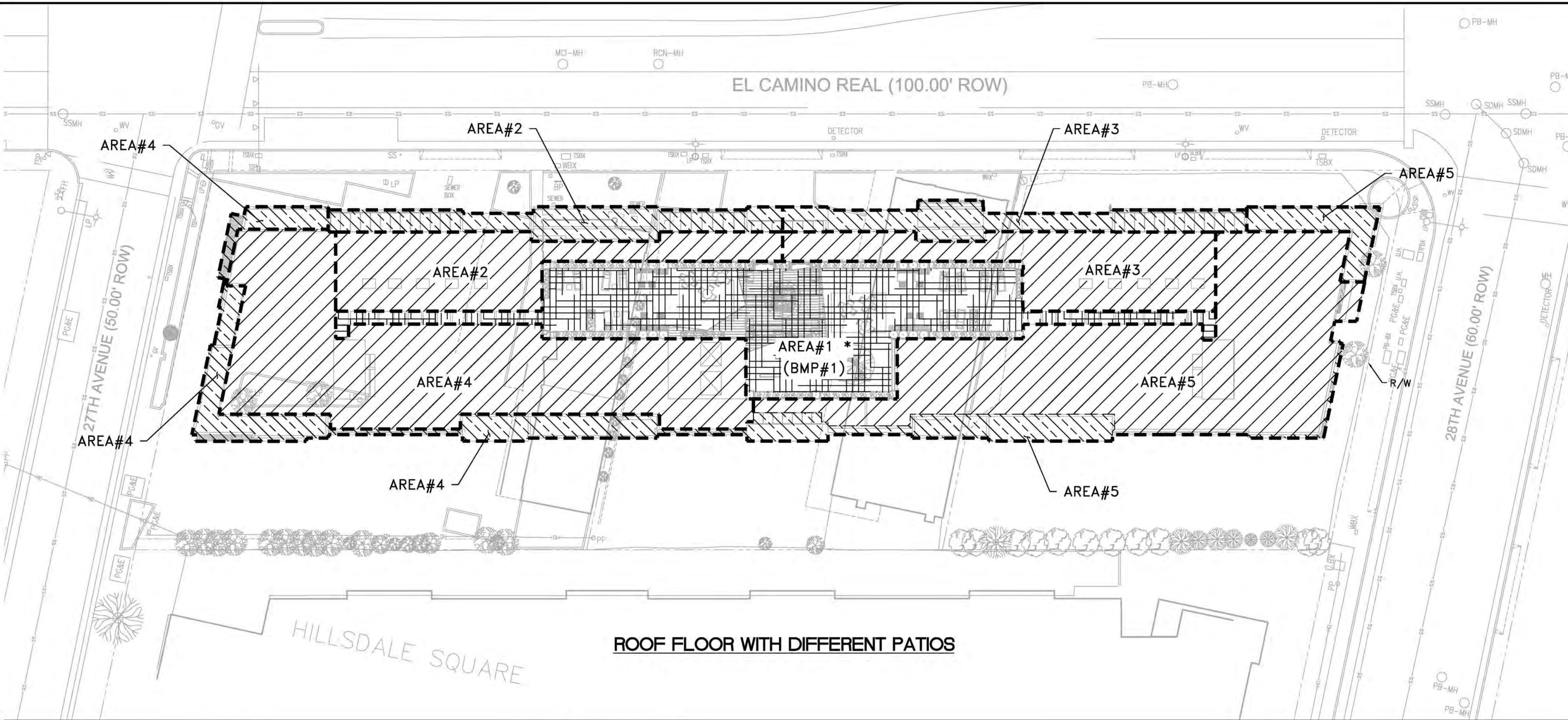
| Ref. | Location | Species Name | Common Name | Major Vegetation (> 6" DBH) | Species Value % | Condition Value % | Location Value % | X | | / | | 0.35X | | X | | / | | 0.70 in allowable bldg. area | | 1.25 in heritage tree | | LU Value | Note | |
|------|------------------------|--------------------------------|---------------|--------------------------------|--------------------|----------------------|---------------------|------|-------------------|-----|------|-------|-------|---|-------|---|-------|------------------------------------|-------|--------------------------|-------|----------|-------|----------------|
| | | | | | | | | 0.35 | Caliper inches | 12 | 0.35 | 7 | 0.7 | 1 | 0.784 | 1 | 0.784 | 1 | 0.784 | 1 | 0.784 | 1 | 0.784 | |
| 1 | Unmaintained Landscape | <i>Liquidambar styraciflua</i> | Sweetgum | Yes | 50 | 40 | 40 | 0.35 | 14 | 0.7 | 1 | 1 | 0.784 | 1 | 0.784 | 1 | 0.784 | 1 | 0.784 | 1 | 0.784 | 1 | 0.784 | Branch Failure |
| 2 | Unmaintained Landscape | <i>Liquidambar styraciflua</i> | Sweetgum | Yes | 50 | 40 | 40 | 0.35 | 12 | 0.7 | 1 | 1 | 0.784 | 1 | 0.784 | 1 | 0.784 | 1 | 0.784 | 1 | 0.784 | 1 | 0.784 | Poor structure |
| 3 | Property Perimeter | <i>Calocedrus decurrens</i> | Incense Cedar | Yes | 70 | 40 | 20 | 0.35 | 7 | 0.7 | 1 | 1 | 0.784 | 1 | 0.784 | 1 | 0.784 | 1 | 0.784 | 1 | 0.784 | 1 | 0.784 | Raised |
| 4 | Property Perimeter | <i>Calocedrus decurrens</i> | Incense Cedar | Yes | 70 | 40 | 20 | 0.35 | 7 | 0.7 | 1 | 1 | 0.784 | 1 | 0.784 | 1 | 0.784 | 1 | 0.784 | 1 | 0.784 | 1 | 0.784 | Raised |
| 5 | Property Perimeter | <i>Calocedrus decurrens</i> | Incense Cedar | Yes | 70 | 40 | 20 | 0.35 | 7 | 0.7 | 1 | 1 | 0.784 | 1 | 0.784 | 1 | 0.784 | 1 | 0.784 | 1 | 0.784 | 1 | 0.784 | Raised |
| 6 | Property Perimeter | <i>Calocedrus decurrens</i> | Incense Cedar | Yes | 70 | 40 | 20 | 0.35 | 7 | 0.7 | 1 | 1 | 0.784 | 1 | 0.784 | 1 | 0.784 | 1 | 0.784 | 1 | 0.784 | 1 | 0.784 | Raised |
| 7 | Property Perimeter | <i>Calocedrus decurrens</i> | Incense Cedar | Yes | 70 | 40 | 20 | 0.35 | 7 | 0.7 | 1 | 1 | 0.784 | 1 | 0.784 | 1 | 0.784 | 1 | 0.784 | 1 | 0.784 | 1 | 0.784 | Raised |
| 8 | Property Perimeter | <i>Calocedrus decurrens</i> | Incense Cedar | Yes | 70 | 40 | 20 | 0.35 | 7 | 0.7 | 1 | 1 | 0.784 | 1 | 0.784 | 1 | 0.784 | 1 | 0.784 | 1 | 0.784 | 1 | 0.784 | Raised |
| 9 | Property Perimeter | <i>Calocedrus decurrens</i> | Incense Cedar | Yes | 70 | 40 | 20 | 0.35 | 7 | 0.7 | 1 | 1 | 0.784 | 1 | 0.784 | 1 | 0.784 | 1 | 0.784 | 1 | 0.784 | 1 | 0.784 | Raised |
| 10 | Property Perimeter | <i>Calocedrus decurrens</i> | Incense Cedar | Yes | 70 | 40 | 20 | 0.35 | 7 | 0.7 | 1 | 1 | 0.784 | 1 | 0.784 | 1 | 0.784 | 1 | 0.784 | 1 | 0.784 | 1 | 0.784 | Raised |
| 11 | Property Perimeter | <i>Calocedrus decurrens</i> | Incense Cedar | Yes | 70 | 40 | 20 | 0.35 | 7 | 0.7 | 1 | 1 | 0.784 | 1 | 0.784 | 1 | 0.784 | 1 | 0.784 | 1 | 0.784 | 1 | 0.784 | Raised |
| 12 | Property Perimeter | <i>Calocedrus decurrens</i> | Incense Cedar | Yes | 70 | 40 | 20 | 0.35 | 12 | 0.7 | 1 | 1 | 0.784 | 1 | 0.784 | 1 | 0.784 | 1 | 0.784 | 1 | 0.784 | 1 | 0.784 | 1 |
| 13 | Property Perimeter | <i>Calocedrus decurrens</i> | Incense Cedar | Yes | 70 | 40 | 20 | 0.35 | 12 | 0.7 | 1 | 1 | 0.784 | 1 | 0.784 | 1 | 0.784 | 1 | 0.784 | 1 | 0.784 | 1 | 0.784 | 1 |
| 14 | Property Perimeter | <i>Calocedrus decurrens</i> | Incense Cedar | Yes | 70 | 0 | 20 | 0.35 | 12 | 0.7 | 1 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | Dead |
| 15 | Property Perimeter | <i>Calocedrus decurrens</i> | Incense Cedar | Yes | 70 | 0 | 20 | 0.35 | 10 | 0.7 | 1 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | Dead |
| 16 | Neighboring Property | <i>Calocedrus decurrens</i> | Incense Cedar | Yes | 70 | 40 | 40 | 0.35 | 10 | 0.7 | 1 | 1 | 0.784 | 1 | 0.784 | 1 | 0.784 | 1 | 0.784 | 1 | 0.784 | 1 | 0.784 | Poor structure |
| 17 | Property Perimeter | <i>Maytenus boaria</i> | Mayten | Yes | 50 | 0 | 20 | 0.35 | 12 | 0.7 | 1 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | Dead |
| 18 | Property Perimeter | <i>Calocedrus decurrens</i> | Incense Cedar | Yes | 70 | 40 | 20 | 0.35 | 4 | 0.7 | 1 | 1 | 0.448 | 1 | 0.448 | 1 | 0.448 | 1 | 0.448 | 1 | 0.448 | 1 | 0.448 | 1 |
| 19 | Property Perimeter | <i>Maytenus boaria</i> | Mayten | Yes | 50 | 40 | 20 | 0.35 | 4 | 0.7 | 1 | 1 | 0.32 | 1 | 0.32 | 1 | 0.32 | 1 | 0.32 | 1 | 0.32 | 1 | 0.32 | 1 |
| 20 | Parking Lot | <i>Maytenus boaria</i> | Mayten | Yes | 50 | 40 | 40 | 0.35 | 14 | 0.7 | 1 | 1 | 0.24 | 1 | 0.24 | 1 | 0.24 | 1 | 0.24 | 1 | 0.24 | 1 | 0.24 | Topped |
| 21 | Parking Lot | <i>Calocedrus decurrens</i> | Incense Cedar | Yes | 7 | | | | | | | | | | | | | | | | | | | |



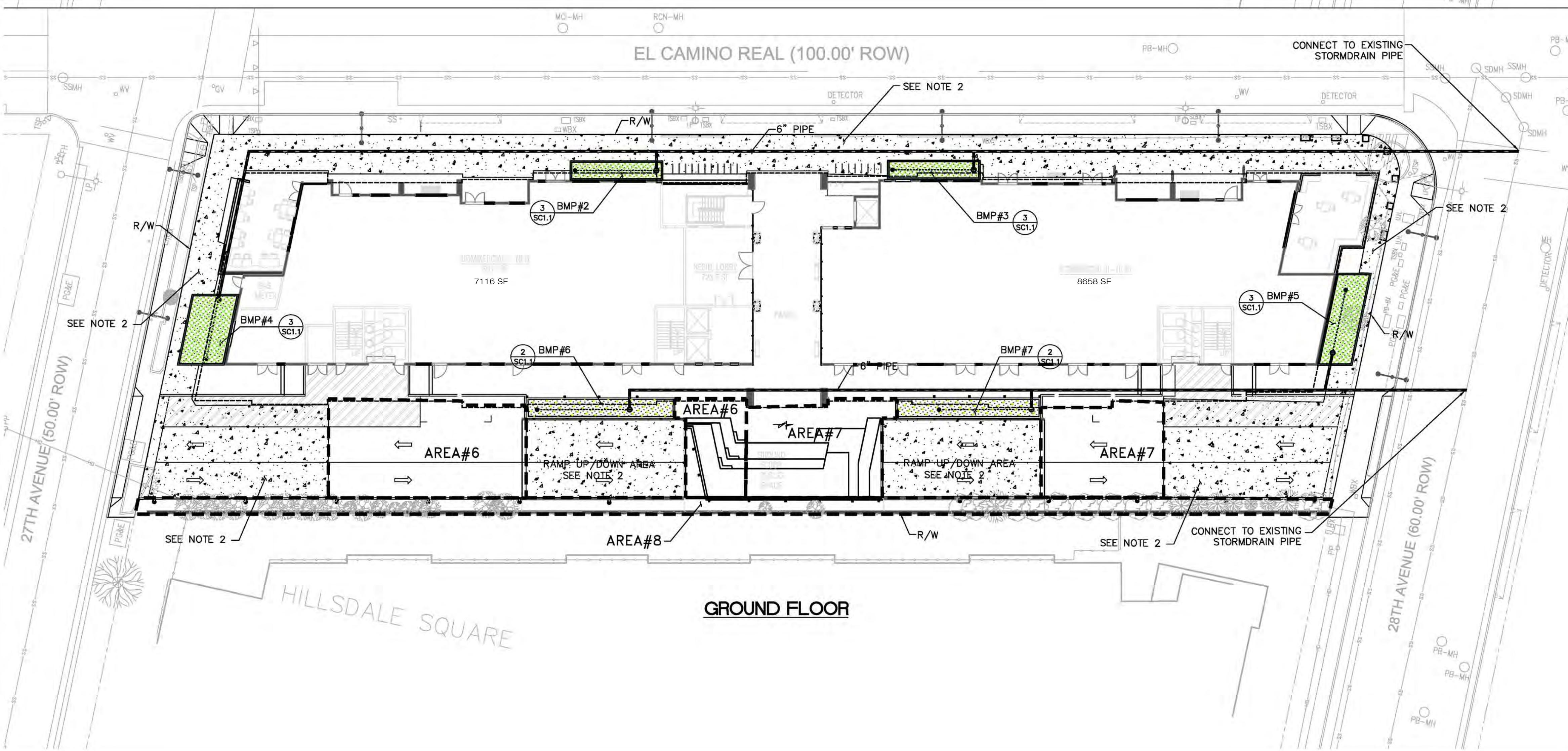
GREEN
CIVIL ENGINEERING
GREEN-ENG@GMAIL.COM
204 E. 2ND AVE #820
SAN MATEO, CA 94401

STORMWATER CONTROL PLAN

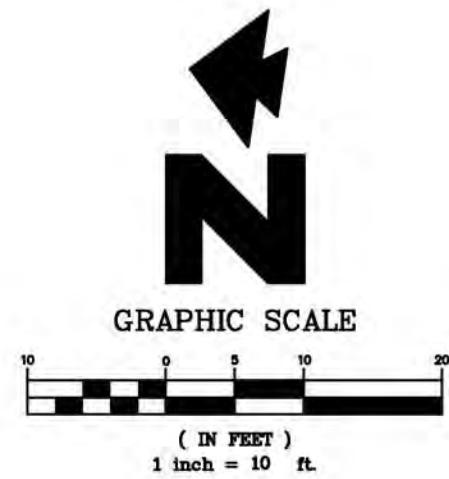
2700 SOUTH EL CAMINO REAL
SAN MATEO, CA 94403



ROOF FLOOR WITH DIFFERENT PATIOS



GROUND FLOOR



LEGEND

| | |
|--|--|
| | = DRAINAGE BOUNDARY |
| | = ROOF |
| | = PATIO/SKYLIGHT |
| | = BIO-RETENTION AREA |
| | = FLOW THROUGH PLANTER AREA |
| | = ROOF GARDEN COMBINED WITH PERMEABLE PAVER AND LANDSCAPE |
| | = GROUND AREA, SEE NOTE 2 TO APPLY 25% CREDIT FOR SPECIAL PROJECT |
| | = LANDSCAPE |

TREATMENT MEASURE SIZING TABLE

| TREATMENT AREA | PROPOSED TREATMENT METHOD(BMP#) | DRAINAGE AREA (SF) | REQUIRED TREATMENT AREA (SF) 4% OF DRAINAGE AREA | PROVIDED TREATMENT MEASURE(SF) |
|----------------|---------------------------------|--------------------|--|--------------------------------|
| AREA#1 * | SELF-TREATING (BMP#1) | 4990 | - | - |
| AREA#2 | FLOW-THROUGH PLANTER(BMP#2) | 3240 | 130 | 138 |
| AREA#3 | FLOW-THROUGH PLANTER(BMP#3) | 3170 | 127 | 138 |
| AREA#4 | FLOW-THROUGH PLANTER(BMP#4) | 7080 | 283 | 284 |
| AREA#5 | FLOW-THROUGH PLANTER(BMP#5) | 6550 | 262 | 292 |
| AREA#6 | BIO-RETENTION AREA(BMP#6) | 2420 | 92 | 236 |
| AREA#7 | BIO-RETENTION AREA(BMP#7) | 2340 | 104 | 231 |
| AREA#8 | LANDSCAPE | 1910 | | |
| AREA#9 | IMPERVIOUS AREA, SEE NOT 2 | 10,513 | | |

REV. 1 REvised Plans per City
Comments

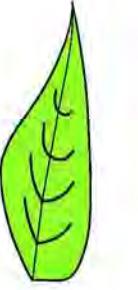
DATE: 02-17-2015
SCALE: AS SHOWN
DRAWN: CW
CHECK: CW
JOB: 2014022

REGISTERED PROFESSIONAL ENGINEER
NO. 73068
Exp. 12/31/2018
CIVIL
STATE OF CALIFORNIA

NOTES
 1) SIZING GUIDELINE FOR FLOW BASED TREATMENT IS 4%, PER COUNTY OF SAN MATEO STANDARDS.
 2) FOR SIDEWALK ALONG EL CAMINO REAL, 27TH AVE, 28TH AVE, RAMP UP/DOWN, AND PORTION OF PRIVATE ROAD, THE PROJECT TEAM WOULD APPLY TREATMENT REDUCTION CREDIT, SEE SPECIAL PROJECT FORM FOR DETAILS.
 3) SEE LANDSCAPE PLAN FOR ONSITE PROPOSED LANDSCAPE DESIGN.
 4) DRAINAGE AREA 2, 3, 4 AND 5 CONTAIN ROOF AREAS, DIFFERENT FLOOR PATIO AREAS AND SKYLIGHT AREAS.
 * ROOF DRAINAGE AREA COMBINED WITH LANDSCAPE AND PERMEABLE PAVER

~SHEET~

SC1.0



GREEN
CIVIL ENGINEERING
GREEN-ENG@GMAIL.COM
204 E. 2ND AVE #820
SAN MATEO, CA 94401

DETAIL SHEET

2700 SOUTH EL CAMINO REAL
SAN MATEO, CA 94403

| REV. | DESCRIPTION | DATE |
|------|---------------------------------|---------|
| 1 | REVISED PLANS PER CITY COMMENTS | 3/28/16 |



DATE: 02-17-2015
SCALE: AS SHOWN
DRAWN: CW
CHECK: CW
JOB: 2014022

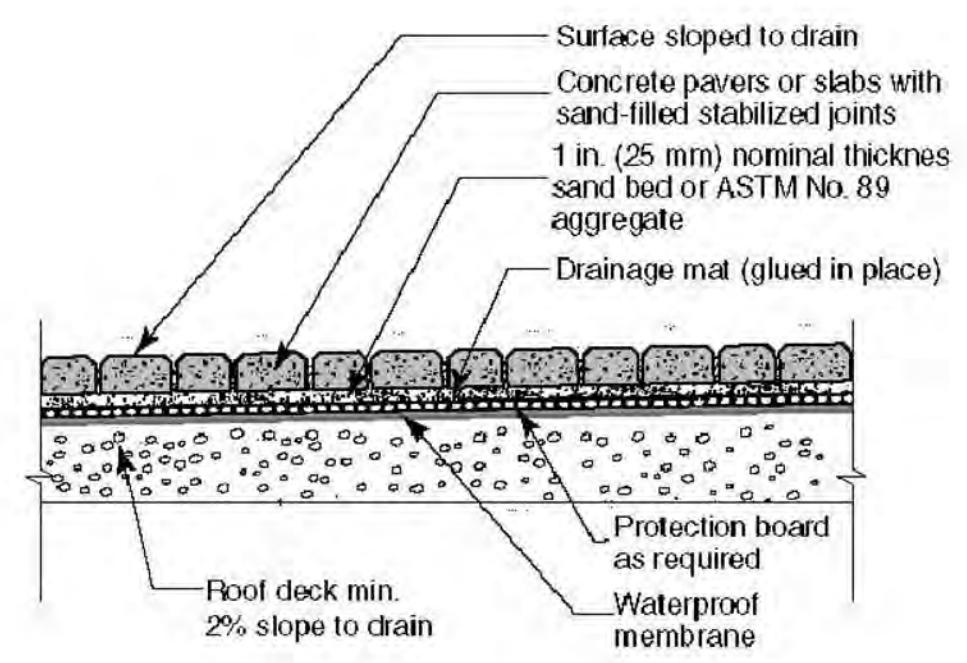
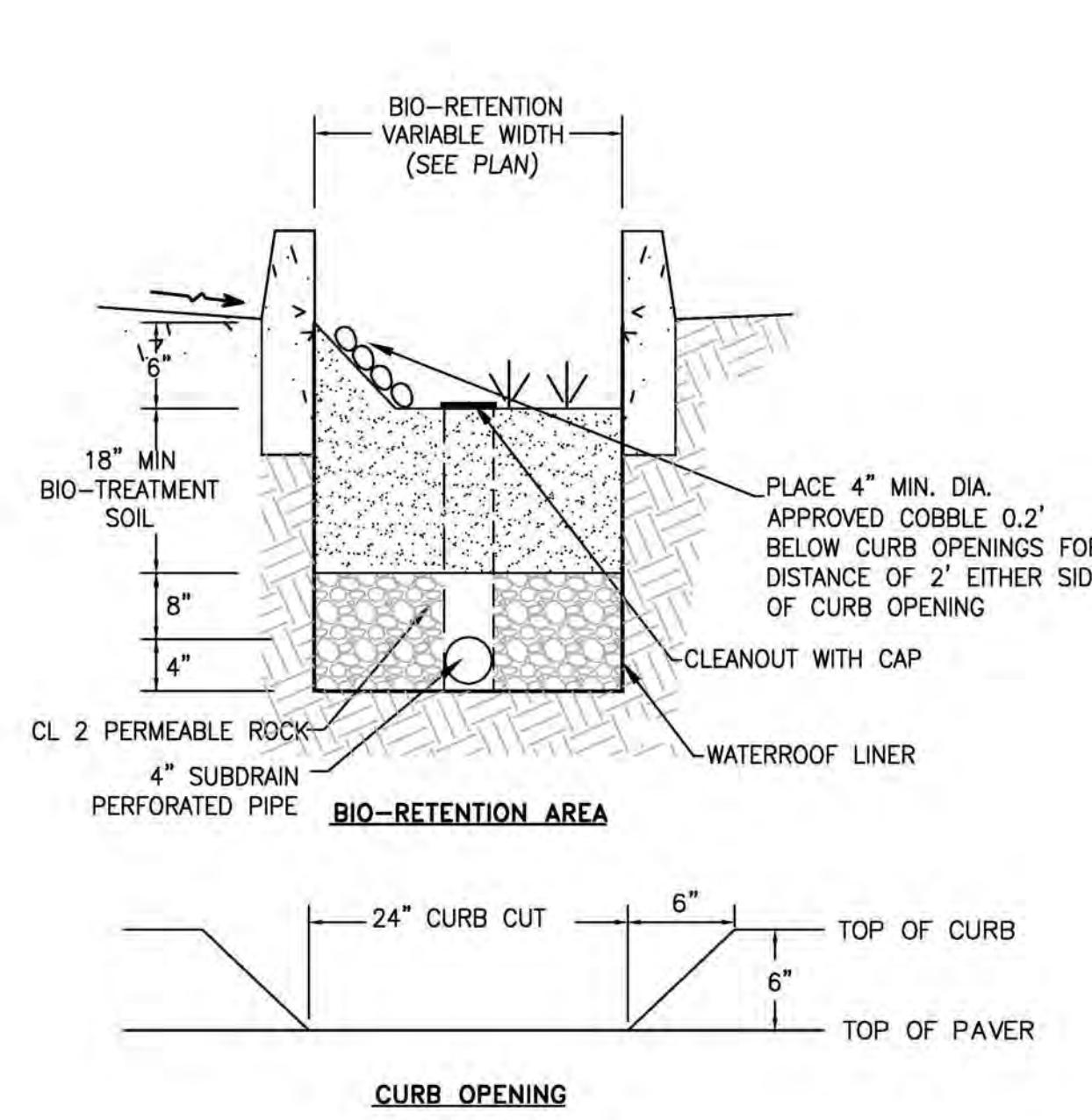
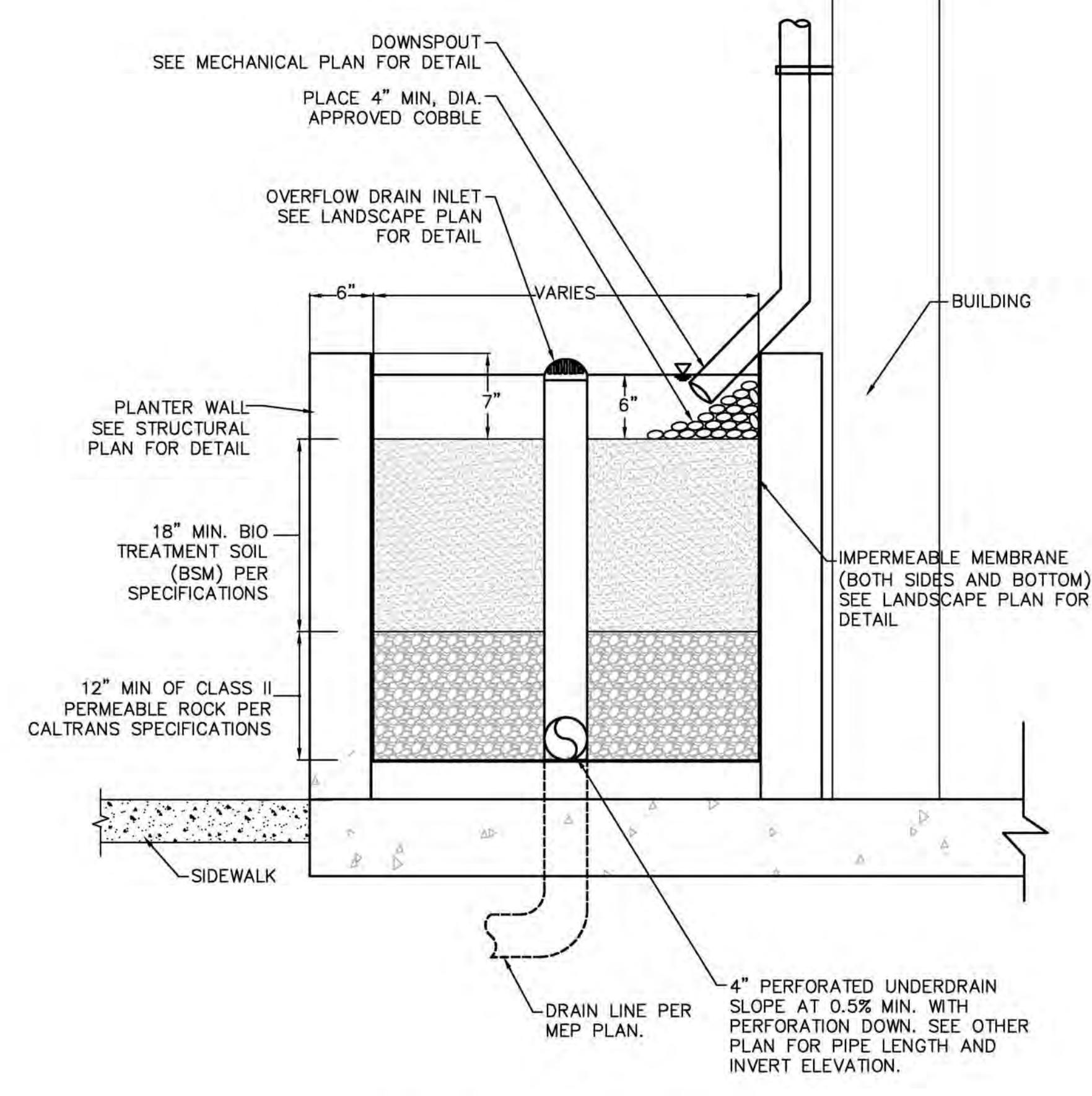


Figure 7. Sand-set concrete pavers or slabs for a pedestrian roof plaza deck. Units no larger than 12 x 12 in. (300 x 300 mm) length and width are recommended for sand-set applications to avoid tipping.

PERMEABLE PAVER
N.T.S. SC1.1



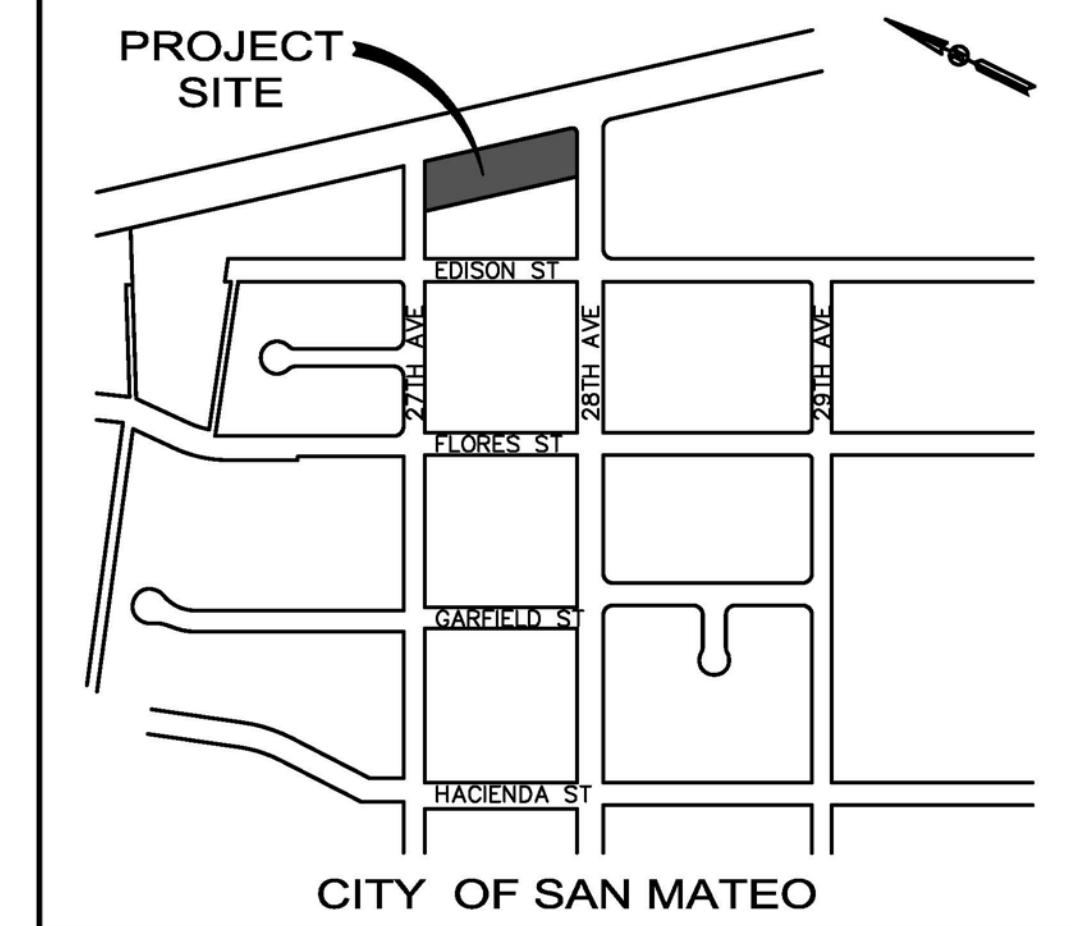
BIO-RETENTION AREA
N.T.S. SC1.1



~SHEET~

SC1.1

**TENTATIVE MAP
HILSDALE TERRACES
2700, 2728 & 2790 SOUTH EL CAMINO REAL
SAN MATEO, SAN MATEO COUNTY, CALIFORNIA 94403
FOR: HILSDALE TERRACES, LLC**



**ASSUMED BENCHMARK AT INTERSECTION OF 27TH AVE.
& EDISON ST.**

ASSUMED BENCHMARK @ SSMH TOP RIM ELEVATION = 100.00 AS SHOWN ON THE MAP.

BASIS OF BEARINGS

THE BEARING N26°45'00" W OF THE CENTERLINE OF EDISON STREET (DERIVE FROM SPLITTING THE CURB LINES) PER "MAP SHOWING A SUBDIVISION OF LOTS 1, 2, 19, AND 21 OF THE BERESFORD PARK TRACT, SAN MATEO COUNTY, CAL." AND "33 RS 43", FILED IN THE OFFICE OF THE RECORDER OF SAN MATEO COUNTY, STATE OF CALIFORNIA, WAS USED AS BASIS OF BEARING FOR THIS SURVEY.

DATE OF SURVEY:

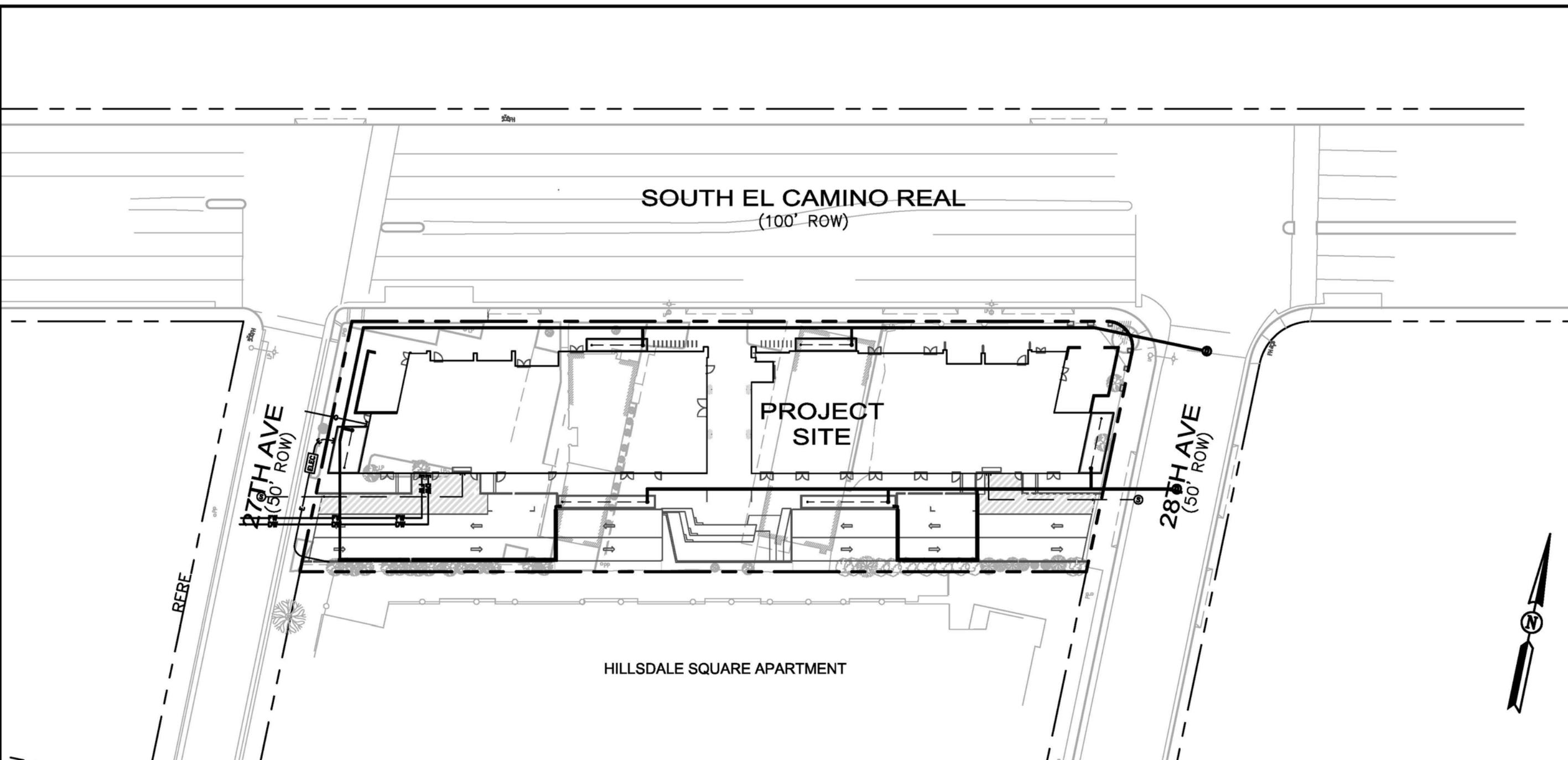
TOPOGRAPHIC INFORMATION SHOWN HERE IS BASED UPON A FIELD SURVEY PERFORMED
ON JANUARY 16, 2014.

BOUNDARY NOTES:

1. PROPERTY AND RIGHT-OF WAY SHOWN HEREON ARE BASED ON RECORD DATA AND NOT INTENDED TO BE A DETAILED FINAL SURVEY OF THE PROPERTY.
2. ALL ANGLES ARE 90° UNLESS OTHERWISE NOTED.
3. ALL DISTANCES ARE MEASURED IN FEET AND DECIMALS THEREOF.
4. PROPERTY LINE TO MONUMENT LINE MEASURED DISTANCES WERE BASED UPON FOUND SURVEY MARKS, CURB SPLITS AND BUILDING OCCUPATIONS.
5. ENCROACHMENT FROM/ONTO THE ADJOINING PROPERTIES THAT MAY EXIST OR MAY BE CONSTRUCTED IS HEREBY ACKNOWLEDGED AND IT SHALL THE RESPONSIBILITY SOLELY OF THE PROPERTY OWNERS INVOLVED TO RESOLVE ANY ISSUES WHICH MAY ARISE THERE FROM. THIS MAP DOES NOT CONVEY ANY INTEREST IN SUCH ENCROACHMENT AREAS TO THE PROPERTY OWNER(S).
6. RECORDED MAP REFERENCE: 33 RS 43, 103 RSM 06, AND 2 RSM 37, SAN MATEO COUNTY.
7. RECORD OWNERSHIP INFORMATION WAS TAKEN FROM GRANT DEED, INSTRUMENT NO. 2013-110986, DATED JULY 30, 2013.
8. BUILDING FOOTPRINTS SHOWN ARE ALL TAKEN ON THE GROUND LEVEL.

UTILITY STATEMENT:

THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND/OR RECORD DATA AND ARE APPROXIMATE ONLY. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRIZE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES. ACTUAL LOCATION AND SIZE, TOGETHER WITH THE PRESENCE OF ANY ADDITIONAL UTILITY LINES NOT SHOWN ON THIS PLAN, SHALL BE VERIFIED IN THE FIELD BY THE CONTRACTOR DURING CONSTRUCTION. PRIOR TO ANY DIGGING, CALL U.S.A. (1-800-642-2444) AT LEAST 48 HOURS IN ADVANCE TO HAVE EXISTING UNDERGROUND UTILITIES MARKED.



LOCATION MAP

NOT TO SCALE

SHEET INDEX

- TM-1 COVER SHEET
- TM-2 EXISTING PARCELS & EASEMENTS
- TM-3 PROPOSED PARCELS & EASEMENTS
- TM-4 PRELIMINARY GRADING & DRAINAGE PLAN
- TM-5 PRELIMINARY UTILITY PLAN

LEGEND

| | |
|---|--|
| ----- | PROPERTY LINE |
| ----- | EXISTING LINE |
| | BUILDING LIMITS |
|  | BENCHMARK REFERENCE |
| ----- OH ----- | OVERHEAD ELECTRICAL LINE (APPROXIMATE) |
| ----- SD ----- | STORM DRAIN LINE (APPROXIMATE) |
| ----- SS ----- | SANITARY SEWER LINE (APPROXIMATE) |

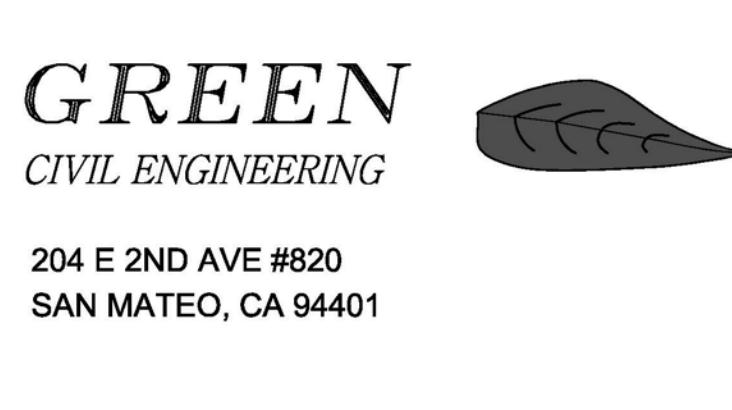
ABBREVIATIONS

| | | | |
|-----------|--------------------------|--------------------|--|
| AC | ASPHALT CONCRETE | PB-MH | PACIFIC BELL MANHOLE |
| APN | ASSESSOR'S PARCEL NUMBER | PL | PROPERTY LINE |
| BM | BENCHMARK | PP | POWER POLE |
| BC | BUILDING CORNER | ROW | RIGHT OF WAY |
| BL | BUILDING LINE | RTW. | RETAINING WALL |
| BOW | BOTTOM OF WALL | (R) | PER RECORD MAPS |
| BP | BACKFLOW PREVENTER | SS | STREET SIGN |
| BRG | BACK OF ROLL CURB | SDMH | STORM DRAIN MANHOLE |
| BW | BACK OF WALK | SSMH | SANITARY SEWER MANHOLE |
| CLR. | CLEAR | S/W | SIDEWALK |
| (D) | PER RECORDED DEED | TC | TOP OF CURB |
| DI | DRAIN INLET | TR | TREE |
| D/W | DRIVEWAY | TSBX | TRAFFIC SIGNAL BOX |
| EL./ELEV. | ELEVATION | TSP | TRAFFIC SIGNAL POLE |
| (E)/EX. | EXISTING | TW | TOP OF WALL |
| FH | FIRE HYDRANT | TYP. | TYPICAL |
| FL | FLOW LINE | (T) | TOTAL |
| GND | GROUND | WBX | WATER BOX |
| GV | GAS VALVE | WV | WATER VALVE |
| LG | LIP OF GUTTER | WD | WOODEN |
| LP | LIGHT POLE | ±0.00' CLR.* | MEAS. FROM INSIDE FACE OF RTW./WALL TO PL |
| MIN | MINIMUM | ±0.00' CLR/OVER.** | MEAS. FROM INSIDE WD. FACE OF FENCE TO PL |
| (M)/MEAS. | MEASURED | ±0.00' CLR.*** | MEAS. FROM BLDG. CORNER/LINE TO PL |
| MH | MANHOLE | 0.00'Ø | MEAS. FROM BASE OF THE TREE (APPROXIMATE). |
| NTS | NOT TO SCALE | ① | 103 RSM 06 |
| PAV | PAVEMENT | | |

GENERAL NOTES

| | | |
|-----------------------|--|--|
| 1. OWNER / DEVELOPER: | HILLSDALE TERRACES, LLC 159 EL CAMINO REAL MILLBRAE, CA 94030 | 7. LOT AREA: LOT 1 (MERGED TO 1 LOT) 0.999± ACRE 039-352-060 0.378± ACRE 039-352-070 0.298± ACRE 039-352-090 0.323± ACRE |
| 2. ARCHITECT: | COSTA BROWN ARCHITECTURE, INC. 1620 MONTGOMERY STREET, SUITE 300 SAN FRANCISCO, CA 94111 | 8. TOTAL NO. OF PROPOSED UNITS: COMMERCIAL – 17,804 SF OF FLOOR AREA RESIDENTIAL – 74 UNITS |
| 3. CIVIL ENGINEER: | GREEN CIVIL ENGINEERING 204 EAST 2nd AVENUE #820 SAN MATEO, CA 94401 | 9. TOTAL NO. OF PARKING PROVIDED: 171 SPACES 56 (COMMERCIAL) 100 (RESIDENTIAL) 15 (VISITOR) |
| 4. SURVEYOR: | GLA CIVIL ENGINEERING, INC. 944 MARKET STREET, SUITE 711 SAN FRANCISCO, CA 94102 | 10. UTILITIES: WATER: CAL WATER SANITARY SEWER: CITY OF SAN MATEO STORM DRAIN: CITY OF SAN MATEO FIRE: CITY OF SAN MATEO GAS & ELECTRIC: PACIFIC GAS & ELECTRIC TELEPHONE: AT&T CABLE TV: COMCAST |
| 5. APN(S): | 039-352-060 039-352-070 039-352-090 | |
| 6. ZONING: | C3-1/R4 | |

DRAFT



OWNER:
HILSDALE TERRACES, LLC

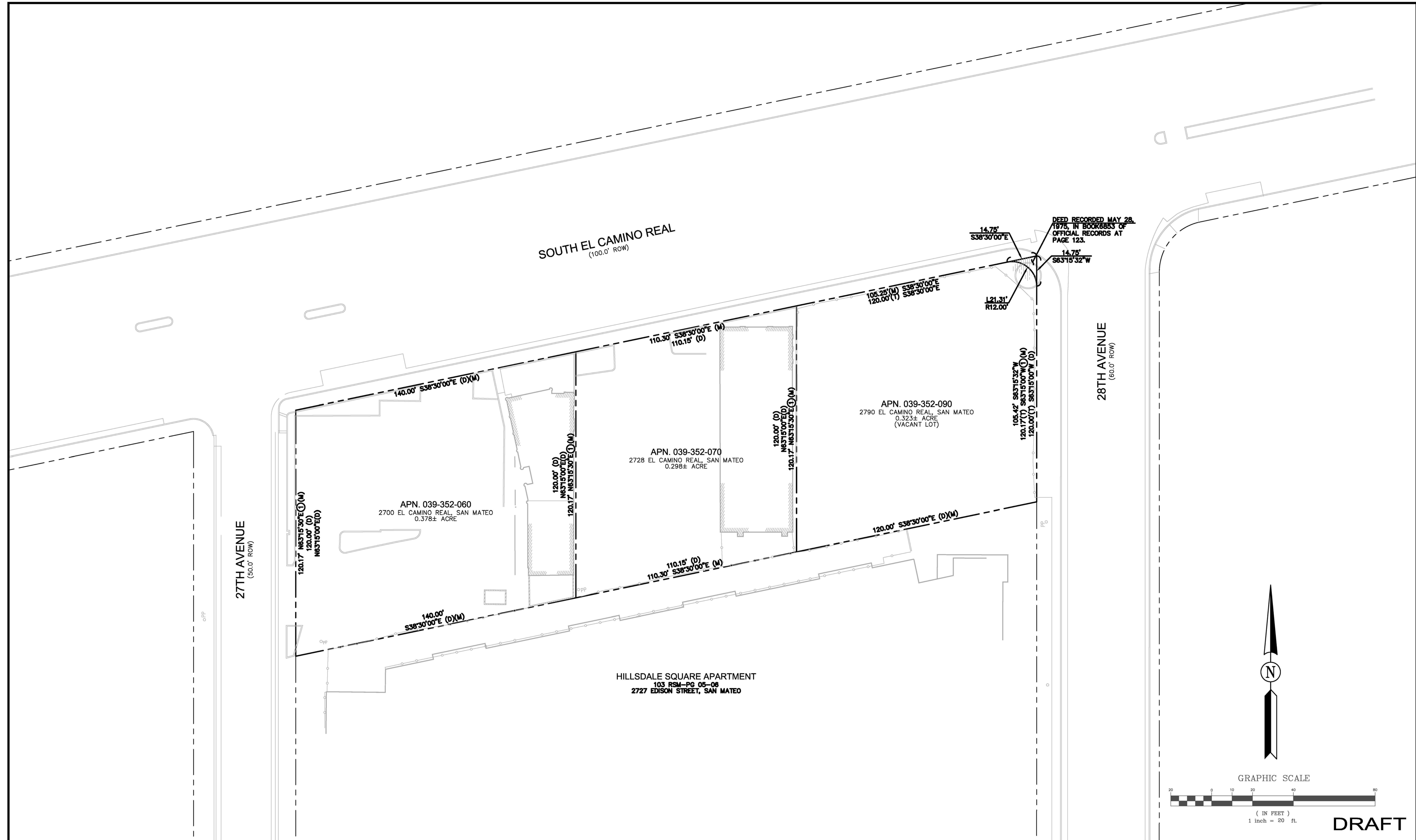
**COVER SHEET
TENTATIVE MAP
2700, 2728 & 2790 SOUTH EL CAMINO REAL
SAN MATEO, CALIFORNIA 94403**

SCALE
VERTICAL: 1"= AS SHOWN
HORIZONTAL: 1"= AS SHOWN

SHEET
TM-1

OF 5 SHEET

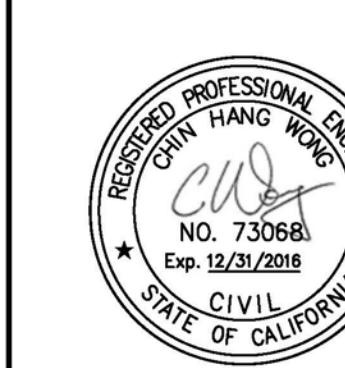
JOB NO.
2014022



| REV. | DATE | DESCRIPTION |
|------|-----------|--|
| - | 3/29/2016 | TENTATIVE MAP PER DEPT. OF COMMUNITY DEVELOPMENT COMMENTS, 1/20/16 |
| | | |
| | | |
| | | |

GREEN
CIVIL ENGINEERING

204 E 2ND AVE #820
SAN MATEO, CA 94401



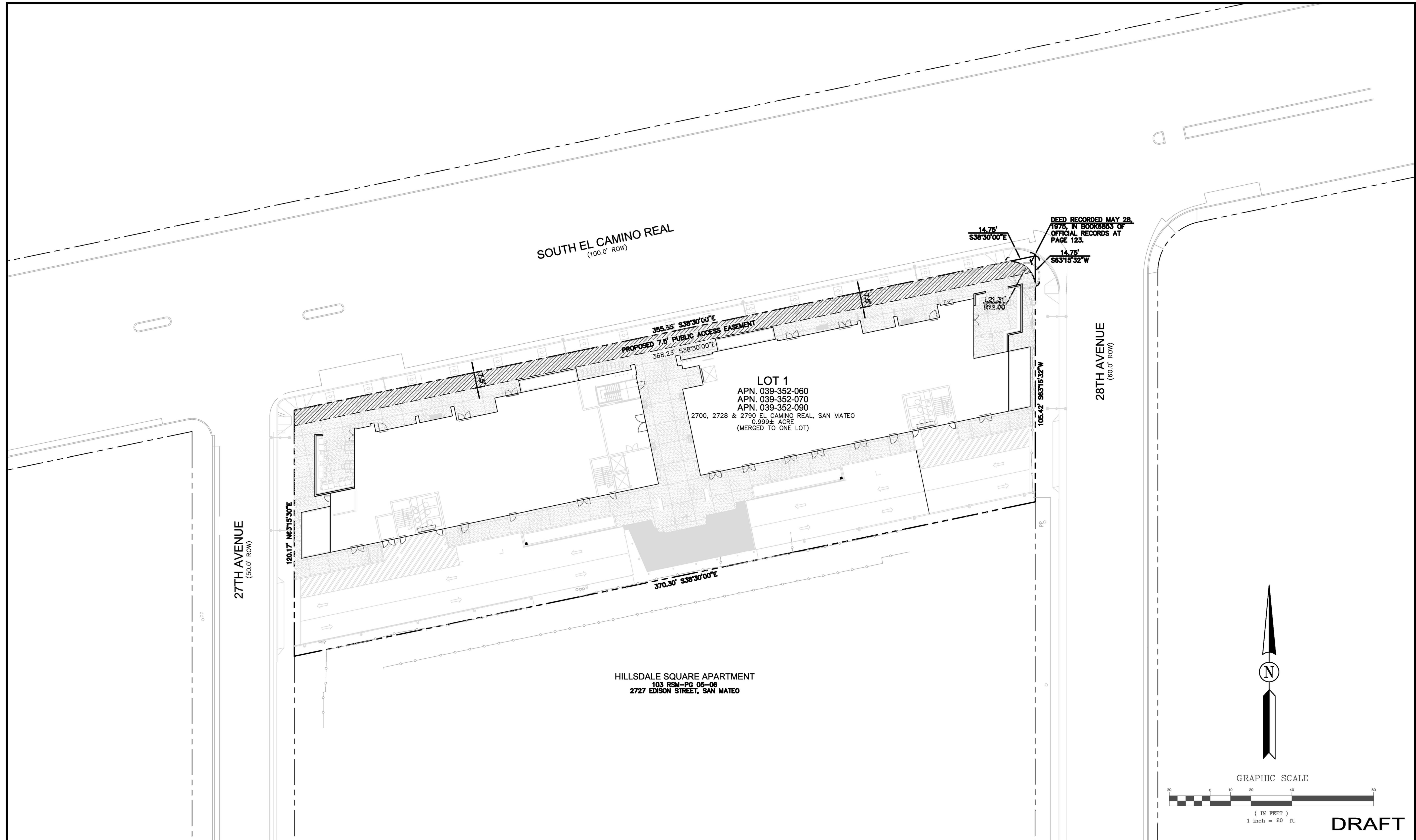
OWNER:
HILLSDALE TERRACES, LLC
159 EL CAMINO REAL
MILLBRAE, CA 94030

EXISTING PARCELS & EASEMENTS
TENTATIVE MAP
2700, 2728 & 2790 SOUTH EL CAMINO REAL
SAN MATEO, CALIFORNIA 94403

SCALE
VERTICAL: 1" = AS SHOWN
HORIZONTAL: 1" = AS SHOWN

SHEET
TM-2
OF 5 SHEET

JOB NO.
2014022



| REV. | DATE | DESCRIPTION |
|------|-----------|--|
| - | 3/29/2016 | TENTATIVE MAP PER DEPT. OF COMMUNITY DEVELOPMENT COMMENTS, 1/20/16 |

GREEN
CIVIL ENGINEERING

204 E 2ND AVE #820
SAN MATEO, CA 94401



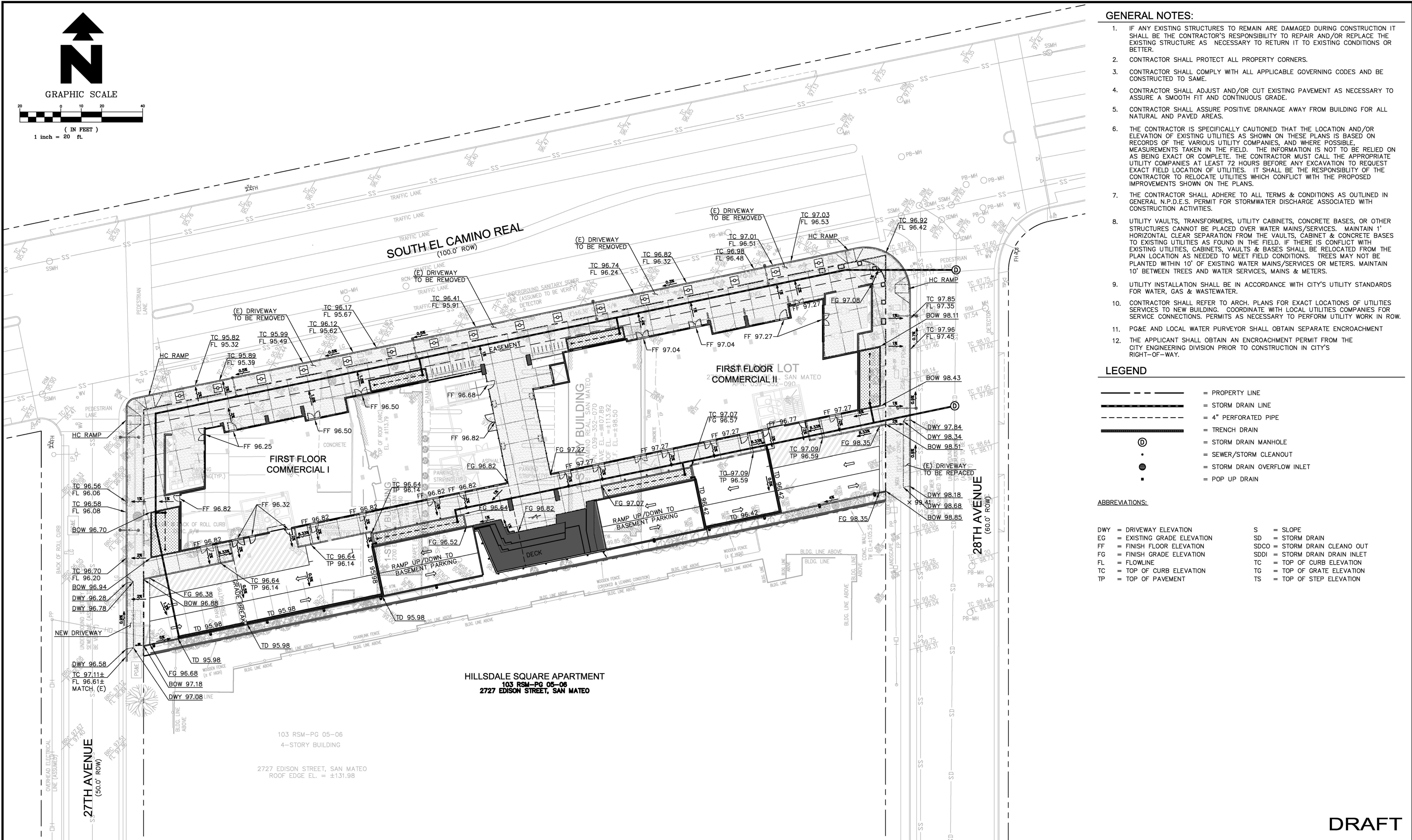
OWNER:

HILLSDALE TERRACES, LLC

159 EL CAMINO REAL
MILLBRAE, CA 94030

PROPOSED PARCELS & EASEMENTS
TENTATIVE MAP
2700, 2728 & 2790 SOUTH EL CAMINO REAL
SAN MATEO, CALIFORNIA 94403

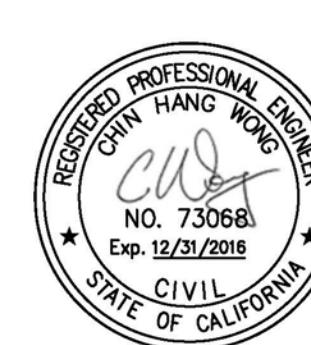
| |
|---|
| SCALE VERTICAL: 1" = AS SHOWN HORIZONTAL: 1" = AS SHOWN |
| SHEET TM-3 OF 5 SHEET |
| JOB NO. 2014022 |



| REV. | DATE | DESCRIPTION |
|------|-----------|--|
| - | 3/29/2016 | TENTATIVE MAP PER DEPT. OF COMMUNITY DEVELOPMENT COMMENTS, 1/20/16 |

GREEN
CIVIL ENGINEERING

204 E 2ND AVE #820
SAN MATEO, CA 94401

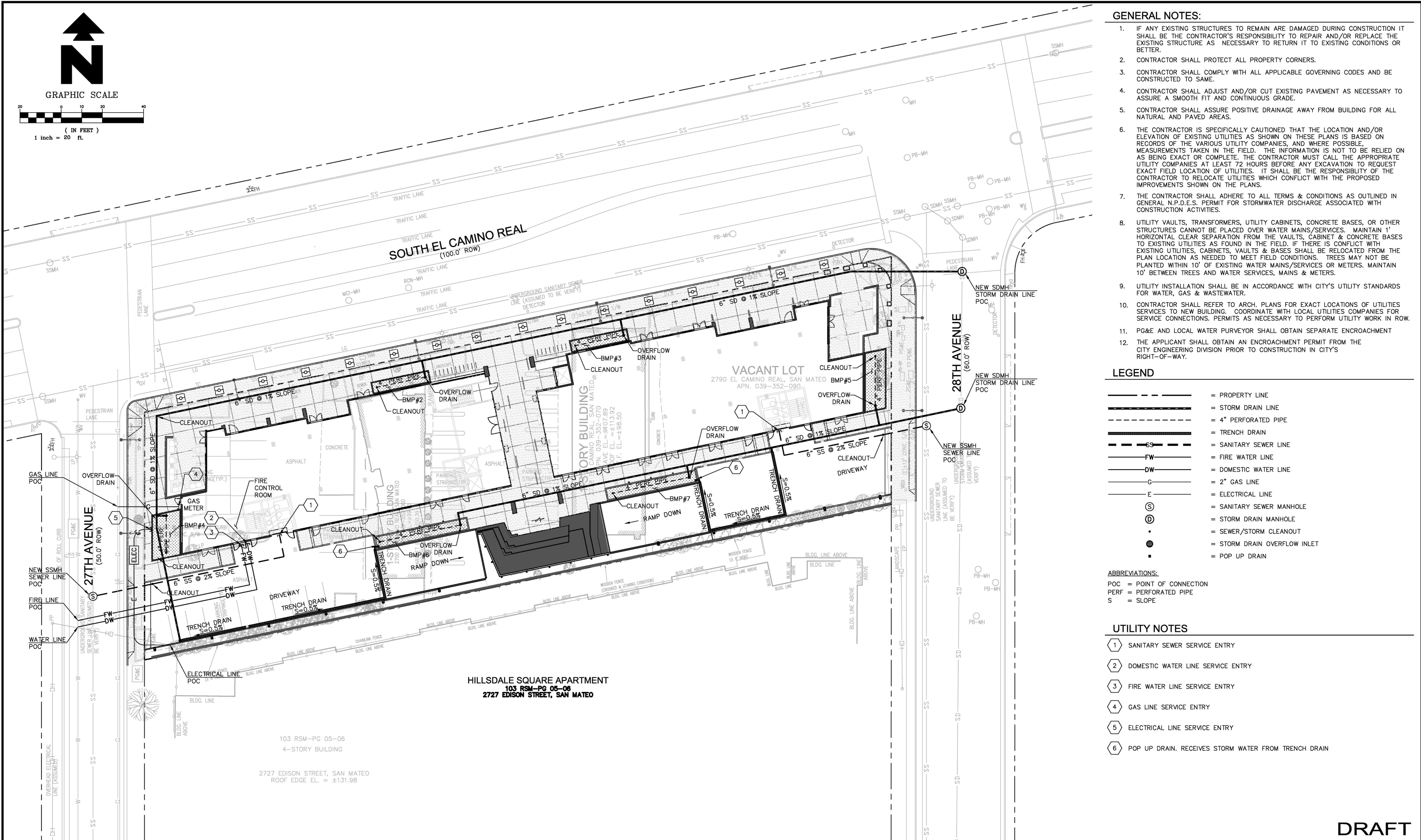


OWNER:
HILLSDALE TERRACES, LLC
159 EL CAMINO REAL
MILLBRAE, CA 94030

PRELIMINARY GRADING & DRAINAGE PLAN
TENTATIVE MAP
2700, 2728 & 2790 SOUTH EL CAMINO REAL
SAN MATEO, CALIFORNIA 94403

SCALE
VERTICAL: 1" = AS SHOWN
HORIZONTAL: 1" = AS SHOWN
SHEET
TM-4
OF 5 SHEET
JOB NO.
2014022

DRAFT



| REV. | DATE | DESCRIPTION |
|------|-----------|--|
| - | 3/29/2016 | TENTATIVE MAP PER DEPT. OF COMMUNITY DEVELOPMENT COMMENTS, 1/20/16 |

GREEN
CIVIL ENGINEERING

204 E 2ND AVE #820
SAN MATEO, CA 94401



OWNER:
HILLSDALE TERRACES, LLC
159 EL CAMINO REAL
MILLBRAE, CA 94030

PRELIMINARY UTILITY PLAN

TENTATIVE MAP

2700, 2728 & 2790 SOUTH EL CAMINO REAL
SAN MATEO, CALIFORNIA 94403

SCALE
VERTICAL: 1" = AS SHOWN
HORIZONTAL: 1" = AS SHOWN

SHEET
TM-5
OF 5 SHEET

JOB NO.
2014022

DRAFT