

## PART TWO: STREET AND OPEN SPACE REQUIREMENTS

### IV.2 Parks

Each open space area shall have a distinct character and program, providing a centerpiece for each of the six Bay Meadows Phase II Places. These open space destinations should provide valuable outdoor amenities to residents and the public. Landscape design goals include the creation of attractive and active public amenities which reflect progressive sustainable building practices, preserve local character, and reflect high quality design. Images used in this section are illustrative and are intended to demonstrate one of many ways that the intent of these Design Guidelines can be fulfilled.

#### IV.2.1 Community Park

The Community Park, which shall be designed by the City of San Mateo, shall include a wet stormwater storage area as described in the SPA and the Conditions of Approval. The requirements for the wet storage area are specified below.

##### Wet Pond

The pond shall be designed to treat stormwater run-off in accordance with the NPDES requirements. The pond design shall take account of maintenance, vector control and public safety issues. The pond shall be designed as part of the Bay Meadows Phase II Site Development Planning Application infrastructure package, with input from the City of San Mateo's Public Works and Parks and Recreation departments.



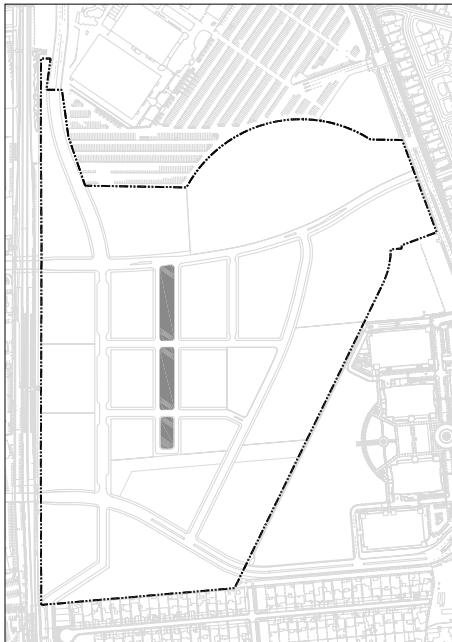
**Figure IV-32**  
Key Plan - Community Park



**Figure IV-33**  
Wet Pond illustrative

The design of the pond shall incorporate the following features:

- The pond shall be integrated into the design of the Community Park, and will function as a visual amenity to the Bay Meadows Phase II neighborhood.
- Stormwater from the neighborhood shall enter the pond in a forebay pool, which shall promote primary settlement of suspended solids. Sediment removal maintenance shall be concentrated in this smaller forebay area, with less regular sediment removal required for the main pond area. The pond shall have a drain to draw down the pond and forebay to enable periodic sediment clean outs.
- The main pool shall be contoured to maximize the length of the flow path within the pool, to maximize the hydraulic residence time, hence promoting settlement of suspended solids and biological uptake.
- Vehicular access shall be provided to the forebay area to promote ease of maintenance. This vehicular access may utilize permeable paving.
- Access to the wetland fringes shall be provided to allow periodic removal of excessive vegetation.
- The edge details shall consider public safety, e.g. emergency egress routes (e.g. ladders, walkable slopes or steps) shall be provided should anyone inadvertently enter the pond.
- Railings or fencing around the perimeter of the pond is discouraged. The pond shall not be surrounded by a chain link fence.
- The pond shall be designed to facilitate a stable ecology. A recirculation and/or aeration system to enhance water quality during dry periods is encouraged.
- Approximately 50% of the pond edge should include shallow marginal fringe planting within emergent vegetation.
- Shading of the shallow fringes by trees or shade structures to control emergent vegetation is encouraged.
- Seating in association with pedestrian access and a pedestrian overlook is encouraged.
- Locating the pond in order to maximize park area is encouraged, provided, however, that the final location of the pond shall be determined in accordance with the Conditions of Approval.



**Figure IV-34**  
Key Plan - Linear Neighborhood Park



**Figure IV-35**  
Gramercy Park, NY  
Elegant, peaceful, and inviting, the Linear Neighborhood Park should be a true destination and neighborhood treasure

## IV.2.2 Linear Neighborhood Park

The Linear Neighborhood Park should be an elegant neighborhood icon incorporating continuous north-south paths, lush garden planting, a generous central lawn area, and several garden rooms along the pathway system, with a variety of uses appropriate for people of all ages. Large shade trees should define the edges of the park while diverse habitat-oriented planting and passive sitting areas should define the interior of the park.

### Program / Use Recommendations

- Lawn areas for passive and casual recreation
- Several garden rooms suitable for spontaneous family recreation, a meeting place for friends, a respite from shopping or for reading, and a convenient lunchtime location for nearby employees
- Significant ornamental planting beds
- A continuous path from the north to south ends

### Trees

- A single species of large tree is recommended around the park perimeter, see IV.4.8
- Tree size at time of planting shall be at least 15 gallons
- Preferred perimeter tree species: Sycamore, *Platanus acerifolia* 'Columbia'
- Alternative perimeter tree species: Red Horsechestnut, *Aesculus X Carnea*  
Shumard Oak, *Quercus shumardii*

- Specimen trees within the park are encouraged

### Planting

- A combination of ornamental and habitat-oriented plants is required
- Drought-tolerant plants are preferred. See IV.1.5 for species suggestions

### Paving

- Paving alternatives such as precast pavers, crushed stone, permeable pavers, and natural resin paving are encouraged. Finish materials to be determined during SPAR process
- Poured asphalt paving is prohibited

### Structures

- Pergolas, arbors and similar structures are permitted

### Lighting

- General lighting for code compliance and security along paths is required
- See section IV.1.8

### Furniture

- Seating (cast-in-place, modular and/or moveable) is required
- Trash and recycling and dog waste bag containers are required

### Utilities

- Water fountain is required



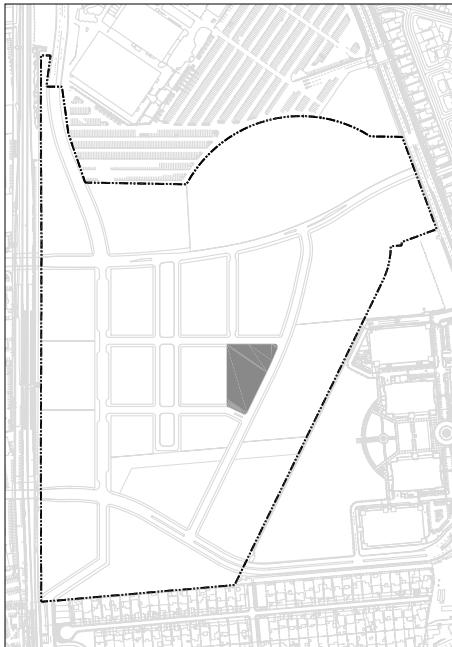
**Figure IV-36**  
*Gamble Gardens, Palo Alto*  
Planted garden paths encourage peaceful strolling



**Figure IV-37**  
*Golden Gate Park, San Francisco*  
Garden rooms provide unique places to stop and rest or socialize with friends



**Figure IV-38**  
Illustrative Perspective: An open lawn offers space for recreation for all ages



**Figure IV-39**  
Key Plan - Central Neighborhood Park

### IV.2.3 Central Neighborhood Park

Bounded by 29th Avenue, 30th Avenue and Street C, the Central Neighborhood Park should be an important communal open space for local residents and a safe gathering space for local youth. The park should serve the recreational and social needs of neighborhood families by providing a balance of active and passive uses. Areas within the park should be located so that a transitional buffer is created between active park uses and adjacent residential uses and/or streets. The street edge of the park should be designed to encourage passive gathering and seating.

#### Program / Use Recommendations

- Approximately 1/4 of park area as lawns for passive recreation, bocce court, and/or sprayground
- Small court for active recreation
- A tot-lot or playground for children's play
- Eating area for small groups
- Park should allow flexibility for future residents to revise the park program if necessary to better fit their needs. Program uses are only suggestions, with final determinations to be made during the SPAR process

#### Trees

- At least 1/4 of park should be shaded when trees are mature
- A combination of variously sized specimen tree species is recommended
- Street tree planting should be interrupted by park trees
- Tree size at time of planting shall be at least 15 gallons
- Preferred street tree species: Alexandrina Saucer Magnolia, *Magnolia soulangeana* 'Alexandria'  
California Buckeye, *Aesculus californica*  
Sterling Silver Linden, *Tilia americana* 'Sterling'

#### Planting

- A combination of ornamental and habitat-oriented plants is required
- Drought-tolerant plants are preferred. See IV.1.5 for species suggestions

#### Paving

- Paving alternatives such as precast pavers, crushed stone, permeable pavers, and natural resin paving are encouraged. Finish materials to be determined during SPAR process
- Concrete or asphalt with sports court topping at court is permitted
- A safety surface is required at a tot-lot or playground
- Poured asphalt paving is prohibited (except with sports topping at court)

#### Structures

- A restroom structure or park pavilion is permitted

#### Lighting

- General lighting for code compliance and security along paths is required
- See section IV.1.8
- Sports court and play area lighting is discouraged

#### Furniture

- Trash and recycling and dog waste bag containers are required
- Seating (cast-in-place, modular and/or moveable) is required
- Picnic tables or other tables and seating is recommended

#### Utilities

- Event utility hookups are recommended. Water fountain is required



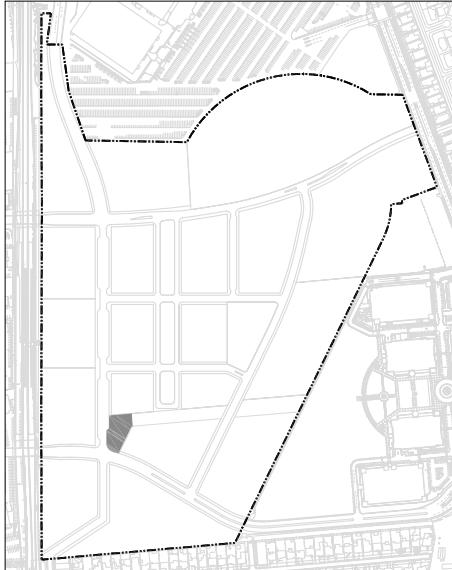
**Figure IV-40**  
*Koshland Park, San Francisco*  
An appropriate example of small scale active recreation



**Figure IV-41**  
*Shoup Park- Los Altos, Santa Clara County*  
A lawn area with shade trees and edge planting creates an inviting recreation area



**Figure IV-42**  
*Alta Bates Playground, Berkeley*  
A children's play and picnic area surrounded by large shade trees provides an attractive amenity for families



**Figure IV-43**  
Key Plan - Town Square



**Figures IV-44, 45, 46**  
Examples of bike paths through squares

## IV.3 PUBLIC ACCESS EASEMENTS

Public Access Easements should serve as rich landscape features and neighborhood destinations complementing the Bay Meadows Phase II public parks and streets. Images used in this section are illustrative and are intended to demonstrate one of many ways that the intent of these Design Guidelines can be fulfilled.

### IV.3.1 Town Square

Defined by Delaware Street and building frontages to the north and east, the Town Square should function as the primary civic destination of Bay Meadows Phase II. The Town Square should support multipurpose programming and provide a public gathering space featuring high quality materials and seasonal planting color.

#### Program / Use Recommendations

- A public gathering area for Bay Meadows Phase II
- Community event amenities
- Outdoor seating
- Temporary farmer's market

#### Features

- Outdoor seating associated with adjacent restaurants is required. A shade structure such as an awning over outdoor seating is encouraged
- The Town Square should be predominantly paved
- A central focal element such as a sculpture or water feature is recommended
- Public art will be provided in accordance with previous approvals

#### Trees

- An extension of the tree allee from the View Corridor to Delaware Street is encouraged
- Medium-sized shade trees are recommended at Delaware Street and should differ from typical Delaware Street trees. The preferred species is Sawleaf Zelkova, *Zelkova serrata*. Alternative species are Chinese Hackberry, *Celtis sinensis* or Drake Chinese Elm, *Ulmus parvifolia* 'Drake'
- Tree size at time of planting shall be at least 15 gallons

#### Planting

- Drought-tolerant plants are preferred. See IV.1.5 for species suggestions
- Decorative planting, either in raised planters or in pots in addition to/or in place of drought-tolerant plants shall be considered.

#### Paving

- High quality unit pavers or stone should cover the majority of the paved area. Poured asphalt is prohibited

#### Structures

- If a bus stop is located adjacent to the Town Square on Delaware Street, it is recommended that a distinctive shelter integrated into the Town Square design be provided
- Restroom kiosks are allowed.

#### Lighting

- See section IV.1.8. Innovative and distinctive lighting for the Town Square is encouraged

#### Furniture

- Moveable chairs, cast-in-place seating and/or modular benches are required

#### Utilities

- Event utility hookups are recommended
- Trash and recycling containers are required

Bicycles

- A Class I bikeway, providing recreational opportunities for exclusive use of bicycles and pedestrians with the cross flow of motorists minimized, is allowed in accordance with the SPA.
- The designation of a shared bicycle pedestrian zone through the town square and connecting with the Class II bike lanes at the southern end of the linear park, and the intersection of Delaware and 31st Avenue is preferred. The design of the signage and markings for this route, and for bicycle parking within the square, shall be included as part of the SPAR review for the Square and View Corridor.



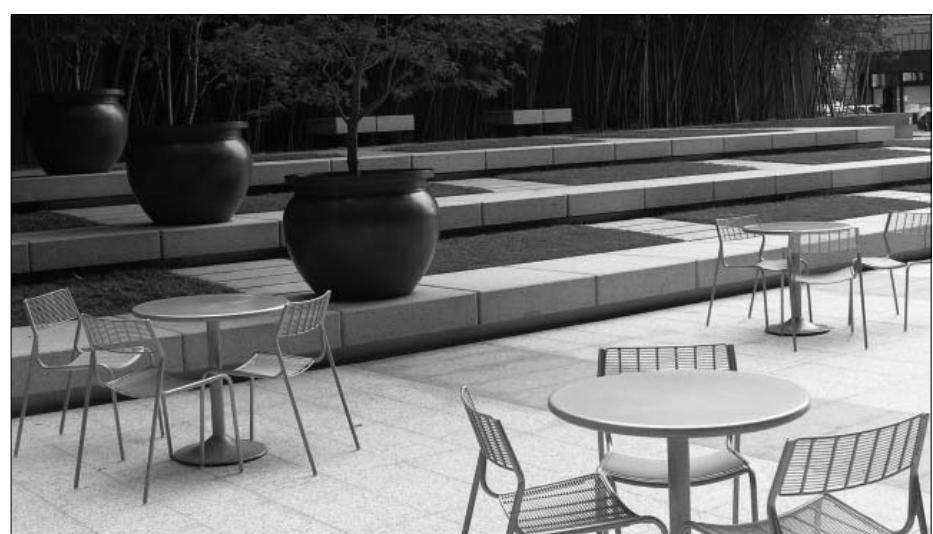
**Figure IV-47**  
*Market Street, San Francisco*  
Moveable tables and chairs allow for a variety of uses



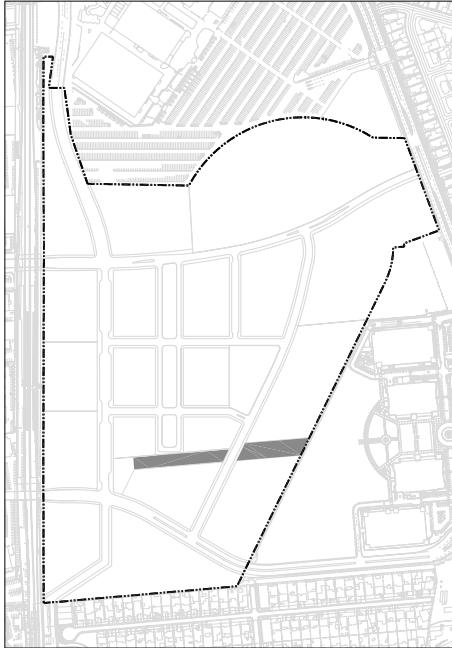
**Figure IV-48**  
*Maastricht, Netherlands*  
Paving design can define use areas without using vertical barriers



**Figure IV-49**  
*Sawleaf Zelkova*  
Preferred Town Square tree



**Figure IV-50**  
*560 Mission, San Francisco*  
A mixture of permanent and flexible seating offers diverse program opportunities and creates a civic focus



**Figure IV-51**  
Key Plan - View Corridor

### IV.3.2 View Corridor

The View Corridor should be a continuous linear sequence of uses including circulation, sitting, links to the Town Square and to the Linear Neighborhood Park, recreation areas and community gardens. The View Corridor should feature consistent landscape elements along its entire length, such as a palm allee, benches, ornamental planting, game tables, and lighting, to reinforce the linear pathway.

#### Program / Use Recommendations

- Pedestrian access between open space destinations
- Potential pedestrian connection to Bay Meadows Phase I
- A combination of active and passive recreational activities that could include:  
Small court sport, e.g. Bocce, community oriented garden at easternmost Block, flexible-use lawn areas
- Vehicular access for residential units east of Street C

#### Features

- A continuous tree allee from the Town Square to the east end is recommended

#### Trees

- A singular prominent tree from the Town Square to the Franklin edge is required
- Tree spacing may vary to accommodate lighting and program requirements
- Tree size at time of planting shall be at least 15 gallons
- Preferred allee tree species: Red Maple, *Acer rubrum*

Sycamore, *Platanus acerifolia 'Columbia'*

Red Oak, *Quercus rubra*

#### Planting

- Raised planters recommended, planter pots discouraged
- See IV.1.5 for species recommendations

#### Paving

- A walkway from the Town Square to the east property line is required, provided that screening landscaping may be installed until a pedestrian connection to Bay Meadows Phase I is in place. Decorative paving is encouraged
- The design of the easternmost block should recognize pedestrian priority in the design of the interface with vehicles and should consider a potential future connection to Phase I
- Permeable paving is allowed

#### Structures

- None required

#### Lighting

- See section IV.1.8
- Distinctive lighting to distinguish the View Corridor is permitted

#### Furniture

- Modular benches and/or cast-in-place seating are encouraged

#### Utilities

- Event utility hookups are recommended
- Trash and recycling and dog waste bag containers are required



**Figure IV-52**  
*Beresford Park, San Mateo*  
 Small court game like Bocce invites a wide range of users to socialize



**Figure IV-53**  
*Koshland Park, San Francisco*  
 A community garden at the east end of the corridor can be quiet, visible and protected



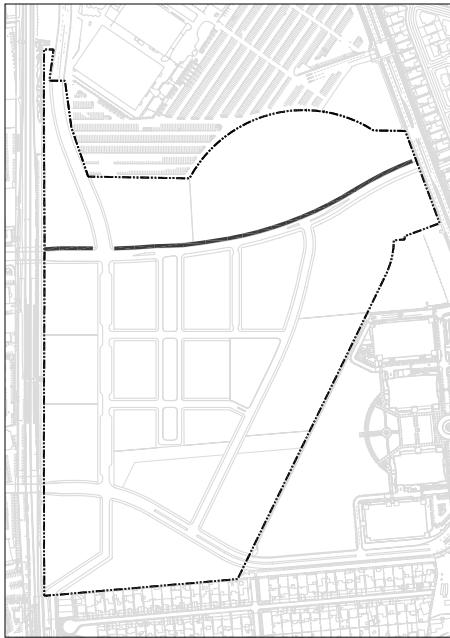
**Figure IV-54**  
*Battery Park Esplanade, New York*  
 A strong promenade with occasional seating provides identity and activation



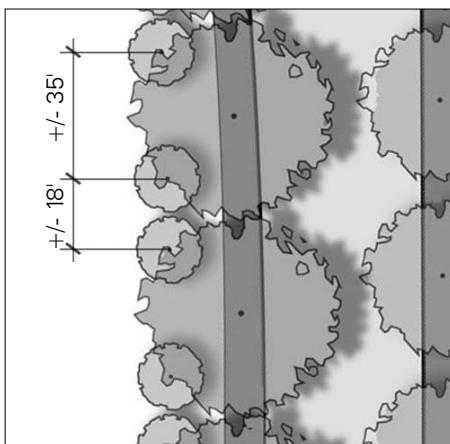
**Figure IV-55**  
*Caltech Campus, Pasadena*  
 A consistent canopy of palms along the View Corridor



**Figure IV-56**  
 View Corridor - A prominent tree allee defines the View Corridor while providing pedestrian-scaled spaces for socializing and recreation



**Figure IV-57**  
Key Plan - 28th Avenue Promenade



**Figure IV-58**  
Appropriate tree spacing diagram

### IV.3.3 28th Avenue Promenade

This easement extends beyond the sidewalk north of 28th Avenue, creating space for a generous multi-use pathway with buffer planting on each side of the path. This promenade affords clear and comfortable access between the CalTrain station and the Community Park. Pursuant to the Specific Plan Amendment, the bikeway should run along the north side of 28th Avenue (Specific Plan Amendment at IV-31), but does not have to be immediately adjacent to 28th Avenue. The Specific Plan Amendment also allows on-street parking to accommodate park users on both sides of 28th Avenue (between Delaware Street and Saratoga Drive) (Specific Plan Amendment page IV-48).

#### Program / Use Recommendations

- Pedestrian and bike access between train station and park

#### Features

- A shared pedestrian and bike path is recommended

#### Trees

- Large shade trees are preferred in the planting strip
- Tree species and spacing must be consistent along entire length
- Appropriate shade tree spacing is shown in Figure IV-58
- Preferred shade tree species: Valley Oak, *Quercus lobata*
- Alternative shade tree species: Southern Live Oak, *Quercus virginiana*  
English Oak, *Quercus robur*
- Medium sized screen trees are preferred along the park side of the path
- Tree size at time of planting shall be at least 15 gallons
- Appropriate screen tree spacing 18'-35' on center
- Preferred screen tree species: Cajeput tree, *Melaleuca quinquenervia*  
California buckeye, *Aesculus California*

#### Planting

- A combination of ornamental and habitat oriented shrubs is required
- Drought-tolerant plants preferred
- See IV.1.5 for species suggestions

#### Paving

- Decorative paving is encouraged. Asphalt pavers or architectural finish concrete with a stone paver edge is suggested

#### Structures

- None required

#### Lighting

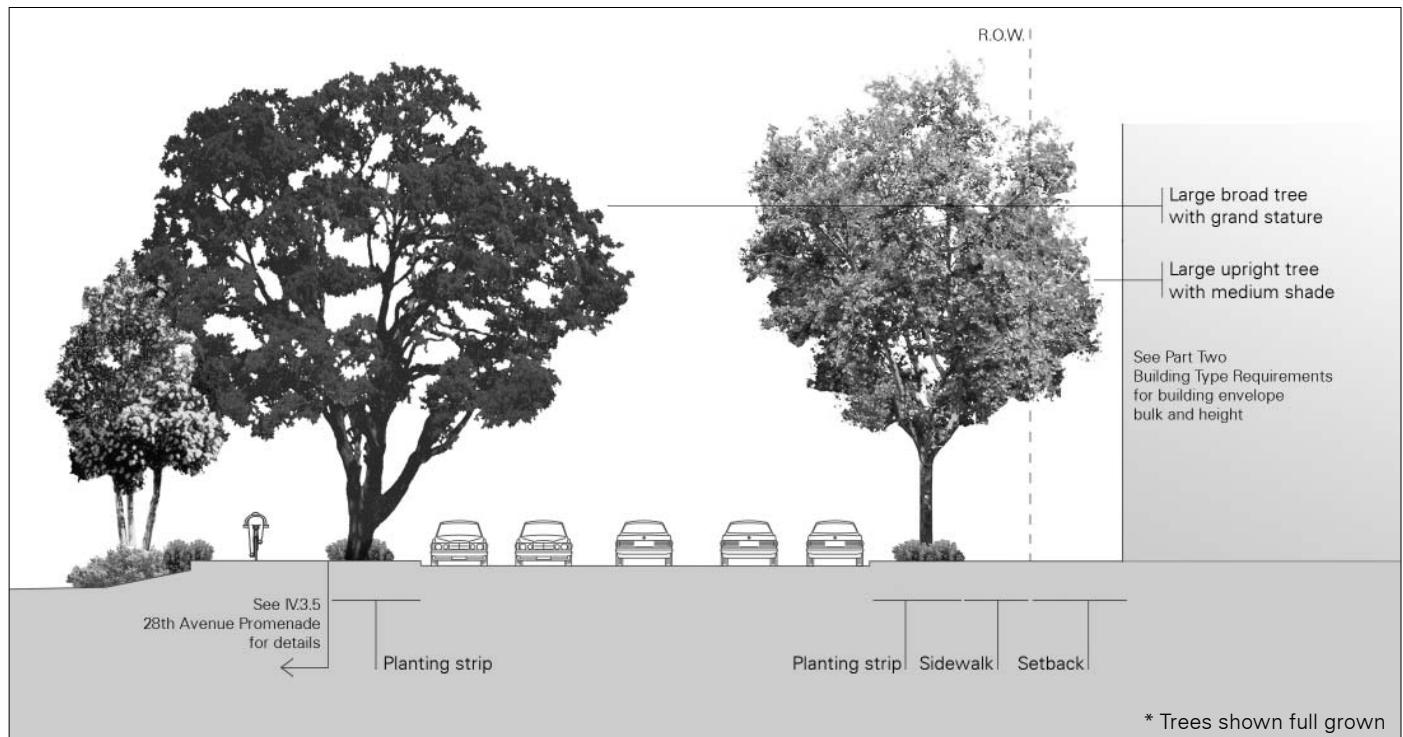
- General lighting for code compliance and security along paths is required
- See IV.1.8

#### Furniture

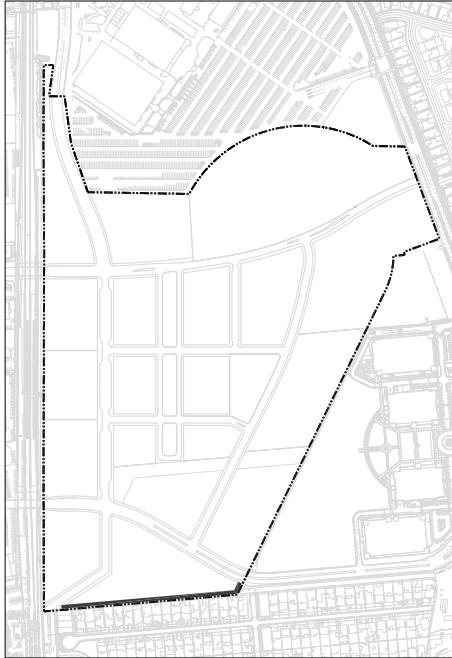
- Seating is encouraged
- Trash, recycling and dog waste bag containers are required



**Figure IV-59**  
*Hudson River Park, New York NY*  
 A shared bike and pedestrian path can create a dynamic recreation destination



**Figure IV-60**  
 Illustrative Section - 28th Avenue Promenade



**Figure IV-61**  
Key Plan - South Neighborhood Easement



**Figure IV-62**  
Existing conditions at the South Neighborhood Easement. This established path is an attractive amenity, and would be enhanced with frequent access points from the adjacent Bay Meadows neighborhood

#### IV.3.4 South Neighborhood Easement

The South Neighborhood Easement should be a generous bicycle and pedestrian path providing access between Delaware Street and the existing walkway along Franklin Parking to Saratoga Drive. Continuous trees and shrub planting define the path and screen adjacent properties.

##### Program / Use Recommendations

- Bike and pedestrian pathway

##### Features

- A continuous pathway is required

##### Trees

- Existing trees shall remain

##### Planting

- Existing planting shall remain
- Additional planting shall be consistent with existing

##### Paving

- Existing concrete path to remain
- Additional paving should be consistent with existing conditions
- Connections between the existing pathway and adjacent Phase II residences are encouraged

##### Structures

- Frequent pedestrian openings to adjacent Phase II properties and access paths are encouraged

##### Lighting

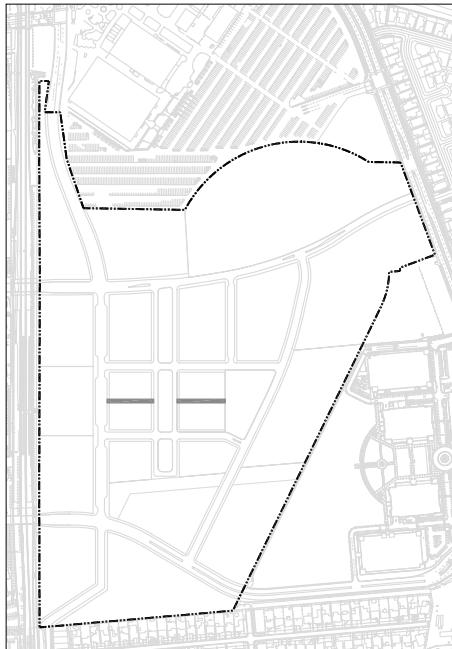
- Existing lighting shall remain
- Additional lighting must comply with standard, see IV.1.8

##### Furniture

- Trash, recycling and dog waste bag containers are required
- Seating permitted

##### Utilities

- Existing to remain



**Figure IV-63**  
Key Plan - Neighborhood Parks  
Pedestrian Passage



**Figure IV-64**  
Healdsburg, CA  
A planted canopy and edges create a lush and attractive pedestrian passage

### IV.3.5 Neighborhood Parks Pedestrian Passage

This pedestrian-only passage links transit and retail activities between Delaware Street and the two neighborhood parks. The passage should create an urban pedestrian-scaled experience activated by adjacent properties and should feature a coordinated palette of attractive planting, finish paving, and lighting.

The pedestrian passage should be designed to encourage pedestrian use, with attention paid to pedestrian perception of safety, views to and within it that encourage its use, and lighting to enhance pedestrian and cyclist visibility, comfort and security.

#### Program / Use Recommendations

- Pedestrian access

#### Features

- A combination of paved and landscaped areas is encouraged
- Accent lighting is encouraged

#### Trees

- Tree planting should be limited
- Where they occur, trees should be in structural planters or in the ground, not in pots

#### Planting

- Ornamental planting is encouraged
- Drought-tolerant plants are preferred - see IV.5 for species suggestion
- Planter pots are discouraged as primary soft landscape containers

#### Paving

- Decorative paving is encouraged
- Stone or pre-cast pavers are preferred
- Architectural finish concrete is permitted
- Continuous path required, 8' minimum primary walkway width is recommended

#### Structures

- Raised planters are permitted
- Fences to secure privacy of adjacent property are permitted
- Doors and windows/openings onto passage are encouraged

#### Lighting

- Decorative lighting is encouraged
- See section IV.1.8

#### Furniture

- Seating areas are permitted



**Figure IV-65**  
Key Plan - Saratoga Edge

### IV.3.6 Saratoga Edge

The Saratoga Drive and 28th Avenue intersection is an important entrance to Bay Meadows Phase II. This edge should extend the continuity of the existing rich Saratoga Drive landscape pattern, while acknowledging an important entry function for Phase II.

#### Program / Use Recommendations

- Entry to Bay Meadows Phase II neighborhood

#### Trees

- Should correspond to the existing Saratoga Drive treatment
- Special trees and/or trees used for 28th Avenue are permitted at the immediate intersection
- Tree size at time of planting shall be at least 15 gallons
- Preferred tree species at entry: Trident Maple, *Acer buergerianum*  
California buckeye, *Aesculus California*

#### Planting

- Should be consistent with the existing Saratoga Drive treatment
- Drought-tolerant plants preferred. See IV.1.5 for species suggestions

#### Paving

- Sidewalk should continue existing conditions

#### Structures

- None required

#### Lighting

- Street lighting should respond to existing conditions
- Accent lighting at the entry is permitted

#### Furniture

- None required



**Figure IV-66**  
Existing conditions on the east side of Saratoga Drive

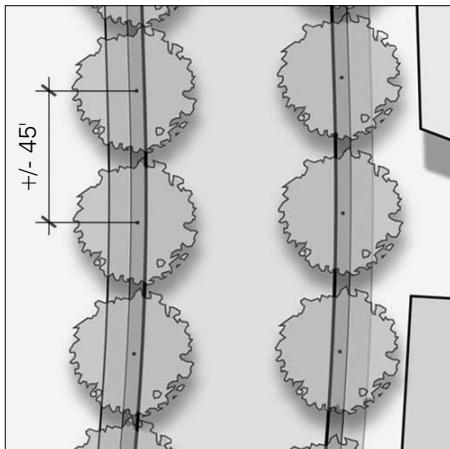
#### **IV.4 STREETS**

The landscape character of Bay Meadows Phase II streets must support goals for transit utilization, pedestrian orientation and sustainability. Habitat links and larger habitat zones should support rich regional ecosystems and biodiversity.

Images used in this section are illustrative and are intended to demonstrate one of many ways that the intent of these Design Guidelines can be fulfilled. The tree requirements for individual streets are keyed to the street tree system described in section IV.1.1.



**Figure IV-67**  
Key Plan - Delaware Street - North



**Figure IV-68**  
Tree Spacing Diagram

#### IV.4.1 Delaware Street - North of 28th Avenue

The northern extension of Delaware Street should be similar to Delaware Street south of 31st Avenue, and create a canopied entry to Phase II.

Recommendations:

##### Center divider

- No recommendation

##### Curb/Gutter

- Cast-in-place concrete, see City standard

##### Sidewalk

- Finish grade concrete with broom finish

##### Planting Strip

- Paving to match adjacent sidewalk or cobble strip is recommended for areas adjacent to buildings
- Trees planted in grates or crushed stone with paver accent is recommended for areas adjacent to building entries
- Tree species and spacing must be consistent along both sides of street
- Tree character should be medium-large urban elegance and light shade
- Tree species preferred: Maidenhair, *Ginkgo biloba*
- Tree species alternatives: Kentucky Coffee Tree, *Gymnocladus dioicus*

Patmore Green Ash, *Fraxinus pennsylvanica* 'Patmore'

- Tree species final determination to be made during SPAR
- Tree size at time of planting shall be at least 15 gallons
- Suggested tree spacing is shown in Figure IV-68

##### Lighting

- Standard fixture, approximately 50' on center
- See section IV.1.8

##### Furniture

- Trash and recycling containers recommended

##### Setback

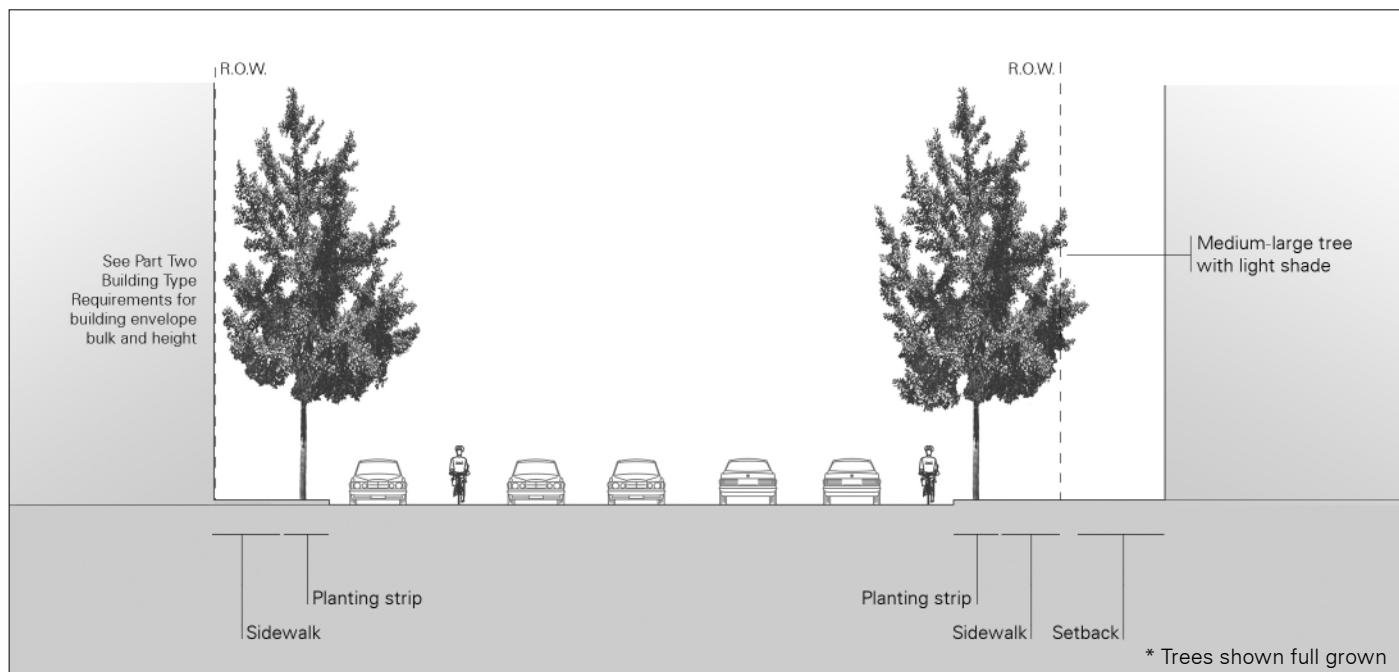
- Planted preferred, see IV.1.4
- See Chapter II Block Criteria for dimensions



**Figure IV-69**  
*Amsterdam, Netherlands*  
A large street tree canopy enhances the neighborhood experience



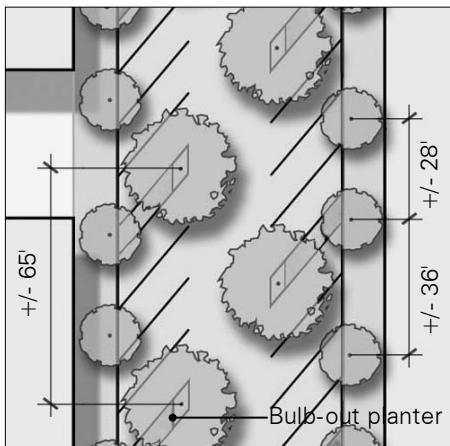
**Figure IV-70**  
*South Pasadena, California*  
Regularly-spaced trees and a consistent right-of-way treatment unify the frontage of various uses



**Figure IV-71**  
Illustrative Street Section - Delaware Street - North



**Figure IV-72**  
Key Plan - Delaware Street - Central



**Figure IV-73**  
Tree Spacing Diagram

#### IV.4.2 Delaware Street - Central

Diagonal street parking and a generous sidewalk support Delaware Street's role as a central destination for pedestrians and regional visitors. Large trees in street bulb-outs provide light, dappled shade to sidewalks and street. Complementary small flowering trees add pedestrian scale, ornament and color to the sidewalk experience.

Recommendations:

##### Center divider

- No recommendation

##### Bulb-out planter

- A 4' wide minimum planter every 4 parking spaces is recommended
- Planters should be covered with a permeable walking surface, such as crushed stone with precast paver accents
- One tree shall be planted in each planter
- Tree species and spacing must be consistent along both sides of street
- Tree species should be unique from residential streets
- Tree character should be medium-large urban elegance and light shade
- Tree species preferred: Maidenhair, *Ginkgo biloba*
- Tree species alternatives: Kentucky Coffee Tree, *Gymnocladus dioicus*

Patmore Green Ash, *Fraxinus pennsylvanica* 'Patmore'

- Tree species final determination to be made during SPAR
- Tree size at time of planting shall be at least 15 gallons
- Suggested tree spacing is shown in Figure IV-73
- Planting: none required

##### Curb/Gutter

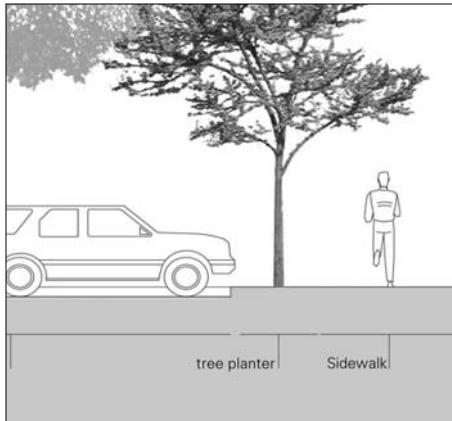
- Cast-in-place concrete, see City standard

##### Sidewalk

- A decorative paving material is encouraged

##### Planting Strip

- Paving to match adjacent sidewalk is recommended
- Tree planted in grate or crushed stone with paver accent is recommended
- Tree species must be consistent along both sides of street
- Tree character should be small-medium, flowering, delicate branching, fine texture
- Tree preferred: Eastern Redbud, *Cercis Canadensis*
- Tree alternatives: Flowering Cherry, *Prunus serrulata*  
Akebono Cherry, *Prunus yeodensis* 'Akebono'
- Tree species final determination to be made during SPAR
- Tree size at time of planting shall be at least 15 gallons
- Suggested tree spacing is shown in Figure IV-70



**Figure IV-74**  
Illustrative Section - Planting Strip

#### Bicycles

- Bicycle parking should be provided at a minimum of two locations for each Block that faces Delaware Street between 28th and 31st Avenue. The design of the Delaware streetscape should allow for the provision of additional bicycle parking in the future should demand warrant.
- A designated shared bicycle-vehicular lane (including signage and markings) on Delaware Street between 28th and 31st Avenue, sometimes referred to as a "sharrow" type lane, shall be incorporated into the permit application for the construction of Delaware Street.

#### Lighting

- Standard fixture, approximately 50' on center
- See section IV.1.8

#### Furniture

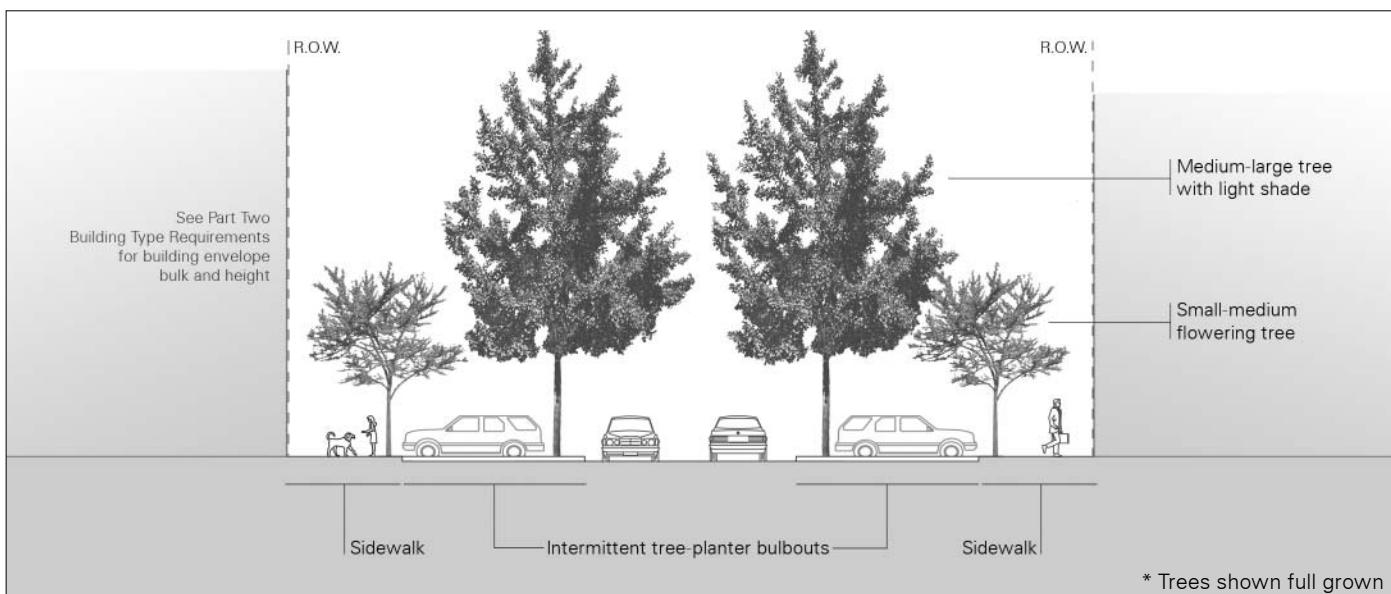
- Seating encouraged
- Trash and recycling containers recommended
- Bicycle racks encouraged

#### Setback

- Paved preferred
- Planters allowed
- See Chapter II Block Criteria for dimensions

#### Stormwater Quality

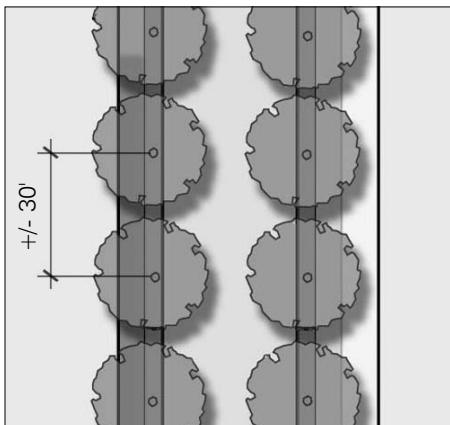
- Stormwater treatment methods described in IV.1.7(a) are required
- See section IV.1.7 for specifications and unit spacing
- See section IV.1.6 for plant species recommendations



**Figure IV-75**  
Illustrative Section - Delaware Street - Central



**Figure IV-76**  
Key Plan - Delaware Street - South



**Figure IV-77**  
Tree Spacing Diagram

#### IV.4.3 Delaware Street - South of 31st Avenue

This portion of Delaware Street should create a canopied pedestrian oriented street, and be similar to the portion of Delaware north of 28th Avenue.

Recommendations:

##### Center divider

- No recommendation

##### Curb/Gutter

- Cast-in-place concrete, see City standard

##### Sidewalk

- Finish grade concrete with broom finish
- Multiuse path signed for pedestrians and cyclists required on east side of street

##### Planting Strip

- Tree species and spacing must be consistent along both sides of street
- Tree character should be medium-large, urban elegance and light shade
- Tree species preferred: Maidenhair, *Ginkgo biloba*
- Tree species alternatives: Kentucky Coffee Tree, *Gymnocladus dioicus*

Patmore Green Ash, *Fraxinus pennsylvanica* 'Patmore'

- Tree species final determination to be made during SPAR
- Tree size at time of planting shall be at least 15 gallons
- Suggested tree spacing is shown in Figure IV-77
- Planting: beds 7 to 12 feet long recommended in planting strip
- Planting: 4 beds per side per block recommended
- Planting: maximum height: 3 feet recommended
- Planting: drought-tolerant preferred, see IV.1.5, lawn prohibited

##### Lighting

- Standard fixture, approximately 50' on center
- See section IV.1.8

##### Furniture

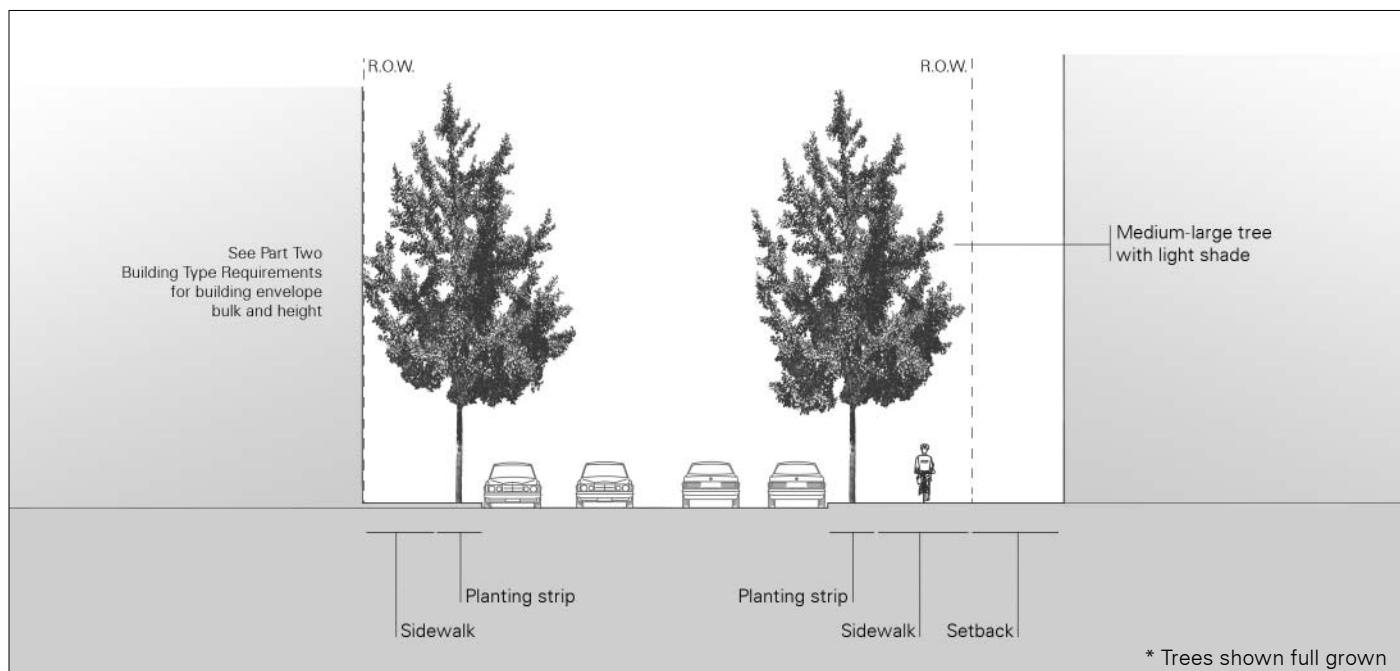
- Seating encouraged
- Trash and recycling containers and dog waste bag dispensers recommended

##### Setback

- Planted, see IV.1.4 for detail
- See Chapter II Block Criteria for dimensions



**Figure IV-78**  
*Amsterdam, Netherlands*  
 A large street tree canopy enhances the neighborhood experience.



**Figure IV-79**  
 Illustrative Section - Delaware Street - South



**Figure IV-80**  
Key Plan - 28th Avenue

#### IV.4.4 28th Avenue

The primary entry into Bay Meadows Phase II from Saratoga Drive, 28th Avenue should present visitors with large canopy trees and ornamental street planting that will also create a strong edge to the Community Park.

Recommendations:

Center divider

- A mixture of shrubs, bunch grasses or similar is recommended

Curb/Gutter

- Cast-in-place concrete, see City standard

Sidewalk

- Finish grade concrete with broom finish

Lighting

- Standard fixture, approximately 50' on center
- See section IV.1.8

Furniture

- Seating encouraged
- Trash and recycling containers and dog waste bag dispensers recommended

Stormwater Quality

- Stormwater treatment methods described in IV.1.7(a) are required
- See section IV.1.7 for specifications
- See section IV.1.6 for plant species recommendations

#### (a) Residential Side

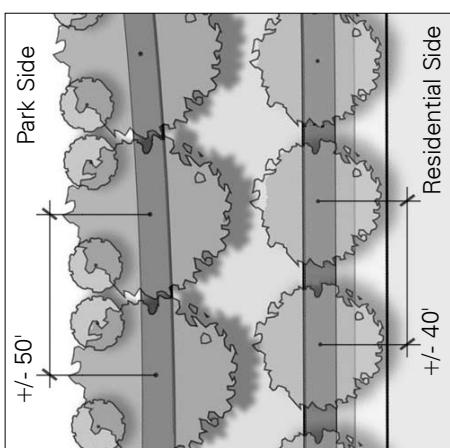
Planting Strip

- Paving: paved walking surface at regular intervals from sidewalk to curb recommended
- Tree planted in soft landscaping recommended
- Tree species and spacing must be consistent
- Tree character should be large, upright with medium shade
- Tree should be unique from other residential streets
- Tree species preferred: Sycamore, *Platanus acerifolia 'Columbia'*
- Tree species alternatives: Red Horsechestnut, *Aesculus X Carnea* Shumard Oak, *Quercus shumardii*

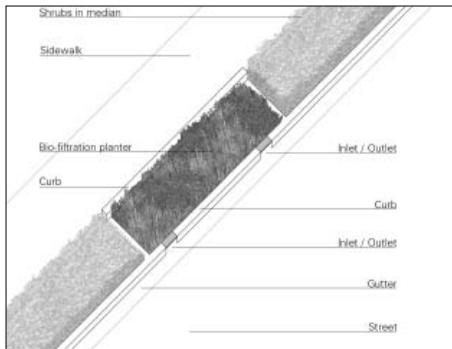
- Tree species final determination to be made during SPAR
- Tree size at time of planting shall be at least 15 gallons
- Suggested tree spacing is shown in Figure IV-81
- Planting: drought-tolerant species recommended
- Planting: maximum height 2 feet when mature to preserve motorists' sight line

Setback

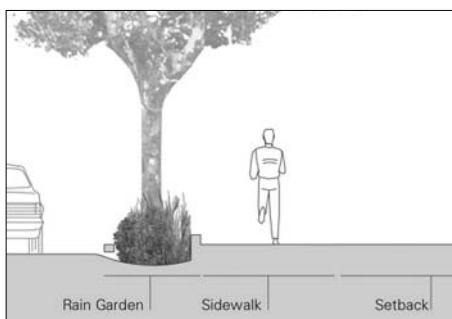
- Planted preferred, see IV.1.4 for detail
- See Chapter II Block Criteria for dimensions



**Figure IV-81**  
Tree Spacing Diagram



**Figure IV-82**  
Illustrative biofiltration planter



**Figure IV-83**  
Illustrative Section - Biofiltration planter

## (b) Park Side

### Planting Strip

- Tree planted in soft landscaping recommended
- Tree species and spacing must be continuous
- Tree species must be unique from other residential streets
- Small ornamental tree recommended at back of pedestrian path/bikeway. See Figure IV-81
- Tree character should be large, broad with grand stature
- Tree species preferred: Valley Oak, *Quercus lobata*
- Tree species alternatives: Southern Live Oak, *Quercus virginiana*  
English Oak, *Quercus robur*

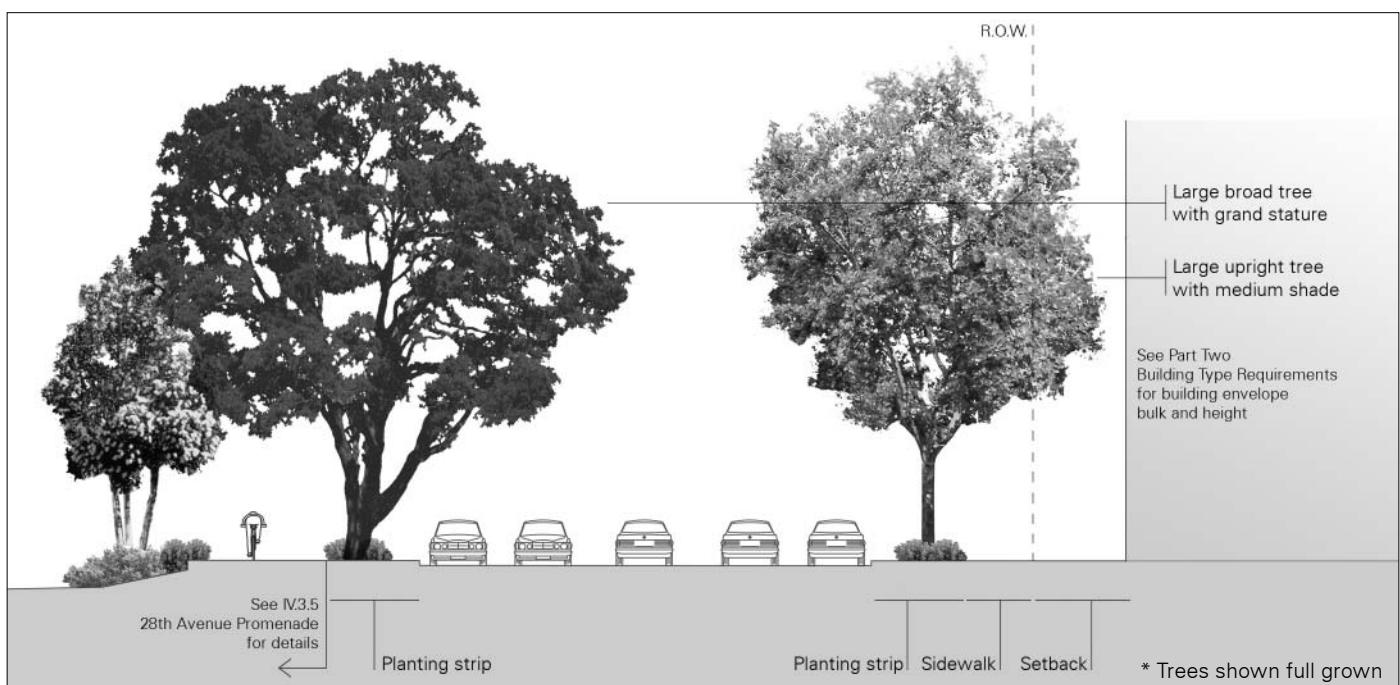
- Tree species final determination to be made during SPAR
- Tree size at time of planting shall be at least 15 gallons
- Suggested tree spacing is shown in Figure IV-81
- Planting: drought-tolerant, maximum height 2 feet recommended

### Setback

- Planted, see Specific Plan for dimensions

### Stormwater Quality

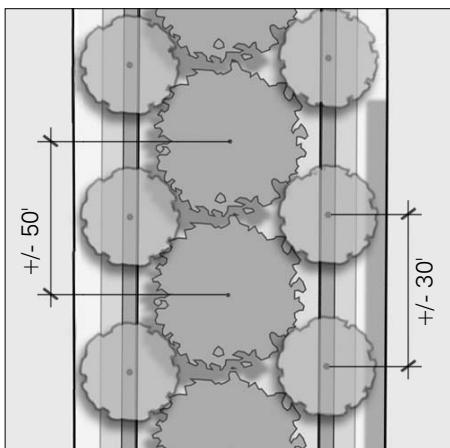
- Stormwater treatment methods described in IV.1.7(a) are required
- See section IV.1.7 for specifications
- See section IV.1.6 for plant species recommendations



**Figure IV-84**  
Illustrative Street Section - 28th Avenue at Community Park



**Figure IV-85**  
Key Plan - 31st Avenue



**Figure IV-86**  
Tree Spacing Diagram

#### IV.4.5 31st Avenue

31st Avenue will be a canopied extension of Franklin Parkway into the site, distinguished by a landscaped center median planted with large scale trees.

Recommendations:

##### Center divider

- Paving: none required
- Tree species and spacing must be consistent
- Tree species should be unique from residential streets
- Tree character should be large, broad with grand stature
- Tree species preferred: Valley Oak, *Quercus lobata*
- Tree species alternatives: Southern Live Oak, *Quercus virginiana*  
English Oak, *Quercus robur*

- Tree species final determination to be made during SPAR
- Tree size at time of planting shall be at least 15 gallons
- Recommended tree spacing is shown in Figure IV-83
- Planting: elegant and fine textured character is preferred
- Planting: mixture of shrubs, bunch grasses or similar

##### Curb/Gutter

- Cast-in-place concrete, see City standard

##### Sidewalk

- Finish grade concrete with broom finish

##### Planting Strip

- Paving: none required
- Tree species and spacing must be consistent
- Tree species must be unique from residential streets
- Tree character: medium shade tree, match existing along Franklin Parkway
- Tree species must match existing
- Tree species final determination to be made during SPAR
- Tree size at time of planting shall be at least 15 gallons
- Suggested tree spacing is shown in Figure IV-86
- Planting: maximum height 2 feet when mature to preserve motorists' sight line
- Planting: drought-tolerant preferred, see IV.1.5 for suggestions

##### Lighting

- Standard fixture, approximately 50' on center,
- See section IV.1.8

##### Furniture

- Trash and recycling containers and dog waste bag dispensers recommended

Setback

- Planted preferred, see IV.1.4 for detail
- See Chapter II Block Criteria for dimensions

Stormwater Quality

- Stormwater treatment methods described in IV.1.7(a) are required
- See section IV.1.7 for specifications and unit spacing
- See section IV.1.6 for plant species recommendations

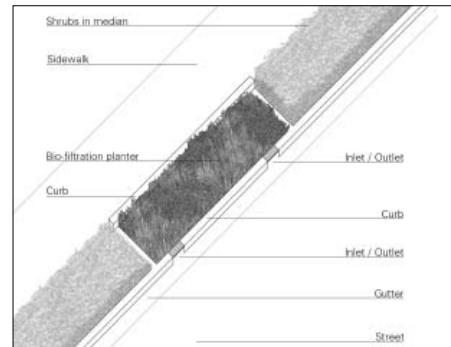


Figure IV-87  
Illustrative biofiltration planter

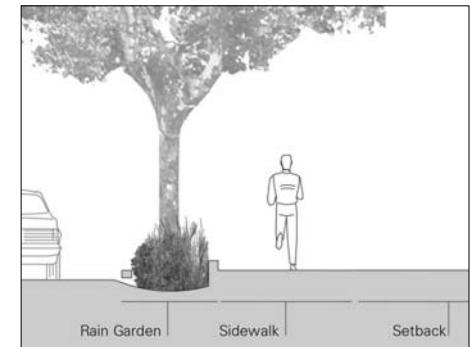


Figure IV-88  
Illustrative Section - Biofiltration planter

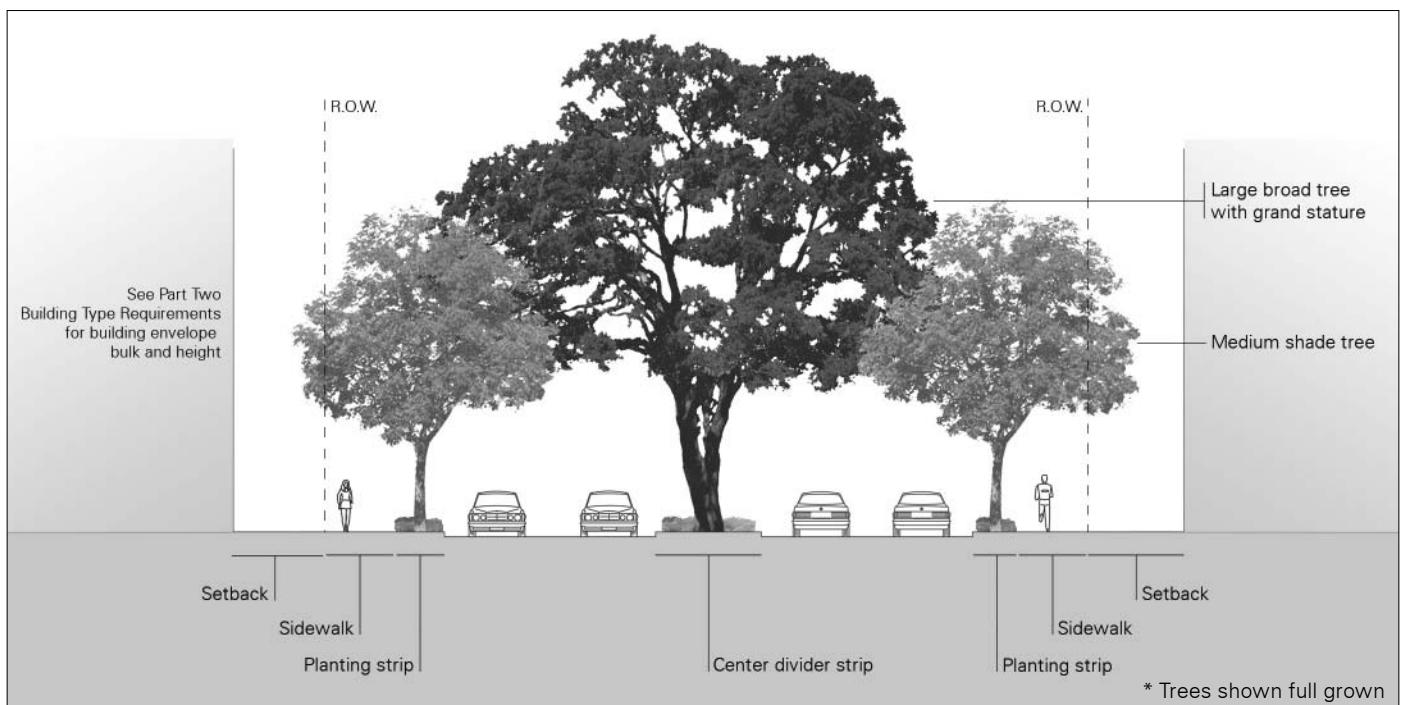
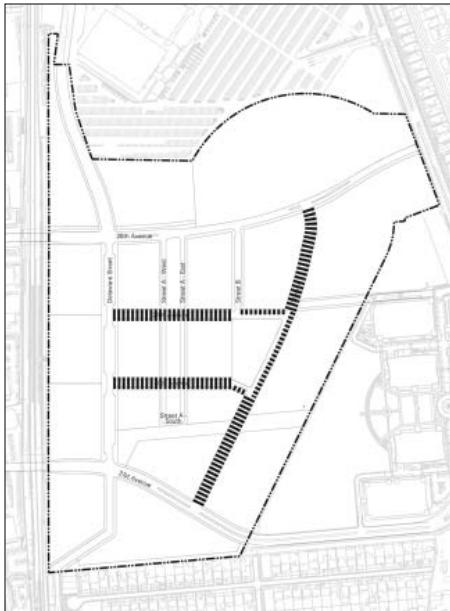
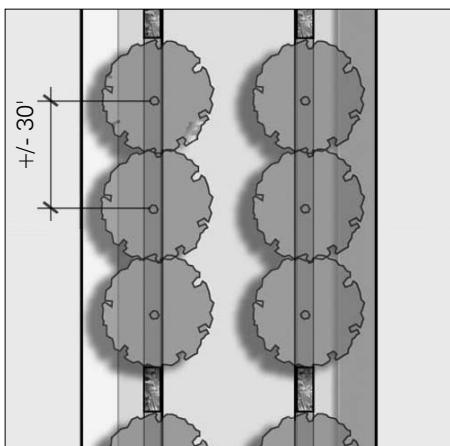


Figure IV-89  
Illustrative Section - 31st Avenue



**Figure IV-90**  
Key Plan - Residential Streets



**Figure IV-91**  
Tree Spacing Diagram

#### IV.4.6 Residential Streets

Residential streets include 29th Avenue, 30th Avenue, and Street C, with the exception of the Central Neighborhood Park perimeter. Residential streetscapes should feature lush arching tree canopies and dappled shade.

Recommendations:

Center divider

- No recommendation

Curb/Gutter

- Cast-in-place concrete, see City standard

Sidewalk

- Finish grade concrete with broom finish

Planting Strip

- Paving: precast paver or cobble between trees and planting beds is permitted
- Tree planting: tree planted in grate or crushed stone with accent paver band permitted
- Tree species and spacing must be consistent along both sides of street
- Tree character should be medium-large, fall color and medium shade
- Tree species preferred: *Tupelo, Nyssa Sylvatica*
- Tree species alternatives: European Hackberry, *Celtis australis*

Autumn Purple White Ash, *Fraxinus Americana 'Autumn Purple'*

- Tree species final determination to be made during SPAR
- Tree size at time of planting shall be at least 15 gallons
- Suggested tree spacing shown in Figure IV-91
- Planting: turf or ornamental plants between trees are encouraged
- Planting: a variety of species is encouraged
- Planting: drought-tolerant is preferred, see IV.1.5, lawn is discouraged

Lighting

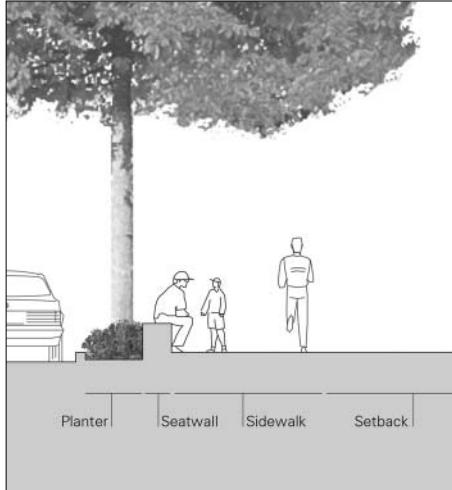
- Standard fixture, approximately 50' on center
- See IV.1.8

Furniture

- Trash and recycling containers and dog waste bag dispensers are encouraged

Setback

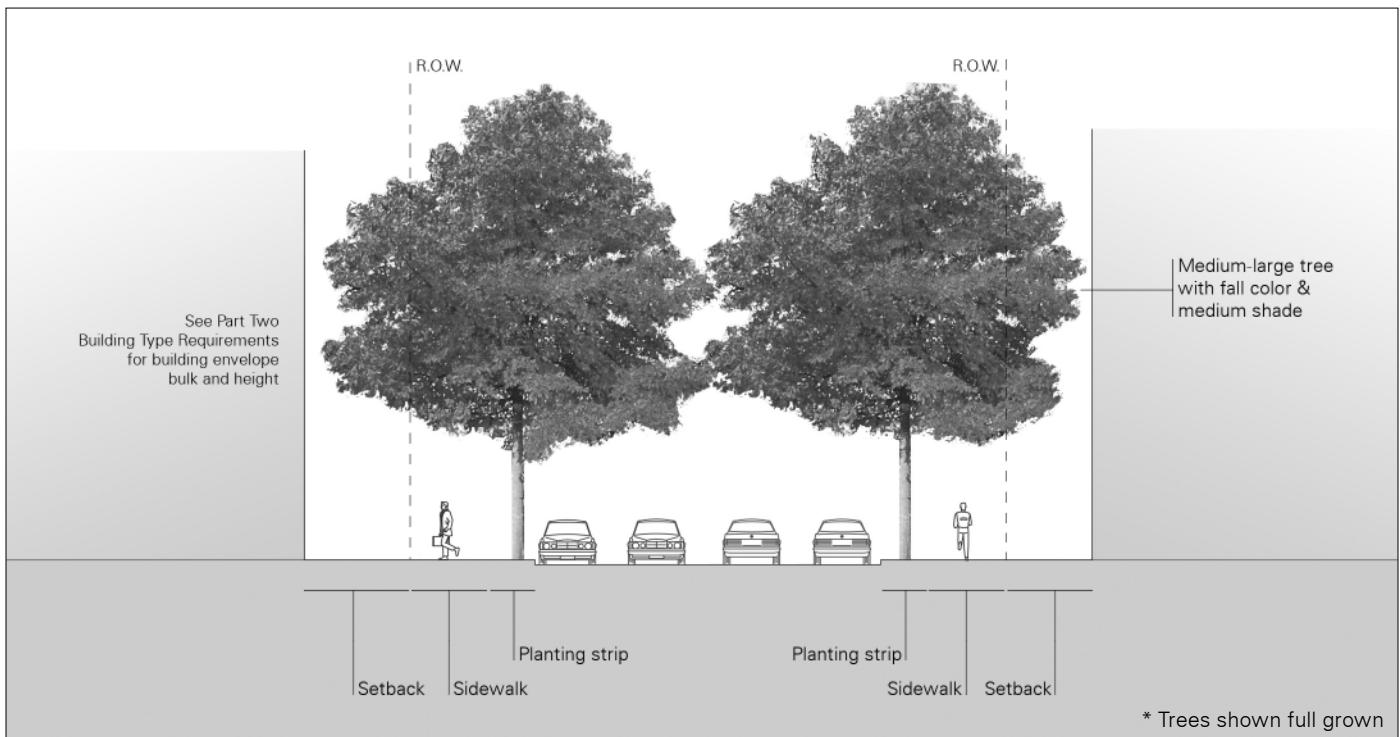
- Planted preferred, see IV.1.4 for detail
- See Chapter II Block Criteria for dimensions



**Figure IV-92**  
Illustrative Section - Seating may be integrated with planter design



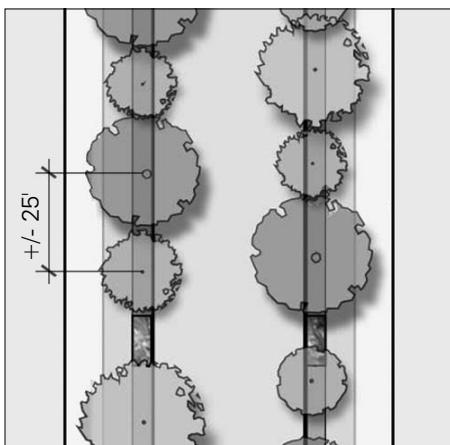
**Figure IV-93**  
*Forest Hills Gardens, New York*  
Pavers at planting strip provide texture and warmth to the pedestrian experience.



**Figure IV-94**  
Illustrative Section - Residential Street



**Figure IV-95**  
Key Plan - Garden Street B



**Figure IV-96**  
Tree Spacing Diagram

#### IV.4.7 Garden Street B

Street B is a garden-like habitat corridor between the Central Neighborhood Park and the Community Park. This residential street incorporates a mix of ornamental and habitat-oriented street trees and shrub planting, facilitating the movement of birds and pollinators from park to park along this "garden" street.

Recommendations:

##### Center divider

- No recommendation

##### Bulb-out planter

- Recommended at north and south ends, see IV.1.2 for standard
- Bulb-outs must be planted with habitat-oriented plants, see IV.1.5 for species suggestions

##### Curb/Gutter

- Cast-in-place concrete, see City standard

##### Sidewalk

- Finish grade concrete with broom finish is recommended

##### Planting Strip

- Tree: species should vary along both sides of street
- Tree character should include mixed species, medium sized with attractive flowers and berries that provide habitat for birds and pollinators
- Tree species preferred: Pittosporum, *Pittosporum undulatum*  
Catalina cherry, *Prunus lyoni*  
Chitalpa, *Chitalpa tashkentensis*
- Tree species final determination to be made during SPAR
- Tree size at time of planting shall be at least 15 gallons
- Suggested tree spacing is shown in Figure IV-96
- Planting: intermittent beds 7 to 12 feet long recommended in planting strip
- Planting: 3 beds per side per block minimum recommended
- Planting: a variety of habitat-oriented plants are required, see IV.1.5, lawn is discouraged

##### Lighting

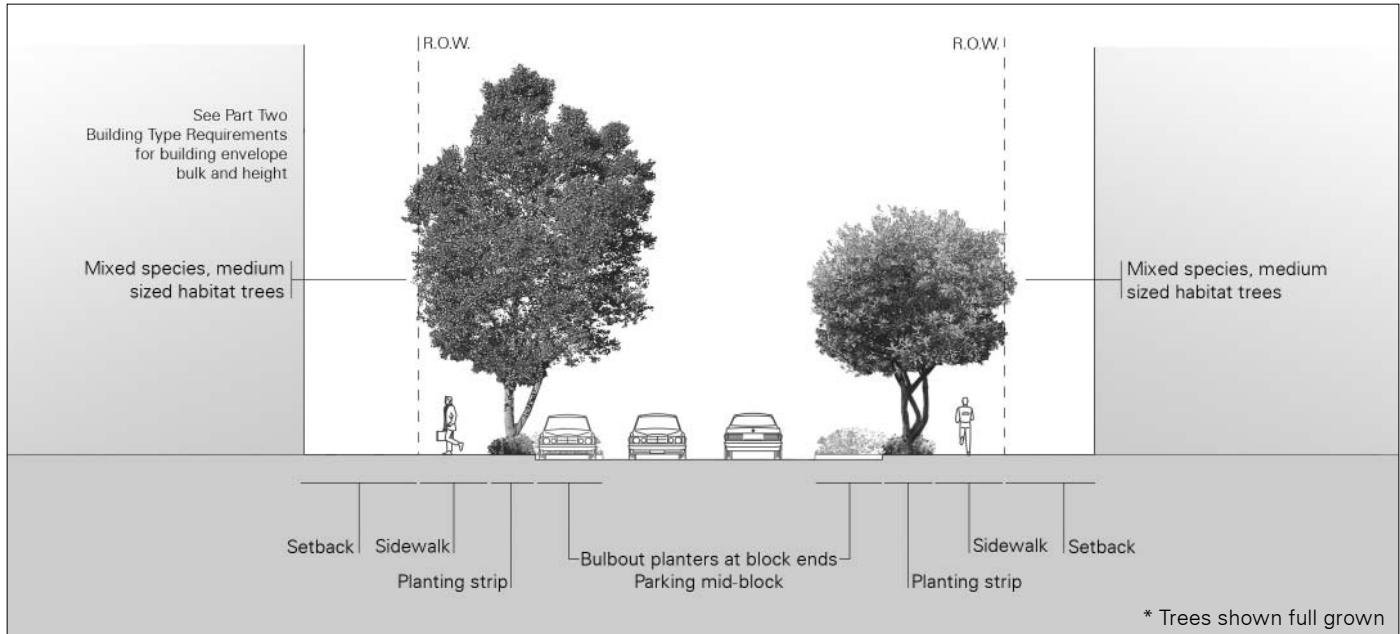
- Standard fixture, approximately 50' on center
- See section IV.1.8

##### Furniture

- Trash and recycling containers and dog waste bag dispensers recommended

##### Setback

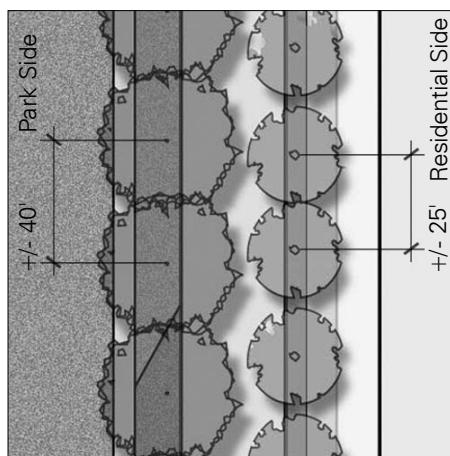
- Planted preferred, see IV.1.4 for detail
- See Chapter II Block Criteria for dimensions



**Figure IV-97**  
Illustrative Section - Garden Street B



**Figure IV-98**  
Key Plan - Linear Neighborhood Park  
Streets A



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**Figure IV-99**  
Tree Spacing Diagram

#### IV.4.8 Linear Neighborhood Park Streets A

Stately, beautiful and lushly planted, the Linear Neighborhood Park Streets A extend and enhance both the park atmosphere and the neighboring residential and commercial program.

## Recommendations:

## Center divider

- See IV.2.2 Linear Neighborhood Park

### Curb/Gutter

- Cast-in-place concrete, see City standard Lighting
- Standard fixture, approximately 50' on center

- See see

## Furniture

- Trash and recycling containers and dog waste bag dispensers recommended
- Seating encouraged

### (a) Residential Side

(a) 10081

- Concrete with broom finish is recommended

### Planting Strip

- Tree species and spacing must be consistent along both sides of park
- Paving: tree planted in grate or crushed stone with accent paver band is recommended
- Paving: precast paver or cobble between tree wells is recommended
- Tree species should be unique from residential streets
- Tree character: medium flowering with delicate branching
- Tree species preferred: Flowering Cherry, *Prunus serrulata*
- Tree species alternatives: Eastern Redbud, *Cercis canadensis*

## Akebono Cherry, *Prunus yedoensis*

- Tree species final determination to be made during SPA
- Tree size at time of planting shall be at least 15 gallons
- Suggested tree spacing is shown in IV-99
- Planting: not required

Sethack

- Planted preferred, see IV.1.4 for detail
- See Chapter II Block Criteria for dimensions

**(b) Park Side**

Sidewalk

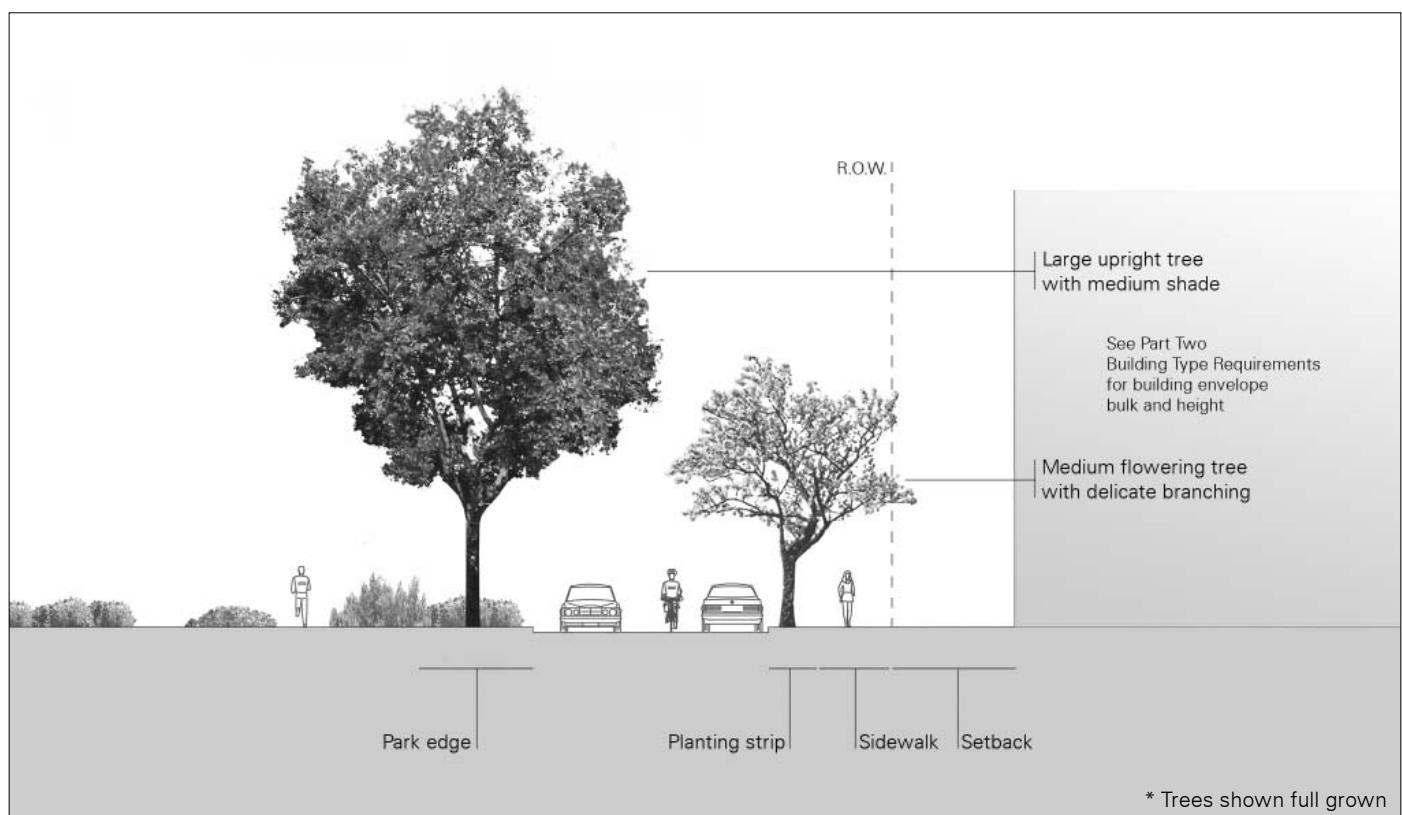
- None required

Planting Strip

- Paving: recommended only to enable pedestrian access to park at crosswalks
- Tree species and spacing must be consistent along both sides of park
- Tree character: large, upright, graceful branching and light shade
- Tree species should be unique from residential streets
- Tree species preferred: Sycamore, *Platanus acerifolia* 'Columbia'
- Tree species alternatives: Red Horsechestnut, *Aesculus X Carnea*  
Shumard Oak, *Quercus shumardii*
- Tree species final determination to be made during SPAR
- Tree size at time of planting shall be at least 15 gallons
- Recommended tree spacing is shown in Figure IV-99
- Planting: must be consistent with park design

Setback

- See IV.2.2 Linear Park

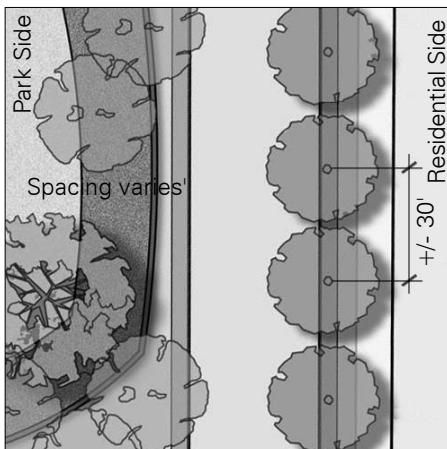


**Figure IV-100**

Illustrative Section - Linear Neighborhood Park Street A



**Figure IV-101**  
Key Plan - Central Neighborhood Park  
Street C



**Figure IV-102**  
Tree Spacing Diagram

#### IV.4.9 Central Neighborhood Park Perimeter

The goal of the Central Neighborhood Park is to create a vital open space centerpiece, with social amenities and diverse planting along its edge.

Recommendations:

##### Center divider

- No recommendation

##### Curb/Gutter

- Cast-in-place concrete, see City standard

##### Sidewalk

- Asphalt pavers or pre-cast pavers preferred, standard concrete discouraged
- Width should vary along park perimeter

##### Planting Strip

- Tree species and spacing must be consistent with park design
- Tree species should be unique from residential streets
- Tree character should be California natives of varying height, large broad shade trees and medium sized with attractive bark or fall color

- Tree species preferred: Alexandrina Saucer Magnolia, *Magnolia soulangeana 'Alexandria'*

California Buckeye, *Aesculus californica*

Sterling Silver Linden, *Tilia americana 'Sterling'*

- Tree species alternatives: Native Oaks, *Quercus spp*

Madrone, *Arbutus menziesii*

- Tree species final determination to be made during SPAR

- Tree size at time of planting shall be at least 15 gallons

- Trees: irregular spacing is recommended

##### Lighting

- Standard fixture, approximately 50' on center

- See IV.1.8

##### Furniture

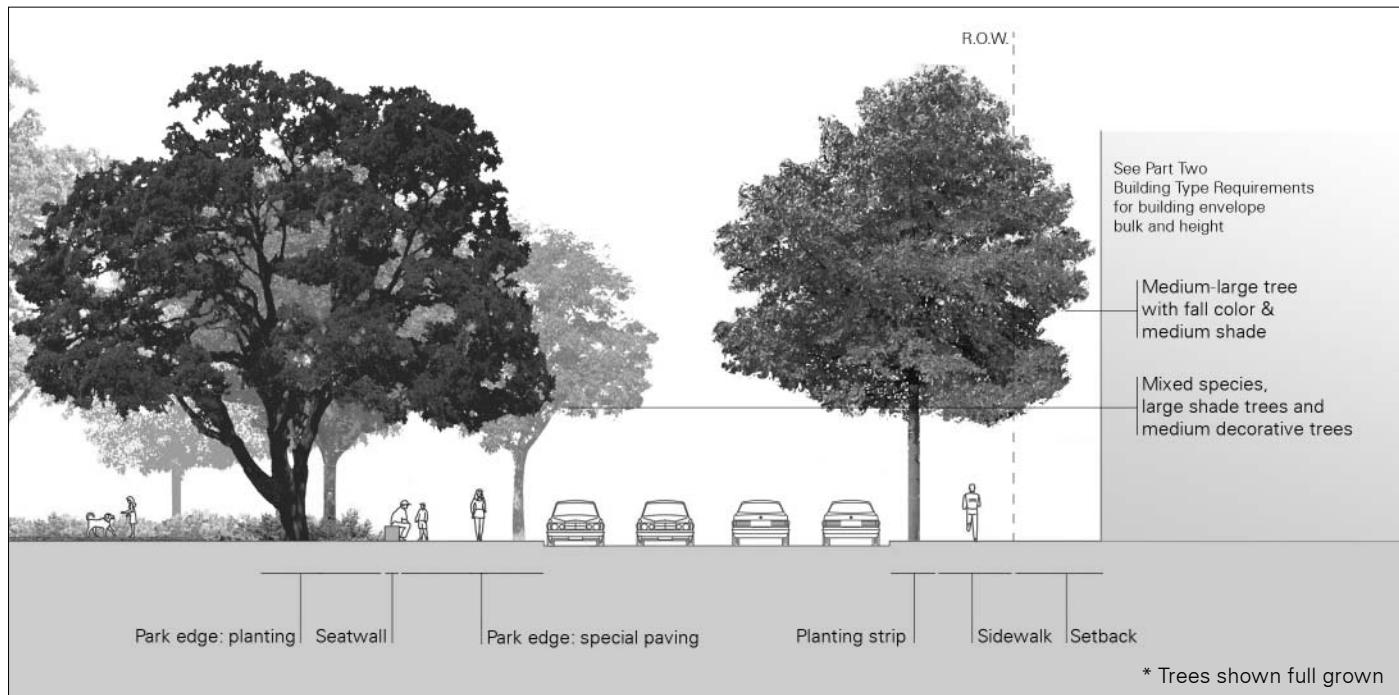
- Seating encouraged. Trash and recycling containers and dog waste bag dispensers recommended

##### Setback

- None (park area)



**Figure IV-103**  
Park edge planting - Bringing park planting to the street can identify the importance of the park.



**Figure IV-104**  
Illustrative Section - Central Neighborhood Park Perimeter

