

PART TWO: BLOCK CRITERIA

Individual Block criteria are detailed on the following pages. Refer to related materials in Chapter III (Architectural Design) and Chapter IV (Landscape) for additional criteria. The Framework Plan in the Specific Plan designates development Blocks within Bay Meadows Phase II – see Figure II-75. The approximate Block area for individual Blocks may change at a later date. For example, all or a portion of the View Corridor may be moved to another Block thereby affecting Block areas and adjusting lot lines between Blocks, provided, however, that the minimum dimension of the View Corridor shall not change.

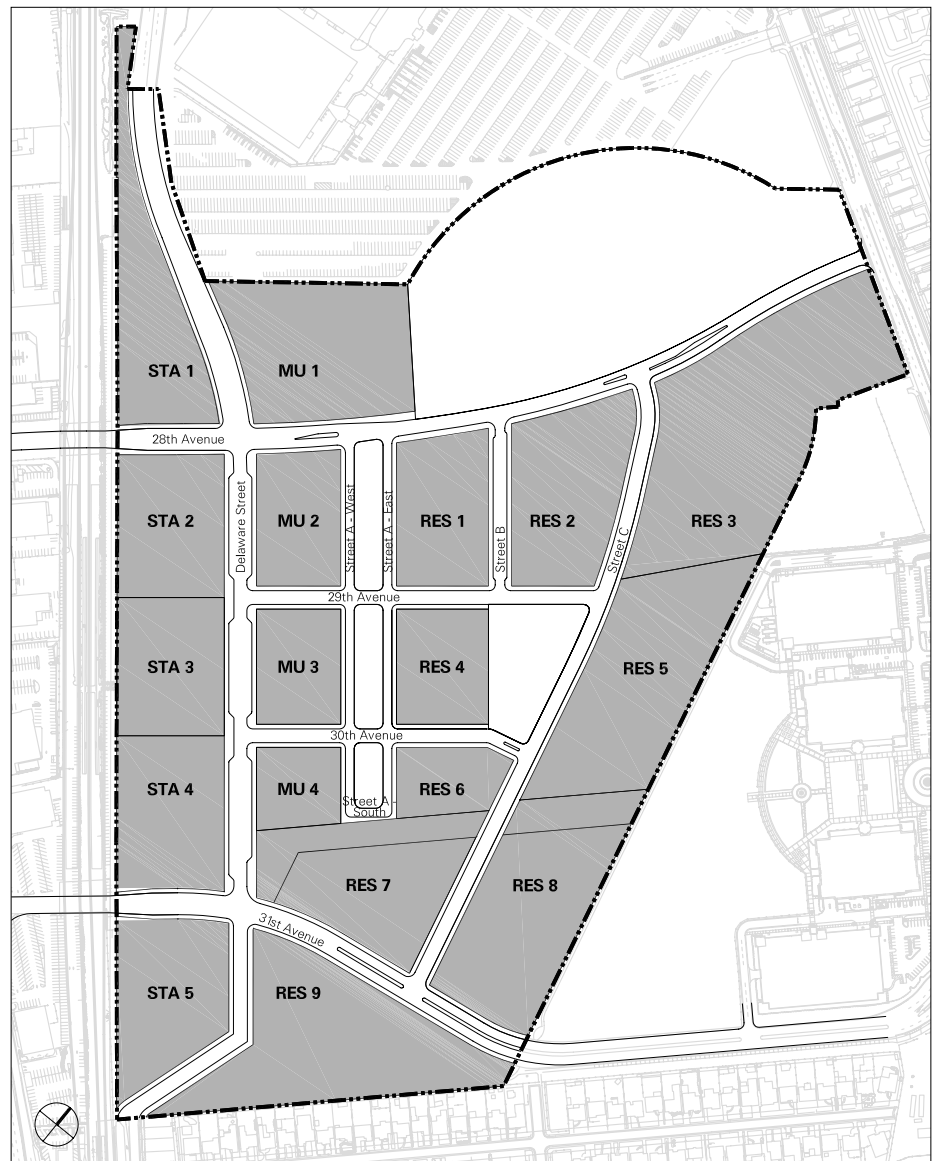


Figure II-75
Development Blocks

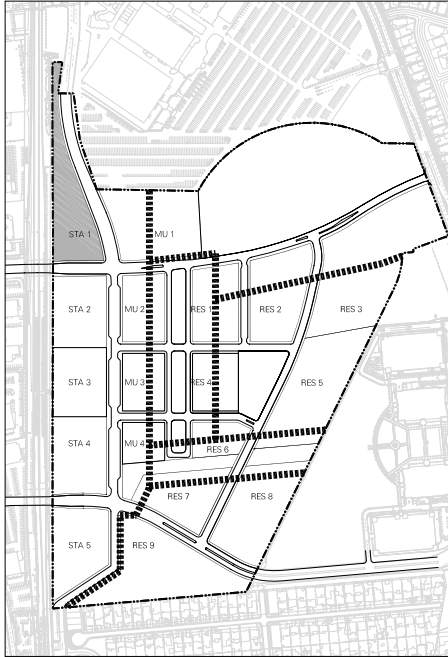


Figure II-76
STA 1 Key Plan



Figure II-77
Simple plan geometry with flat roofs and broad overhangs

II.11 STA 1

Frontage	Floor	Encouraged Use
Delaware Street and 28th Avenue	Ground floor	Retail or active use Commercial, Lobbies
	Upper floors	Commercial

General Criteria
<ul style="list-style-type: none"> Primary building massing shall be parallel to 28th Avenue and hold the corner with Delaware Street. Ground floor parking shall be located away from the Avenue. Buildings must include vertical expression devices to break up the largely horizontal massing. See Figures II-78 and II-79. Ground floor retail or active use encouraged at the intersection of Delaware Street and 28th Avenue and along these Framework Streets. Where such use occurs, a minimum of approximately 75% of linear feet of the frontage shall be glazed with clear (untinted, non-reflective) glass. Vibrant retail and active frontages with varied, incremental storefronts are encouraged. Stepbacks are allowed above the ground floor and encouraged above the 3rd floor within 10' of the Property Line. A combination of flat roofs and sloping roofs with broad overhangs is preferred.

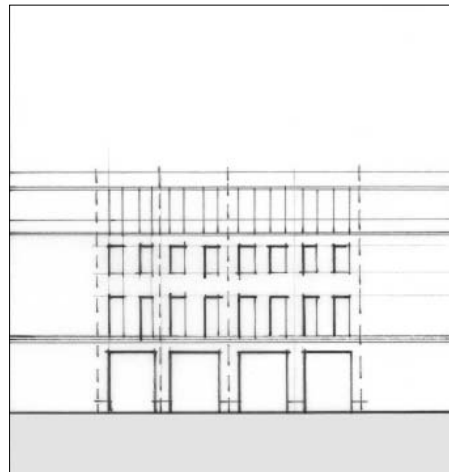


Figure II-78
Example of Vertical Expression: Fenestration

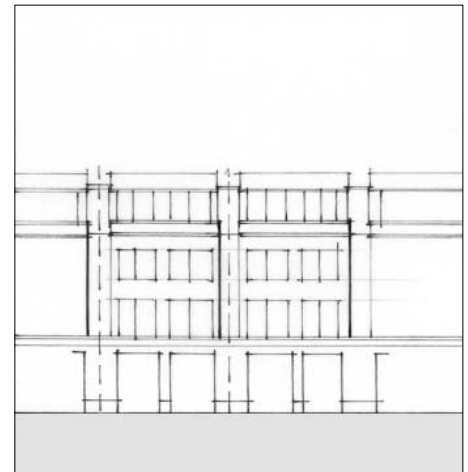


Figure II-79
Example of Vertical Expression: Facade articulation



Figure II-80
Appropriate recessed commercial top floor
with articulation against sky



Figure II-81
Appropriate commercial expression along
Delaware north of 28th Avenue and south
of 31st Avenue where no retail is required



Figure II-82
Parking garage designed as a building

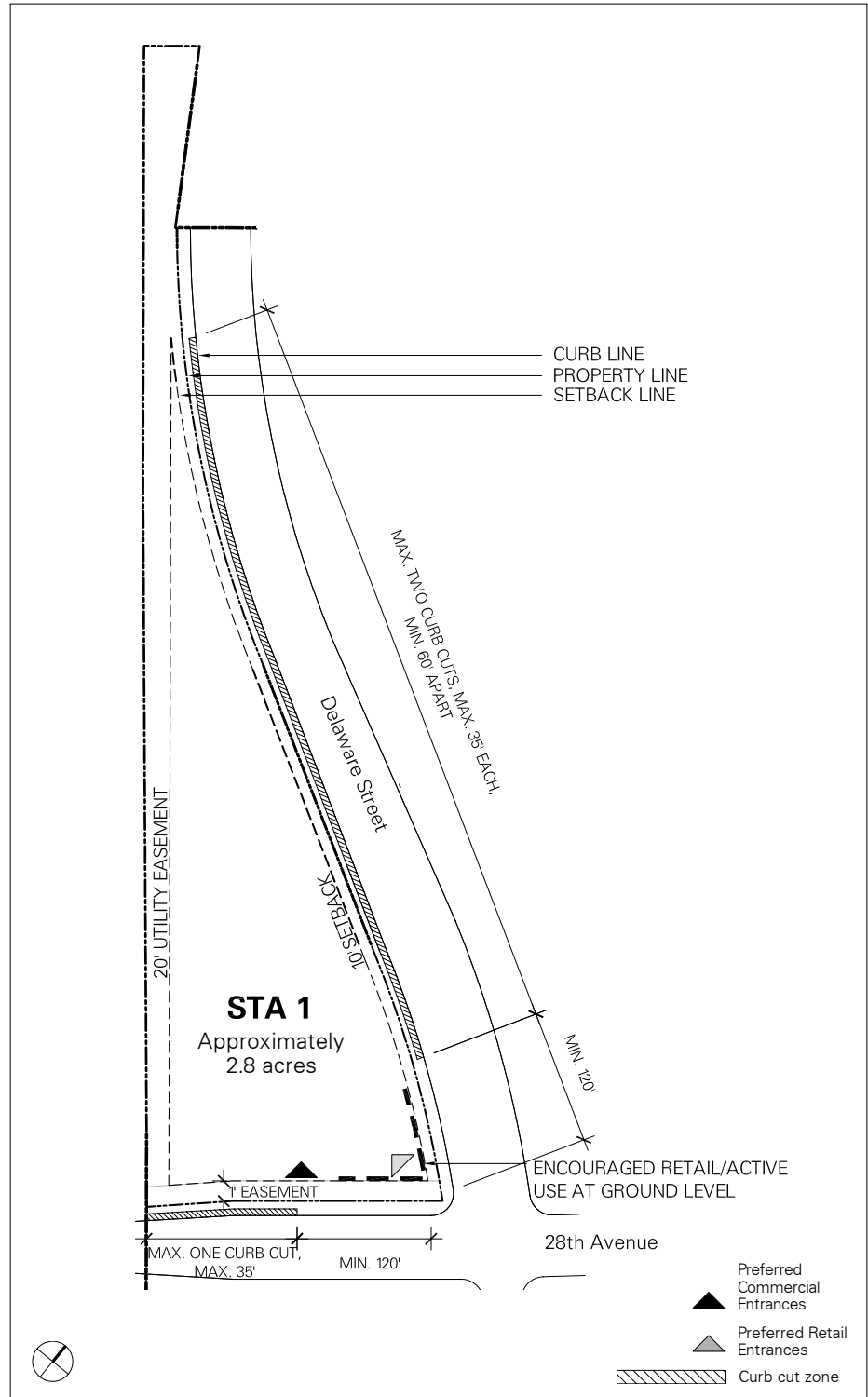


Figure II-83
STA 1 Building Placement

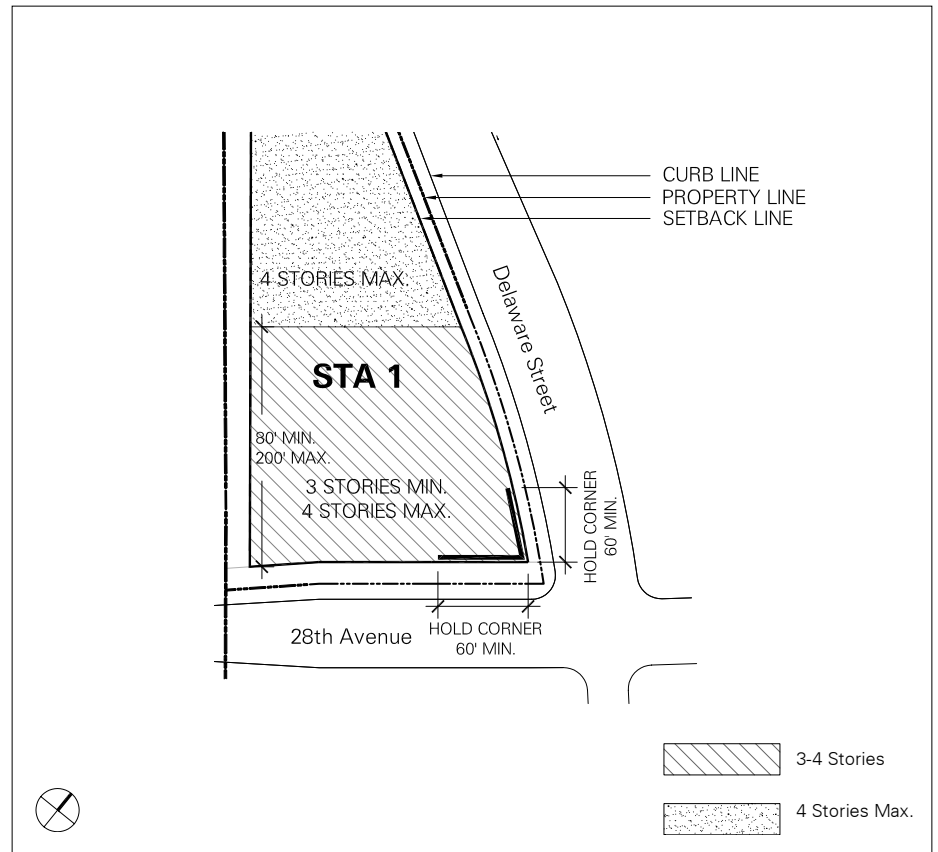


Figure II-84
STA 1 Building Massing

Development Block STA 1	Build-To Zone	Expression Lines	Allowable Encroachments
Delaware Street	Minimum 15% within 15' of Setback Line	1st Floor, Top Floor	1,2,3,4,5,6,7,8,9,10,11,15 (See II.5)
28th Avenue	Minimum 80% within 5' of Setback Line	1st Floor, Top Floor	1,2,3,4,5,6,7,8,9,10,11,15 (See II.5)

Table II-1
STA 1 Massing Chart

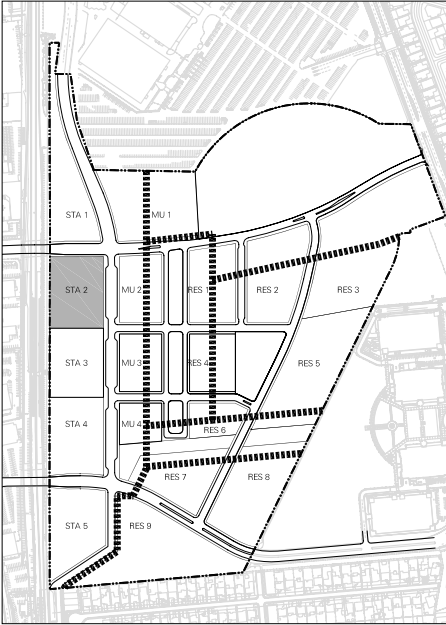


Figure II-85
STA 2 Key Plan

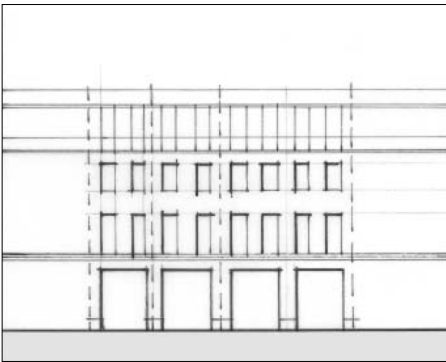


Figure II-86
Example of Vertical Expression: Fenestration



Figure II-87
Simple plan geometry and roof with flat roofs and broad overhangs

II.12 STA 2

Frontage	Floor	Encouraged Use
Delaware Street	Ground floor	Retail or active use (required)
	Upper floors	Commercial and/or residential
28th Avenue	Ground floor	Retail, Commercial, Lobbies
	Upper floors	Residential or commercial

General Criteria

- Primary building massing shall be parallel to 28th Avenue and hold the corner with Delaware Street. Ground floor parking shall be located away from the Avenue.
- Buildings must include vertical expression devices to break up the largely horizontal massing. See Figure II-86.
- Facades along access easements to the train station shall be designed and articulated (including windows and other openings) to the level required on Framework Streets. Retail frontages on Delaware Street are encouraged to return storefronts along access easements to engage them. Easements should be designed to improve user safety through such measures as enhanced lighting levels, clear sightlines, and clearly demarcated pedestrian paths.
- Vibrant retail and active frontages with varied, incremental storefronts are encouraged.
- Stepbacks are allowed above the ground floor and encouraged above the 3rd floor within 10' of the Property Line.
- A combination of flat roofs and sloping roofs with broad overhangs is preferred.

Delaware Street Frontage Criteria

- Ground floor retail or active use required. A minimum of approximately 75% of linear feet of the Delaware Street frontage shall be glazed with clear (untinted, non-reflective) glass.
- A break from sidewalk to sky is encouraged on Delaware Street as shown in Figure II-95. Eaves and other allowable encroachments may encroach upon this zone.



Figure II-88
Appropriate recessed commercial top floor with articulation against sky



Figure II-89
Articulated parking garage with ground floor retail



Figure II-90
Appropriate break in massing

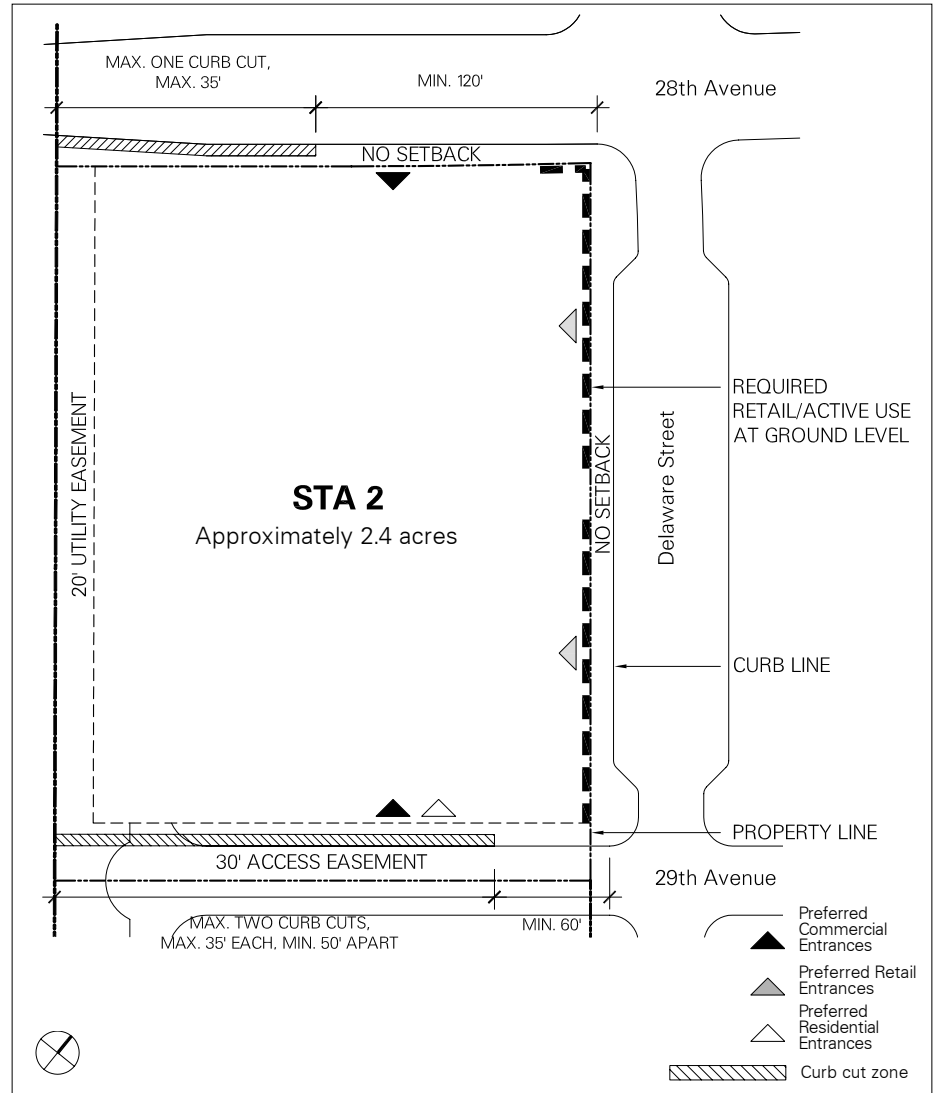


Figure II-91
STA 2 Building Placement



Figure II-92
Appropriate ground floor retail expression



Figure II-93
Appropriate level of articulation along access easements

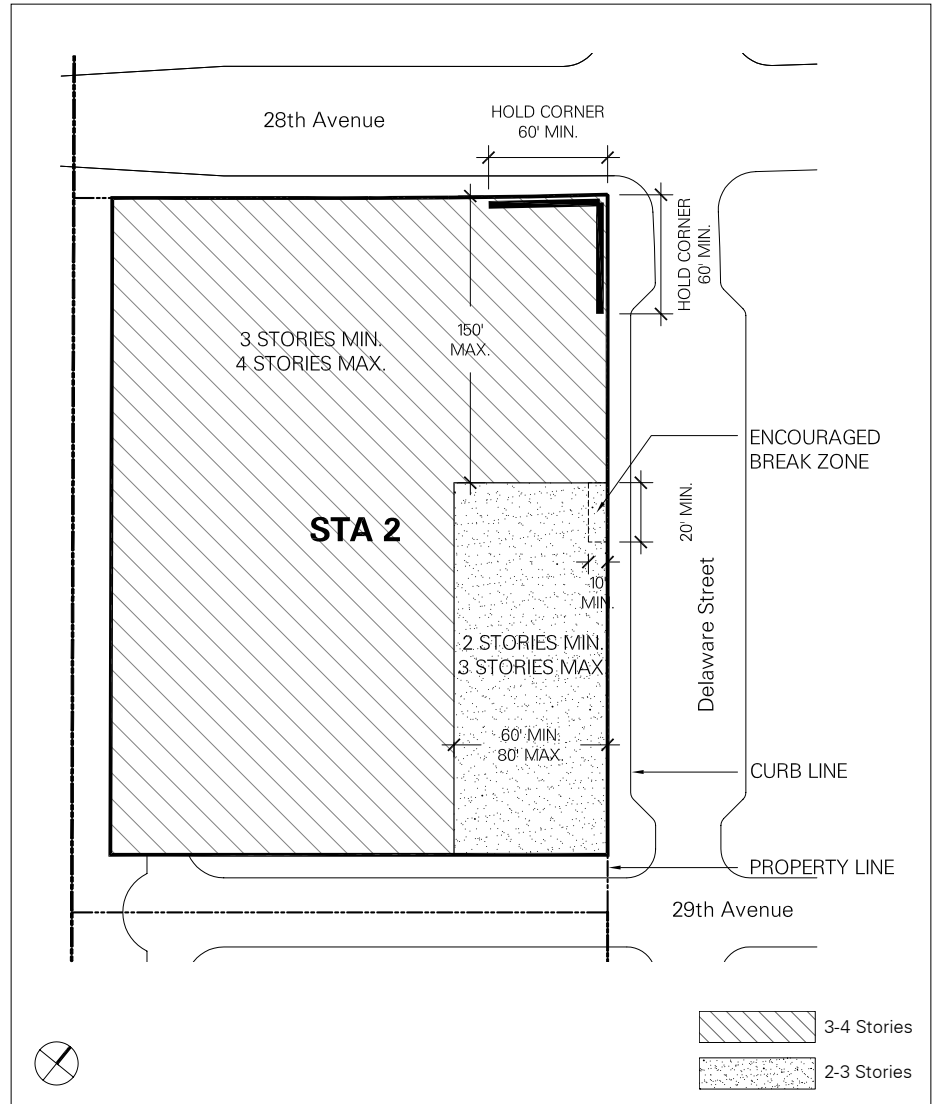


Figure II-94
STA 2 Building Massing

Development Block STA 2	Build-To Zone	Expression Lines	Allowable Encroachments
28th Avenue	Minimum 80% within 5' of Property Line	1st Floor, Top Floor	1,3,4,5,6,8,9,10,11,12,15 (See II.5)
Delaware Street	Minimum 80% within 5' of Property Line	1st Floor, Top Floor	1,3,4,5,6,8,9,10,11,12,15 (See II.5)

Table II-2
STA 2 Massing Chart

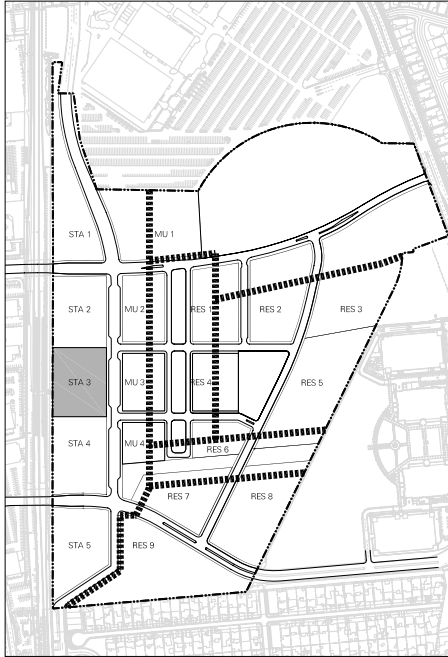


Figure II-95
STA 3 Key Plan



Figure II-96
Simple plan geometry and roof with flat roofs and broad overhangs

II.13 STA 3

Frontage	Floor	Encouraged Use
Delaware Street	Ground floor	Retail or active use (required)
	Upper floors	Commercial, residential and/or parking

General Criteria
<ul style="list-style-type: none"> • Facades along access easements shall be designed and articulated (including windows and other openings) to the level required on Framework Streets. Retail frontages on Delaware Street are encouraged to return storefronts along access easements to engage them. Easements should be designed to improve user safety through such measures as enhanced lighting levels, clear sightlines, and clearly demarcated pedestrian paths. • Buildings must include vertical expression devices to break up the largely horizontal massing. See Figures II-97 and II-98. • Stepbacks are allowed above the ground floor and encouraged above the 3rd floor within 10' of the Property Line. • A combination of flat roofs and sloping roofs with broad overhangs is preferred.
Delaware Street Frontage Criteria
<ul style="list-style-type: none"> • Ground floor retail or active use required. A minimum of approximately 75% of linear feet of the Delaware Street frontage shall be glazed with clear (untinted, non-reflective) glass. • Vibrant retail and active frontages with varied, incremental storefronts are encouraged.

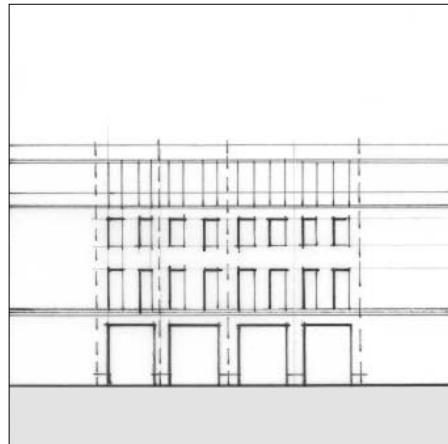


Figure II-97
Example of Vertical Expression:
Fenestration

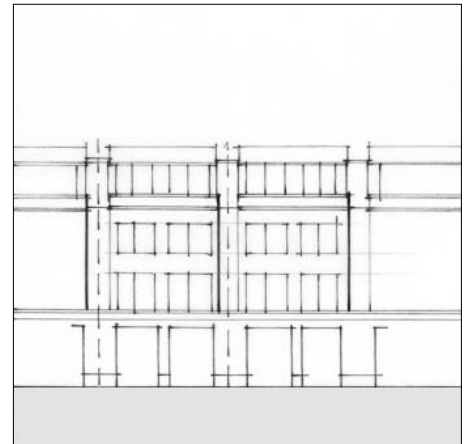


Figure II-98
Example of Vertical Expression:
Facade Articulation



Figure II-99
Appropriate ground floor retail expression with upper floor commercial uses



Figure II-100
Articulated parking garage with ground floor retail



Figure II-101
Appropriate level of articulation along access easements

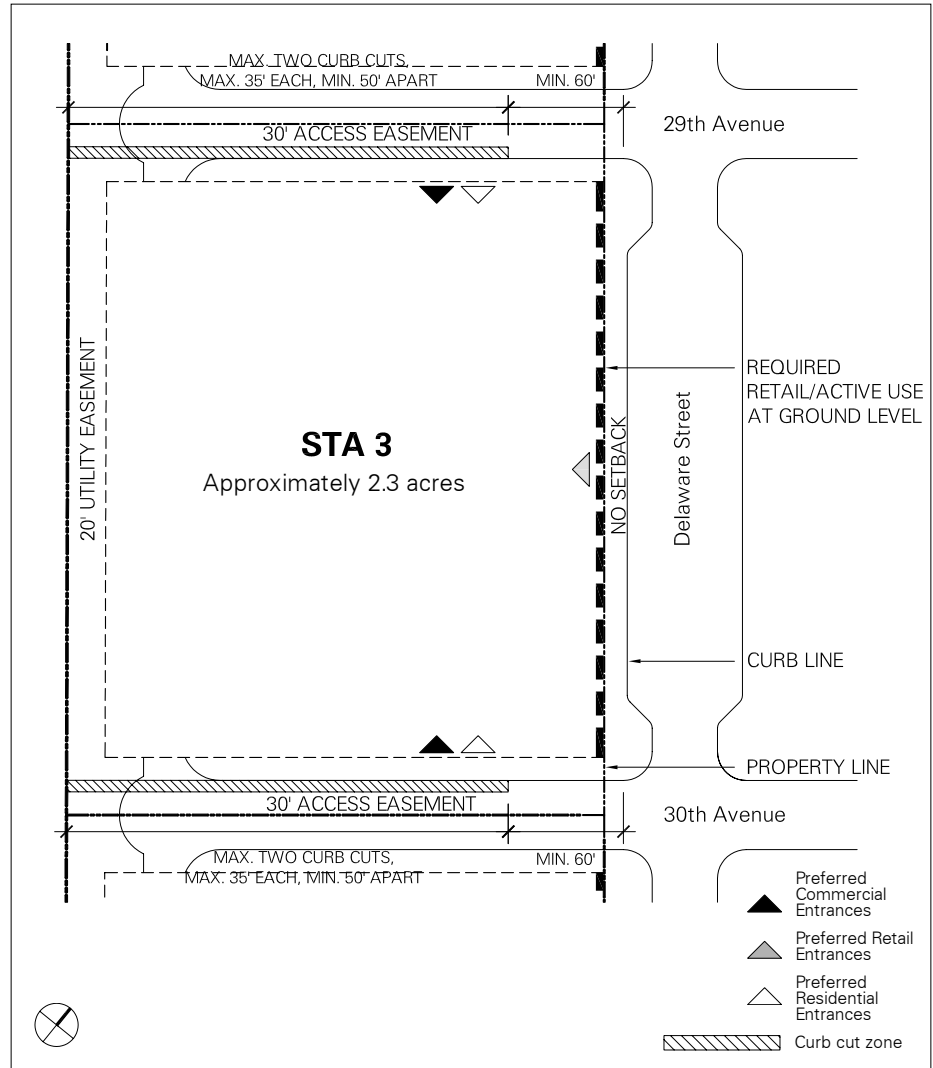


Figure II-102
STA 3 Building Placement

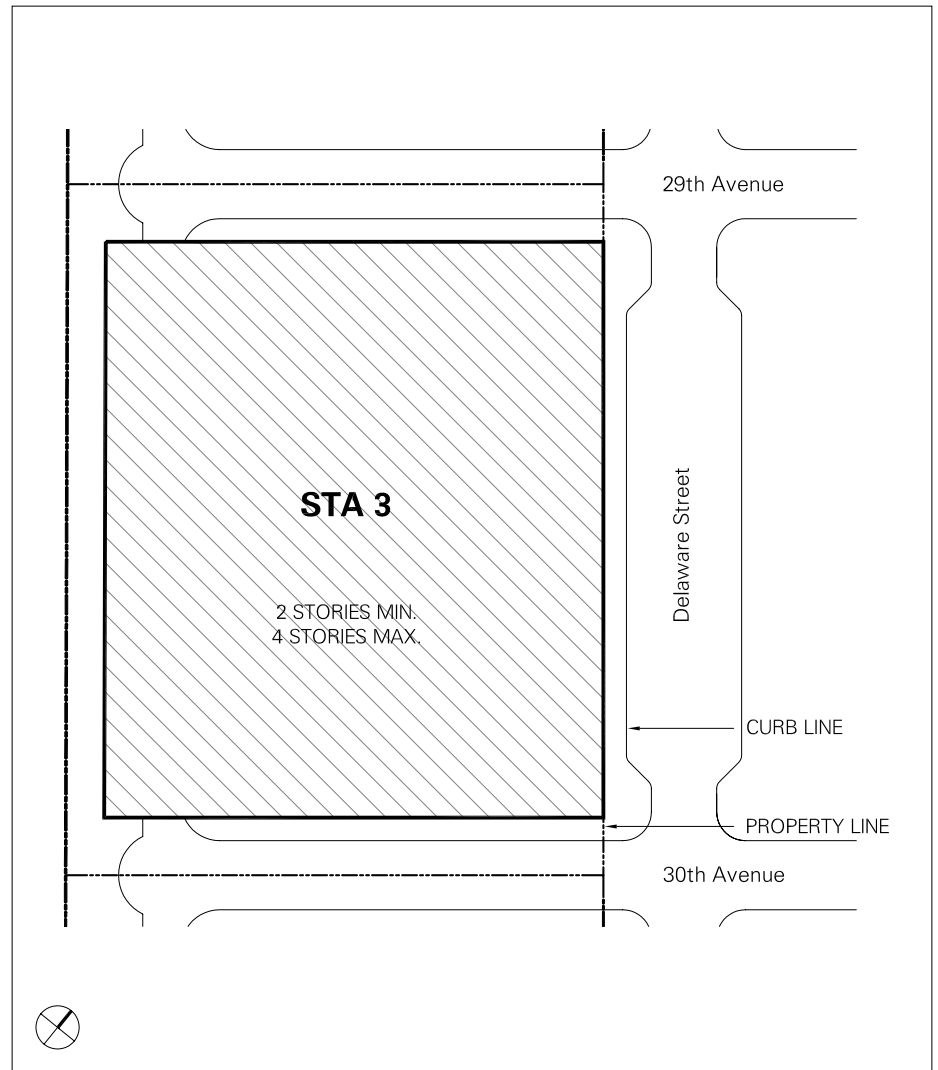


Figure II-103
STA 3 Building Massing

Development Block STA 3	Build-To Zone	Expression Lines	Allowable Encroachments
Delaware Street	Minimum 80% within 5' of Property Line	1st Floor, Top Floor	1,3,4,5,6,8,9,10,11,12,15 (See II.5)

Table II-3
STA 3 Massing Chart

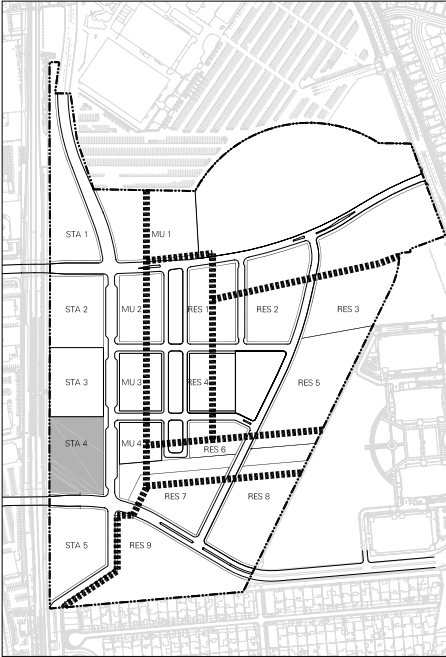


Figure II-104
STA 4 Key Plan



Figure II-105
Appropriate break in massing

II.14 STA 4

Frontage	Floor	Encouraged Use
Delaware Street	Ground floor	Retail or active use (required)
	Upper floors	Commercial and/or residential
31st Avenue	Ground floor	Retail, Commercial, Lobbies
	Upper floors	Residential or Commercial, Parking

General Criteria

- Primary building massing shall be parallel to Delaware Street and hold the corner with 31st Avenue. Ground floor parking shall be located away from the Avenue.
- Facades along access easements shall be designed and articulated (including windows and other openings) to the level required on Framework Streets. Retail frontages on Delaware Street are encouraged to return storefronts along access easements to engage them. Easements should be designed to improve user safety through such measures as enhanced lighting levels, clear sightlines, and clearly demarcated pedestrian paths.
- Buildings must include vertical expression devices to break up the largely horizontal massing. See Figures II-106 and II-107.
- Ground floor retail or active use required. A minimum of approximately 75% of linear feet of the Delaware Street frontage shall be glazed with clear (untinted, non-reflective) glass.
- Vibrant retail and active frontages with varied, incremental storefronts are encouraged.
- A combination of flat roofs and sloping roofs with broad overhangs is preferred.
- The 31st Avenue sidewalk shall be at least 10 feet wide clear of vertical obstructions such as trees or light standards to facilitate the connection between the Town Square and the train station.

Delaware Street Frontage Criteria

- Due to its visibility from the View Corridor axis, the building or grouping of buildings intersected by the axis should reflect high standards of design and construction. Special articulation appropriate to this location is encouraged.
- A break from sidewalk to sky is encouraged along Delaware Street as shown in Figure II-113. Eaves and other allowable encroachments may encroach upon this zone.
- Stepbacks are allowed above the ground floor and encouraged above the 3rd floor within 10' of the Property Line.



Figure II-106
Example of Vertical Expression: Fenestration

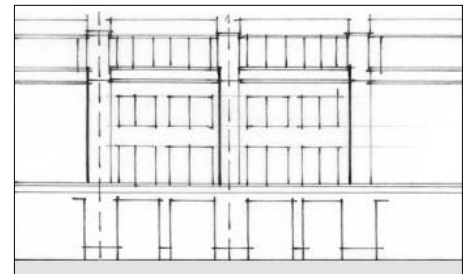


Figure II-107
Example of Vertical Expression: Facade Articulation



Figure II-108
Appropriate recessed commercial top floor with articulation against sky



Figure II-109
Articulated parking garage with ground floor retail



Figure II-110
Simple plan geometry and roof with flat roofs and broad overhangs

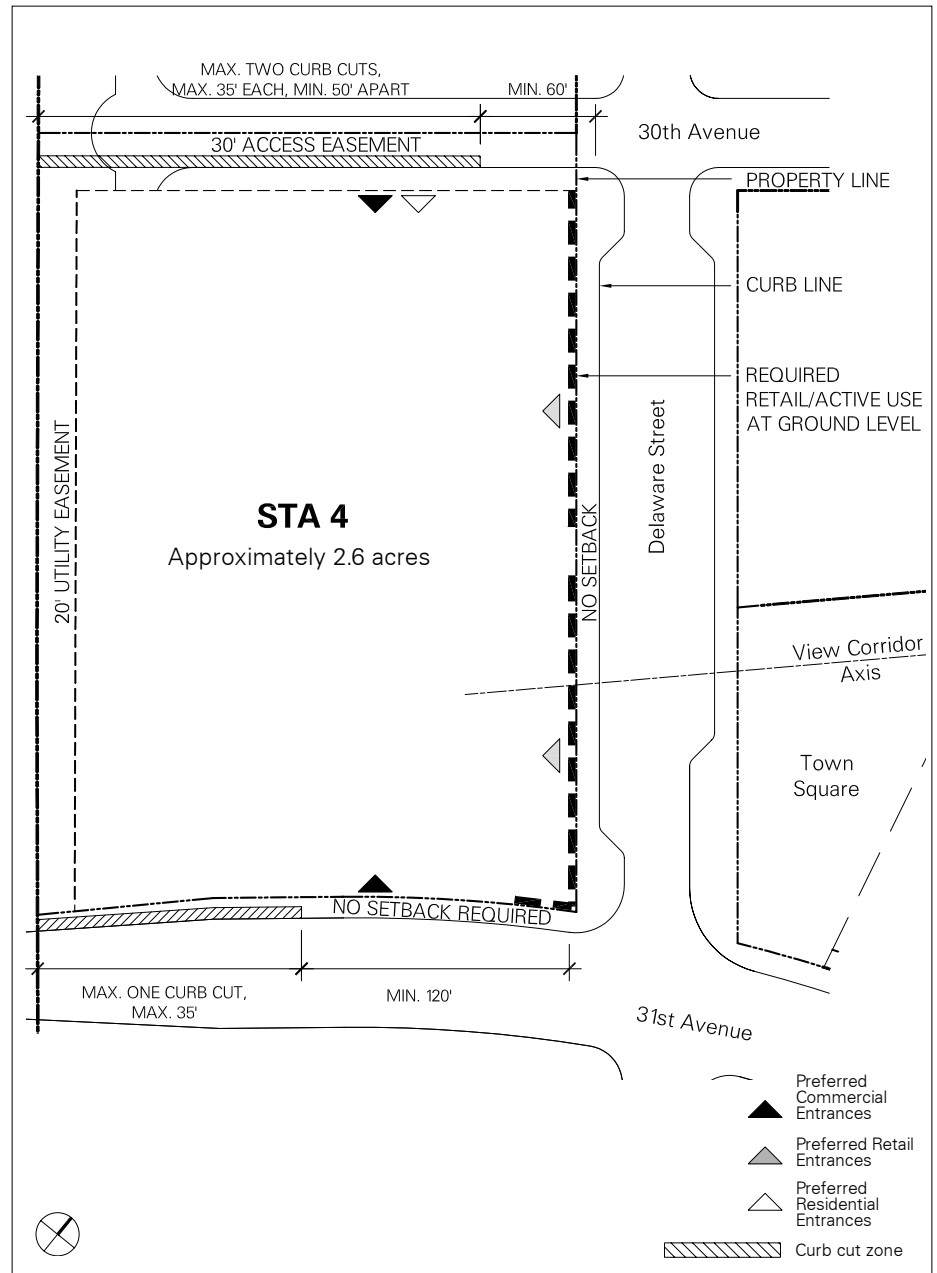


Figure II-111
STA 4 Building Placement

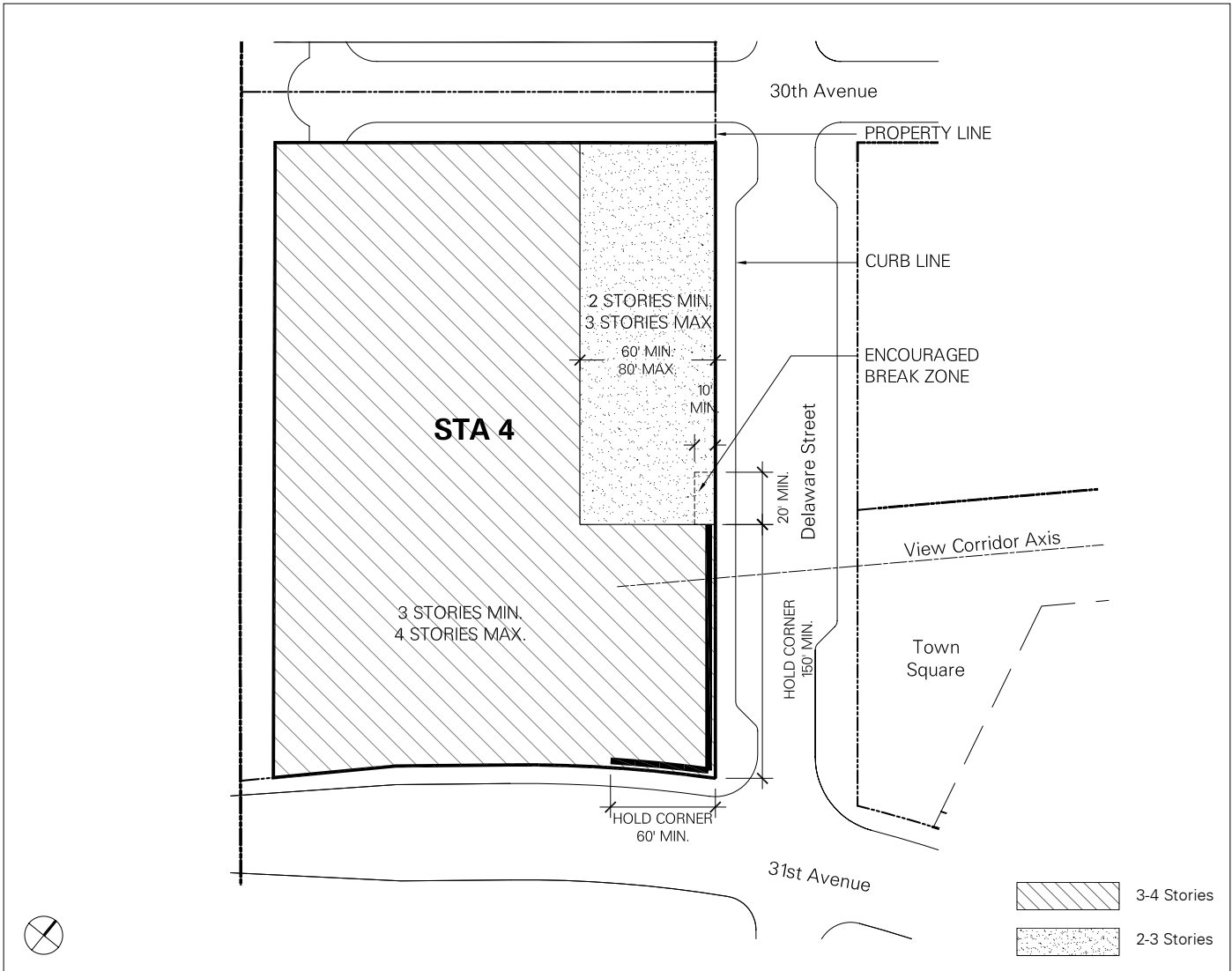


Figure II-112
STA 4 Building Massing

Development Block STA 4	Build-To Zone	Expression Lines	Allowable Encroachments
Delaware Street	Minimum 80% within 5' of Property Line	1st Floor, Top Floor	1,3,4,5,6,8,9,10,11,12,15 (See II.5)
31st Avenue	Minimum 80% within 9' of Property Line	1st Floor, Top Floor	1,3,4,5,6,8,9,10,11,12,15 (See II.5)

Table II-4
STA 4 Massing Chart

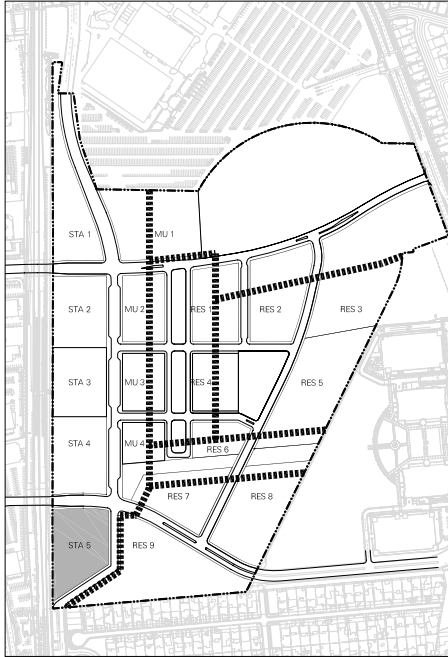


Figure II-113
STA 5 Key Plan



Figure II-114
Simple plan geometry and roof with flat roofs and broad overhangs

II.15 STA 5

Frontage	Floor	Encouraged Use
Delaware Street	Ground floor	Retail or active use
	Upper floors	Commercial
31st Avenue	Ground floor	Retail, Commercial, Lobbies
	Upper floors	Commercial

General Criteria
<ul style="list-style-type: none"> Primary building massing shall be parallel to 31st Avenue and hold the corner with Delaware Street. Ground floor parking shall be located away from the Avenue. Buildings must include vertical expression devices to break up the largely horizontal massing. See Figures II-115 and II-116. Ground floor retail or active use encouraged at the intersection of Delaware Street and 31st Avenue and along these Framework Streets. Where such use occurs, a minimum of approximately 75% of linear feet of the frontage shall be glazed with clear (untinted, non-reflective) glass. Incremental storefronts are encouraged. Stepbacks are allowed above the ground floor and encouraged above the 3rd floor within 10' of the Property Line. A combination of flat roofs and sloping roofs with broad overhangs is preferred.
31st Avenue Frontage Criteria
<ul style="list-style-type: none"> At-grade or above-grade parking along 31st Avenue is not permitted.

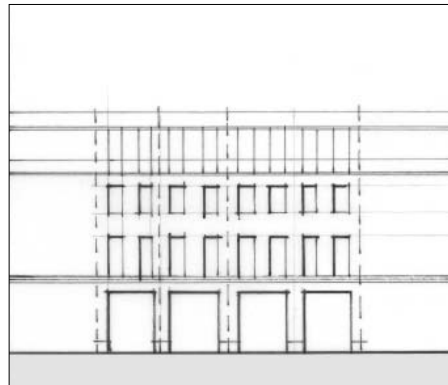


Figure II-115
Example of Vertical Expression:
Fenestration

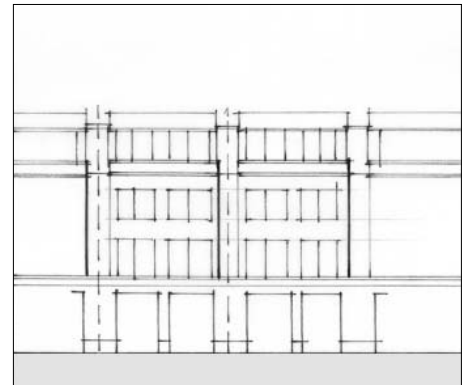


Figure II-116
Example of Vertical Expression:
Facade Articulation



Figure II-117
Appropriate recessed commercial top floor
with articulation against sky



Figure II-118
Appropriate commercial expression along
Delaware north of 28th Avenue and south
of 31st Avenue where no retail is required



Figure II-119
Parking garage designed as a building

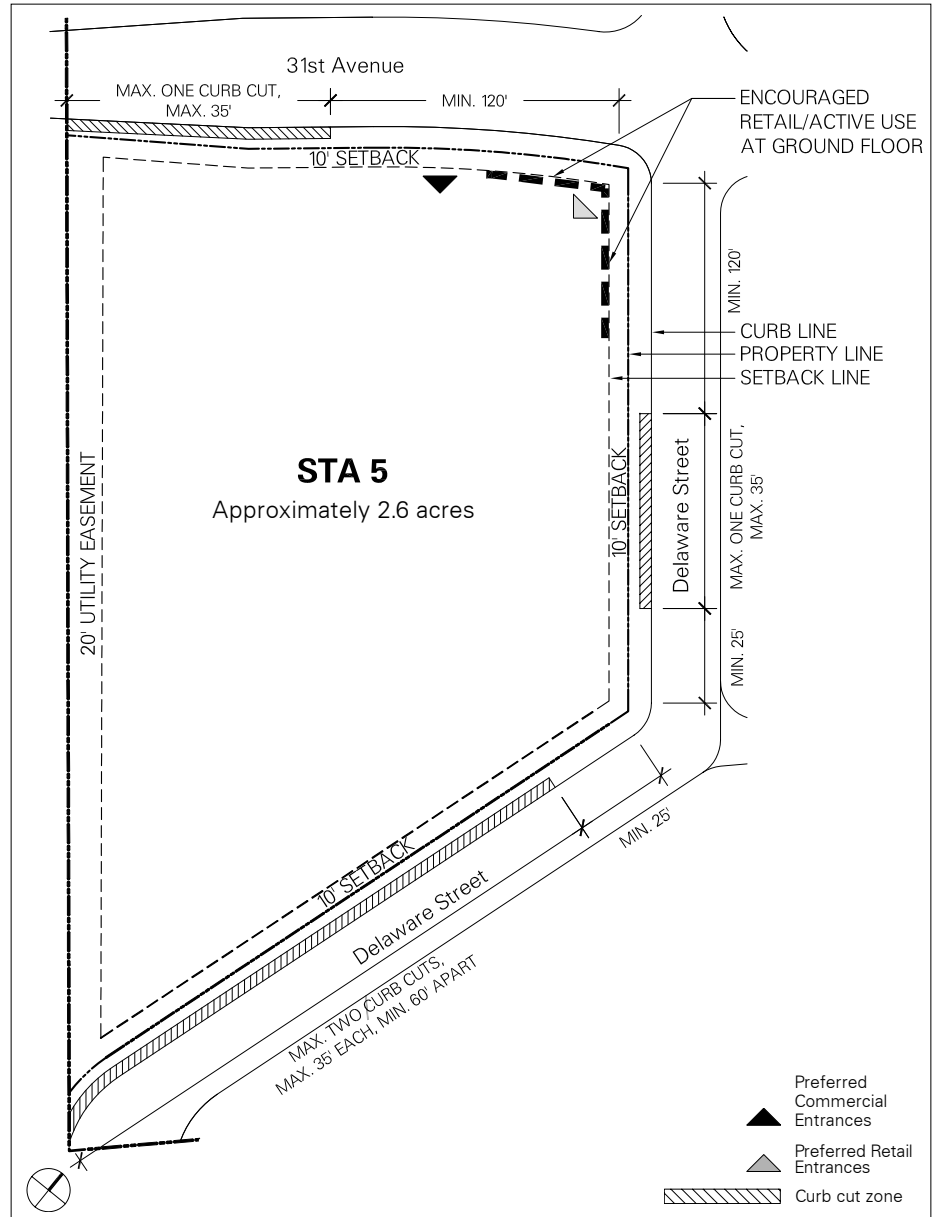


Figure II-120
STA 5 Building Placement

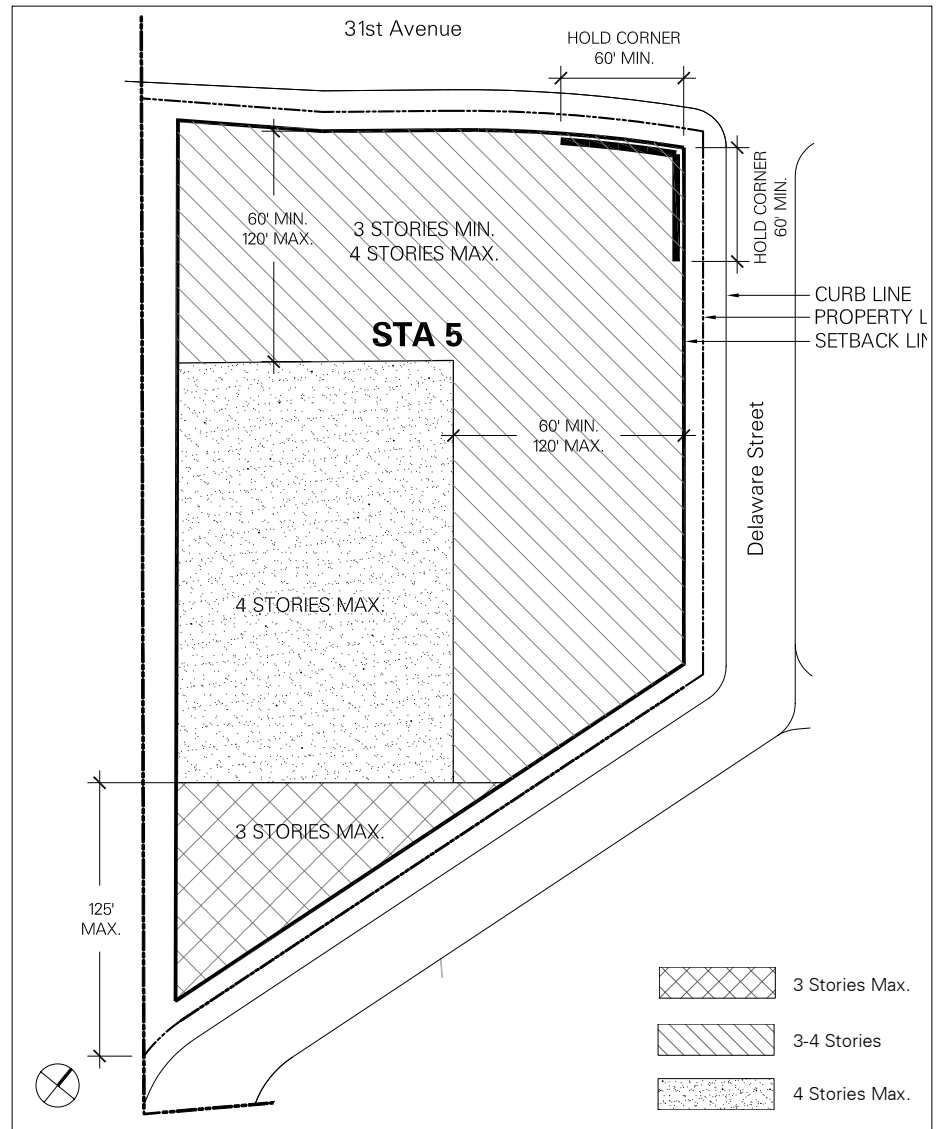


Figure II-121
STA 5 Building Massing

Development Block STA 5	Build-To Zone	Expression Lines	Allowable Encroachments
31st Avenue	Minimum 80% within 5' of Setback Line	1st Floor, Top Floor	1,2,3,4,5,6,7,8,9,10,11,12,15 (See II.5)
Delaware Street	Minimum 20% within 5' of Setback Line	1st Floor, Top Floor	1,2,3,4,5,6,7,8,9,10,11,12,15 (See II.5)

Table II-5
STA 5 Massing Chart

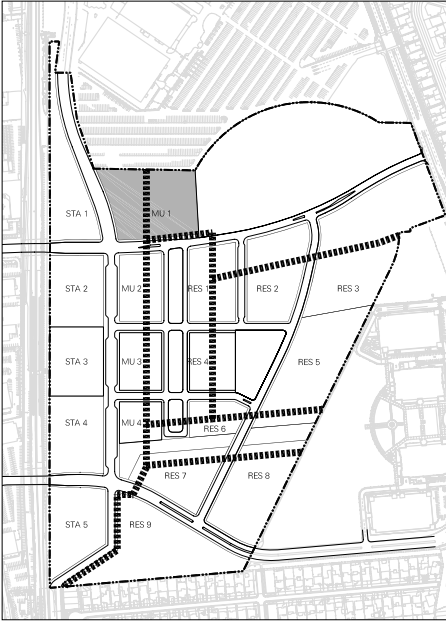


Figure II-122
MU 1 Key Plan



Figure II-123
Parking garage designed as a building

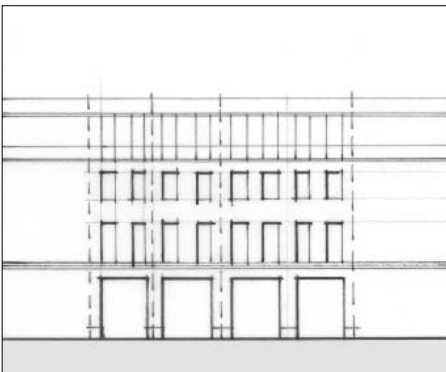


Figure II-124
Example of Vertical Expression

II.16 MU 1

Frontage	Floor	Encouraged Use
Delaware Street	Ground floor	Hotel, Retail or active use (encouraged)
	Upper floors	Hotel, Residential or Commercial
28th Avenue	All floors	Hotel, Apartment, Condominium or Loft
Community Park	All floors	Hotel, Apartment, Condominium or Loft

General Criteria
<ul style="list-style-type: none"> Primary building massing on the west side of the Block shall be parallel to 28th Avenue and hold the corner with Delaware Street. Ground floor parking shall be located away from the Avenue. Buildings must include vertical expression devices to break up the largely horizontal massing. See Figure II-124. Ground floor retail or active use encouraged at the intersection of Delaware Street and 28th Avenue and along these Framework Streets. Where such use occurs, a minimum of approximately 75% of linear feet of the frontage shall be glazed with clear (untinted, non-reflective) glass. Incremental storefronts are encouraged. A combination of flat roofs and sloping roofs with broad overhangs is preferred. Fences 6 feet high and accessory buildings may be located within the Setback facing the Expo Center.
Delaware Street Frontage Criteria
<ul style="list-style-type: none"> Stepbacks are allowed above the ground floor and encouraged above the 3rd floor within 10' of the Property Line.
Community Park Frontage Criteria
<ul style="list-style-type: none"> One-story base expression required. Where frontages are three or more stories high, they shall utilize a strong expression line above the third story. The massing of the first three stories should be nearly continuous to provide a uniform edge to the park. Multistory bay windows within the three-story base are encouraged. Private open spaces (decks, patios) along Community Park frontages shall be less than 10 feet deep. Larger decks and balconies are permitted on the top floor but should be recessed behind primary building masses. Step-out or Juliet balconies are permitted. Where they occur, fourth and fifth stories along the Community Park should have special, simple articulations which may include loggias, balconies, stepbacks, or more extensive window area than below. An overhanging roof is preferred. A plinth may occur to accommodate the grade change between 28th Avenue and the north property line. A stairway descending from such a plinth to the park level is encouraged.

28th Avenue Frontage Criteria

- An Architectural Feature should be located along the centerline of the Linear Neighborhood Park. This Architectural Feature is encouraged to be located along the 28th Avenue Setback, but may be located further from 28th Avenue to accommodate an off-street vehicular turn-around and drop-off between 28th Avenue and the Architectural Feature.

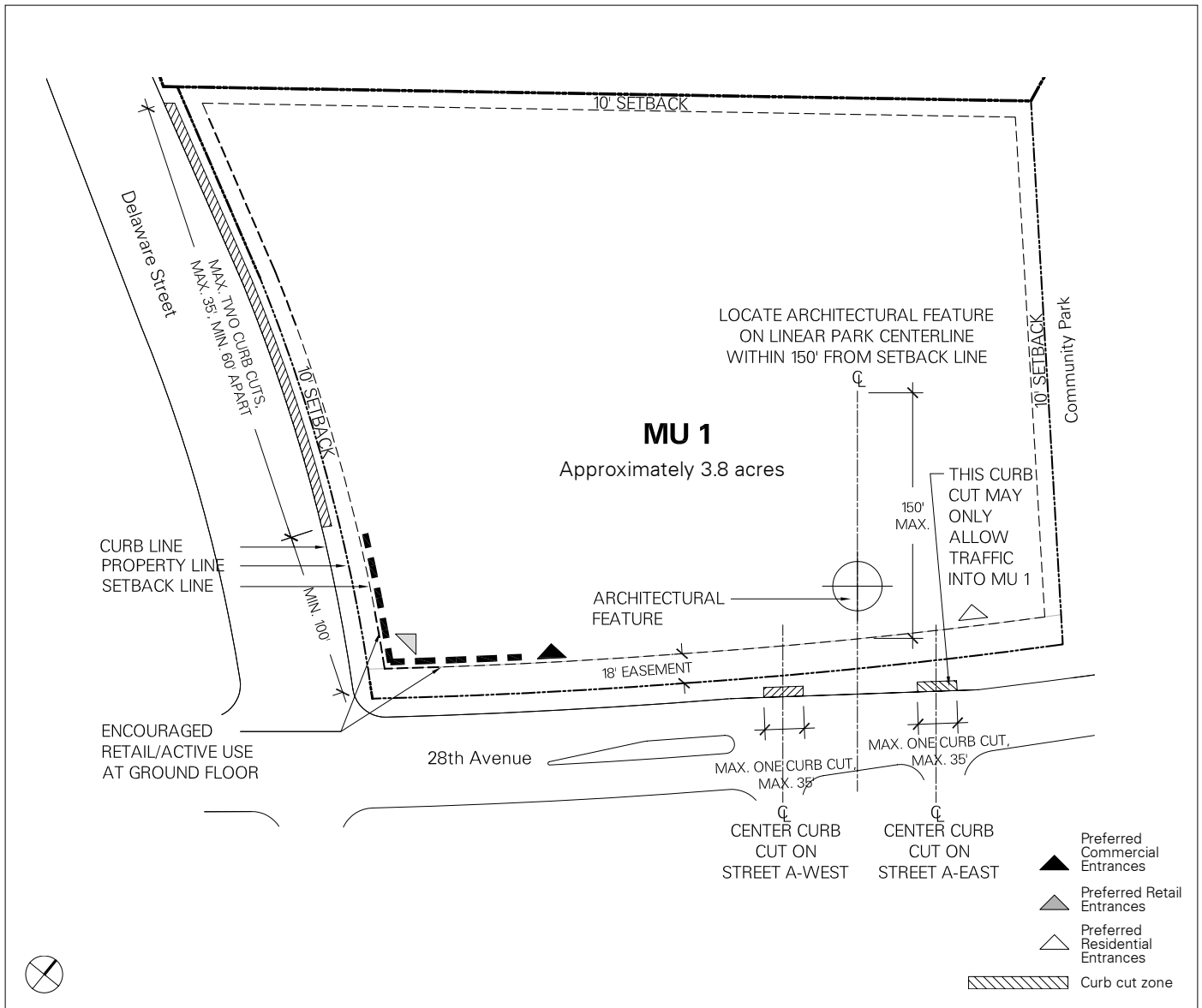


Figure II-125
MU 1 Building Placement

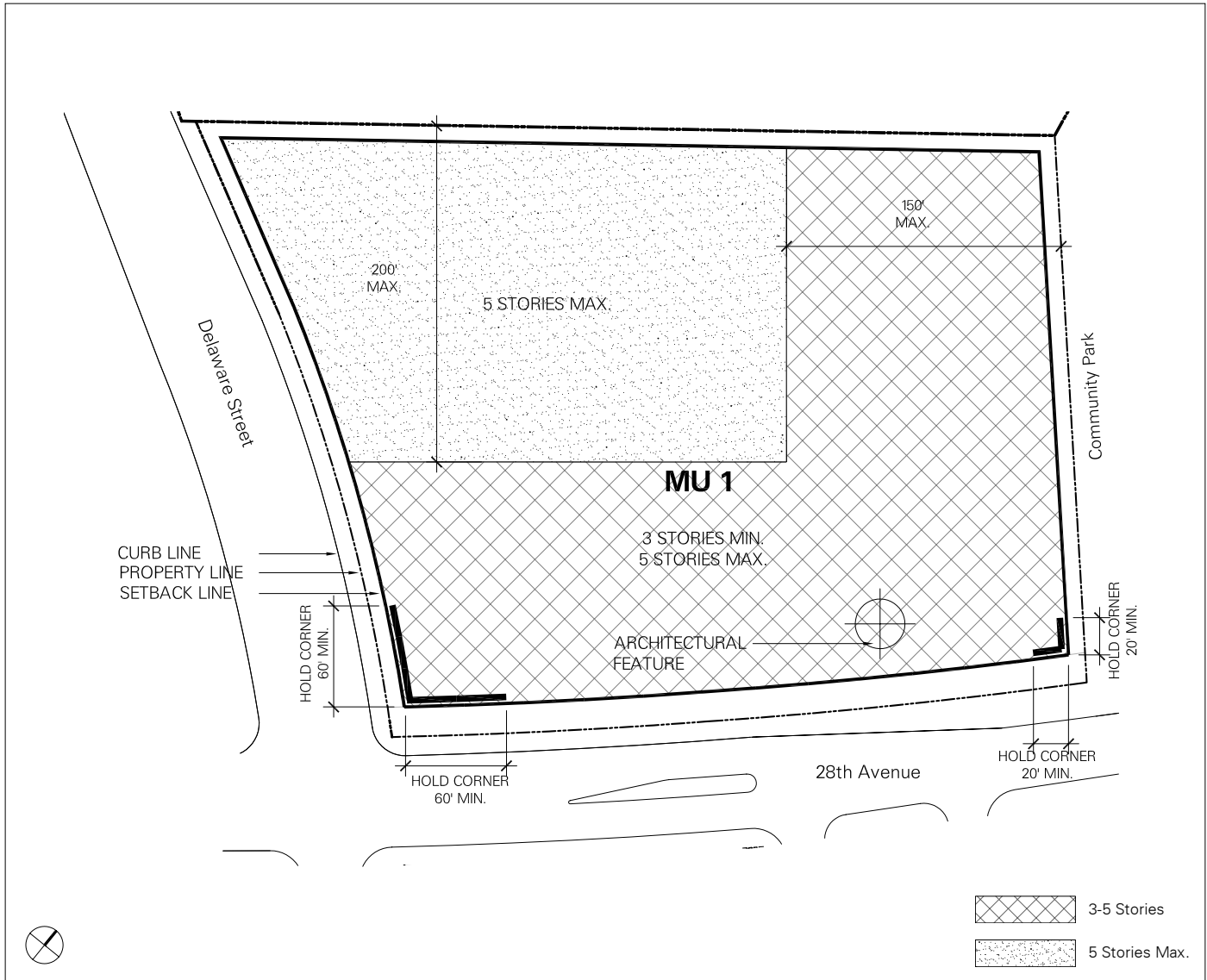


Figure II-126
MU 1 Building Massing



Figure II-127
An example of appropriate commercial expression along Delaware north of 28th Avenue and south of 31st Avenue where no retail is required



Figure II-128
Appropriate three story build-to expression with special fourth story, overhanging roof, Juliet balconies and common residential lobby



Figure II-129
Appropriate three story expression with more glass at recessed fourth story and overhanging roofs

Development Block MU 1	Build-To Zone		Expression Lines	Allowable Encroachments
	Lower Floors	Upper Floors		
28th Avenue	Floors 1-3 - Min. 70% within 3' of Setback Line	Floors 4-5 - Min. 50% within 10' of Setback Line	1st Floor, 3rd Floor	1,2,3,4,5,6,7,8,9,10,11,12,13,15 (See II.5)
Community Park	Floors 1-3 - Min. 40% within 5' of Setback Line	Floors 4-5 - Min. 40% within 10' of Setback Line	1st Floor, 3rd Floor	1,2,3,4,5,6,7,10,11,12,13,15 (See II.5)
Delaware Street	Minimum 40% within 5' of Setback Line	Top Floor - Min. 40% within 10' of Setback Line	1st Floor, Top Floor	1,2,3,4,5,6,8,7,9,10,11,12,13,15 (See II.5)
Setback Adjacent to Expo Center	None required	None required	None required	1,2,3,4,5,6,7,10,11,12,13,14,15,16 (See II.5)

Table II-6
MU 1 Massing Chart

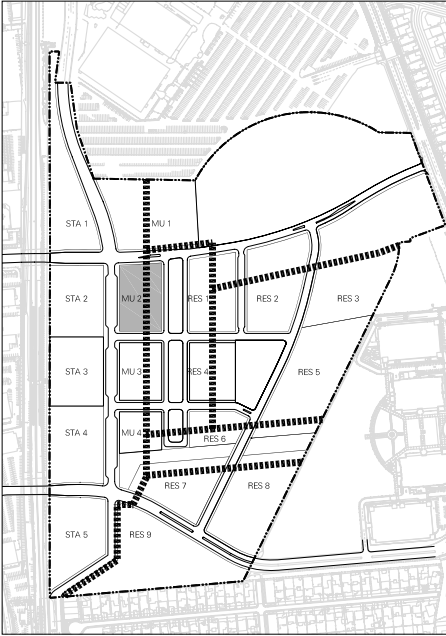


Figure II-130
MU 2 Key Plan

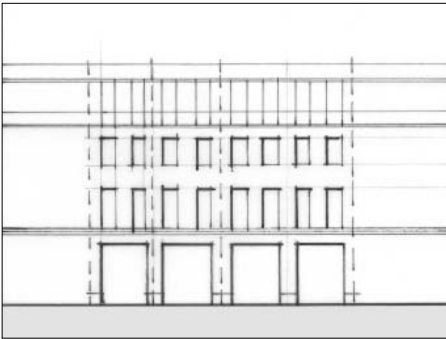


Figure II-131
Example of Vertical Expression: Fenestration

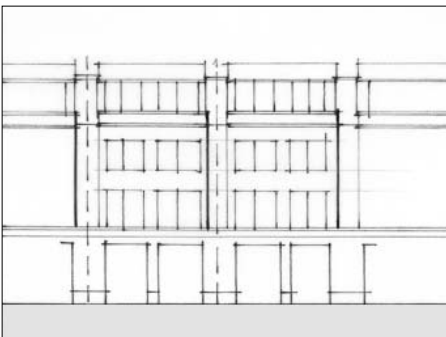


Figure II-132
Example of Vertical Expression:
Facade Articulation

II.17 MU 2

Frontage	Floor	Encouraged Use
Delaware Street	Ground floor	Retail or active use (required)
	Upper floors	Residential or Commercial
28th & 29th Avenues	Ground floor	Commercial, lobbies
	Upper floors	Residential or commercial
Street A	All floors	Hotel, Apartment, Condominium or Loft

General Criteria

- A ground floor pedestrian passage is permitted to connect Delaware Street to Street A. If it occurs, the ground floor should be designed as an active frontage with windows and doors. There should be an unobstructed path and view directly from Street A to Delaware Street. The passage may be covered beginning at 15 feet above sidewalk level for a maximum of 60% of the building's depth.

Delaware Street Frontage Criteria

- Buildings must include vertical expression devices to break up the largely horizontal massing. See Figures II-131 and II-132.
- Required Architectural Feature must be visible from 28th Avenue.
- Ground floor retail or active use required. A minimum of approximately 75% of linear feet of the Delaware Street frontage shall be glazed with clear (untinted, non-reflective) glass.
- Vibrant retail and active frontages with varied, incremental storefronts are encouraged.
- Stepbacks are allowed above the ground floor and encouraged above the 3rd floor within 10' of the Property Line.
- A combination of flat roofs and sloping roofs with broad overhangs is preferred.

Street A Frontage Criteria

- A minimum of one floor underground parking is required. Should additional parking be necessary, above-grade parking shall be shielded from Street A by occupied space a minimum of 25 feet thick at the ground level.
- Required Architectural Feature must be visible from 28th Avenue.
- One-story base expression required.
- A break from sidewalk to sky should occur in the middle third of the Street A frontage as indicated in Figure II-134. Eaves and other allowable encroachments may encroach upon this zone.
- Private open spaces (patios, decks) should not be deeper than ten feet if located below the top floor.
- Step-out or Juliet balconies are permitted.
- Large windows are encouraged along the street to open to the park.
- Facades should be relatively flat to provide uniformity among Blocks.
- Lobby entrances are encouraged.
- A street-facing courtyard may occur. Such a courtyard shall have a maximum width of 50 feet at the first two stories where it opens to Street A.

28th and 29th Avenues Frontage Criteria

- Lower height zone on 29th Avenue shall be one story lower than contiguous frontage.
- If located below the top floor, private open spaces (patios, decks or balconies) should not be deeper than ten feet if located below the top floor.
- Step-out or Juliet balconies are permitted.

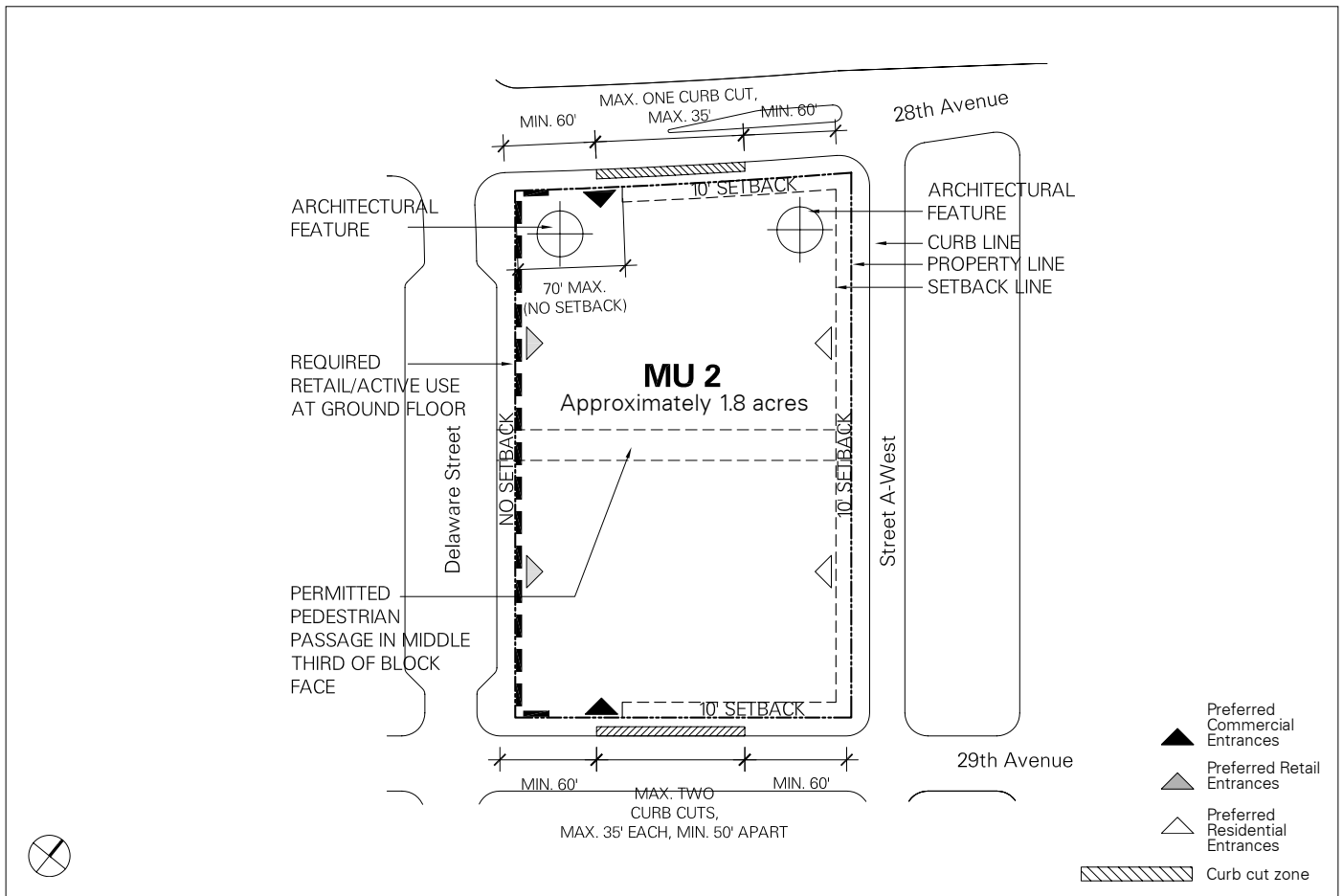


Figure II-133
MU 2 Building Placement

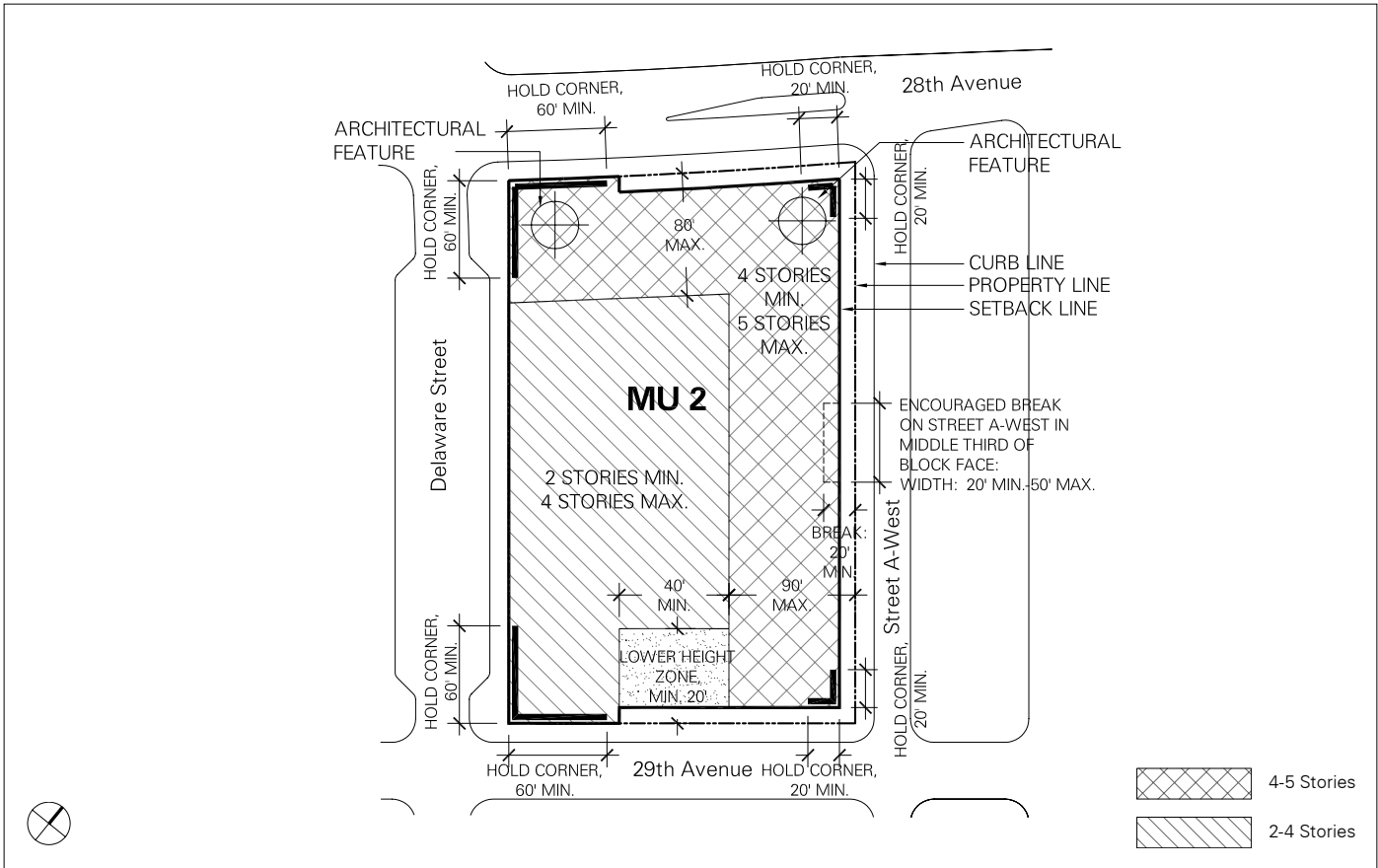


Figure II-134
MU 2 Building Massing

Development Block MU 2	Build-To Zone		Expression Lines	Allowable Encroachments
	Lower Floors	Upper Floors		
28th Avenue	Floor 1 - Min. 80% within 3' of Setback Line; Floors 2-3 - Min. 70% within 3' of Setback Line	Floors 4-5 - Max. 90% within 10' of Setback Line	1st Floor, 3rd Floor	1,2,3,4,5,6,7,8,9,10,11,12,13,15 (See II.5)
Street A-West	Floors 1-3 - Min. 75% within 3' of Setback Line	Floors 4-5 - Min. 50% within 10' of Setback Line	1st Floor, 3rd Floor	1,2,3,4,5,6,7,10,11,12,13,15 (See II.5)
29th Avenue	Floors 1-3 - Min. 80% within 10' of Setback Line	Floors 4-5 - Min. 40% within 10' of Setback Line	Not required in lower height zone*	1,2,3,4,5,6,7,8,9,10,11,12,13,15 (See II.5)
Delaware Street	Minimum 80% within 5' of Property Line	Top Floor - Min. 70% within 10' of Property Line	1st Floor, Top Floor	1,3,4,5,6,8,9,10,11,12,15 (See II.5)

*Required expression lines from adjacent frontages shall wrap onto this frontage for at least the "hold corner" distance

Table II-7
MU 2 Massing Chart



Figure II-135
Appropriate ground floor retail expression
with upper floor commercial uses



Figure II-136
Simple plan geometry and roof with flat
roofs and broad overhangs



Figure II-137
Appropriate consistency of buildings,
appropriate balcony, roof and loggia articulation



Figure II-138
Appropriate shallow step-out or
Juliet balconies



Figure II-139
An example of an inviting pedestrian passage



Figure II-140
Appropriate break in massing on Street A

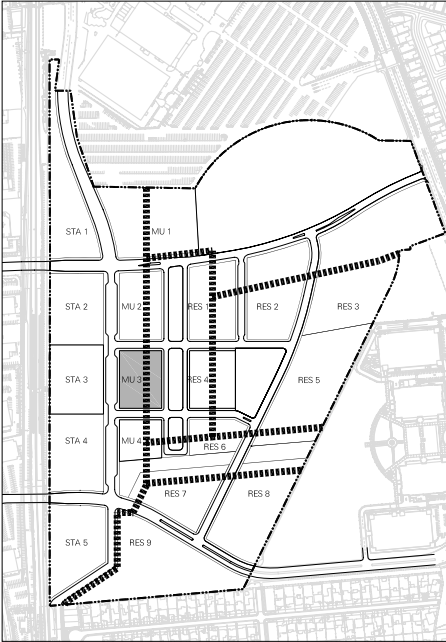


Figure II-141
MU 3 Key Plan

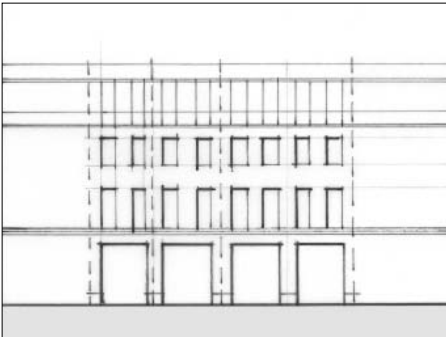


Figure II-142
Example of Vertical Expression: Fenestration

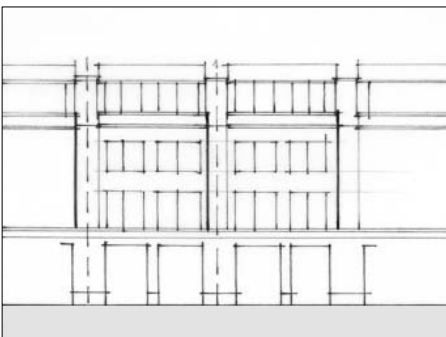


Figure II-143
Example of Vertical Expression:
Facade Articulation

II.18 MU 3

Frontage	Floor	Encouraged Use
Delaware Street	Ground floor	Retail or active use (required)
	Upper floors	Residential or Commercial
29th & 30th Avenues	Ground floor	Commercial, Lobbies
	Upper floors	Residential or Commercial
Street A	All floors	Residential or Commercial
Pedestrian Easements	Ground floor	Retail or Commercial
	Upper floors	Residential or Commercial

General Criteria

- The ground floor of the required pedestrian easement shall be designed as an active frontage with windows and doors. There shall be an unobstructed path and view directly from Street A to Delaware Street. The width between building faces may be wider than the path dimension to allow transition zones between the public path and interior uses. The easement may be covered beginning at 15 feet above sidewalk level for a maximum of 60% of the building's depth.
- The pedestrian passage should be designed to encourage pedestrian use, with attention paid to pedestrian perception of safety, views to and within it that encourage its use, and lighting to enhance pedestrian and cyclist visibility, comfort and security.

Delaware Street Frontage Criteria

- Ground floor retail or active use required. A minimum of approximately 75% of linear feet of the Delaware Street frontage shall be glazed with clear (untinted, non-reflective) glass.
- Vibrant retail and active frontages with varied, incremental storefronts are encouraged.
- Setbacks are allowed above the ground floor and encouraged above the 3rd floor within 10' of the Property Line.
- Buildings must include vertical expression devices to break up the largely horizontal massing. See Figures II-142 and II-143.
- A combination of flat roofs and sloping roofs with broad overhangs is preferred.

29th and 30th Avenues Frontage Criteria

- Step-out or Juliet balconies are permitted.
- Private open spaces (patios, decks or balconies) should not be deeper than 10 feet if located below the top floor.
- Lower height zone shall be one story lower than contiguous frontage.

Street A Frontage Criteria
<ul style="list-style-type: none"> • One-story base expression required. • Private open spaces (patios, decks) should not be deeper than ten feet if located below the top floor. • Step-out or Juliet balconies are permitted. • Large windows are encouraged along Street A to open to the park. • Facades should be relatively flat to provide uniformity among Blocks. • Lobby entrances are encouraged. • A street-facing courtyard may only occur along Street A. Such a courtyard shall have a maximum width of 50 feet at the first two stories where it opens to Street A. • A minimum of one floor of underground parking is required. Additional above-grade parking shall be shielded from Street A by occupied space a minimum of 25 feet thick at the ground level.

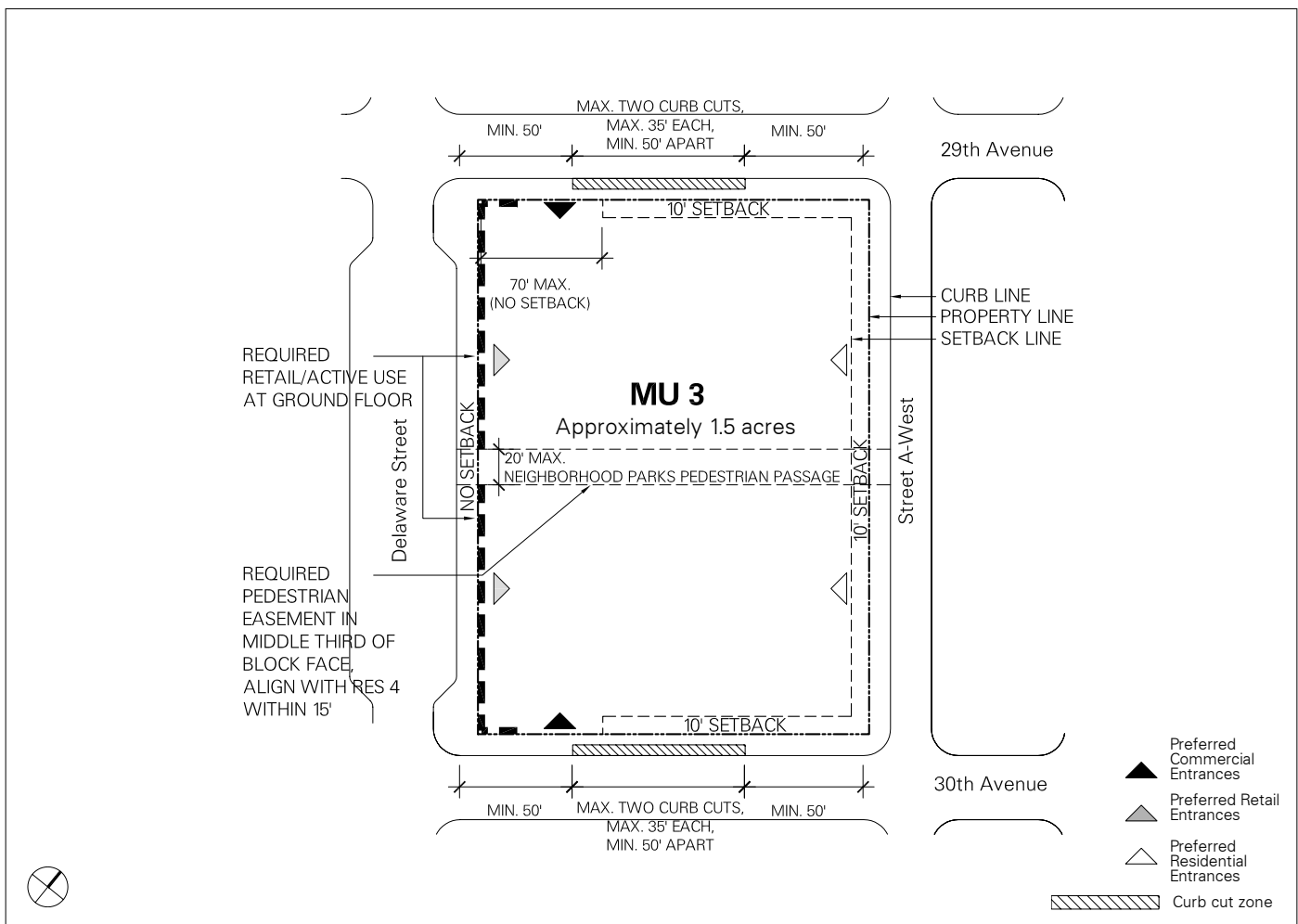


Figure II-144
MU 3 Building Placement

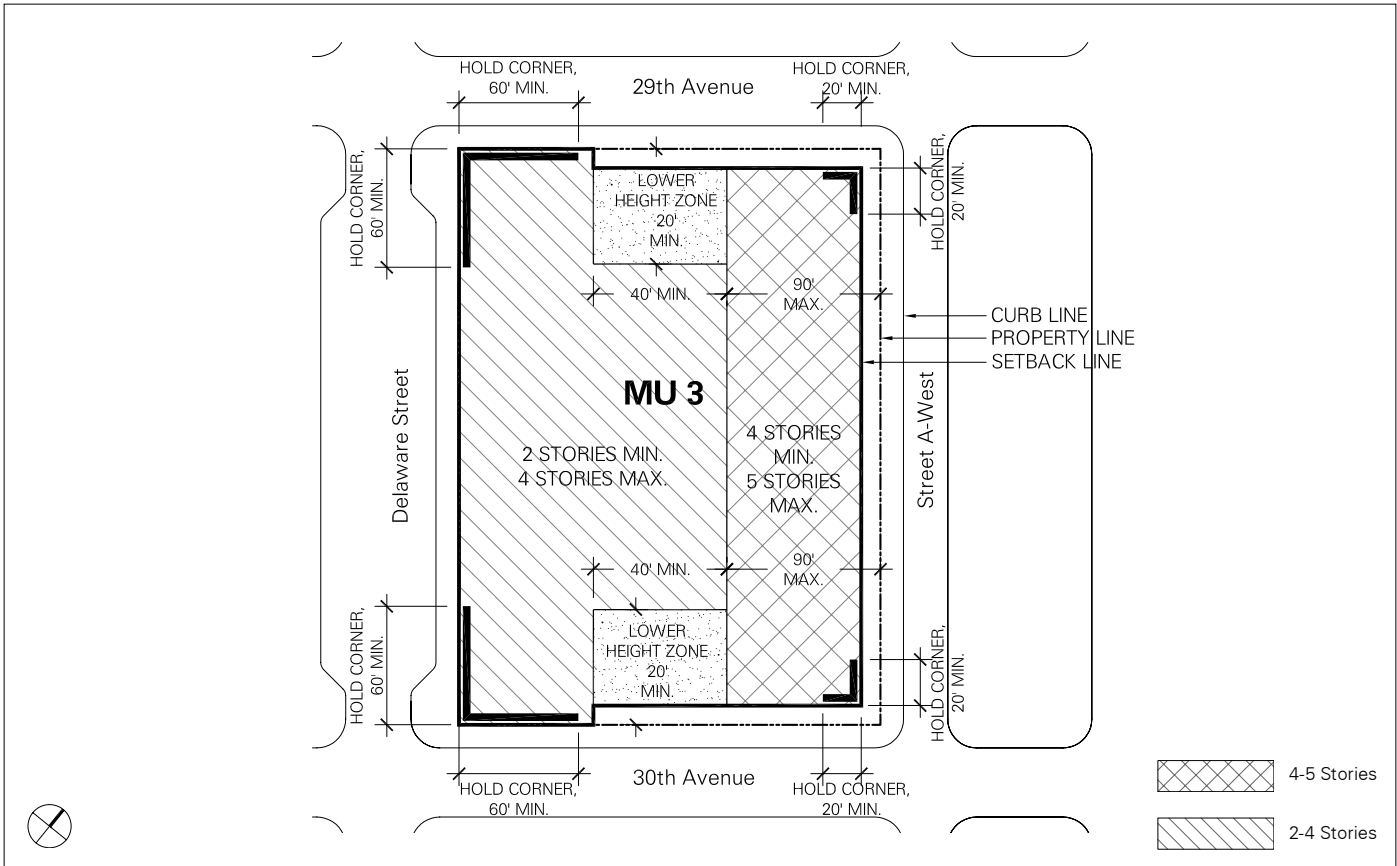


Figure II-145
MU 3 Building Massing

Development Block MU 3	Build-To Zone		Expression Lines	Allowable Encroachments
	Lower Floors	Upper Floors		
29th Avenue	Floors 1-3 - Min. 80% within 10' of Setback Line	Floors 4-5 - Min. 40% within 10' of Setback Line	1st Floor, 3rd Floor	1,2,3,4,5,6,7,8,9,10,11,12,13, 15 (See II.5)
Street A-West	Floors 1-3 - Min. 75% within 3' of Setback Line	Floors 4-5 - Min. 50% within 10' of Setback Line	1st Floor, 3rd Floor	1,2,3,4,5,6,7,10,11,12,13,15 (See II.5)
30th Avenue	Floors 1-3 - Min. 80% within 10' of Setback Line	Floors 4-5 - Min. 40% within 10' of Setback Line	Not required in lower height zone*	1,2,3,4,5,6,7,8,9,10,11,12,13, 15 (See II.5)
Delaware Street	Minimum 80% within 5' of Property Line	Top Floor - Min. 70% within 10' of Property Line	1st Floor, Top Floor	1,3,4,5,6,8,9,10,11,12,15 (See II.5)

*Required expression lines from adjacent frontages shall wrap onto this frontage for at least the "hold corner" distance

Table II-8
MU 3 Massing Chart



Figure II-146
Appropriate ground floor retail expression
with upper floor commercial uses



Figure II-147
Simple plan geometry with flat roofs and
broad overhangs



Figure II-148
Appropriate consistency of buildings,
appropriate balcony, roof and loggia articulation



Figure II-149
Varied building massing mid-block, with
full-height expression at corner



Figure II-150
Appropriate shallow step-out or
Juliet balconies



Figure II-151
An example of an inviting pedestrian passage

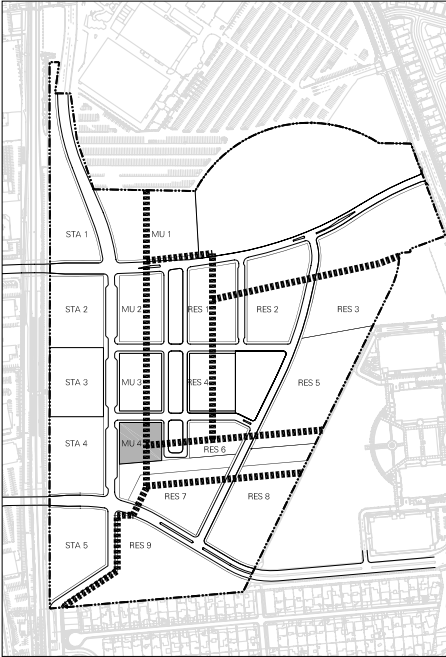


Figure II-152
MU 4 Key Plan

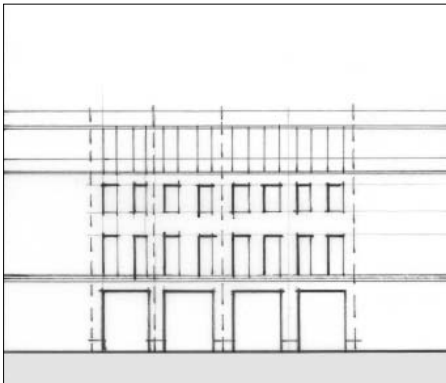


Figure II-153
Example of Vertical Expression: Fenestration



Figure II-154
Simple plan geometry and roof with flat roofs and broad overhangs

II.19 MU 4

Frontage	Floor	Encouraged Use
Delaware Street	Ground floor	Retail or active use (required)
	Upper floors	Residential or Commercial
Town Square	Ground floor	Retail
	Upper floors	Residential or Commercial
Street A	All floors	Residential or Commercial
30th Avenue	All floors	Residential or Commercial, lobbies
View Corridor	Ground floor	Residential or Commercial
	Upper floors	Residential or Commercial

Delaware Street and the Town Square Frontage Criteria

- Buildings must include vertical expression devices to break up the largely horizontal massing. See Figure II-153.
- The required Architectural Feature must be visible from both Delaware Street and the Town Square.
- Ground floor retail or active use required. A minimum of approximately 75% of linear feet of the Delaware Street frontage shall be glazed with clear (untinted, non-reflective) glass.
- Vibrant retail and active frontages with varied, incremental storefronts are encouraged.
- Balconies and pergolas are encouraged at the upper stories of the Town Square frontage.
- A combination of flat roofs and sloping roofs with broad overhangs is preferred.

Street A and 30th Avenue Frontage Criteria

- A minimum of one floor of underground parking is required. Should additional parking be necessary, above-grade parking shall be shielded from Street A by occupied space a minimum of 25 feet thick at the ground level.
- Lower height zone on 30th Avenue shall be one story lower than contiguous frontages.
- One-story base expression required.
- Private open spaces (patios, decks) should not be deeper than ten feet if located below the top floor.
- Step-out or Juliet balconies are permitted.
- Large windows are encouraged along Street A to open to the park.
- Facades should be relatively flat along Street A to provide uniformity among Blocks.
- Grouped lobby entrances are encouraged.



Figure II-155
Appropriate ground floor retail and corner expression

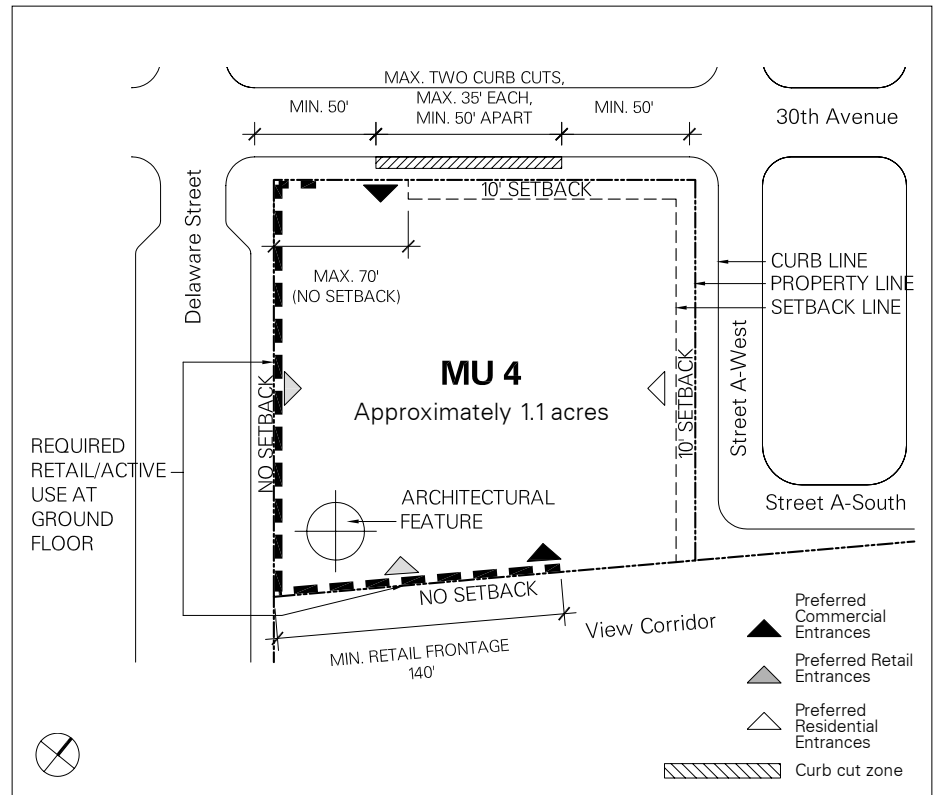


Figure II-156
MU 4 Building Placement



Figure II-157
A retail and restaurant plaza that provides a public gathering space



Figure II-158
Variety of retail and dining activates the street



Figure II-159
Appropriate retail and active frontages

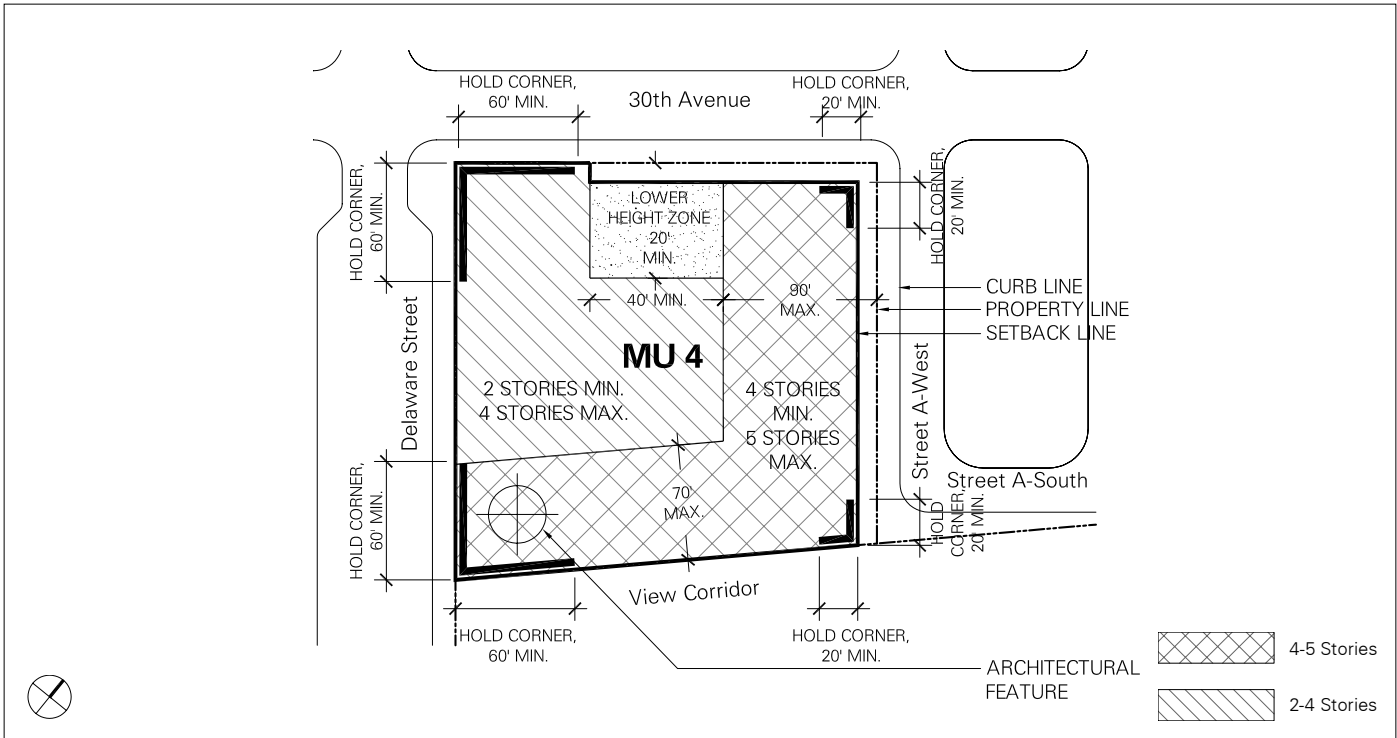


Figure II-160
MU 4 Building Massing

Development Block MU 4	Build-To Zone		Expression Lines	Allowable Encroachments
	Lower Floors	Upper Floors		
30th Avenue	Floors 1-3 - Min. 80% within 10' of Setback Line	Floors 4-5 - Min. 40% within 10' of Setback Line	Not required in lower height zone*	1,2,3,4,5,6,7,8,9,10,11,12,13, 15 (See II.5)
Street A-West	Floors 1-3 - Min. 75% within 3' of Setback Line	Floors 4-5 - Min. 50% within 10' of Setback Line	1st Floor, 3rd Floor	1,2,3,4,5,6,7,10,11,12,13,15 (See II.5)
View Corridor	Floors 1-3 - Min. 80% within 5' of Property Line	Floors 4-5 - Max. 80% within 10' of Property Line	1st Floor, 3rd Floor	1,2,3,4,5,6,7,8,9,10,11,12,13, 15 (See II.5)
Delaware Street	Minimum 80% within 5' of Property Line	Top Floor - Min. 40% within 10' of Property Line	1st Floor, Top Floor	1,3,4,5,6,8,9,10,11,12,15 (See II.5)

*Required expression lines from adjacent frontages shall wrap onto this frontage for at least the "hold corner" distance

Table II-9
MU 4 Massing Chart

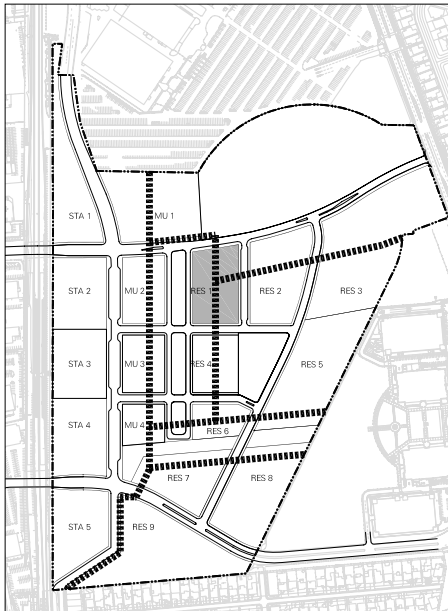


Figure II-161
RES 1 Key Plan



Figure II-162
Appropriate residential buildings with vertical massing, shaped roofs, chimneys, and articulated ground-floor condition



Figure II-163
Appropriate shallow step-out or Juliet balconies

II.20 RES 1

Frontage	Floor	Encouraged Use
Street A and 28th Ave	All floors	Apartment, Condominium or Loft
Pedestrian Easements	All floors	Apartment, Condominium or Loft
Street B and 29th Ave	All floors	Townhouse/Rowhouse

General Criteria
<ul style="list-style-type: none"> A ground-floor pedestrian passage is permitted to connect Street A to Street B. If it occurs, the ground floor of the pedestrian passage should be designed as an active frontage with windows and doors. Through pedestrian passages, if any, may not be gated. There should be an unobstructed path and view directly from Street A to Street B. The easement may be covered beginning at 15 feet above sidewalk level for a maximum of 60% of the building's depth. Above-grade parking, where it occurs, shall be screened from Framework Streets.
Street A Frontage Criteria
<ul style="list-style-type: none"> Facades shall be relatively flat along Street A to provide uniformity among Blocks. The required Architectural Feature must be visible from both 28th Avenue and Street A. Private open spaces (patios, decks) should not be deeper than ten feet if located below the top floor. A break from sidewalk to sky should occur in the middle third of the Street A frontage as indicated in Figure II-167. Eaves and other allowable encroachments may encroach upon this zone. One-story base expression required. Step-out or Juliet balconies are permitted. Large windows are encouraged along Street A to open to the park. Lobby entrances are encouraged.
28th Avenue Frontage Criteria
<ul style="list-style-type: none"> One-story base expression required. Frontages shall utilize a strong expression line above the third story. The massing of the first three stories shall be nearly continuous to provide a uniform edge to the park. Multi-story bay windows within the three-story base are encouraged. Where they occur, fourth and fifth stories along the Community Park should have special, simple articulations which may include loggias, balconies, stepbacks, or more extensive window area than below. An overhanging roof is encouraged above fourth or fifth stories at the top of buildings. Private open spaces (decks, patios) along 28th Avenue shall be less than 10 feet deep. Larger decks and balconies are permitted on the top floor but should be recessed behind primary building masses. Step-out or Juliet balconies are permitted.



Figure II-164
Front loaded garage permitted only within a Block interior - frontage on an interior drive with sidewalk, landscape and front doors



Figure II-165
An example of an inviting pedestrian passage

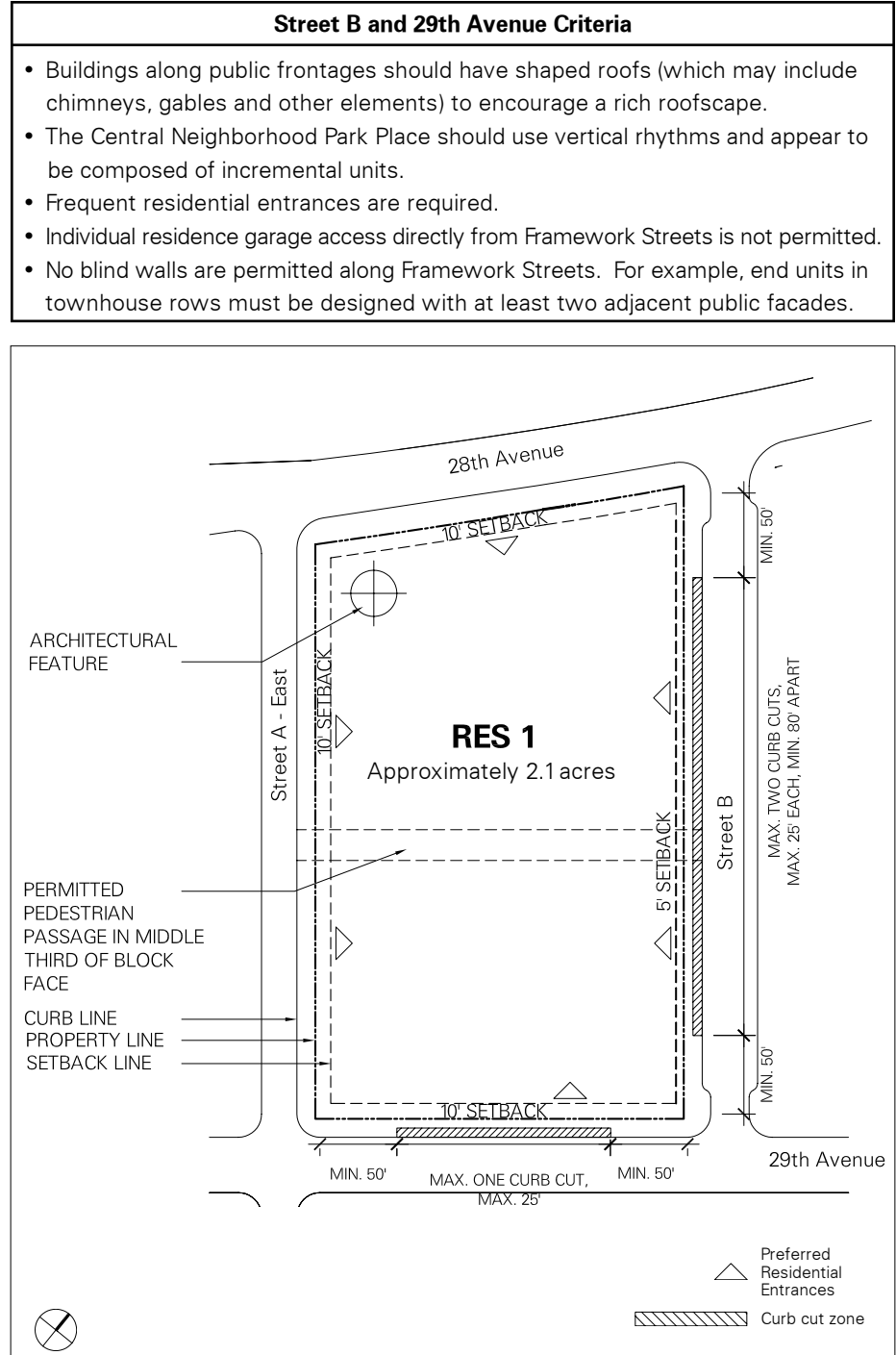


Figure II-166
RES 1 Building Placement

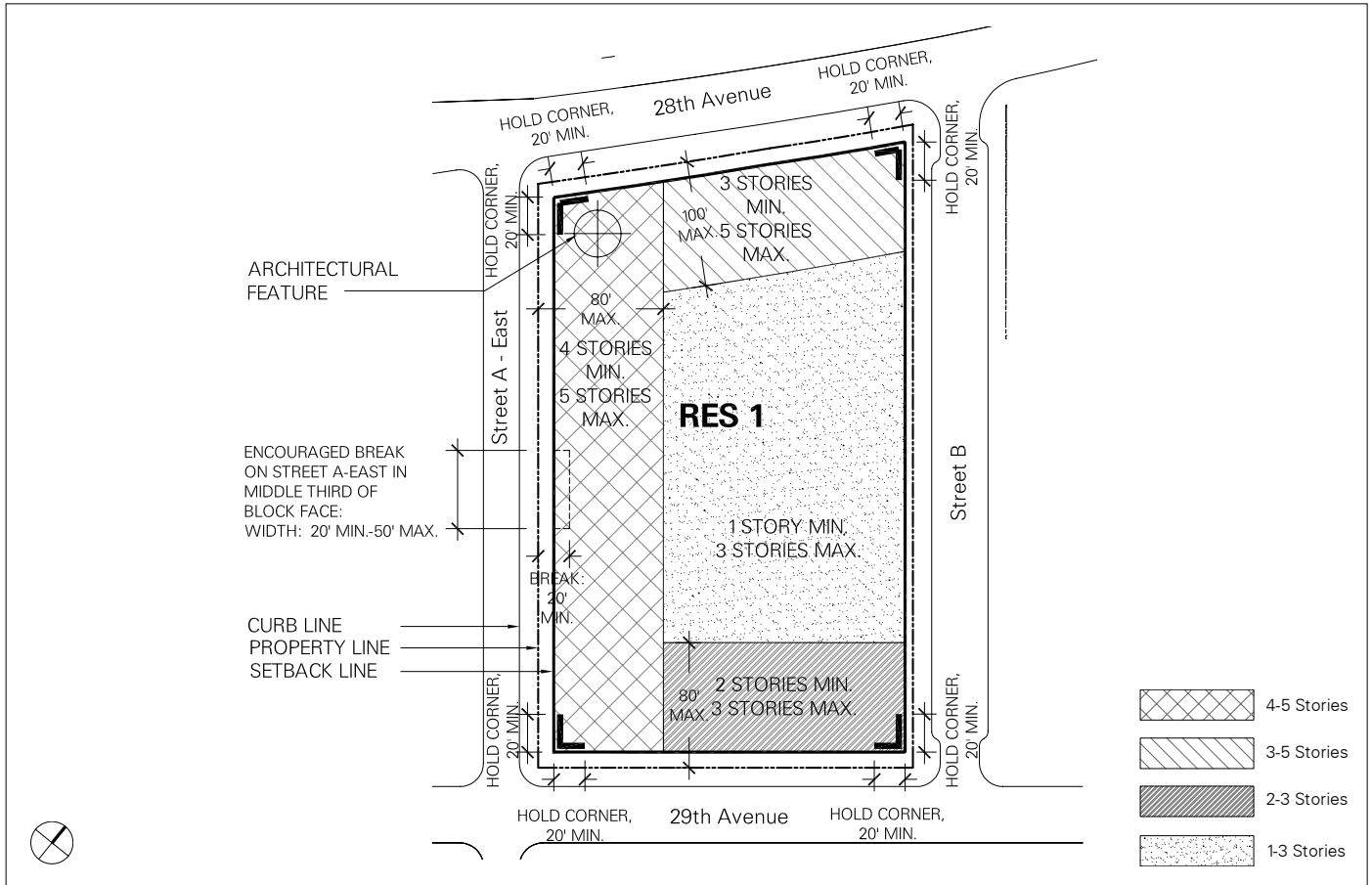


Figure II-167
RES 1 Building Massing

Development Block RES 1	Build-To Zone		Expression Lines	Allowable Encroachments
	Lower Floors	Upper Floors		
28th Avenue	Floor 1 - Min. 80% within 3' of Setback Line; Floors 2-3 - Min. 70% within 3' of Setback Line	Floors 4-5 - Max. 90% within 10' of Setback Line	1st Floor, 3rd Floor	1,2,3,4,5,6,7,10,11,12,13,15 (See II.5)
Street B	Floors 1-2 - Min. 60% within 3' of Setback Line	Floor 3 - Min. 40% within 3' of Setback Line	None required	1,2,3,4,5,6,7,10,11,12,13,15 (See II.5)
29th Avenue	Floors 1-2 - Min. 80% within 10' of Setback Line	Floor 3 - Min. 40% within 10' of Setback Line	None required	1,2,3,4,5,6,7,10,11,12,13,15 (See II.5)
Street A-East	Floors 1-3 - Min. 75% within 3' of Setback Line	Floors 4-5 - Min. 50% within 10' of Setback Line	1st Floor, 3rd Floor	1,2,3,4,5,6,7,10,11,12,13,15 (See II.5)

Table II-10
RES 1 Massing Chart

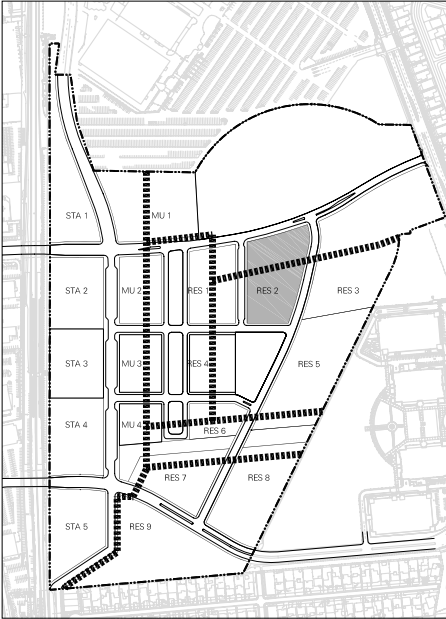


Figure II-168
RES 2 Key Plan



Figure II-169
Appropriate residential buildings with vertical massing, shaped roofs, chimneys, and articulated ground-floor condition



Figure II-170
Appropriate townhouse-type frontages surrounding shared gardens

II.21 RES 2

Frontage	Floor	Encouraged Use
28th Avenue	All floors	Apartment, Condominium or Loft
Street B and Street C	All floors	Townhouse/Rowhouse
29th Avenue	All floors	Townhouse/Rowhouse

General Criteria
<ul style="list-style-type: none"> Above-grade parking, where it occurs, shall be screened from Framework Streets.
28th Avenue Frontage Criteria
<ul style="list-style-type: none"> One-story base expression required. Frontages shall utilize a strong expression line above the third story. The massing of the first three stories should be nearly continuous to provide a uniform edge to the park. Multi-story bay windows within the three-story base are encouraged. Private open spaces (decks, patios) along 28th Avenue shall be less than 10 feet deep. Larger decks and balconies are permitted on the top floor but should be recessed behind primary building masses. Step-out or Juliet balconies are permitted. Where they occur, fourth and fifth stories along 28th Avenue should have special, simple articulations which may include loggias, balconies, stepbacks, or more extensive window area than below. An overhanging roof is encouraged above fourth or fifth stories at the top of buildings.
Street B and C and 29th Avenue Frontage Criteria
<ul style="list-style-type: none"> Buildings along Framework Streets should have shaped roofs (which may include chimneys, gables and other elements) to encourage a rich roofscape. The Central Neighborhood Park Place should use vertical rhythms and appear to be composed of incremental units. At least two building types (apartment, condominium and loft; townhouse/rowhouse; or small lot single-family) should be employed within the Block. Frequent residential entrances are required. Private drives within the Block and buildings lining them must extend the public realm where they serve as access to the front door of a dwelling. Where such conditions occur, they must be configured not as mere residual space "behind" dwellings (such as an alley) but as an intentional environment (such as a mews) – see Figure II-170. The required Architectural Features must be visible from Street C and the adjacent Avenue, either 29th Avenue or 28th Avenue. Individual residence garage access directly from Framework Streets is not permitted. No blind walls are permitted along Framework Streets. For example, end units in townhouse rows must be designed with at least two adjacent public facades.

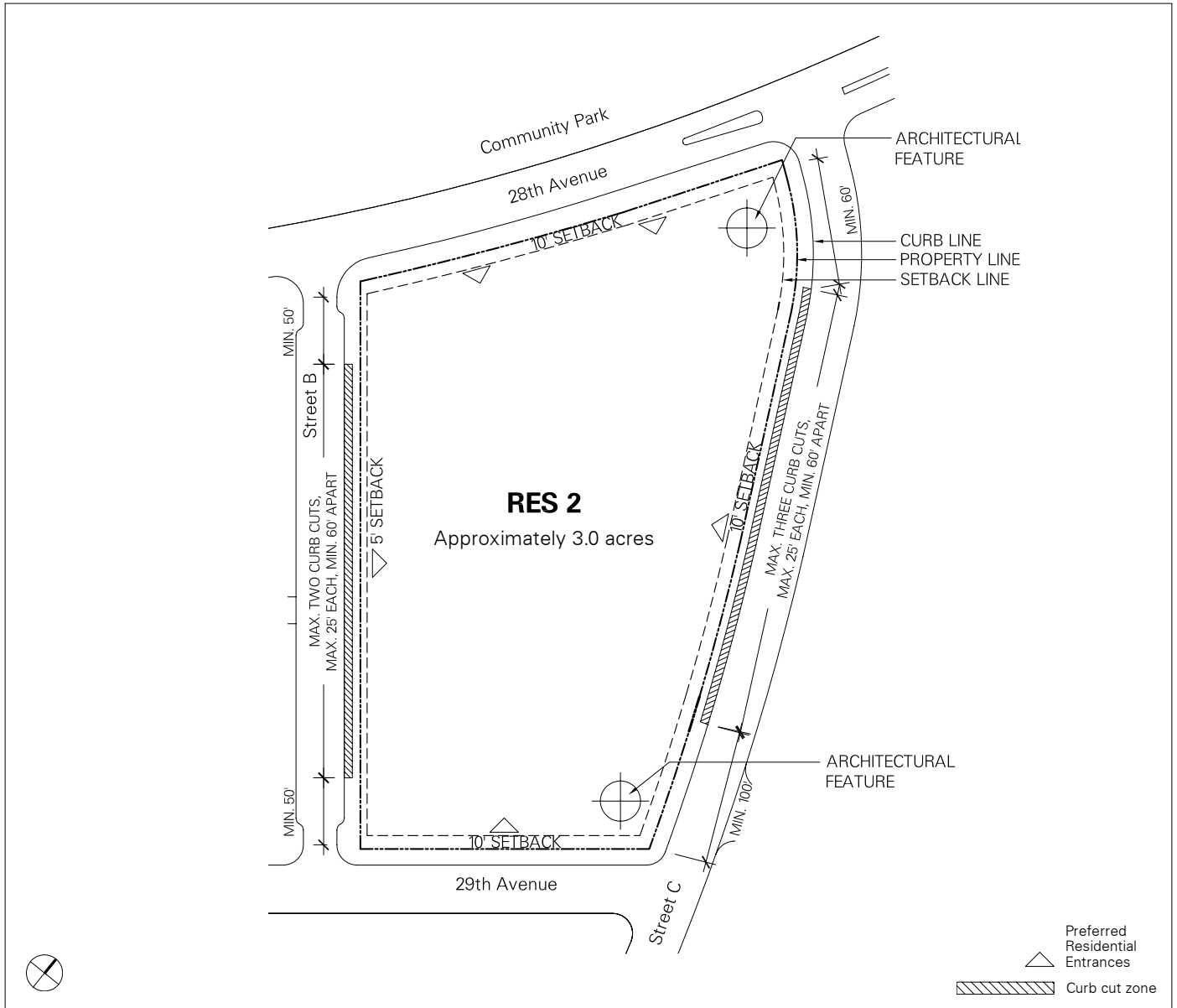


Figure II-171
RES 2 Building Placement

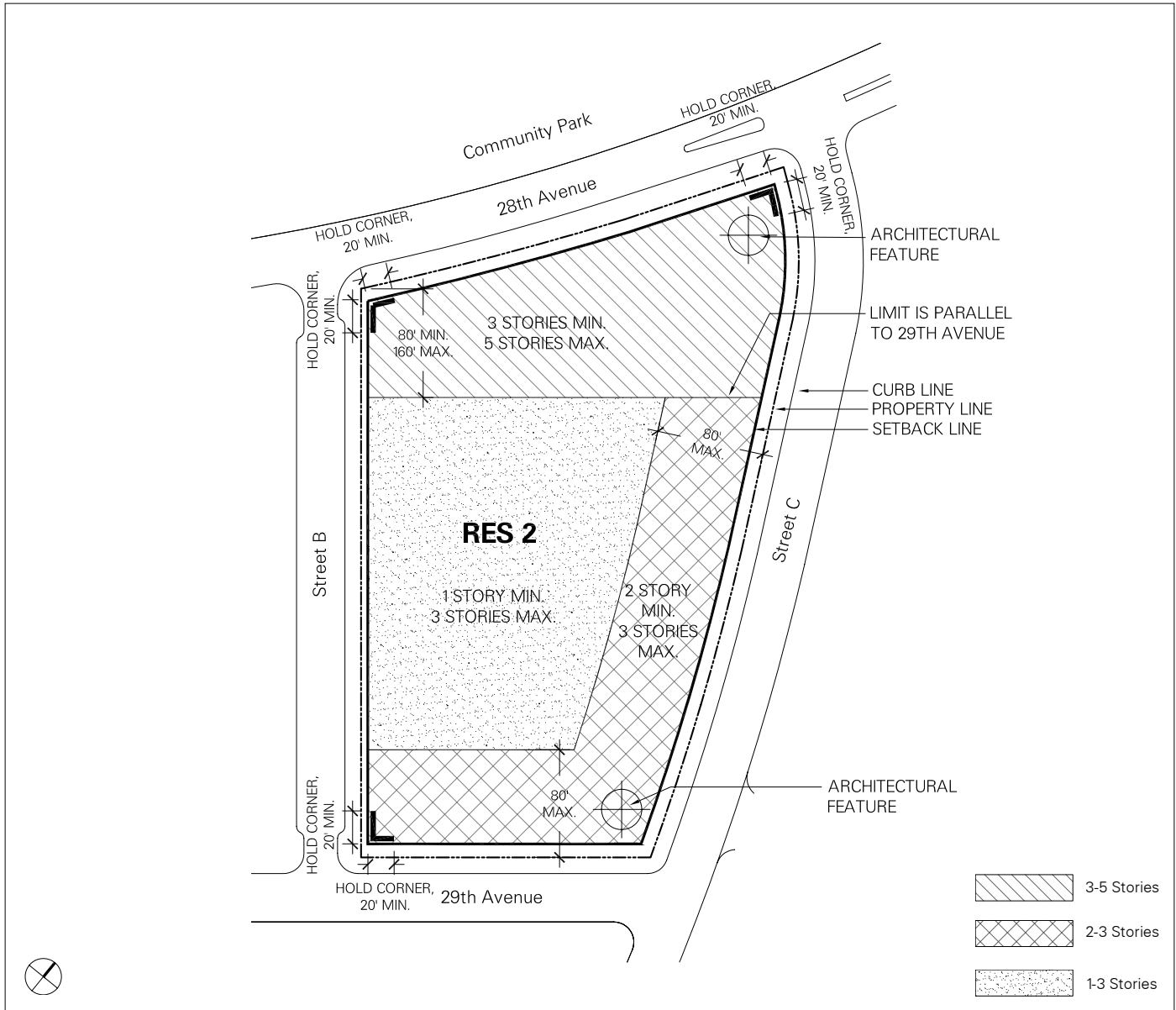


Figure II-172
RES 2 Building Massing



Figure II-173
Consistent frontage with special top floor expression



Figure II-174
Appropriate three story build-to expression with special fourth story, overhanging roof, Juliet balconies and common residential lobby



Figure II-175
Front loaded garage permitted only within a Block interior - frontage on an interior drive with sidewalk, landscape and front doors

Development Block RES 2	Build-To Zone		Expression Lines	Allowable Encroachments
	Lower Floors	Upper Floors		
28th Avenue	Floor 1 - Min. 80% within 3' of Setback Line; Floors 2-3 - Min. 70% within 3' of Setback Line	Floors 4-5 - Max. 90% within 10' of Setback Line	1st Floor, 3rd Floor	1,2,3,4,5,6,7,10,11,12,13,15 (See II.5)
Street C	Floors 1-2 - Min. 60% within 10' of Setback Line	Floor 3 - Min. 40% within 10' of Setback Line	None required	1,2,3,4,5,6,7,10,11,12,13,15 (See II.5)
29th Avenue	Floors 1-2 - Min. 80% within 10' of Setback Line	Floor 3 - Min. 40% within 10' of Setback Line	None required	1,2,3,4,5,6,7,10,11,12,13,15 (See II.5)
Street B	Floors 1-2 - Min. 60% within 10' of Setback Line	Floor 3 - Min. 40% within 10' of Setback Line	None required	1,2,3,4,5,6,7,10,11,12,13,15 (See II.5)

Table II-11
RES 2 Massing Chart

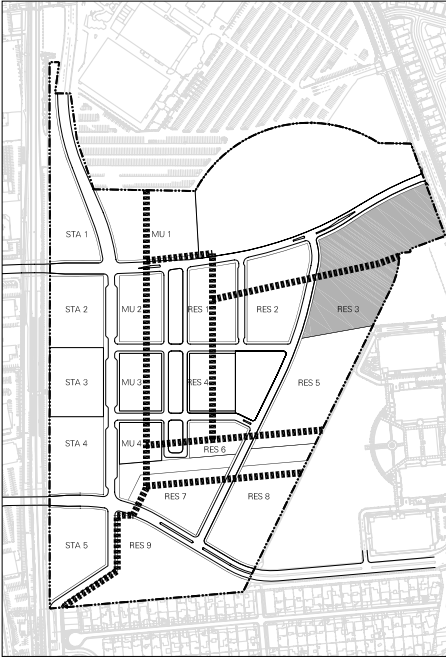


Figure II-176
RES 3 Key Plan

II.22 RES 3

Frontage	Floor	Encouraged Use
28th Avenue	All floors	Apartment, Condominium or Loft
Street C	All floors	Townhouse/Rowhouse

General Criteria

- Above-grade parking, where it occurs, shall be screened from Framework Streets.
- A landscaped open space is encouraged at the intersection of 28th Avenue and Street C.
- Fences 6 feet high, accessory buildings, and open or covered swimming pools or spas may be located within the Setback facing the Franklin campus.
- The design of Block RES 3 shall recognize the extension of 29th Avenue to be built on Block RES 5. The extension shall be a 60 foot easement and shall be accessible to pedestrians and bicycles, but need not accommodate vehicular traffic unless and until a connection from 29th to Saratoga is implemented. The 29th Avenue extension shall avoid creating an 'offset-T' intersection with Street C.

28th Avenue Frontage Criteria

- One-story base expression required.
- Where frontages are three or more stories high, they shall utilize a strong expression line above the third story. The massing of the first three stories should be nearly continuous to provide a uniform edge to the park. Multistory bay windows within the three-story base are encouraged.
- Private open spaces (decks, patios) along 28th Avenue shall be less than 10 feet deep. Larger decks and balconies are permitted on the top floor but should be recessed behind primary building masses.
- Step-out or Juliet balconies are permitted.
- Where they occur, fourth and fifth stories along 28th Avenue shall have special, simple articulations which may include loggias, balconies, stepbacks, or more extensive window area than below. An overhanging roof is strongly encouraged.

Street C Frontage Criteria

- Buildings along public frontages should have shaped roofs (which may include chimneys, gables and other elements).
- The Central Neighborhood Park Place should use vertical rhythms and appear to be composed of incremental units.
- At least two building types (apartment, condominium and loft; townhouse/rowhouse; townhouse/flats; or small lot single-family) should be employed within the Block.
- Private drives within the Block and buildings lining them must extend the public realm where they serve as access to the front door of a dwelling. Where such conditions occur, they must be configured not as mere residual space "behind" dwellings (such as an alley) but as an intentional environment (such as a mews).
- Within the Block, clustered residences around a common garden are strongly encouraged to maximize the shared effect of private open spaces.
- Individual residence garage access directly from Framework Streets is not permitted.
- No blind walls are permitted along public frontages. For example, end units in townhouse rows must be designed with at least two adjacent public facades.

Saratoga Drive Frontage Criteria

- The height limits of the Specific Plan must be observed along Saratoga drive.
- Saratoga Drive-facing facades must include significant windows as is required of all public frontages.
- The required Architectural Feature should be visible to both Saratoga Drive and 28th Avenue.

Location and angle of the 29th Avenue Extension is approximate and subject to change

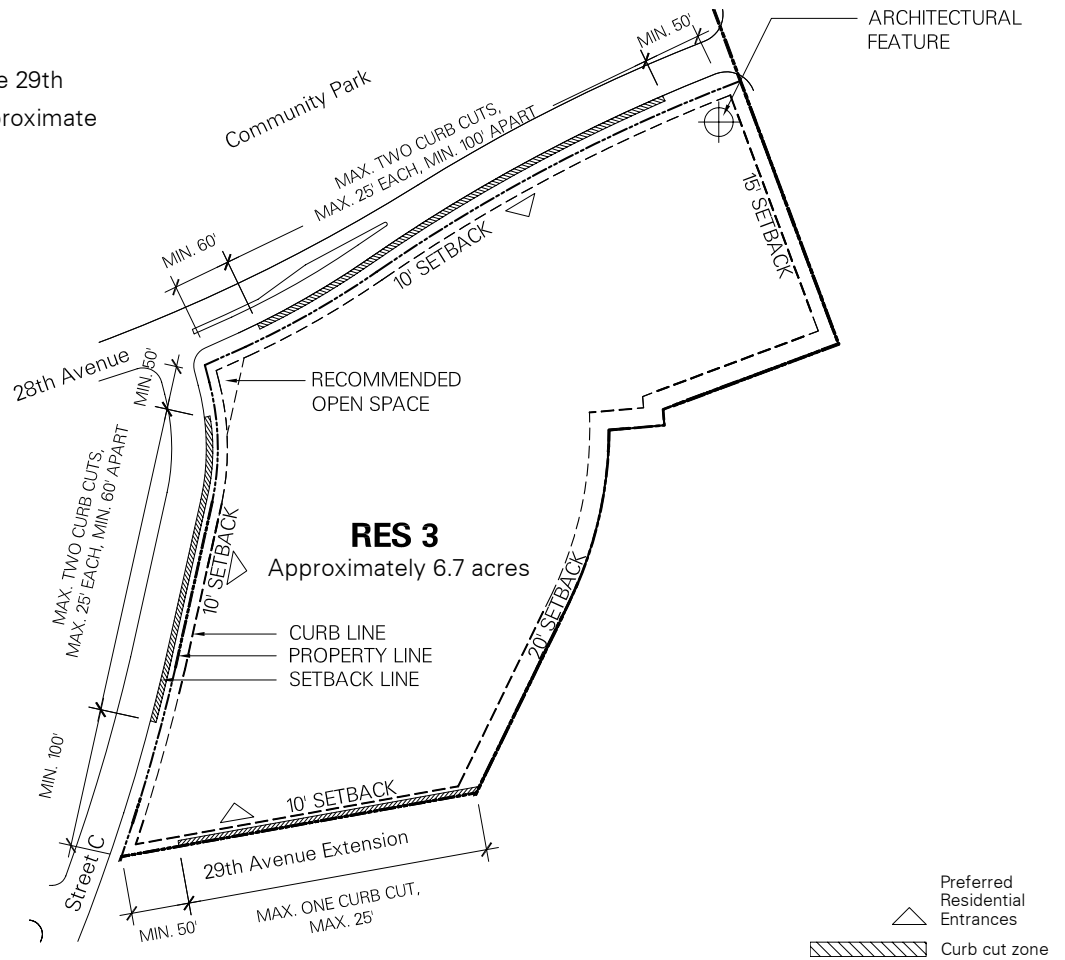


Figure II-177
RES 3 Building Placement

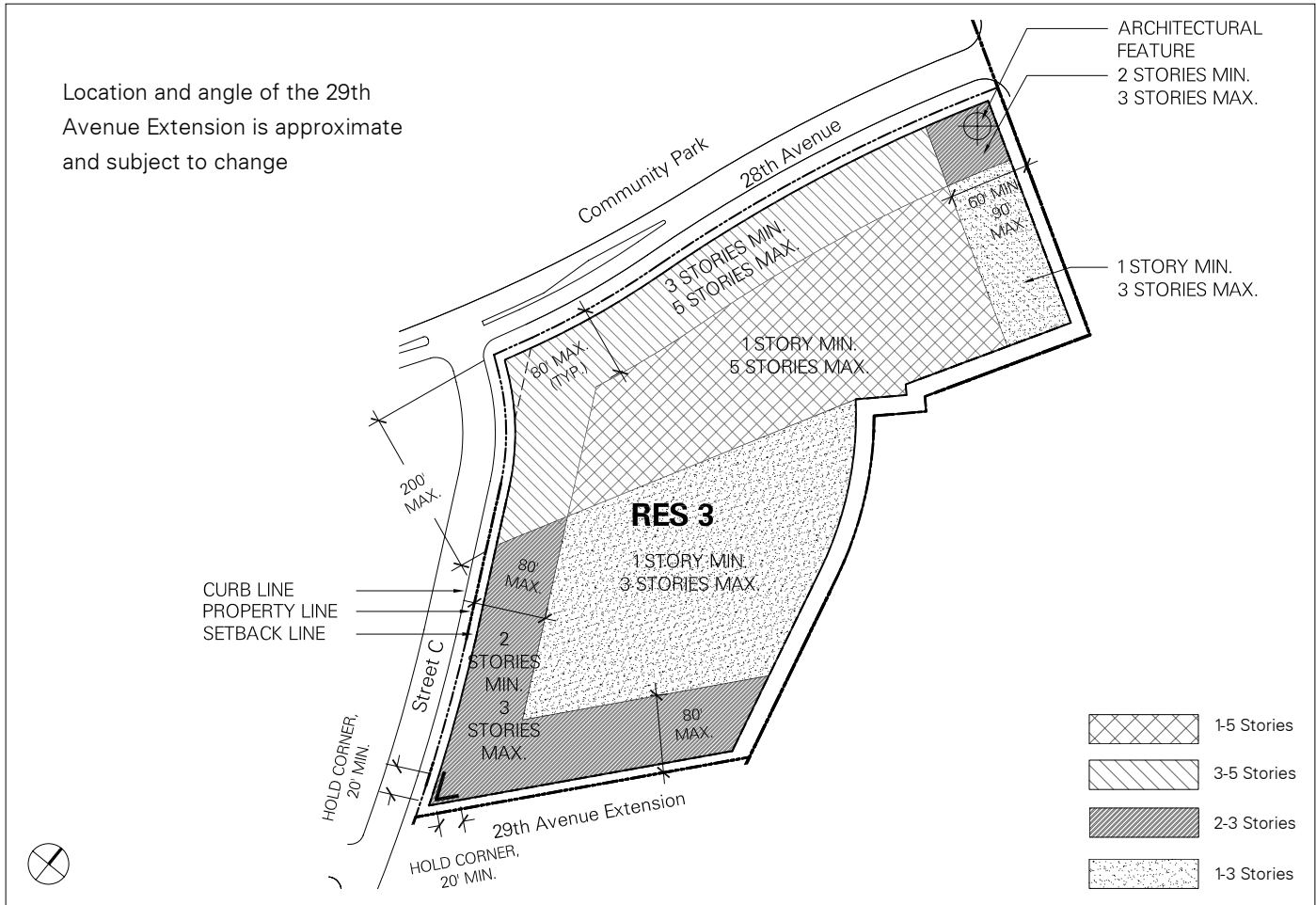


Figure II-178
RES 3 Building Massing

Development Block RES 3	Build-To Zone		Expression Lines	Allowable Encroachments
	Lower Floors	Upper Floors		
28th Avenue	Floor 1 - Min. 70% within 3' of Setback Line; Floors 2-3 - Min. 70% within 3' of Setback Line	Floors 4-5 - Max. 90% within 10' of Setback Line	1st Floor, 3rd Floor	1,2,3,4,5,6,7,10,11,12,13,15 (See II.5)
Setbacks Adjacent to RES 5 and the Franklin campus	None required	None required	None required	1,2,3,4,5,6,7,10,11,12,13,14,15, 16 (See II.5)
Street C*	Floors 1-2 - Min. 60% within 10' of Setback Line	Floor 3 - Min. 40% within 10' of Setback Line	None required	1,2,3,4,5,6,7,10,11,12,13,15 (See II.5)

*Any building fronting on both Street C and 28th Avenue shall meet 28th Avenue requirements only

Table II-12
RES 3 Massing Chart



Figure II-179
Appropriate residential buildings with vertical massing, shaped roofs, chimneys, and articulated ground-floor condition



Figure II-180
Consistent frontage with special top floor expression



Figure II-181
Front loaded garage permitted only within a Block interior - frontage on an interior drive with sidewalk, landscape and front doors



Figure II-182
Appropriate residential building with vertically oriented fenestration

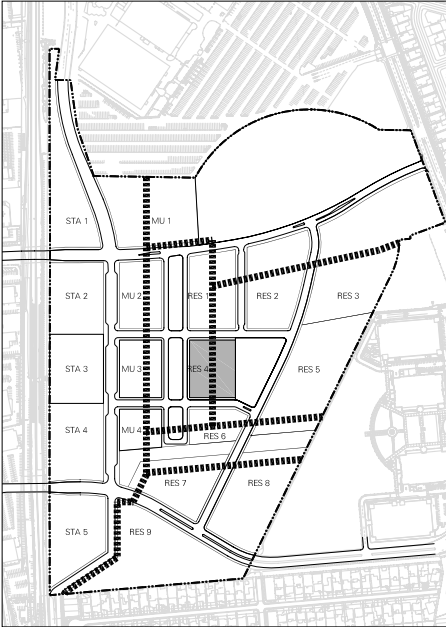


Figure II-183
RES 4 Key Plan



Figure II-184
Appropriate consistency of buildings,
appropriate balcony, roof and loggia articulation



Figure II-185
Appropriate articulated roofscape
and massing and vertical elements

II.23 RES 4

Frontage	Floor	Encouraged Use
Street A	All floors	Apartment, Condominium or Loft
29th and 30th Avenues	All floors	Apartment, Condominium or Loft
		Townhouse/Rowhouse
Pedestrian Easements	All floors	Apartment, Condominium or Loft
Central Neighborhood Park	All floors	Apartment, Condominium or Loft

General Criteria
<ul style="list-style-type: none"> The ground floor of the required pedestrian easement shall be designed as an active frontage with windows and doors. There shall be an unobstructed path and view directly from Street A to the Central Neighborhood Park. The width between building faces may be wider than the path dimension to allow transition zones between the public path and interior uses. The easement may be covered beginning at 15 feet above sidewalk level for a maximum of 60% of the building's depth. The pedestrian passage should be designed to encourage pedestrian use, with attention paid to pedestrian perception of safety, views to and within it that encourage its use, and lighting to enhance pedestrian and cyclist visibility, comfort and security. Above-grade parking, where it occurs, shall be screened from Framework Streets. Individual residence garage access directly from Framework Streets is not permitted. If the Block is divided so that separate buildings face the Linear Neighborhood Park and the Central Neighborhood Park, the primary entrance for the eastern building(s) should be on 29th or 30th Avenue.
Street A and Central Neighborhood Park Frontage Criteria
<ul style="list-style-type: none"> One-story base expression required. Private open spaces (patios, decks) should not be deeper than ten feet if located below the top floor. Massing should be relatively flat along Street A to provide uniformity among Blocks. Step-out or Juliet balconies are permitted. Large windows are encouraged along Street A to open to the park. Grouped lobby entrances are preferred.
29th and 30th Avenues Frontage Criteria
<ul style="list-style-type: none"> Private open spaces (decks, patios, balconies) shall be less than 10 feet deep except at the top floor. Larger decks and balconies are permitted on the top floor but should be recessed behind primary building masses. Buildings along public frontages should have shaped roofs (which may include chimneys, gables and other elements). The Central Neighborhood Park Place should use vertical rhythms and appear to be composed of incremental units. Frequent residential entrances are encouraged. Lower height zones on 29th and 30th Avenues shall be one story lower than contiguous frontages. If a building is not contiguous, it shall have a minimum of two stories and a maximum of three. No blind walls are permitted along public frontages. For example, end units in townhouse rows must be designed with at least two adjacent public facades. Step-out or Juliet balconies are permitted.

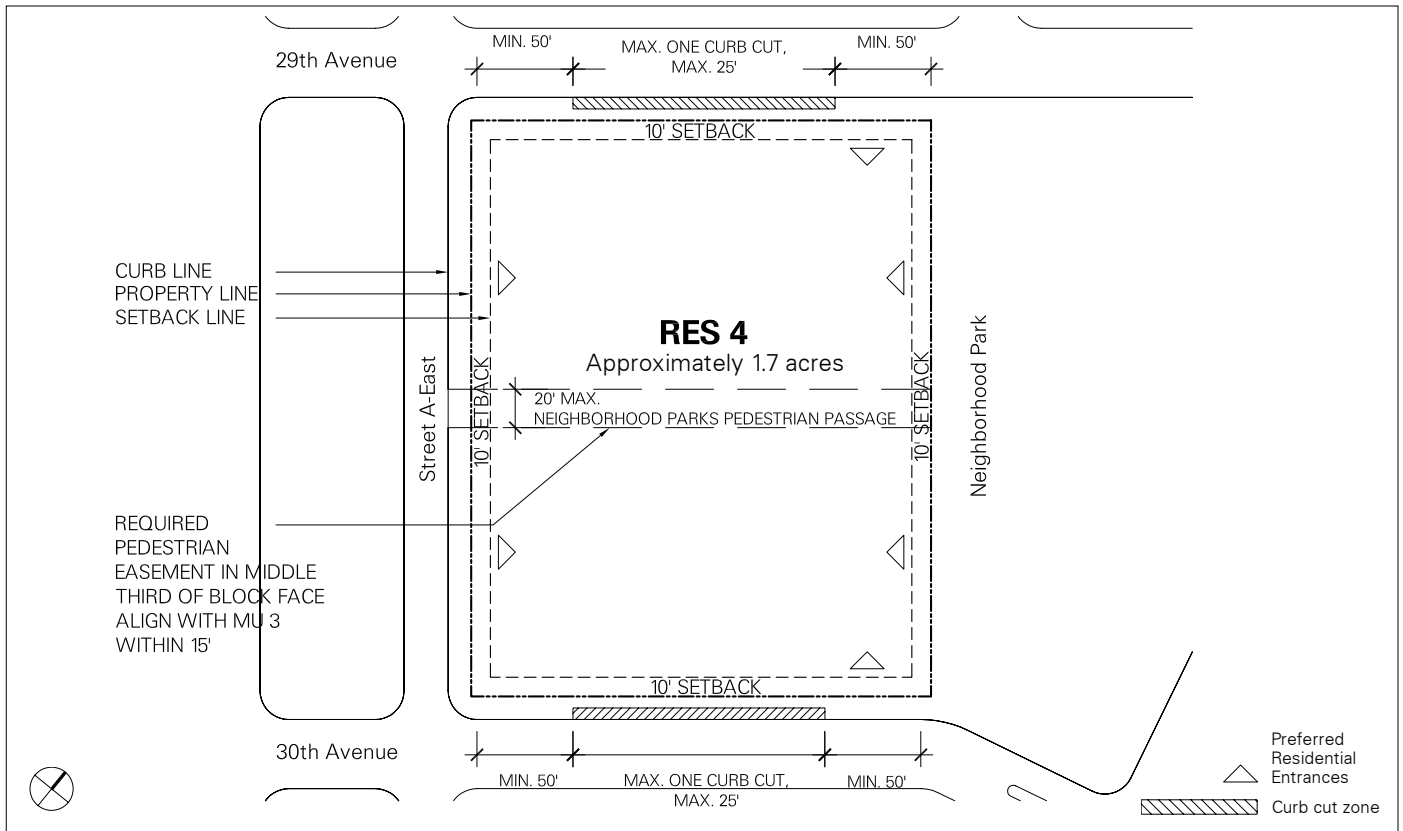


Figure II-186
RES 4 Building Placement



Figure II-187
Appropriate shallow step-out or Juliet balconies



Figure II-188
An example of an inviting pedestrian passage



Figure II-189
Appropriate passage with clear sight lines, appropriate articulation of building above passage

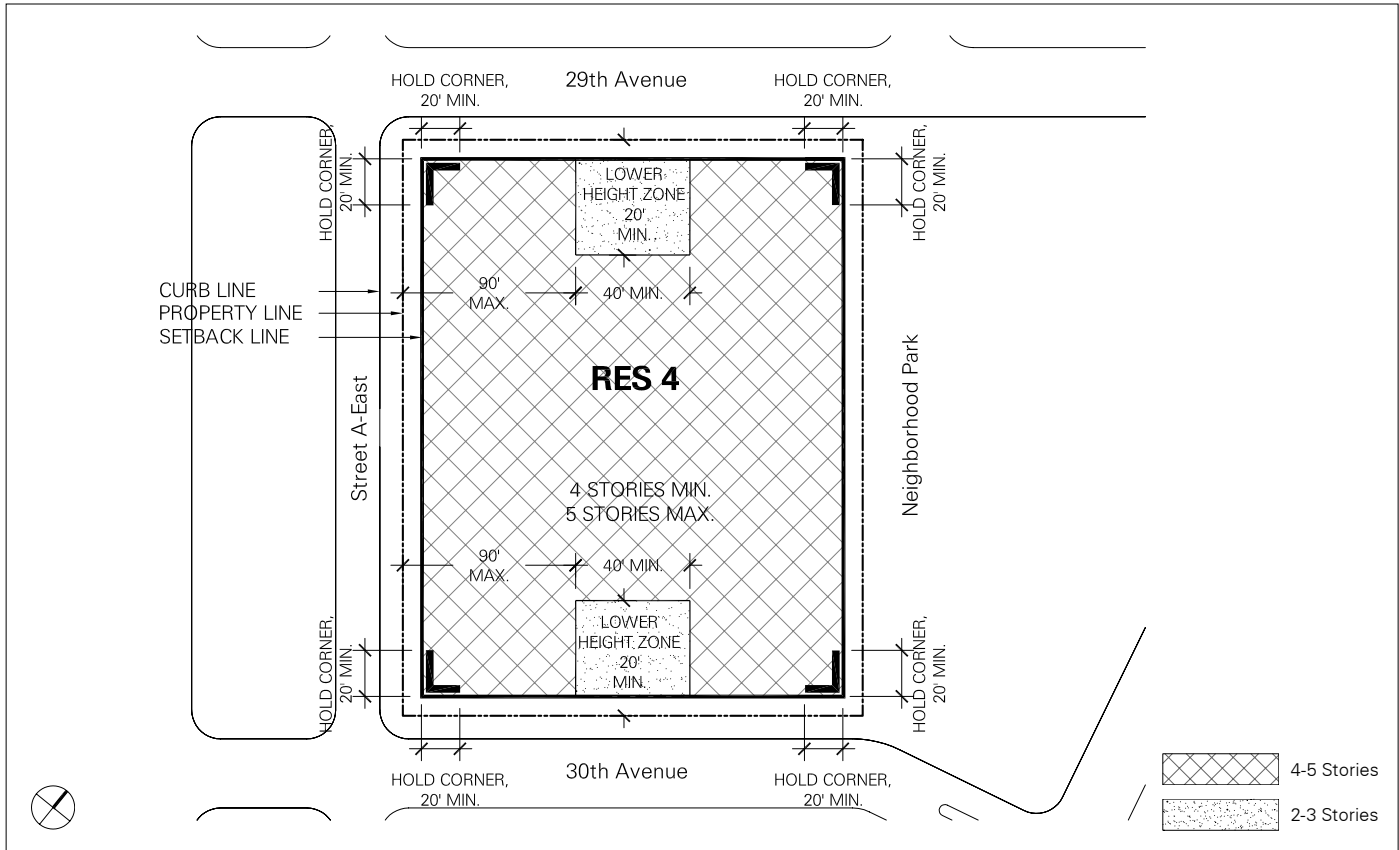


Figure II-190
RES 4 Building Massing

Development Block RES 4	Build-To Zone		Expression Lines	Allowable Encroachments
	Lower Floors	Upper Floors		
29th Avenue	Floors 1-3 - Min. 80% within 10' of Setback Line	Floors 4-5 - Min. 40% within 10' of Setback Line	Not required in lower height zone*	1,2,3,4,5,6,7,10,11,12,13,15 (See II.5)
Central Neighborhood Park	Floors 1-3 - Min. 75% within 3' of Setback Line	Floors 4-5 - Max. 80% within 10' of Setback Line	1st Floor, 3rd Floor	1,2,3,4,5,6,7,10,11,12,13,15 (See II.5)
30th Avenue	Floors 1-3 - Min. 80% within 10' of Setback Line	Floors 4-5 - Min. 40% within 10' of Setback Line	Not required in lower height zone*	1,2,3,4,5,6,7,10,11,12,13,15 (See II.5)
Street A-East	Floors 1-3 - Min. 75% within 3' of Setback Line	Floors 4-5 - Min. 50% within 10' of Setback Line	1st Floor, 3rd Floor	1,2,3,4,5,6,7,10,11,12,13,15 (See II.5)

*Required expression lines from adjacent frontages shall wrap onto this frontage for at least the "hold corner" distance

Table II-13
RES 4 Massing Chart

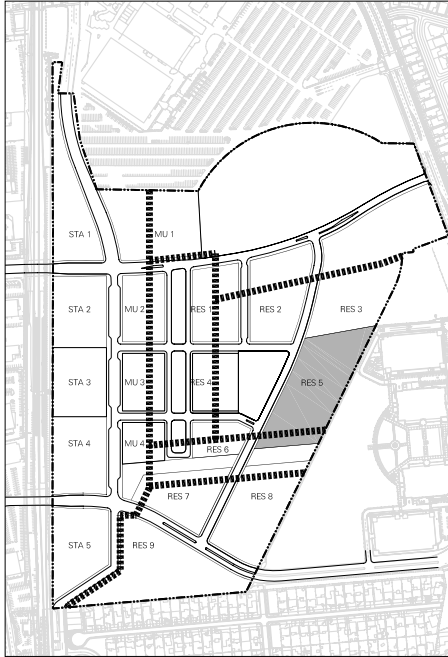


Figure II-191
RES 5 Key Plan



Figure II-192
Front loaded garage permitted only within a Block interior - frontage on an interior drive with sidewalk, landscape and front doors

II.24 RES 5

Frontage	Floor	Encouraged Use
Street C	All floors	Townhouse/Rowhouse
View Corridor	All floors	Townhouse/Rowhouse

General Criteria
<ul style="list-style-type: none"> Above-grade parking, where it occurs, shall be screened from Framework Streets. Fences 6 feet high, accessory buildings, and open or covered swimming pools or spas may be located within the Setback facing the Franklin campus. The design of Block RES 5 shall include an extension of 29th Avenue. The extension shall be a 60 foot easement and shall be accessible to pedestrians and bicycles, but need not accommodate vehicular traffic unless and until a connection from 29th to Saratoga is implemented. The 29th Avenue extension shall avoid creating an 'offset-T' intersection with Street C.
Street C Frontage Criteria
<ul style="list-style-type: none"> Buildings along public frontages shall have shaped roofs (which may include chimneys, gables and other elements). The Central Neighborhood Park Place should use vertical rhythms and appear to be composed of incremental units. At least two building types (apartment, condominium and loft; townhouse/rowhouse; townhouse/flats; or small lot single-family) should be employed within the Block. Frequent residential entrances are required along Framework Street frontages. Private drives within the Block and buildings lining them must extend the public realm where they serve as access to the front door of a dwelling. Where such conditions occur, they must be configured not as mere residual space "behind" dwellings (such as an alley) but as an intentional environment (such as a mews) – see Figure II-192. Within the Block, clustered residences around a common garden are strongly encouraged to maximize the shared effect of private open spaces – see Figure II-195. The required Architectural Feature must be visible to Street C. It is preferred that it also be visible to 29th Avenue. Individual residence garage access directly from Framework Street frontages is not permitted. No blind walls are permitted along public frontages. For example, end units in townhouse rows must be designed with at least two adjacent public facades.
View Corridor Frontage Criteria
<ul style="list-style-type: none"> Private open spaces above the ground floor (decks or balconies) should not be deeper than ten feet. Frequent residential entrances are required along frontages. View Corridor frontages shall be active, including elements of the following: ground-floor home occupation (live/work), ground-floor private patios, and upper-floor balconies and bay windows. Step-out or Juliet balconies are permitted.

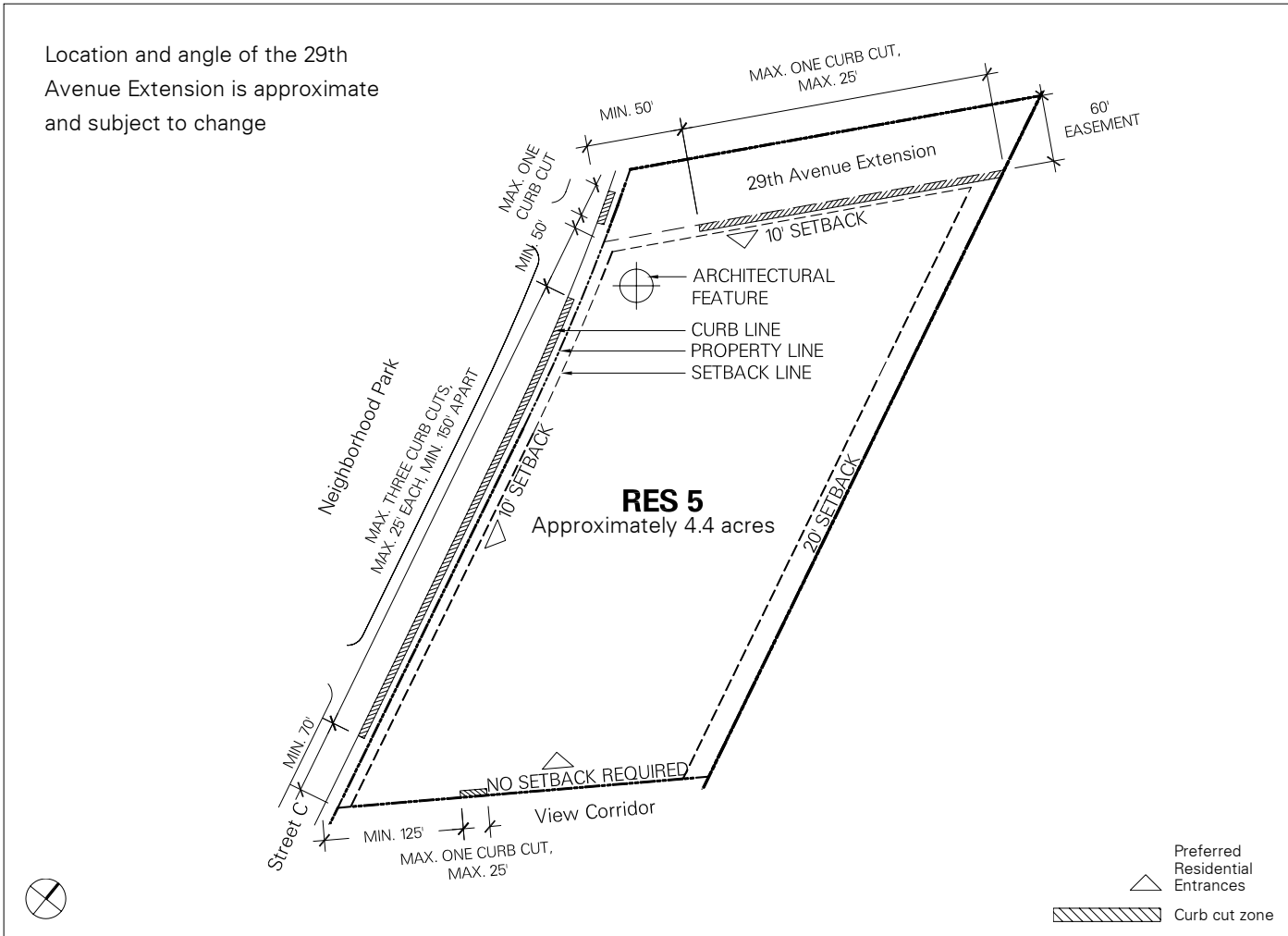


Figure II-193
RES 5 Building Placement



Figure II-194
Appropriate residential buildings with vertical massing, shaped roofs, chimneys, and articulated ground-floor condition



Figure II-195
Appropriate townhouse-type frontages
surrounding shared gardens

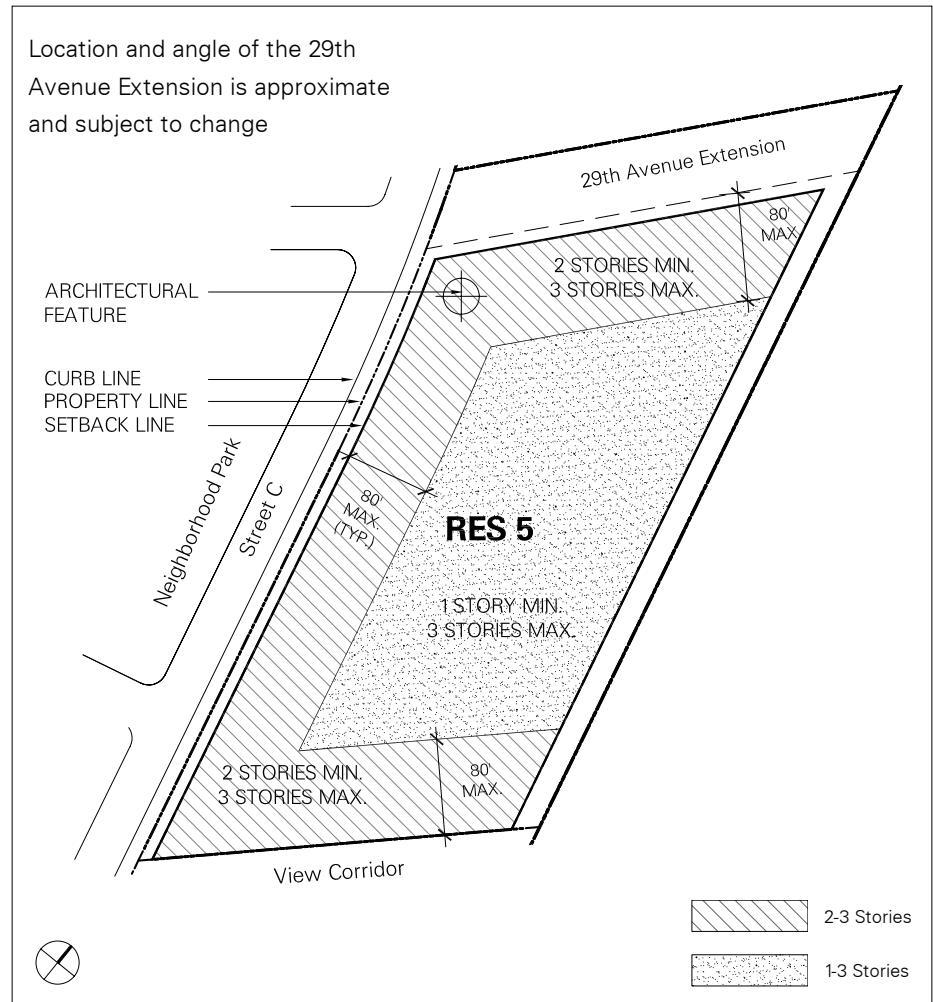


Figure II-196
RES 5 Building Massing

Development Block RES 5	Build-To Zone		Expression Lines	Allowable Encroachments
	Lower Floors	Upper Floors		
Setbacks Adjacent to RES 3 and the Franklin campus	None required	None required	None required	1,2,3,4,5,6,7,10,11,12,13,14,15, 16 (See II.5)
View Corridor	None required	None required	None required	1,2,3,4,5,6,7,10,11,12,13,15 (See II.5)
Street C	Floors 1-2 - Min. 60% within 10' of Setback Line	Floor 3 - Min. 40% within 10' of Setback Line	None required	1,2,3,4,5,6,7,10,11,12,13,15 (See II.5)

Table II-14
RES 5 Massing Chart

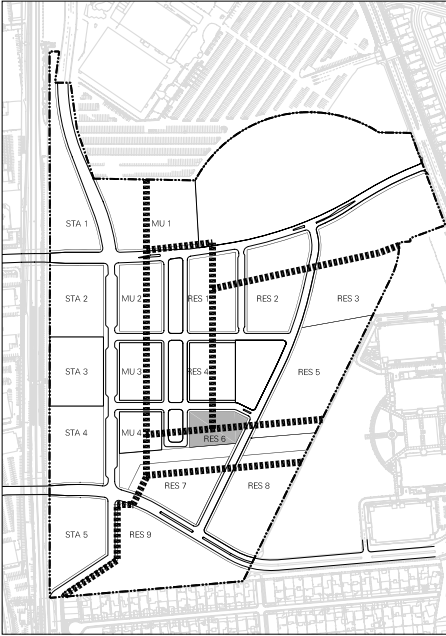


Figure II-197
RES 6 Key Plan



Figure II-198
Appropriate shallow step-out or
Juliet balconies

II.25 RES 6

Frontage	Floor	Encouraged Use
Street A	All floors	Apartment, Condominium or Loft
30th Avenue	All floors	Apartment, Condominium or Loft
View Corridor	All floors	Apartment, Condominium or Loft
Street C	All floors	Townhouse/Rowhouse

General Criteria
<ul style="list-style-type: none"> Above-grade parking, where it occurs, shall be screened from Framework Streets.
Street A Frontage Criteria
<ul style="list-style-type: none"> One-story base expression required. Private open spaces (patios, decks) should not be deeper than ten feet if located below the top floor. Massing shall be relatively flat along Street A to provide uniformity among Blocks. Step-out or Juliet balconies are permitted. Large windows are encouraged along Street A to open to the park. Grouped lobby entrances are encouraged.
30th Avenue and Street C Frontage Criteria
<ul style="list-style-type: none"> Buildings shall be composed to reflect the low scale and fine grain of the Central Neighborhood Park Place using vertical rhythms. The Central Neighborhood Park Place should use vertical rhythms and appear to be composed of incremental units. Frequent residential entrances are required along 30th Avenue and Street C frontages. Private drives within the Block and buildings lining them must extend the public realm where they serve as access to the front door of a dwelling. Where such conditions occur, they must be configured not as mere residual space "behind" dwellings (such as an alley) but as an intentional environment (such as a mews). Individual residence garage access directly from Framework Streets is not permitted. No blind walls are permitted along public frontages. For example, end units in townhouse rows must be designed with at least two adjacent public facades. Lower height zones on 29th and 30th Avenues shall be one story lower than contiguous frontages. If a building is not contiguous, the height zone shall have a minimum of two stories and a maximum of three.
View Corridor Frontage Criteria
<ul style="list-style-type: none"> View Corridor frontages should be active. Appropriate elements include: frequent residential entries, ground-floor home occupation (live/work), ground-floor private patios, upper-floor balconies, and bay windows. Private open spaces above the ground floor (decks or balconies) should not be deeper than ten feet. Step-out or Juliet balconies are permitted.

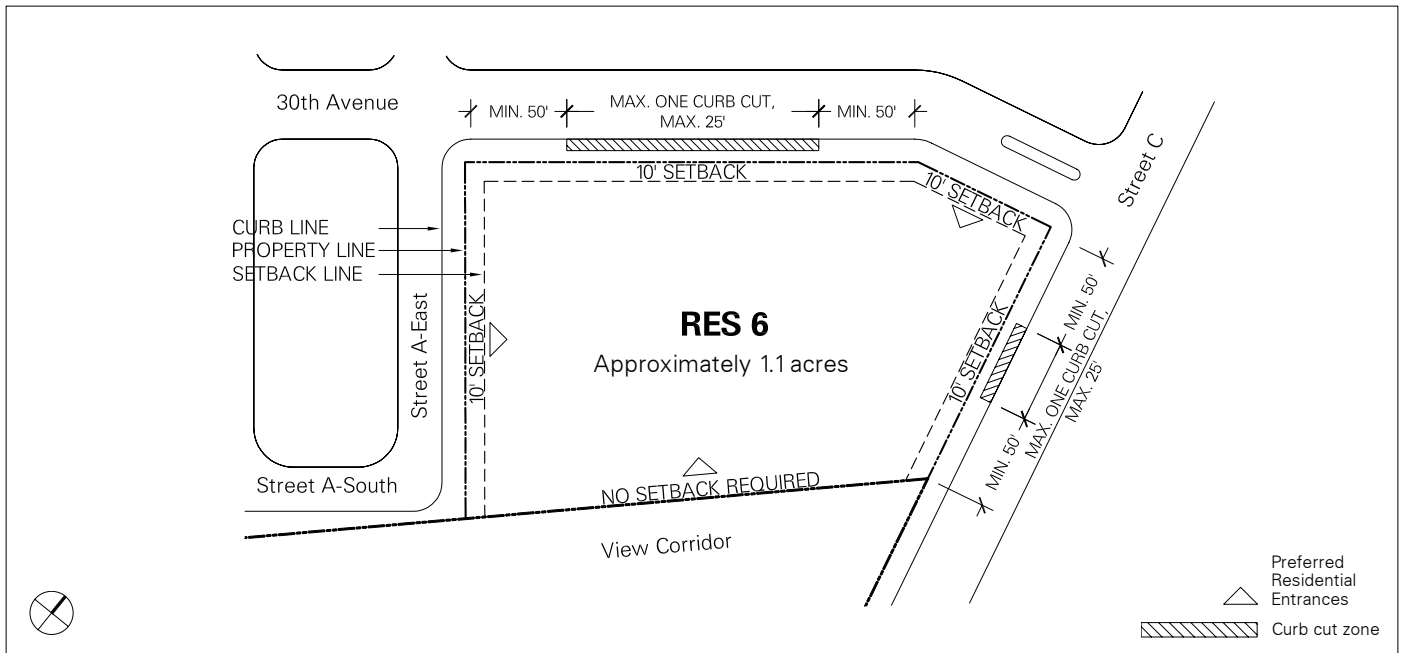


Figure II-199
RES 6 Building Placement



Figure II-200
Appropriate residential buildings with vertical massing, shaped roofs, chimneys, and articulated ground-floor condition



Figure II-201
Appropriate public realm edge of frequent entrances, private patios, and bay windows with extensive glazing



Figure II-202
Appropriate simple massing, appropriate variety in fenestration, shading devices and materials

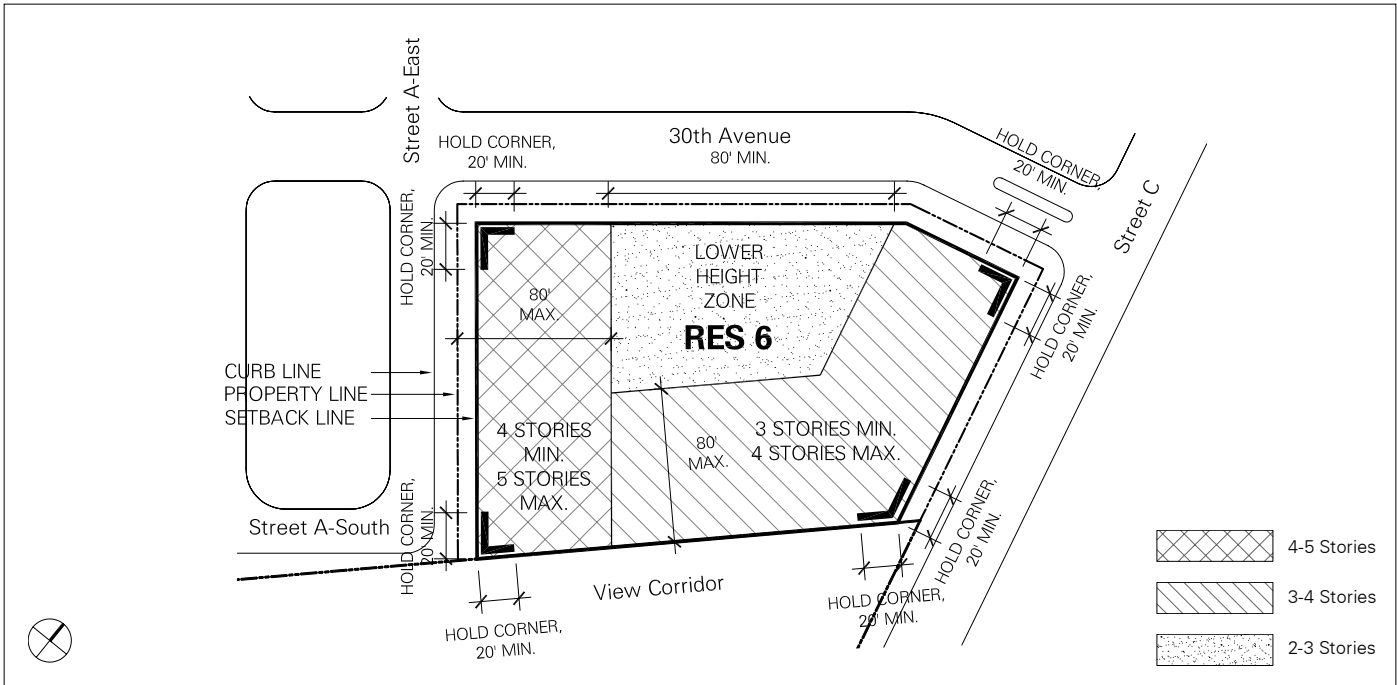


Figure II-203
RES 6 Building Massing

Development Block RES 6	Build-To Zone		Expression Lines	Allowable Encroachments
	Lower Floors	Upper Floors		
30th Avenue	Floors 1-3 - Min. 80% within 10' of Setback Line	Floors 4-5 - Min. 40% within 10' of Setback Line	None required	1,2,3,4,5,6,7,10,11,12,13,15 (See II.5)
Street C	Floors 1-2 - Min. 80% within 10' of Setback Line	Floors 3-4 - Min. 40% within 10' of Setback Line	None required	1,2,3,4,5,6,7,10,11,12,13,15 (See II.5)
View Corridor	Floors 1-3 - Min. 80% within 5' of Property Line	Floors 4-5 - Max. 85% within 10' of Setback Line	1st Floor	1,2,3,4,5,6,7,10,11,12,13,15 (See II.5)
Street A-West	Floors 1-3 - Min. 75% within 3' of Setback Line	Floors 4-5 - Min. 50% within 10' of Setback Line	1st Floor, 3rd Floor	1,2,3,4,5,6,7,10,11,12,13,15 (See II.5)

Table II-15
RES 6 Massing Chart

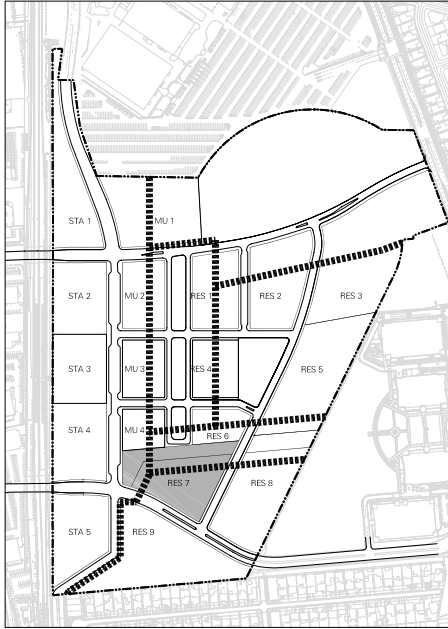


Figure II-204
RES 7 Key Plan



Figure II-205
Appropriate urban massing for a courtyard

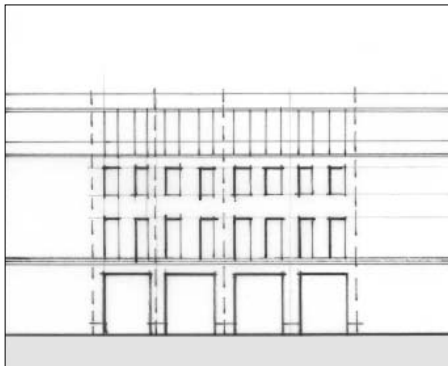


Figure II-206
Example of Vertical Expression: Fenestration

II.26 RES 7

Frontage	Floor	Encouraged Use
Town Square	Ground Floor	Dining (required)
	Upper Floors	Apartment, Condominium or Loft
View Corridor	All Floors	Apartment, Condominium or Loft
Street C and 31st Avenue	All floors	Apartment, Condominium or Loft

General Criteria
<ul style="list-style-type: none"> Above-grade parking, where it occurs, shall be screened from Framework Streets.
Delaware Street and the Town Square Frontage Criteria
<ul style="list-style-type: none"> Retail frontage is required. The required Architectural Feature at the Town Square must be visible from both the Town Square and the View Corridor. Vibrant retail and active frontages with varied, incremental storefronts are encouraged. Balconies and pergolas are encouraged at the upper stories of the Town Square frontage. Retractable awnings are encouraged along the Town Square frontage.
View Corridor Frontage Criteria
<ul style="list-style-type: none"> View Corridor frontages should be active. Appropriate elements include: frequent residential entries, ground-floor home occupation (live/work), ground-floor private patios, upper-floor balconies, and bay windows. A building lobby that goes through to an interior drive is encouraged at the centerline of the Linear Neighborhood Park. The required Architectural Feature should incorporate this lobby entrance at grade. Step-out or Juliet balconies are permitted.
31st Avenue Frontage Criteria
<ul style="list-style-type: none"> Vertical buildings rhythms shall predominate. See Figure II-206. Building heights should increase towards the Town Square. Courtyards with auto drop-offs that serve mixed-use, apartment, condominium or loft buildings are encouraged along 31st Avenue. See Figure II-205.

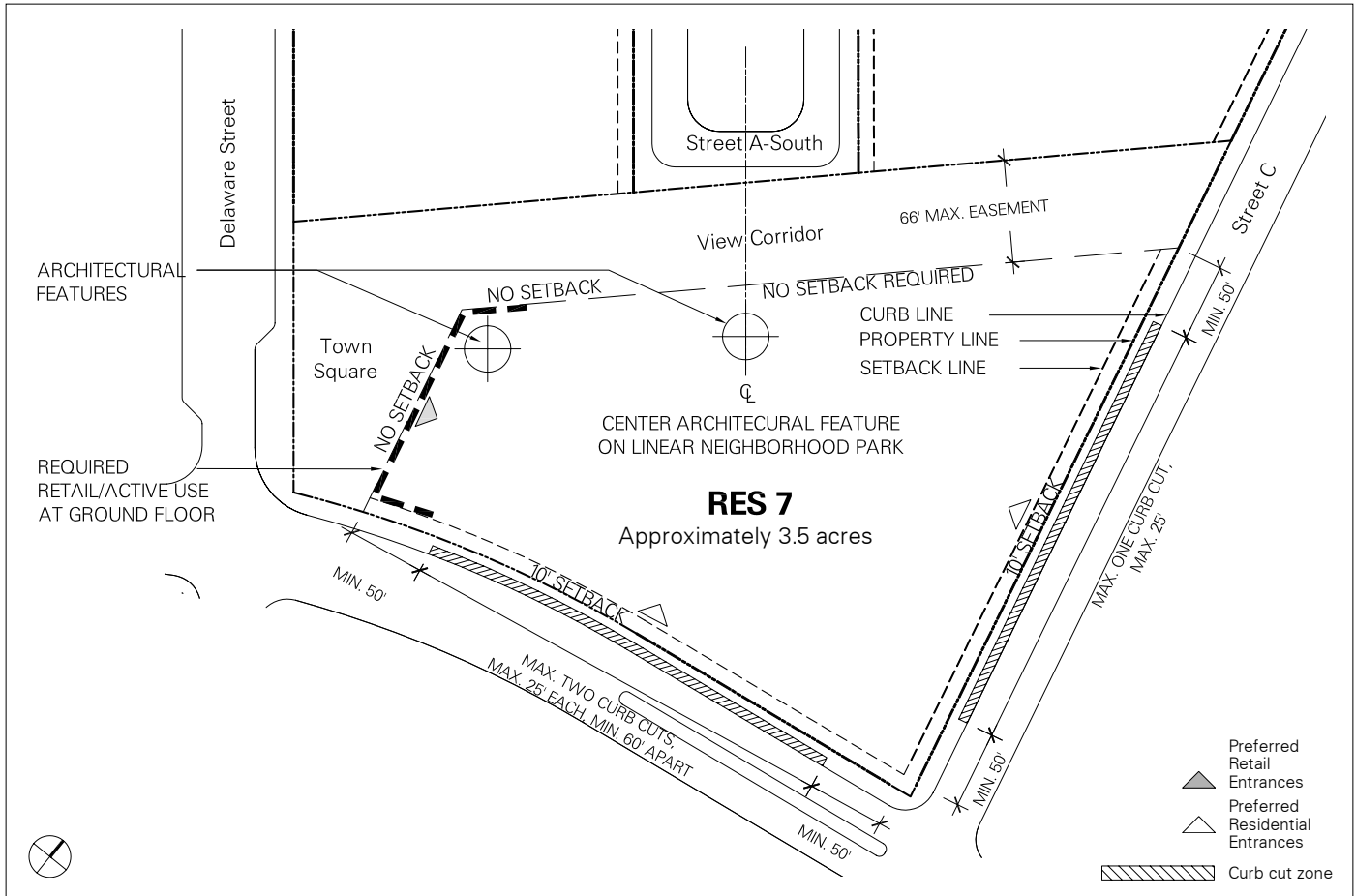


Figure II-207
RES 7 Building Placement



Figure II-208
Appropriate consistency of buildings,
appropriate balcony, roof and loggia articulation



Figure II-209
Town Square with restaurants and
large awnings

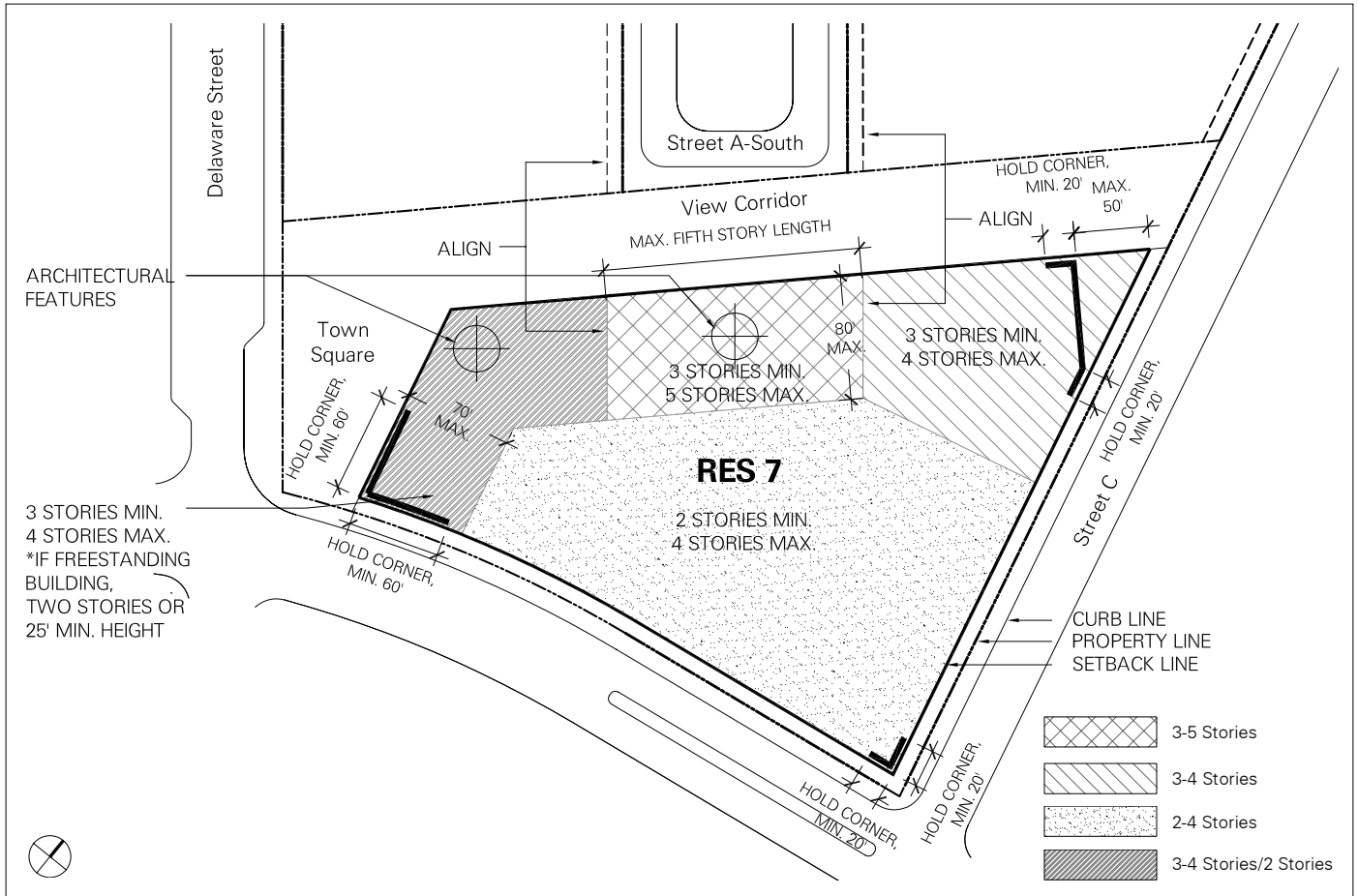


Figure II-210
RES 7 Building Massing

Development Block RES 7	Build-To Zone		Expression Lines	Allowable Encroachments
	Lower Floors	Upper Floors		
View Corridor	Floors 1-3 - Min. 80% within 5' of Property Line	Floors 4-5 - Min. 50% within 10' of Setback Line	1st Floor	1,2,3,4,5,6,7,8,9,10,11,12,13, 15 (See II.5)
Street C	Floors 1-2 - Min. 80% within 10' of Setback Line	Floors 3-4 - Min. 40% within 10' of Setback Line	None required	1,2,3,4,5,6,7,10,11,12,13,15 (See II.5)
31st Avenue	Floors 1-2 - Min. 40% within 10' of Setback Line	Floors 3-4 - Min. 40% within 10' of Setback Line	1st Floor	1,2,3,4,5,6,7,8,9,10,11,12,13, 15 (See II.5)
Delaware Street/ Town Square	Floors 1-2 - Min. 100% within 3' of Setback Line	Floors 3-4 - Min. 80% within 10' of Setback Line	1st Floor, Top Floor	1,2,3,4,5,6,7,8,9,10,11,12,13, 15 (See II.5)

Table II-16
RES 7 Massing Chart

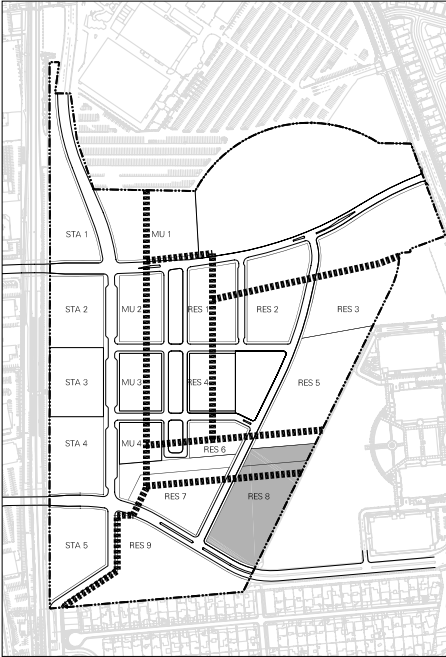


Figure II-211
RES 8 Key Plan

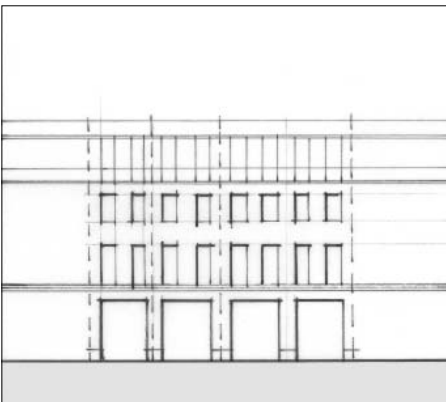


Figure II-212
Example of Vertical Expression: Fenestration

II.27 RES 8

Frontage	Floor	Encouraged Use
View Corridor	All floors	Townhouse/Rowhouse
Street C	All floors	Townhouse/Rowhouse
31st Avenue	All floors	Apartment, Condominium or Loft

General Criteria

- Private drives within the Block and buildings lining them must extend the public realm where they serve as access to the front door of a dwelling. Where such conditions occur, they must be configured not as mere residual space “behind” dwellings (such as an alley) but as an intentional environment (such as a mews) – see Figure II-216.
- At least two building types (apartment, condominium and loft; townhouse/rowhouse; townhouse/flats; or small lot single-family) should be employed within the Block.
- Above-grade parking, where it occurs, shall be screened from Framework Streets.
- Fences 6 feet high, accessory buildings, and open or covered swimming pools or spas may be located within the Setback facing the Franklin campus.

View Corridor Frontage Criteria

- Private open spaces above the ground floor (decks or balconies) should not be deeper than ten feet.
- View Corridor frontages should be active. Appropriate elements include: frequent residential entries, ground-floor home occupation (live/work), ground-floor private patios, upper-floor balconies, and bay windows.
- Step-out or Juliet balconies are permitted.

Street C and 31st Avenue Frontage Criteria

- The required Architectural Feature must be visible from both 31st Avenue and from the east.
- Within the Block, clustered residences around a common garden are encouraged to maximize the shared effect of private open spaces – see Figure II-216.
- Vertical buildings rhythms should predominate. See Figure II-212.
- Courtyards with auto drop-offs that serve mixed-use, apartment, condominium or loft buildings are encouraged along 31st Avenue. See Figures II-213, II-217.



Figure II-213
Example of a residential building organized about a 31st Avenue facing courtyard



Figure II-214
Front loaded garage permitted only within a Block interior - frontage on an interior drive with sidewalk, landscape and front doors

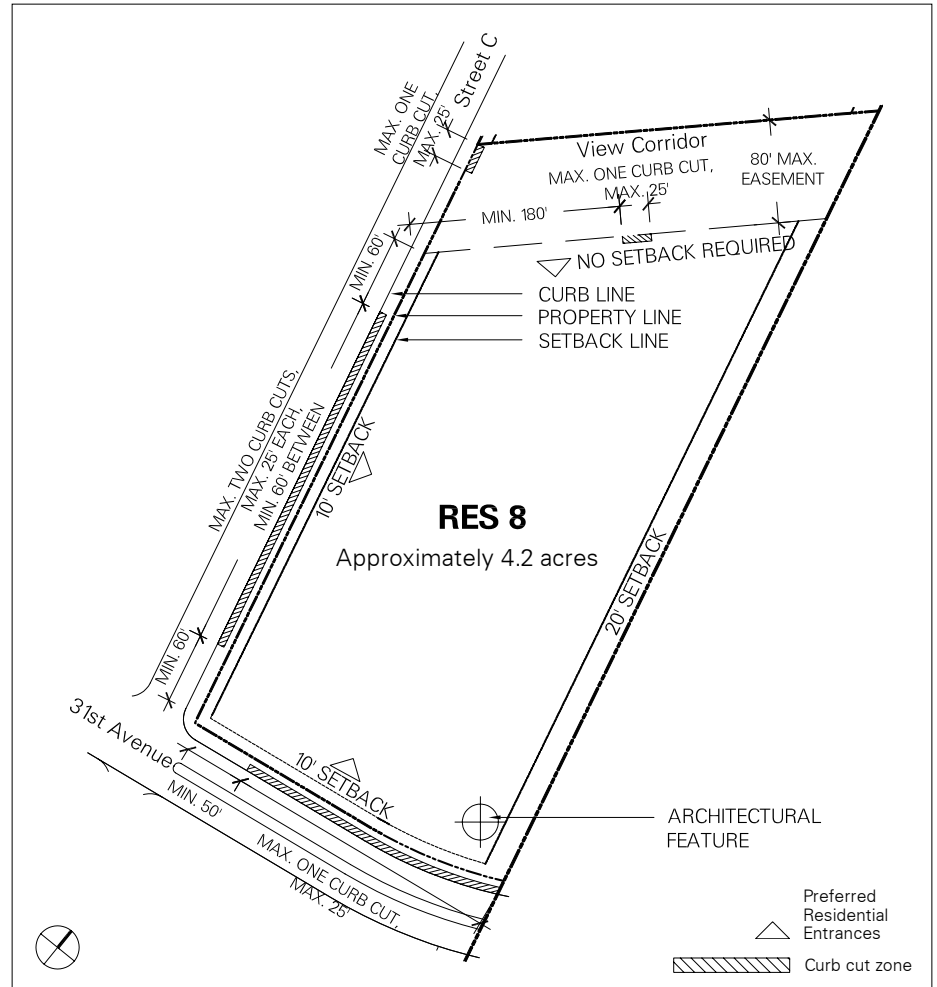


Figure II-215
RES 8 Building Placement



Figure II-216
Appropriate townhouse-type frontages surrounding shared gardens



Figure II-217
Buildings served by an auto court are encouraged along 31st Avenue

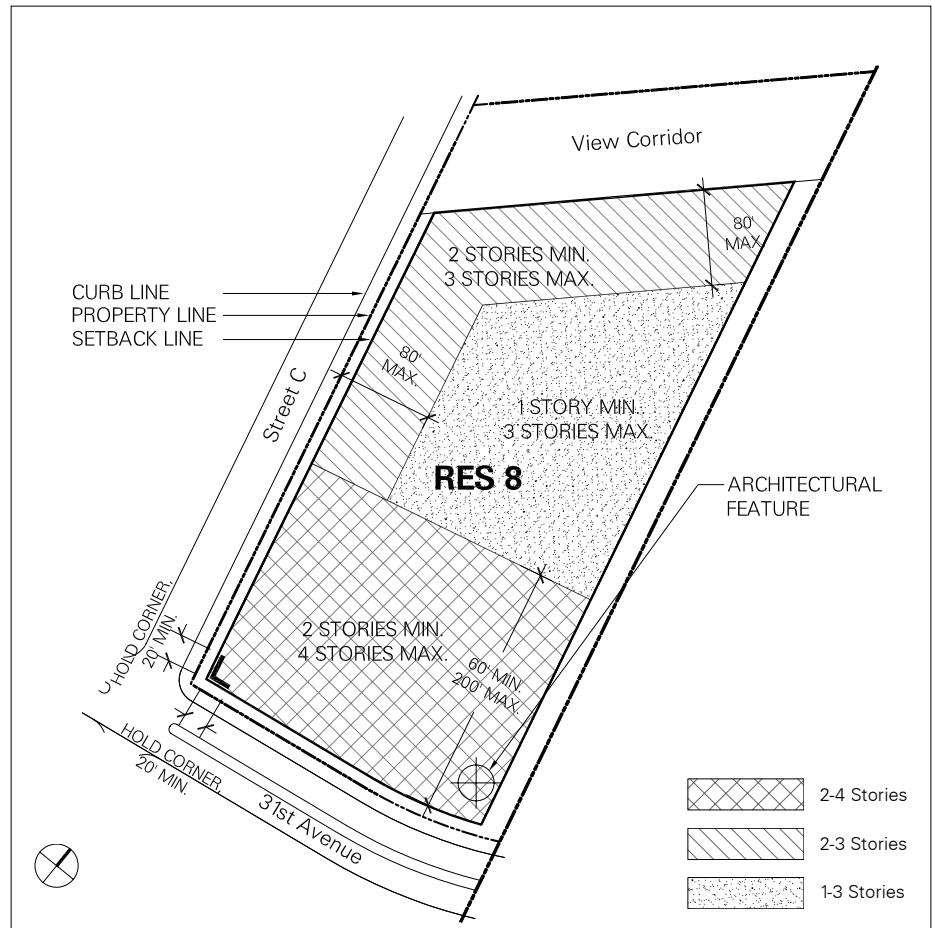


Figure II-218
RES 8 Building Massing

Development Block RES 8	Build-To Zone		Expression Lines	Allowable Encroachments
	Lower Floors	Upper Floors		
View Corridor	None required	None required	None required	1,2,3,4,5,6,7,10,11,12,13,15 (See II.5)
Street C	Floors 1-2 - Min. 60% within 10' of Setback Line	Floors 3-4 - Min. 40% within 10' of Setback Line	None required	1,2,3,4,5,6,7,10,11,12,13,15 (See II.5)
31st Avenue	Floors 1-2 - Min. 40% within 10' of Setback Line	Floors 3-4 - Min. 40% within 10' of Setback Line	1st Floor	1,2,3,4,5,6,7,10,11,12,13,15 (See II.5)
Setback Adjacent to Franklin campus	None required	None required	None required	1,2,3,4,5,6,7,10,11,12,13,14,15,16 (See II.5)

Table II-17
RES 8 Massing Chart

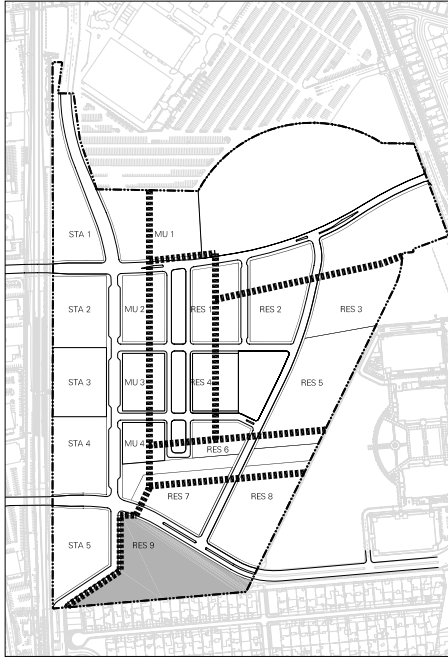


Figure II-219
RES 9 Key Plan

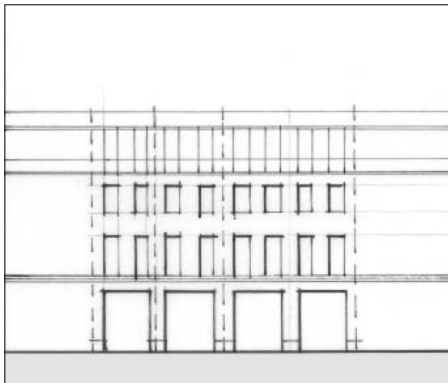


Figure II-220
Example of Vertical Expression: Fenestration

II.28 RES 9

Frontage	Floor	Encouraged Use
31st Avenue	All floors	Apartment, Condominium or Loft
Delaware Street North	All floors	Apartment, Condominium or Loft
Delaware Street South	Small Lot Single Family required	

General Criteria
<ul style="list-style-type: none"> Above-grade parking, where it occurs, shall be screened from Framework Streets.
Delaware Street and the Town Square Frontage Criteria
<ul style="list-style-type: none"> The required Architectural Feature shall be oriented towards the Town Square. Ground floor retail or active use encouraged at the intersection of 31st Avenue and Delaware Street. Where such use occurs, a minimum of approximately 75% of linear feet of the frontage shall be glazed with clear (untinted, non-reflective) glass. Balconies and pergolas are encouraged at the upper stories of the Town Square frontage.
31st Avenue Frontage Criteria
<ul style="list-style-type: none"> Vertical buildings rhythms shall predominate. See Figure II-220. At least two building types (apartment, condominium and loft; townhouse/ rowhouse; or small lot single-family) should be employed within the Block. Building heights should increase towards the Town Square. Between Street C and the Franklin Campus, backyards and privacy fences (maximum 6 feet high) may be located along 31st Avenue. A private drive may connect Street C to Delaware Street in order to provide an address for the small lot single-family sites to the south. A minimum of two pedestrian paths should connect the private drive to the south pedestrian easement. See Figure II-221. Along south pedestrian easement, fences and walls should not be opaque above four feet. Gates to the easement are encouraged. The south part of the Block shall consist of small lot single-family homes that include a mix of building expressions distinguished by shaped roofs, chimneys and other roofscape elements. See Figure II-223. Courtyards with auto drop-offs that serve mixed-use, apartment, condominium or loft buildings are encouraged along the north part of the 31st Avenue frontage. Within the Block, clustered residences around a common garden are encouraged to maximize the shared effect of private open spaces – see Figure II-224.

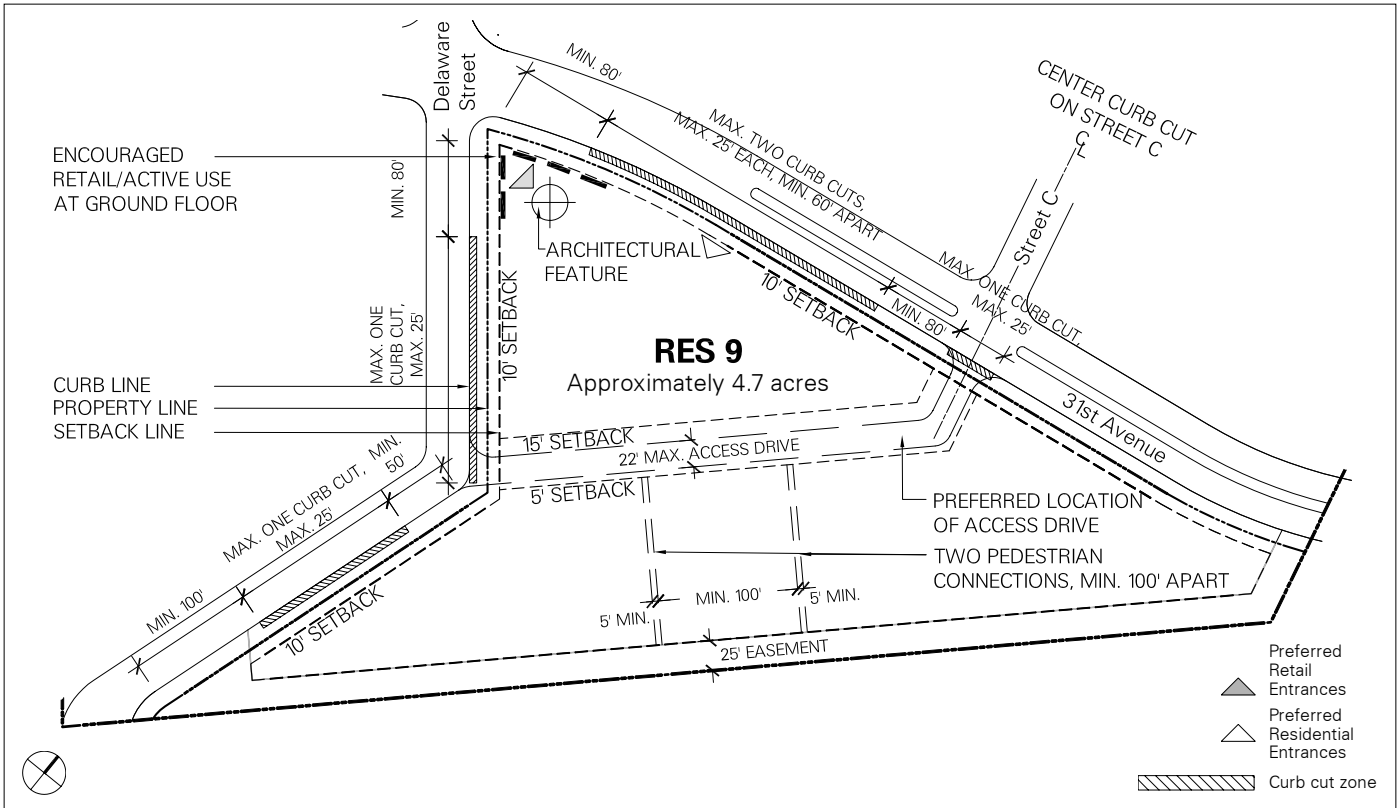


Figure II-221
RES 9 Building Placement



Figure II-222
Appropriate ground floor retail and corner expression



Figure II-223
Appropriate clustered single-family homes



Figure II-224
Appropriate urban massing for a courtyard

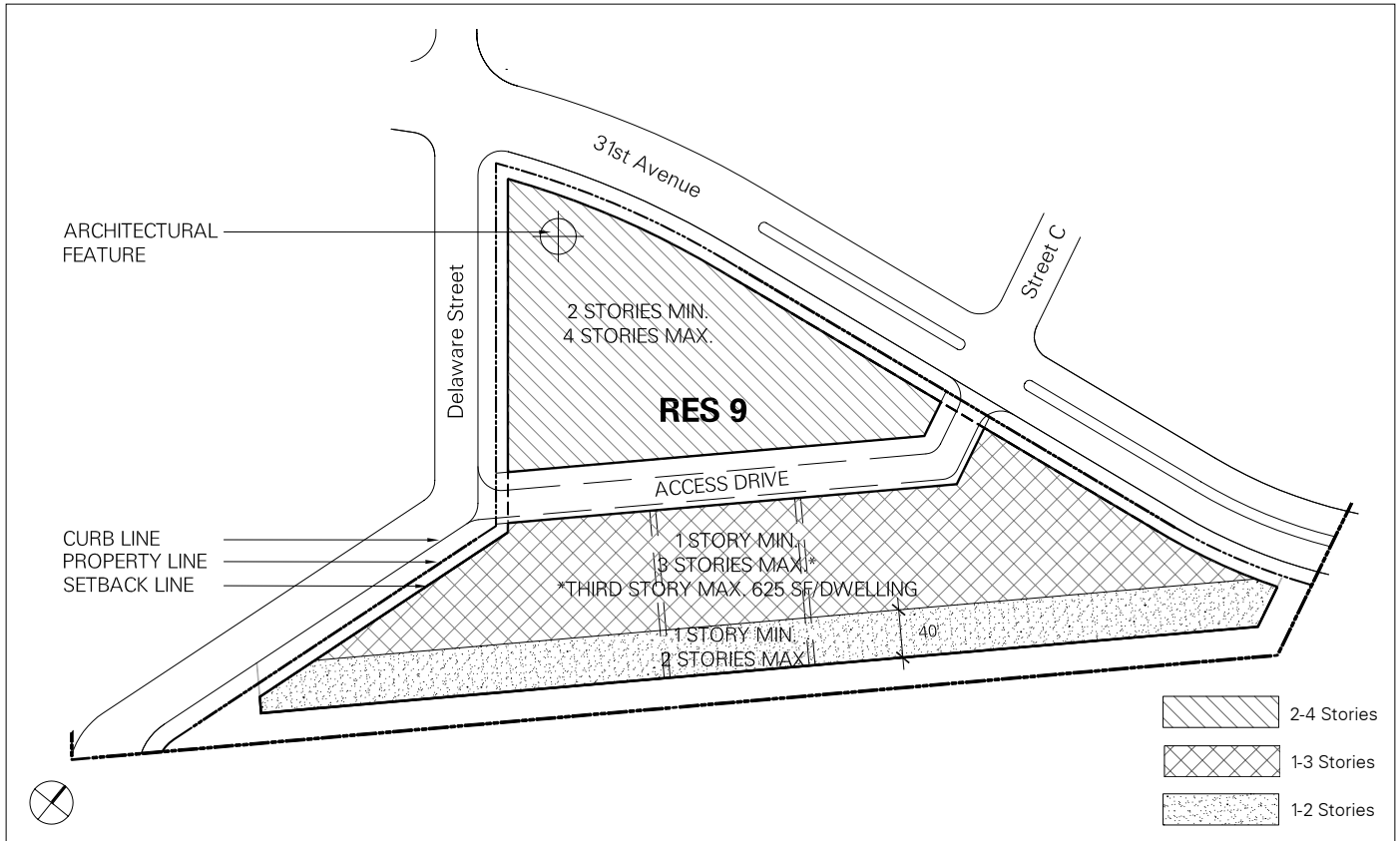


Figure II-225
RES 9 Building Massing

Development Block RES 9	Build-To Zone		Expression Lines	Allowable Encroachments
	Lower Floors	Upper Floors		
31st Avenue-North of Access Drive	Floors 1-2 - Min. 40% within 10' of Setback Line	Floors 3-4 - Min. 40% within 10' of Setback Line	1st Floor	1,2,3,4,5,6,7,8,9,10,11,12,13, 15 (See II.5)
31st Avenue-South of Access Drive	No Build-To Zone Required	No Build-To Zone Required	None Required	1,2,3,4,5,6,7,10,12,13,15 (See II.5)
Delaware Street- North of Access Drive	Floors 1-2 - Min. 80% within 5' of Setback Line	Floors 3-4 - Max. 70% within 10' of Setback Line	1st Floor, Top Floor	1,2,3,4,5,6,7,8,9,10,11,12,13, 15 (See II.5)
Delaware Street- South of Access Drive	No Build-To Zone Required	No Build-To Zone Required	None Required	1,2,3,4,5,6,7,10,12,13,15 (See II.5)

Table II-18
RES 9 Massing Chart

